

Leicester Zoning Board of Appeals

Special Permit & Variance Application Form

 PERMIT TYPE: ☒ Special Permit ☐ Variance

 Date: March 17 2020

CONTACT INFORMATION			
Property Owner:			
Name:	Toni Mandel		
Company Name:			
Signature:			
Address:	48 Lake Drive		
Phone:	508 868 6746	Email:	t1m1263@yahoo.com
Applicant:			
Name:	Earl Connor		
Company Name:	Brady-Built Sunrooms		
Signature:			
Address:	160 Southbridge Street, Auburn, MA. 01501		
Phone:	508 798 2600 ext 136	Email:	earl@bradyrooms.com
Primary Contact Person: (The person that will be contacted by Town staff during the application process.)			
Name:	Earl Connor		
Company Name:	Brady-Built Sunrooms		
Address:	160 Southbridge Street, Auburn, MA. 01501		
Phone:	508 798 2600 ext 136	Email:	earl@bradyrooms.com
PROJECT INFORMATION			
Project Address:	48 Lake Drive	Zoning District:	SA
Assessors Map & Parcel #	Map 27A, lot B4		
Deed Reference (Book/Page):	Bk 59701 Pg 30		
Size of Proposed Structures:	9x16	Total Lot Area:	5278 sq. ft.
Water Source:	well	Sewer Source:	septic
Applicable Zoning Bylaw Section(s):	1.4.02.01		
Brief Project Description:			
Please include a brief description on this form (i.e. do not write "see attached"). [Examples: construction of a 10' x 20' shed in the front yard of an existing home; installation of a 60s.f. freestanding sign (special permit required to exceed 50 s.f.)]			
Ms. Mandel is applying to replace her existing 9 ft. x 16 ft. Deck and stairs with a new sunroom of the same size			

PROJECT INFORMATION, Continued**State Briefly Reasons for Variance or Special Permit:**

See Zoning Board of Appeals Instructions for Variance and Special Permit Applications. You may use the space below and/or attach additional pages as necessary to fully describe the application and reasons for the variance or special permit.

Ms. Mandel has a home at 48 Lake Drive, on Burncoat Pond. The house has an existing deck and stair on the rear (east) side of the house. The existing deck is 9 ft. x 16 ft. , and she would like to replace it with a factory built sunroom of the same size. The new sunroom would be of the same shape, and installed at the same height of the existing deck and stair. The project has already been approved by the Conservation Commission.

The new sunroom will not be visible from Lake Drive. Existing , mature tree growth significantly screens the new room from neighbors to the north and south. Most important, the room will greatly improve the appearance of the house from Burncoat Pond.

The house, deck, and stairs are currently a pre-existing nonconforming structure in Zone SA. Zoning By-Law section 1.4.02.1 allow the ZBA to issue a special permit for this project provided that they determine that the alteration does not increase the non-conformity, or be substantially more detrimental to the neighborhood than the existing nonconformity.

We feel strongly the project will enhance the property, neighborhood, and Burncoat Pond shore. We also feel that this special permit can be issued without straying from the spirit or intent of the Zoning By-Laws of Leicester, MA.

APPLICATION CHECKLIST:

Use this checklist to ensure you have provided all required information.

Three (3) copies of all paper submittals are required except where noted.

☒ Application Form	☒ Any supplemental information where applicable (letters, detailed project information, etc.)	☒ Plans (1-full-size & 2 11"x17")
☒ Certified Abutters List (1 copy)	☒ Fee (\$175) - check payable to the Town of Leicester	☒ .pdf copy of all submitted documents (CD or USB Drive)

Submit the full application to the Town Clerk's Office

Town of Leicester

Abutters List

ParcelID	Location	Owner	Co-Owner	Mailing Address	City	State	Zip
27 B6 0	BURNCOAT POND	BURNCOAT POND WATERSHED D		PO BOX 346	LEICESTER	MA	01524
27A A1 0	LAKE DR	GAGNE PAUL G	GAGNE NICOLE M	52 LAKE DRIVE	LEICESTER	MA	01524
27A A2 0	LAKE DR	GRAHAM RANDY	GRAHAM DIANE	46 LAKE DRIVE	LEICESTER	MA	01524
27A C1 0	46 LAKE DR	GRAHAM RANDY	GRAHAM DIANE	46 LAKE DRIVE	LEICESTER	MA	01524

End of Report

Above is a certified list of direct abutters including abutters across the street.
Subject property: 48 Lake Drive, Assessors Map 27A-B4-0, Deed Ref. 59701/30
Subject owner: Toni Mandel
John Prescott, Principal Assessor

Prepared by: Kathleen Asquith, Assistant

**PLAN SHOWING PROPOSED ADDITION
PREPARED FOR
TONI I. MANDEL
48 LAKE DRIVE
LEICESTER, MASSACHUSETTS**

**DECEMBER 18, 2019
SCALE: 1 INCH = 20 FEET**

**JARVIS LAND SURVEY, INC
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
TEL. (508) 842-8087
FAX. (508) 842-0661
KEVIN@JARVISLANDSURVEY.COM**

*** THE SURVEYOR RETAINS COPYRIGHT TO THE PLAN OF
SURVEY, AND RE-USE OF THIS PLAN IS NOT ALLOWED
WITHOUT PERMISSION FROM THE SURVEYOR.**

1. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE.

2. THIS PLAN HAS NOT BEEN PREPARED FOR RECORDING PURPOSES.

3. THE LICENSED MATERIAL CONTAINS VALUABLE PROPRIETARY INFORMATION BELONGING EXCLUSIVELY TO JARVIS LAND SURVEY, INC. THE LICENSED MATERIAL AND THE INFORMATION CONTAINED THEREON ARE COPYRIGHTED INSTRUMENTS OF PROFESSIONAL SERVICES AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PROJECT OTHER THAN THAT FOR WHICH THEY WERE CREATED, WITHOUT THE EXPRESS WRITTEN CONSENT OF JARVIS LAND SURVEY, INC. YOU AGREE NEVER TO REMOVE ANY NOTICES OF COPYRIGHT, NOR TO REPRODUCE OR MODIFY THE LICENSED MATERIAL.

**ASSESSORS MAP 27A
LOT B4**

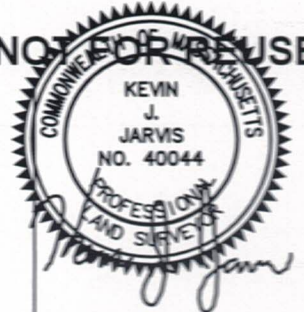
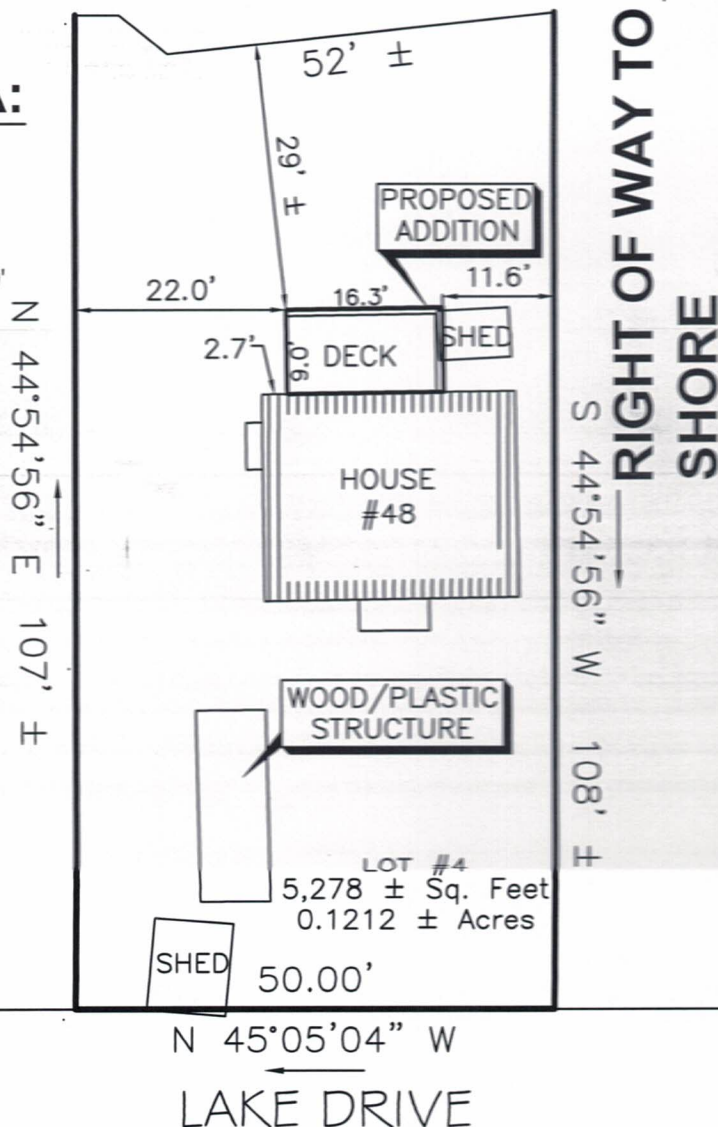
12-18-19

***NOT FOR REUSE**

ZONING DATA:

SUBURBAN-AGRICULTURAL
LOT AREA = 80,000 S.F.
LOT FRONTAGE = 200'
FRONT YARD SETBACK = 40'
SIDE YARD SETBACK = 40'
REAR YARD SETBACK = 40'

BURNCOAT POND



NAD83



TOWN OF LEICESTER

3 Washburn Square

Leicester, MA 01524

Phone: (508)892-7003 Fax: (508)892-1163

Building & Zoning Enforcement

March 12, 2020

Toni Mandel
48 Lake Drive
Leicester, MA 01524

Dear Ms. Mandel,

You recently submitted building permit application for the removal of your existing deck at the rear of the house and building a new deck to replace it along with the installation of a 9' foot by 16'4" Brady room. Adding a room to this new deck would increase the existing non-conformity as described in Leicester By-Laws 1.4, therefore I must deny your building permit application. I suggest you apply to the zoning board of appeals for a special permit to possibly move forward with your project.

Please feel free to contact me with any questions or concerns. 508-892-7003

David McRae, Building Official
3 Washburn Square
Leicester, MA 01524

cc: Zoning Board of Appeals

Drawing 1 of 18	11-20-19	Preliminary Drawing	11-29-19	Revision 1
	11-22-19	Revisions		

WHITE Aluminum Exterior
NATURAL Wood Finish Interior

Isometric View Left

CUSTOMER SIGNATURE _____

DATE _____

160 Southbridge St. Auburn, MA 01501 Tel: 508-798-2600 Fax: 508-798-3034 www.sunroomsbybrady.com		Drawn: CS	Date: 11-20-19	Scale: NTS	TONI Mandel 48 Lake Drive Leicester, MA 01524
	Confidential, Brady-Built Inc.				

Drawing 2 of 18	11-20-19	Preliminary Drawing	11-29-19	Revision 1
	11-22-19	Revisions		

Isometric View Right

CUSTOMER SIGNATURE
DATE

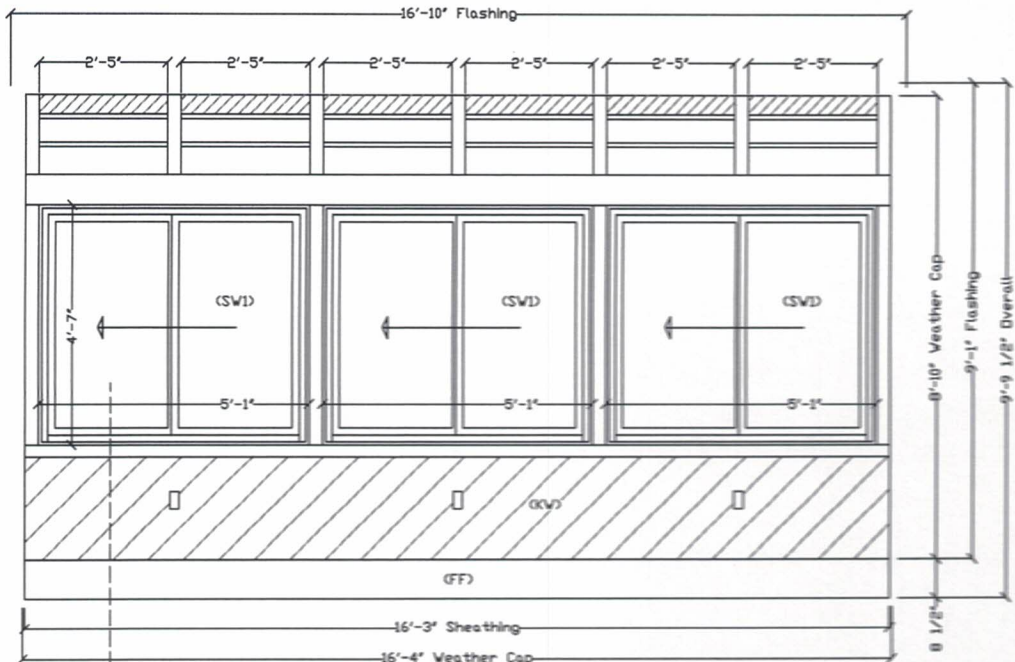
WHITE Aluminum Exterior
NATURAL Wood Finish Interior

	Drawn	CS	Toni Mandel
	Date	11-20-19	48 Lake Drive Leicester, MA 01524
	Scale	NTS	
160 Southbridge St. Auburn, MA 01501 Tel: 508-798-2600 Fax: 508-798-3034 www.sunroomsbybrady.com		Confidential, Brady-Built Inc.	

Drawing 3 of 18	11-10-19	Preliminary Drawing	12-4-19	Site & Install Plan
	11-29-19	Revision 1		

CUSTOMER SIGNATURE
DATE





Elevation at Front Wall
As viewed from exterior

Drawn: CS
 Date: 11-10-19
 Scale: 3/8"=1'-0"

Tonl Mandel
 48 Lake Drive
 Leicester, MA 01524

160 Southbridge St.
 Auburn, MA 01501
 Tel: 508-798-2600
 Fax: 508-798-3034
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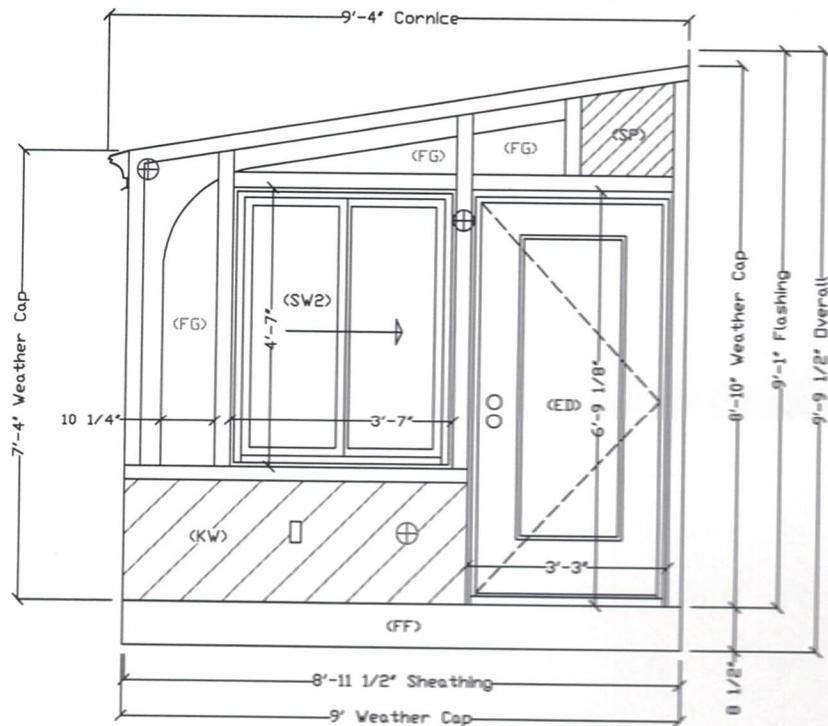


Brady-Built
S U N R O O M S

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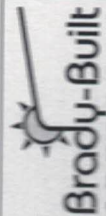
CUSTOMER SIGNATURE

DATE



Elevation at Right Wall
As viewed from exterior

160 Southbridge St.
Auburn, MA 01501
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Fax: 508-798-3034
www.sunroomsbybrady.com



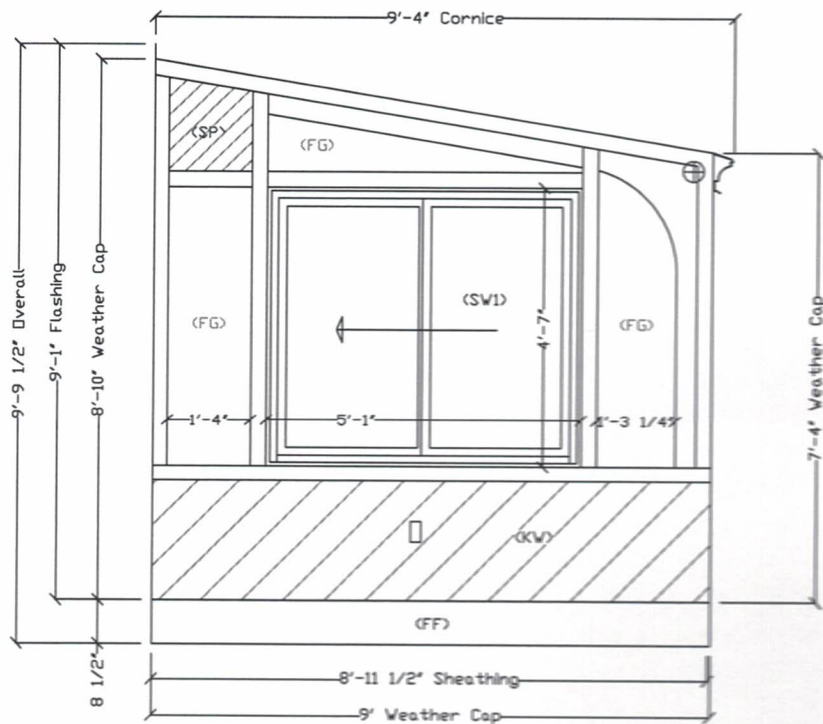
Drawn CS

Date: 11-10-19

Scale: 7/16"=1'-0"

Toni Mandel
48 Lake Drive
Leicester, MA 01524

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CUSTOMER SIGNATURE

DATE

Elevation at Left Wall
As viewed from exterior

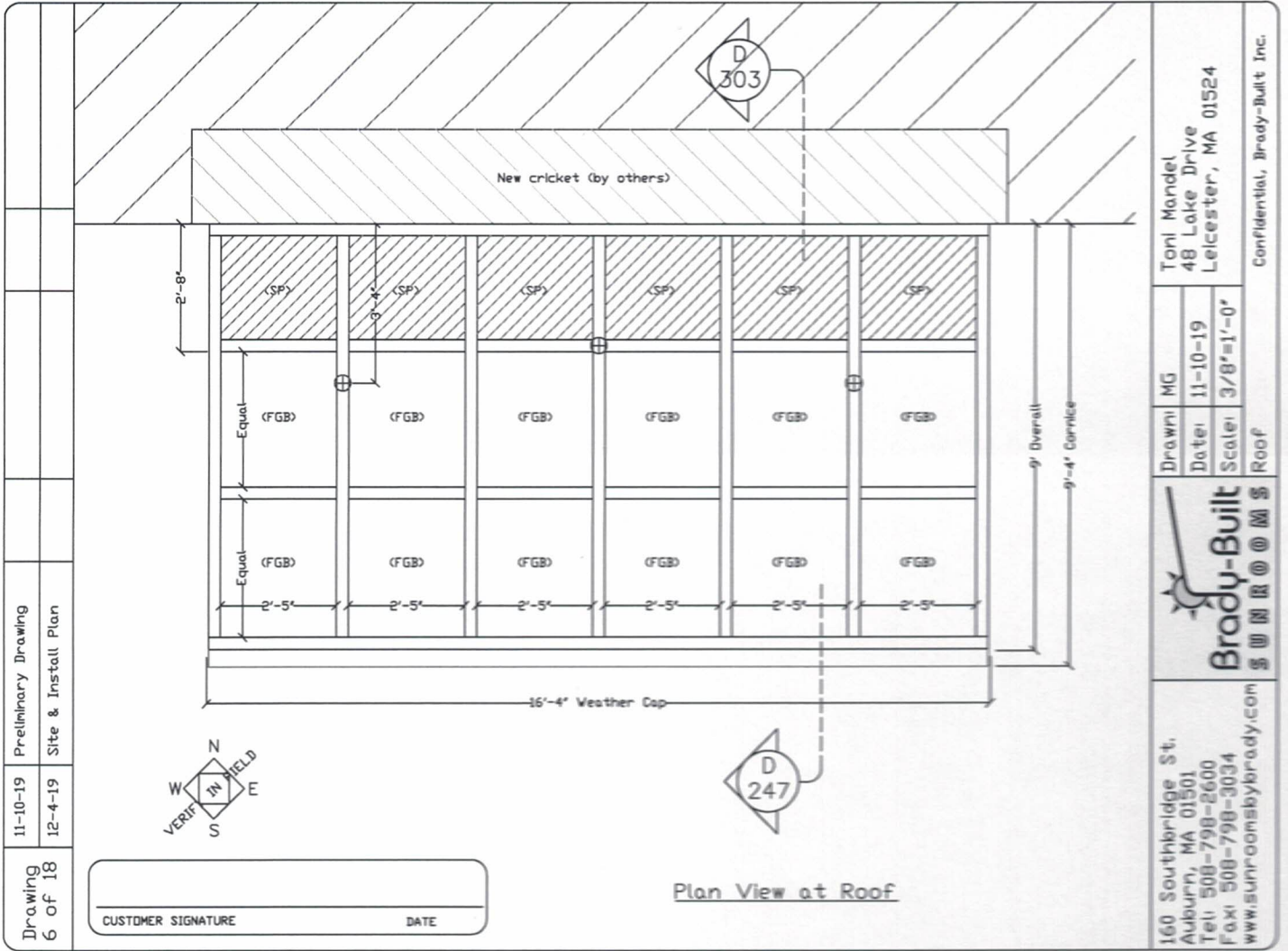
160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com

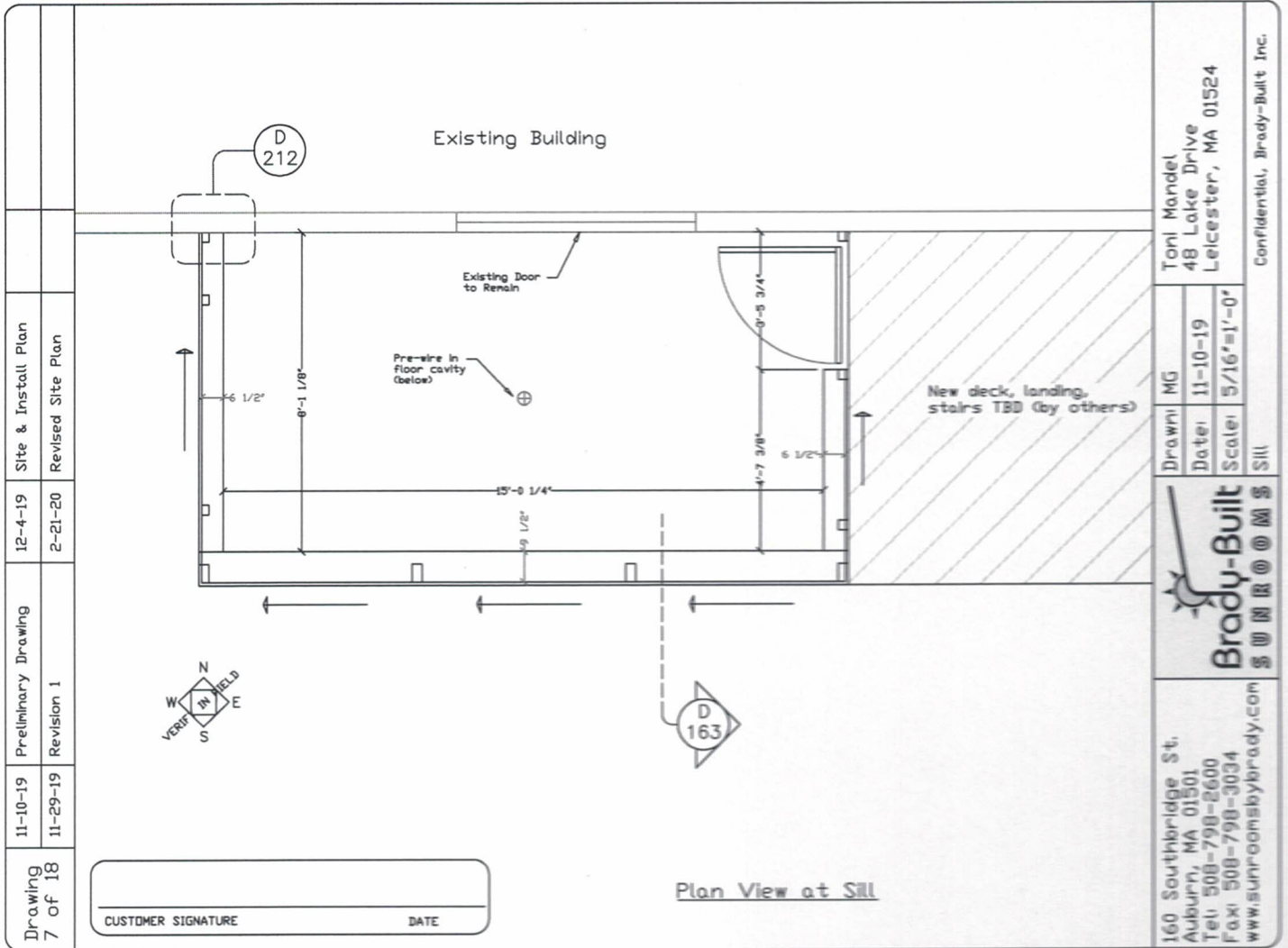
Brady-Built
SUN ROOMS BY BRADY

Drawn: CS
Date: 11-10-19
Scale: 7/16"=1'-0"

Toni Mandel
48 Lake Drive
Leicester, MA 01524

Confidential, Brady-Built Inc.







DATE _____

Confidential, Brady-Built Inc.

Drawing 9 of 18	11-10-19 12-4-19	Preliminary Drawing Site & Install Plan	<u>GENERAL SPECIFICATIONS:</u> All structural frame components with mortise & tenon joinery and fastened mechanically using 1/2"x5" lag screws w/ washers All Fixed Glass Units Dual Seal w/ 7/8" Overall thickness unless specified otherwise Exterior Weather Cap to be Aluminum extrusion 6063 Alloy/ T5 Temper with color matched Duracron finish Standard Flashing shapes to be Aluminum .040 with color matched Duracron finish <u>GLULAM BEAM SPECIFICATIONS:</u> Moisture Content < 16% Laminations t=1/4" Southern Yellow Pine 24F-V3 SP/SP (AITC Manual) Fb = 2400 psi Fv = 200 psi E = 1,800,000 psi Fc (perp to grain) = 650 psi Fc (par to grain) = 1700 psi Ft (par to grain) = 1150 psi Eaxial = 1,600,000 psi K = 20.6 <u>FRAMING/STRUCTURAL COMPONENTS:</u> (KW) = Kneewall 2x6 KD @ 16" OC 7/16" Zip System Sheathing Unfinished Interior R-21 Fiberglass Insulation and pre-finished 1x8 T&G Pine supplied by Brady. Installed by others (FF) = Factory Floor System 2x8 KD @ 16" OC 3/4" CDX plywood sub floor R-25 Faced batt Fiberglass Insulation 1/2" PT plywood bottom closure <u>OTHER NOTES & SPECIFICATIONS:</u> Exterior Aluminum Color: WHITE Interior Wood Finish: NATURAL	<u>GLASS AND GLAZING COMPONENTS:</u> (FG) = Fixed Insulated Glass Clear/LowE Tempered (FGB) = Fixed Insulated Glass Bronze/LowE Tempered (SP) = Solid Panel Aluminum Stucco Exterior Rigid Foam Insulation T&G Pine Interior <u>DOORS AND WINDOWS:</u> (ED) = Pella Entry Door 37.5"x79.75" Inswing Primed Fiberglass with Clad Frame Full View Clear/LowE Tempered Glass Dual Bore Lockset with Deadbolt Lever Handle: Oil Rubbed Bronze No Screen Included (SW) = Pella Inpervia Sliding Window Fiberglass Composite Clear/LowE Tempered Glass Color Matched Frame, Sash, Hardware Screen Included (SW1) = 41.5"x53.5" (SW2) = 59.5"x53.5" <u>ELECTRICAL COMPONENTS:</u> □ = 14-2 Ronex Wire & Duplex Box for electrical plug ⊕ = 14-2 Ronex Wire only For: (1) exterior GFCI plug (1) light (below) under floor ⊕ = 14-2 Ronex Wire & Exterior Box for light ⊕ = 14-2 Ronex Wire for track light ⊕ = 14-3 Ronex Wire for ceiling fan/light ⊕ = 18-2 Speaker Cable @ Interior End Beam All wires with 25' whip from exit point unless specified otherwise <u>ALL FIXTURES & FINAL WIRING BY OTHERS</u> <u>COMPLIANCE STATEMENT:</u> As per R301.2113 This addition is categorized as a CATEGORY IV SUNROOM (conditioned, thermally isolated) Sunroom Fenestrations conform to AAMA/NPEA/NSA 2000 <u>Drawing Notes and Legend</u>	Drawn: MG Date: 11-10-19 Scale: NTS Legend	Toni Mandel 48 Lake Drive Leicester, MA 01524  160 Southbridge St. Auburn, MA 01501 Tel: 508-798-2600 Fax: 508-798-3034 www.sunroomsbybrady.com
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CUSTOMER SIGNATURE

DATE

Drawing 10 of 18	11-10-19	Preliminary Drawing	Site & Install Plan
	12-4-19		

CUSTOMER SIGNATURE

DATE

Front Elevation with Overlay

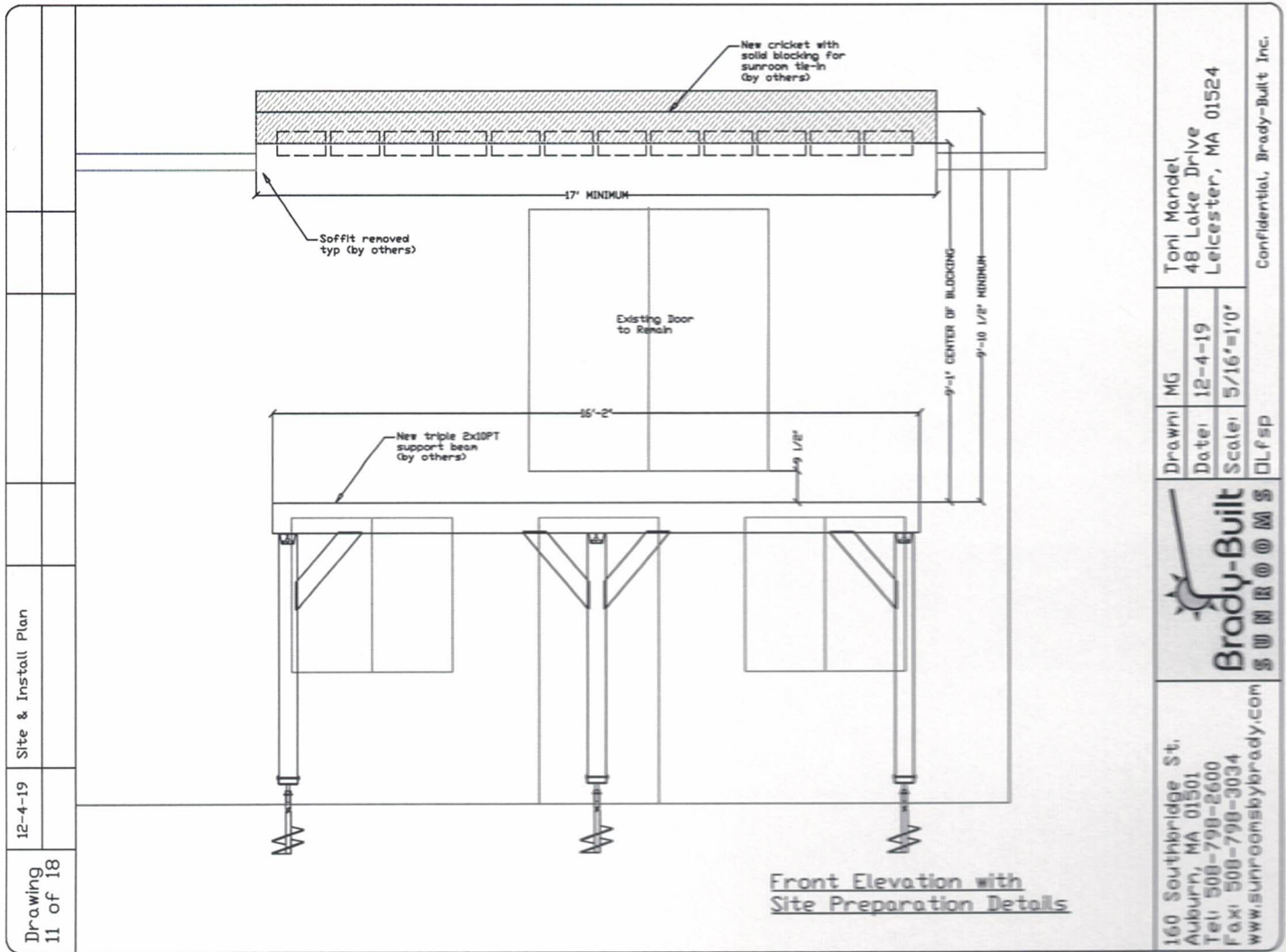
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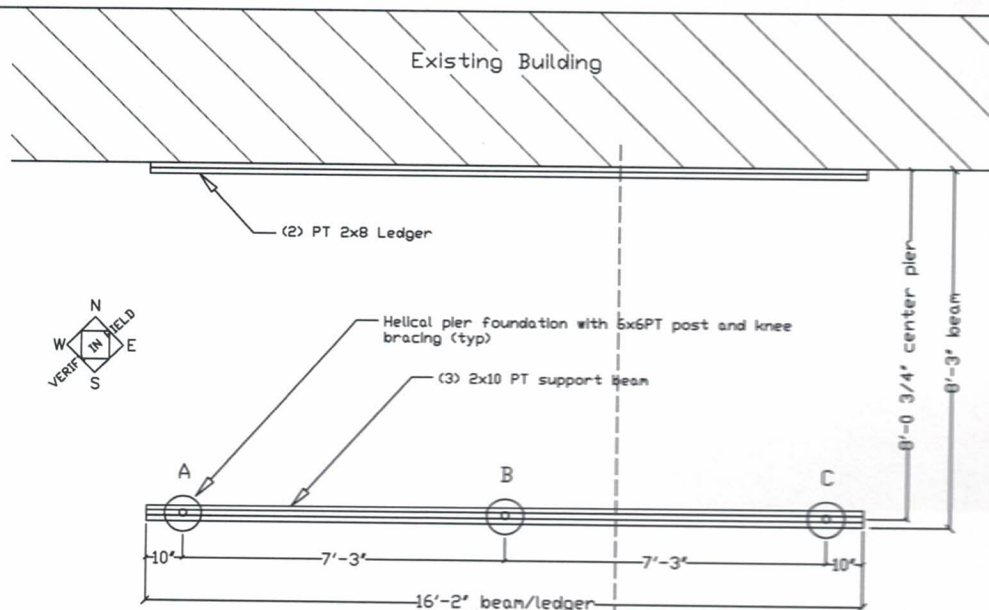
Drawn: MG
Date: 11-10-19
Scale: 1/4" = 1'-0"

Toni Mandel
48 Lake Drive
Leicester, MA 01524

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160 Southbridge St. Auburn, MA 01501 Tel: 508-798-2600 Fax: 508-798-3034 www.sunroomsbybrady.com				Drawn: MG Date: 12-4-19 Scale: 5/16"=1'0" DLFsp		TONI MANDAL 48 Lake Drive Leicester, MA 01524		Confidential, Brady-Built Inc.	
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Notes:

ALL WORK SHOWN BY OTHERS

Helical screw at each pier location to be sized to adequately support a minimum imposed load value as per TABLE 1

Remove existing deck and foundations in their entirety before constructing new support system. No foundations to rest on disturbed soil.

Measure from face of house sheathing not face of foundation

Ledger & Beam must be leveled at full span within 1/4" tolerance, squared within 1" tolerance

Stabilize beam with temporary bracing prior to sunroom install

TABLE 1: MINIMUM LOAD BEARING OF HELICAL PIERS

PIER	MINIMUM LOAD (lbs)
A	3000#
B	4500#
C	3000#

Plan View at Foundation

Toni Mandel
48 Lake Drive
Leicester, MA 01524

Drawn: MG

Date: 12-4-19

Scale: None

Foundation

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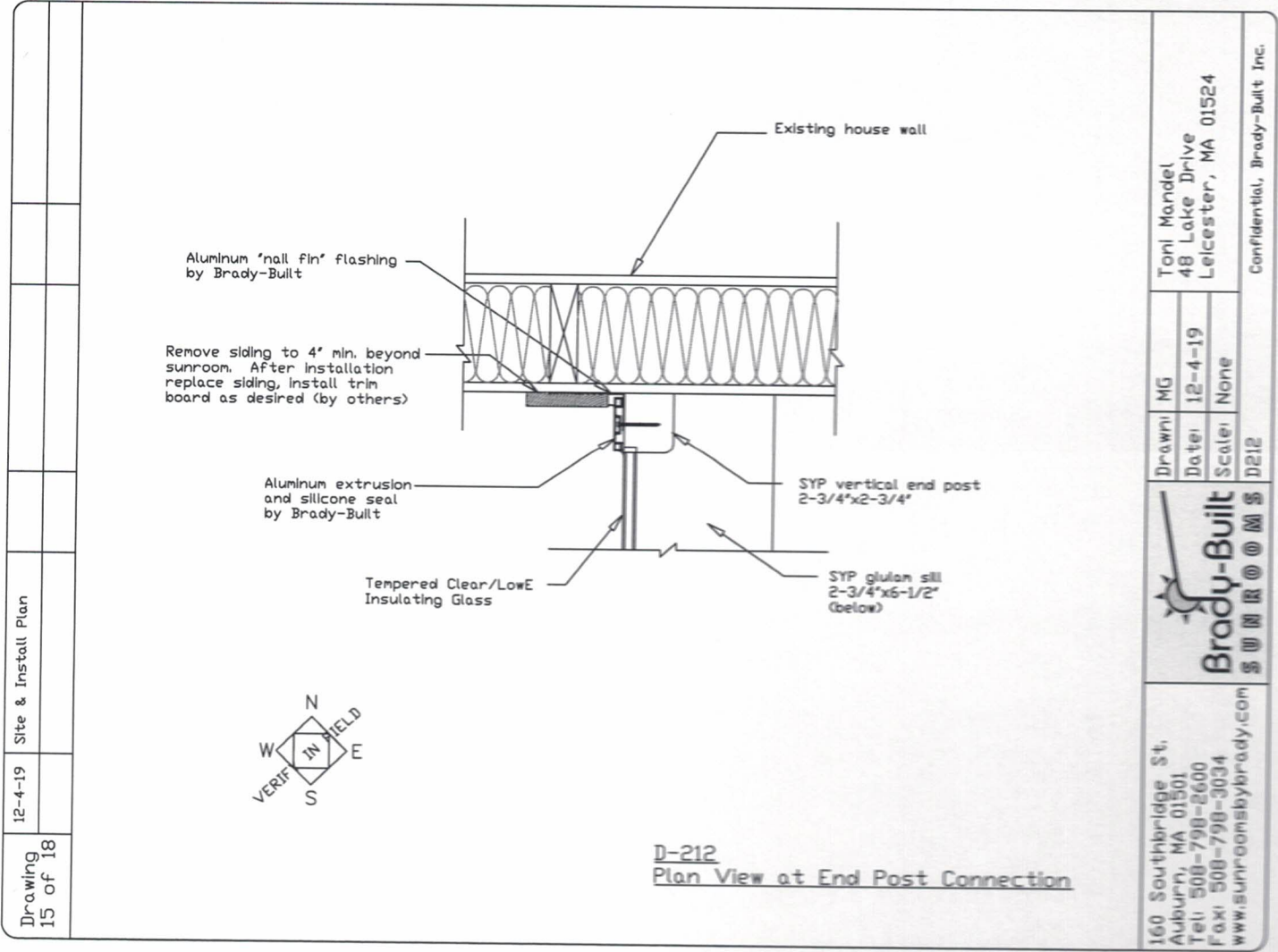
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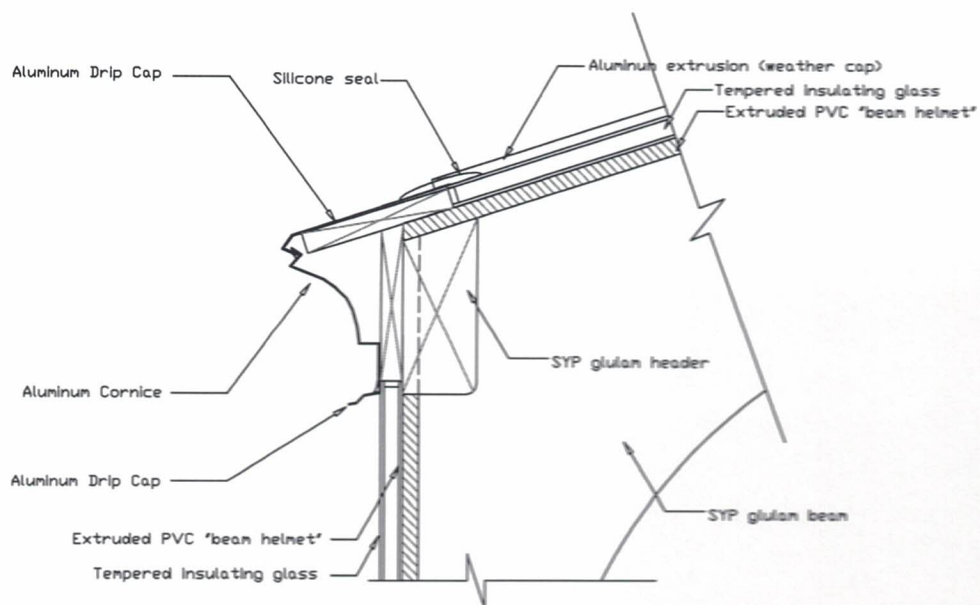
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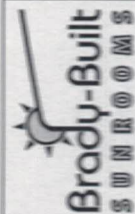
 Brady-Built S U N R O O M S	Drawn: MG	Toni Mandel 48 Lake Drive Leicester, MA 01524	
	Date: 12-4-19	Scale: None	
	D212 Confidential, Brady-Built Inc.		

160 Southbridge St.
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D-247
Section at Sunroom Header

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Auburn, MA 01501
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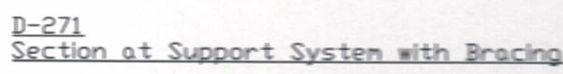


Drawn:
Date:
Scale:
D247

MG
12-4-19
None

Toni Mandel
48 Lake Drive
Leicester, MA 01524

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160 Southbridge St. Auburn, MA 01501 Tel: 508-798-2600 Fax: 508-798-3034 www.sunroomsbybrady.com	 Brady-Built 窗 門 房 屋 門 窗 屋 頂	Drawn: MG Date: 12-4-19 Scale: None D271	Toni Mandel 48 Lake Drive Leicester, MA 01524 Confidential, Brady-Built Inc.
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Install continuous Grace Ice and Water Shield at least 36" up slope of roof. Seal upper edge of drip edge flashing to Ice and Water Shield with continuous strip of same. Weave new roofing with existing (by others)

Drip edge and roofing installed after sunroom by others

Cap flashing to extend from under extrusion to roof corner. Seal lap joints in flashing, overlap at least 6" and use a continuous bead of silicone sealant between flashing sections. Cover top edge of flashing with Ice & water membrane

Tempered IG, Aluminum extrusion and sealant by Brady-Built.

1/2"x5' lag screw @32" OC secures ledger to blocking. Counter bore and close hole with matching wood button (by Brady-Built)

Soffit removal by others

Exterior sheathing becomes new interior surface (finish by others)

4" MIN

Cricket rafters sistered to existing by others

Double 2x blocking fastened between rafters with Simpson Strong Tie A35 framing angles at each end (by others)

D-303
Section at Roof Connection

Toni Mandel
48 Lake Drive
Leicester, MA 01524

MG

Drawn

Date 12-4-19

Scale None

D303

Brady-Built
SUNROOMS BY BRADY-BUILT

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Fax: 508-798-3034
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