



TOWN OF LEICESTER ZONING BOARD OF APPEALS

LEICESTER, MA 01524-1333

Phone: 508-892-7007 Fax: 508-892-7070

www.leicesterma.org

PUBLIC HEARING NOTICE

The Zoning Board of Appeals of the Town of Leicester, MA will hold a public hearing on **Wednesday, December 9, 2015 at 7:30PM** in Room 3, Bottom Floor, Leicester Town Hall, 3 Washburn Square, Leicester, MA on the petition of Verizon Wireless of 900 Elm Street, Manchester, NH for a Special Permit to construct a 150-foot monopole telecommunications facility with associated antennae and equipment on property located at 30 Huntoon Memorial Highway, Leicester, Ma.

All those wishing to express their opinion on this petition are urged to attend this meeting or express their views in writing to the Board of Appeals no later than December 9, 2015.

PLEASE RUN IN THE WORCESTER TELEGRAM ON:

WEDNESDAY, NOVEMBER 25, 2015 AND WEDNESDAY, DECEMBER 2, 2015

David Kirwan, Chair
Leicester ZBA

Leicester Zoning Board of Appeals

 PERMIT TYPE: ☒ Special Permit ☐ Variance

Date: 10/28/2015

Owner Information			
Owner Name:	Paul A. & Laura A. Morris, Trustees, Morris Realty Trust		
Owner Signature:	<i>See attached letter of authorization.</i>		
Address:	50 Peter Salem Road, Leicester, MA 01524		
Phone:	(508) 892-4048	Fax:	
Email:			
Applicant Information			
Applicant Name:	Bell Atlantic Mobile of Massachusetts d/b/a Verizon Wireless c/o McLane Middleton, P.A.		
Applicant Signature:	<i>Victor Manougian, Attorney for Verizon Wireless</i>		
Address:	900 Elm Street, Manchester, NH 03101		
Phone:	(603) 628-1310	Fax:	603-625-5650
Email:	victor.manougian@mclane.com		
Project Information			
Project Address:	30 Huntoon Memorial Highway	Zoning District:	RIB
Assessors Map & Parcel #	37A E3 0	Deed Reference (Book & Page):	Book: 33669 & Page: 151
Applicable Zoning Bylaw Section(s):	5.2 & 5.4		
Brief Description of Application:			
<p>Verizon proposes to construct a 150' monopole telecommunications facility with associated antennae and equipment. The project will include a 50' by 50' fenced compound inside which a 26' by 12' equipment shelter will house a supporting generator. A separate gas tank and transformer will be mounted alongside the monopole on a concrete pad. The pole will support 12 panel antennae and associated surge/junction boxes at 150', with space for four additional carriers to install similar antennas in the future at acceptable heights.</p>			
State Briefly Reasons for Variance or Special Permit:			
<p>Verizon requests a special permit for construction of a 150' monopole within a Residential Industrial Business (RIB) district in accordance with Section 3.2 of the Town of Leicester Bylaws, under which Wireless Communication facilities are a permitted use subject to the issuance of a Special Permit from the Zoning Board of Appeals.</p>			

Attach additional pages as necessary to fully describe the application.

MCLANE MIDDLETON

VICTOR V. MANOUGIAN
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October 28, 2015

VIA HAND DELIVERY

Town of Leicester
Zoning Board of Appeals
Town Hall
3 Washburn Square
Leicester, MA 01524

Re:	Special Permit Application for Telecommunications Facility
Applicant:	Bell Atlantic Mobile of Massachusetts Corporation, Ltd d/b/a Verizon Wireless ("Verizon")
Tax Map:	Map 37A, Parcel E3 0
Street Address:	30 Huntoon Memorial Highway
Zoning District :	Residential Industrial Business (RIB)
Proposed Use:	Telecommunications Facility
Ordinance:	Zoning Bylaws (the "Bylaws") Section 3.2.05, 5.5.02-04

Ladies and Gentlemen of the Zoning Board of Appeals:

The purpose of this letter is to deliver the enclosed application for a Special Permit in support of Verizon's proposed wireless communications facility (the "Facility") at 30 Huntoon Memorial Parkway in Leicester (the "Property"). The Facility will consist of a 150-foot monopole with associated antennae and equipment within a 50' by 50' fenced compound (the "Compound"), which will house an equipment shelter for a supporting generator. This application is being delivered concurrently with an Application for Site Plan Review to the Town of Leicester Planning Board pursuant to Section 5.2.04 of the Bylaws.

Pursuant to the Bylaws, Verizon Wireless has enclosed copies of the following materials and documents:

1. Special Permit Application;
2. Certified Abutters list;
3. Radio Frequency Report;
4. Wetland Resource Evaluation;

McLane Middleton, Professional Association
Manchester, Concord, Portsmouth, NH | Woburn, MA

McLane.com

5. TOWAIR report;
6. Plot Plan (13 copies);
7. Payment in the amount of \$55.00 made payable to the Town of Leicester for the Application Fee.

APPLICANT INFORMATION

Verizon is one of the nation's leading providers of digital voice and data communications services with coverage in almost all of the top 100 markets in the United States. Verizon has developed one of the largest and most reliable national wireless networks to provide wireless voice and data services to an ever-growing customer base, last counted at over 100 million.

Verizon continuously works to enhance and improve its network with the ultimate goal of providing its customers with faster connections to people and information. One of the key design objectives of Verizon's system is to provide seamless coverage without significant gaps or dead spots. Verizon's radio transmitting and receiving facilities operate on a line-of-sight basis, requiring a clear path from the facility to the remote user. This dynamic requires antennas to be located where the radio frequency signal is not obstructed or degraded by buildings or topographical features.

PROJECT NARRATIVE

Verizon is seeking this special permit in order to erect a 150' monopole with 1 array of antennae and associated ground equipment within a fenced 50' by 50' compound. Specifically, the project will consist of:

- One 150' monopole capable of supporting arrays of antennae for four additional carriers, including foundation, baseplate, and anchor bolts;
- One platform attached at 150' to support 12 panel antennae (4 per sector), 9 radio heads (3 per sector), and 4 junction boxes;
- One 26' x 12' equipment shelter to house a supporting generator;
- One 6' chain link fence to surround the compound, including the 1,000-gallon gas tank, which will be mounted on the platform within the fence; and
- Power and fiber cables running from the equipment shelter to the monopole.

The antennae and associated equipment listed above are typical of other wireless installations. The ground-based equipment will be placed on a concrete slab and will be self-contained. The pre-fabricated shelter will house all of the necessary electronic equipment to service the installation, including a generator unit. The entire installation will be serviced by

power lines which will extend from a utility pole along King Street to the Compound, as further detailed on page Z-1 of the plot plan.

Enclosed please find 13 copies of our certified plot plan for this Facility detailing the specifics of each of the bulleted items above. Because this is an unmanned facility, Verizon is able to provide improved communications service with no impact on utilities, traffic, or abutting Properties in the Town of Leicester. Technicians will visit the Facility 1-2 times per month for maintenance purposes once the Facility is constructed. No water, sewer, or other municipal services are required, and the equipment will comply with all applicable FCC standards and regulations.

Verizon's long-range plans in the greater Leicester and Worcester County area are to continue to improve its service to residents, businesses, and visitors. Indeed, the services that Verizon and other wireless carriers provide are used by almost every resident of Leicester, with demand for those services increasing at a substantial rate.

SUBMISSION REQUIREMENTS

Dimensional Requirements

Section 3.32 of the Bylaws regulating development in RIB district refers to the dimensional requirements of Section 4.2 pertaining to BR-I Zones. Verizon's proposed Facility complies with dimensional requirements for both single-family dwellings and "structures" under the Schedule of Dimensional Requirements, thereby satisfying and exceeding these requirements. For relevant setbacks and frontage, see page Z-1 of the plot plan, Site Plan and Notes.

Site Development Standards (Sections 5.5.02 – 5.5.04)

Section 3.32 of the Bylaws requires compliance with Sections 5.5.02 through 5.5.04 for development in the RIB district.

5.5.02.1 Parking, Loading Areas, and Access

Verizon is proposing an unmanned Facility that will require infrequent maintenance visits by Verizon's technicians on a bi-monthly basis. Beyond these visits, the Facility will have no additional impact on traffic or pedestrian safety. There will be sufficient off-road parking along the access road to support maintenance vehicles visiting the site. Refer to page Z-1 of the plot plan for access and utility easement details. Sections 5.5.02.1 A 2-C of the Bylaws are not applicable to this project.

5.5.02.2 Landscaping

Verizon's proposed Facility will be more than 100 feet from the nearest property lines in all directions. The lot where the proposed Facility is to be located is sufficiently screened from adjacent roads and properties, including Huntoon Memorial Parkway and King Street, by a natural buffer of vegetation described in greater detail in the enclosed Wetland Resource Evaluation, which includes a mixture of grass, ground cover, shrubs, and trees. Consistent with Section 5.5.02.2B, the buffer exceeds the 50 feet required where a non-residential use abuts a residential use.

Verizon agrees to preserve the existing landscape buffer on site, and to maintain such in good condition throughout the operation of its Facility. In addition to the existing natural buffers that exist on the site, Verizon is willing to incorporate any suitable landscaping measures or regulations at the suggestion of the Board.

5.5.02.3 Surface Water Run-Off

This project is designed to have minimal impact on the Property and to minimize soil erosion and run-off. The existing landscape and grading surrounding the Compound, which consists of a combination of flat gravel and sloped vegetative land, will remain substantially unchanged following construction of the Facility, and will thus have minimal impact on drainage. In no way will the project create pollution or an excess of runoff beyond that which already exists on the Property. Nevertheless, Verizon agrees, in the course of constructing and in maintaining the Facility, to provide for adequate drainage capabilities should the need for such arise.

5.5.03.2 Special Permit Review Criteria

The proposed Facility is consistent with the purpose and intent of this Bylaw, that being the development of Leicester's business corridors by allowing a mix of commercial, office, research, and light industrial activities. Construction of the proposed Facility will enhance communications capabilities for all residents, public employees, and visitors to the Town of Leicester, thereby fructifying economic development in the town, while at the same time resulting in minimal impact on the town's natural resources, environment, and aesthetics.

- A. Traffic.** The project is specifically designed to have minimal impact on traffic. Because the site is unmanned requiring only infrequent maintenance, the project is not expected to result in any traffic congestion whatsoever at any point during the construction or operation of the Facility.
- B. Water.** The project will have no impact on water or sewer systems, storm water drainage, solid waste disposal, or other public utilities.
- C. Waste.** The project once constructed will not produce any waste, refuse, or sewage. Any waste generated throughout the construction of the Facility will be promptly

disposed of by Verizon's construction personnel and will have no long-term, measurable impact on the Property.

D. Environmental. The project is in compliance with all environmental laws and regulations. See Wetland Resource Evaluation for additional details.

E. Master Plan. The project is consistent with Leicester's Master Plan.

F. Site Development Standards. The project is consistent with the Site Development Standards for HB-1 district, as described above.

CONCLUSION

By constructing the proposed Facility at 30 Huntoon Parkway, Verizon will be able to fill the coverage gap that currently exists and to provide improved coverage to residents, businesses, and traffic corridors within areas of Leicester that are currently underserved. The proposed site has been cautiously selected as the best location for the installation and operation of this Facility and represents the least intrusive means through which Verizon can close a gap in reliable coverage under the Bylaws. Based on the foregoing, Verizon respectfully requests that the Board determine that it has satisfied the requirements for Special Permit and to further determine that the proposed use will not have an adverse effect on the neighborhood surrounding the Facility.

We respectfully request that the Board approve the Special Permit and/or such other relief as the Board deems necessary in order to permit the installation and operation of the Facility.

If you have any questions regarding this application, please contact me directly.

Very truly yours,

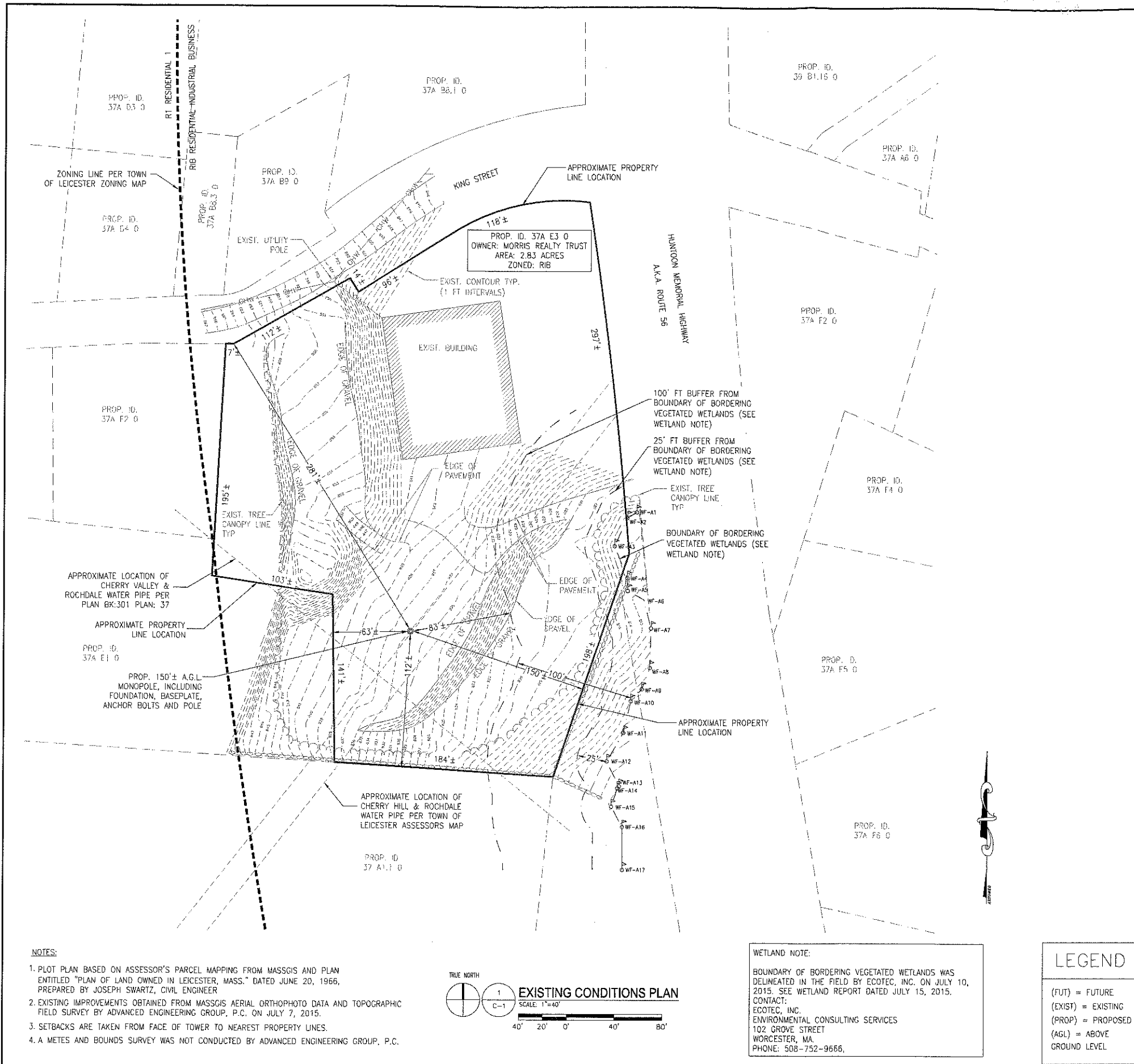


Victor Manougian

VVM:bs1
Enclosures

cc. David Tivnan, Verizon (w/out enclosures)
Jason Harrison, SCG (w/out enclosures)

T-1



GENERAL NOTES:

1. FIELD SURVEY DATE: DECEMBER 15, 2009
2. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
3. HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)
4. CENTER OF PROPOSED TOWER: LATITUDE: 42°06'19.974" LONGITUDE: -70°40'04.348" ELEV. = 5'±
5. PROPERTY OWNER: PAUL R. MORRIS & LAURA A. MORRIS TRUSTEES, MORRIS REALTY TRUST 50 PETER SALEM ROAD LEICESTER, MA 01524
6. SITE NUMBER: NA
7. SITE ADDRESS: 30 HUNTOON MEMORIAL HWY. LEICESTER, MA 01524
8. APPLICANT: BELL ATLANTIC MOBILE OF MASSACHUSETTS CORPORATION, LTD D/B/A VERIZON WIRELESS 400 FRIBERG PARKWAY WESTBOROUGH, MA 01581
9. JURISDICTION: TOWN OF LEICESTER
10. TAX ID: 37A E3.0
11. DEED REFERENCE: DEED BOOK: 33669 PAGE: 153
12. PLAN REFERENCES: TOWN OF LEICESTER ASSESSORS MAPS & PLAN REFERENCES AS INDICATED BELOW
13. ZONING JURISDICTION: RIB RESIDENTIAL INDUSTRIAL BUSINESS
14. ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY:
DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233
CALL BEFORE YOU DIG (CT): 1-800-922-4455
15. PROPERTY LINE INFORMATION IS COMPILED FROM ASSESSORS PLAN AND RECORD DOCUMENTS AND IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD BOUNDARY SURVEY, AND IS SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. A FULL BOUNDARY SURVEY WAS NOT PERFORMED.
16. THE PURPOSE OF THIS SURVEY IS TO SUPPORT THE DESIGN AND CONSTRUCTION OF A TELECOMMUNICATION FACILITY. USE OF THIS SURVEY BY ANYONE OTHER THAN OMNIPONT COMMUNICATIONS, INC., AND USE OF THIS SURVEY FOR ANY PURPOSE NOT RELATED TO THE DESIGN OF THE INTENDED FACILITY IS STRICTLY PROHIBITED.
17. BEARING SYSTEM OF THIS PLAN IS BASED ON TRUE NORTH. TRUE NORTH WAS ESTABLISHED FROM GPS READINGS ON 07/23/2015
18. LEASE AREA LIES WITHIN FLOOD ZONE AE. BASE FLOOD ELEVATION DETERMINED (ELV 10') AS SHOWN ON FLOOD INSURANCE RATE MAP - TOWN OF MARSHFIELD, MA - COMMUNITY PANEL NUMBER: 2502730011E, MAP REVISED JUNE 16, 2006.
19. NO WETLANDS WERE OBSERVED WITHIN 100' OF THE LIMIT OF WORK.
20. IN THE EVENT THAT BENCHMARKS (BM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY, ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.
21. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

LEGEND

PROPERTY LINE
ABUTTING PROPERTY LINE
EXIST. R.O.W. LAYOUT
PROP. EASEMENT/LEASE AREA
EXIST. ZONING BOUNDARY
EXIST. CHAIN LINK FENCE
EXIST. TREE LINE
EXIST. CONTOUR
EXIST. OVERHEAD UTILITIES
EXIST. UNDERGROUND UTILITIES
(E) WETLAND LINE

UTILITY POLE
HYDRANT
DRILL HOLE
STONE/CONC. BOUND
TCLCO MANHOLE
SEWER MANHOLE
DENOTES WETLAND FLAG

WATER MANHOLE
DRAINAGE MANHOLE
CATCH BASIN
GAS VALVE
WATER VALVE
BUSINESS-NEIGHBORHOOD
RESIDENTIAL-WATERFOOT

B-3
R-3

verizonwireless

400 FRIBERG PARKWAY
WESTBOROUGH, MA 01581
(508) 330-3300 TEL

ADVANCED
ENGINEERING GROUP, P.C.
Civil Engineering - Site Development Surveying -
Telecommunications
500 NORTH BROADWAY
10TH FLOOR, SUITE 1000
PROVIDENCE, RI 02914
TEL: 401-334-2400
FAX: 401-334-2404

MARC
CHRISTEN
CIVIL
No. 40313
PROFESSIONAL ENGINEER

APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A/E _____

PROJECT NO. NA
DRAWN BY: DD
CHECKED BY: MRC

SUBMITTALS

0 08/17/15 ZONING

LEICESTER 4

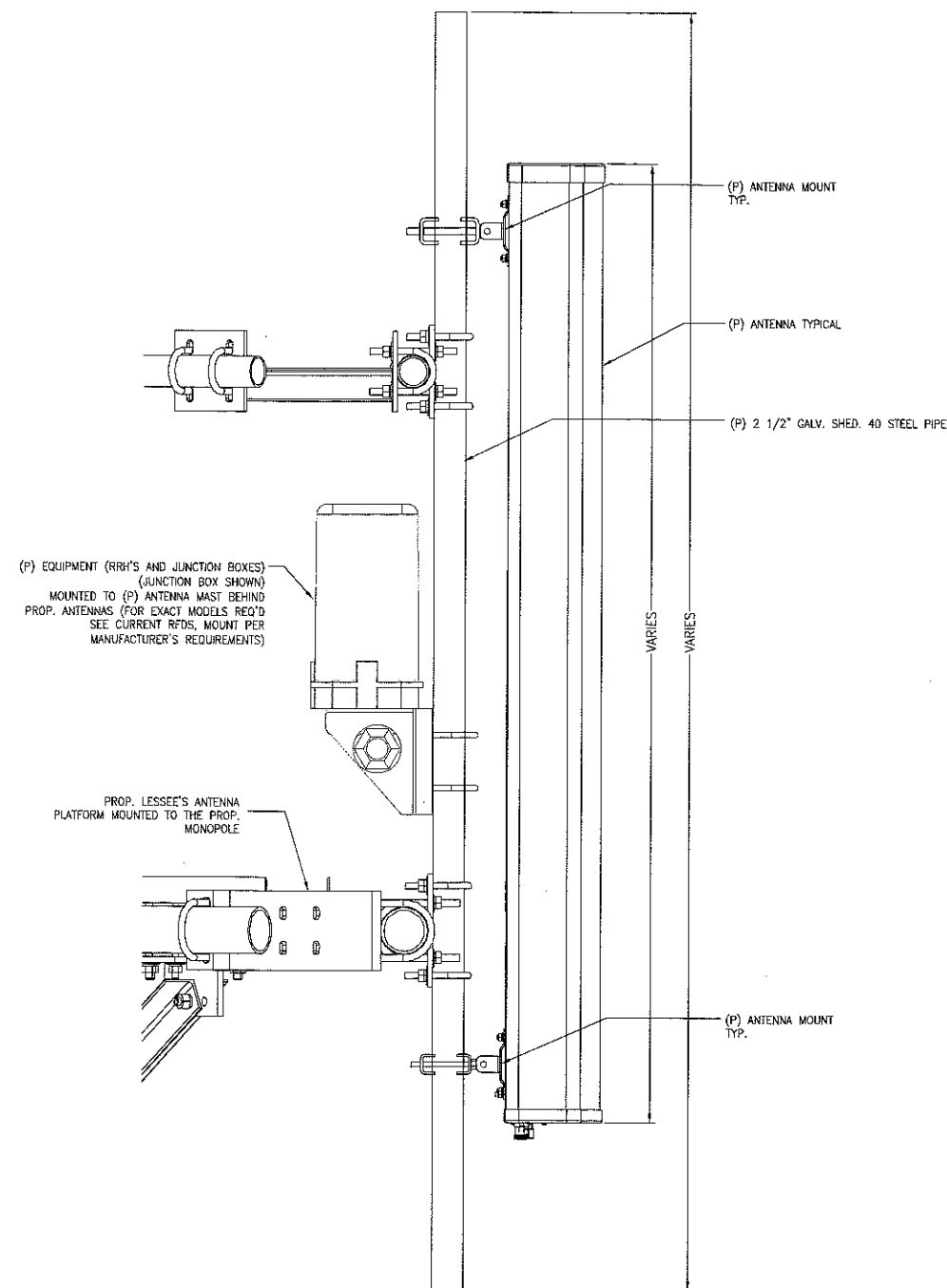
30 HUNTOON MEMORIAL HWY.
LEICESTER, MA 01524

SHEET TITLE

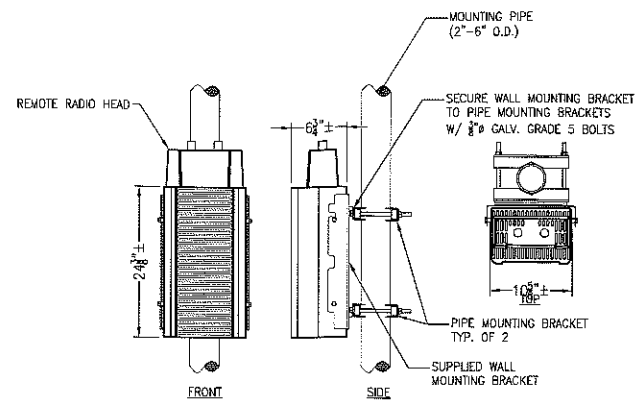
EXISTING CONDITIONS PLAN

SHEET NUMBER

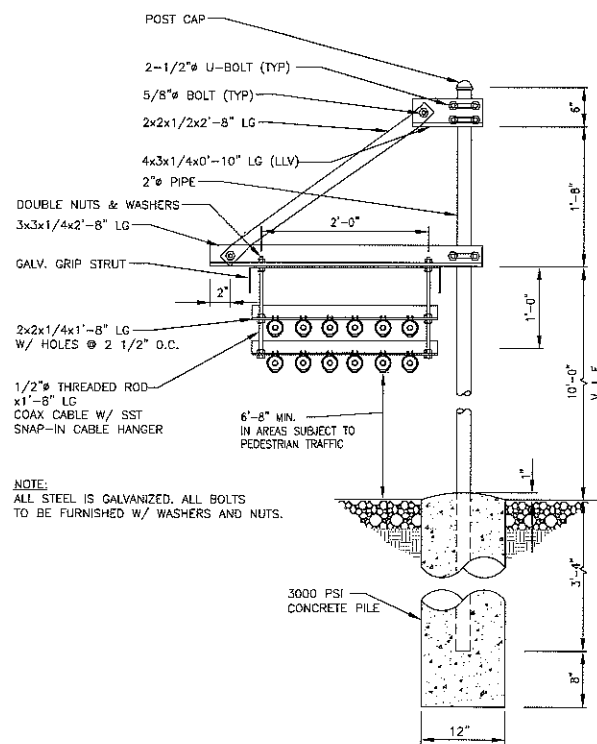
C-1



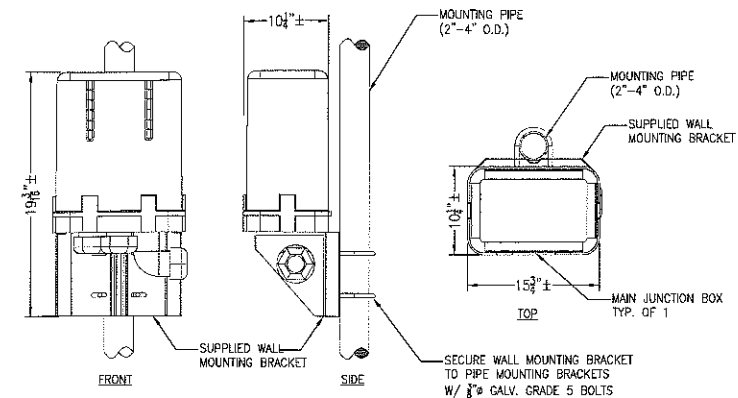
1
Z-3
TYP. ANTENNA/EQUIPMENT MOUNTING DETAIL
SCALE: 1/2" = 1'-0"



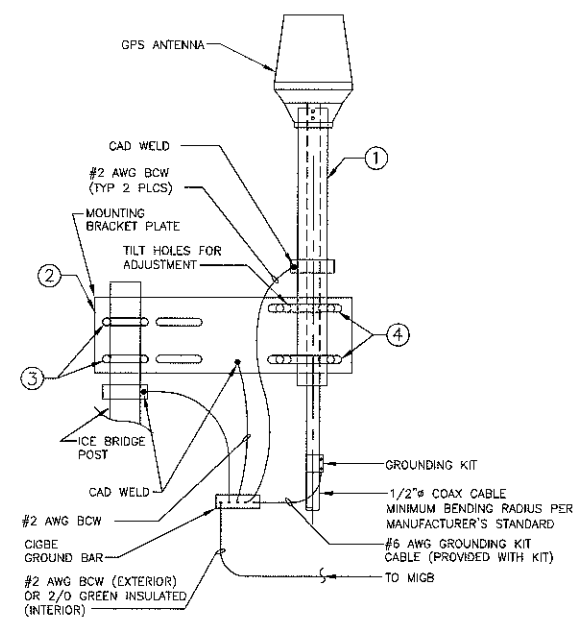
2
Z-3
RRH PIPE MOUNTING TYP.
SCALE: N.T.S.



4
Z-3
COAX ICE BRIDGE TYP.
SCALE: 1" = 1'-0"



3
Z-3
MAIN JUNCTION BOX MOUNTING TYP.
SCALE: N.T.S.



5
Z-3
GPS ANTENNA MOUNTING TYP.
SCALE: N.T.S.



Marc Chretien

APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A/E _____

PROJECT NO: NA

DRAWN BY: DD

CHECKED BY: MRC

SUBMITTALS

0 08/17/15 ZONING

LEICESTER 4

30 HUNTOON MEMORIAL HWY.
LEICESTER, MA 01524

SHEET TITLE

DETAILS

SHEET NUMBER

Z-3