

Leicester Zoning Board of Appeals

PERMIT TYPE: ☒ Special Permit ☒ Variance

Date: 12/13/17

2017 DEC 14 AM 11:31

Owner Information			
Owner Name:	Jeremy Wooden		
Owner Signature:	Jeremy Wooden		
Address:	29 Rawson Drive Leicester, MA 01524		
Phone:	(978) 273-5709	Fax:	N/A
Email:	bhcdiecast@aol.com		
Applicant Information			
Applicant Name:	Same		
Applicant Signature:	as		
Address:	above		
Phone:		Fax:	
Email:			
Project Information			
Project Address:	29 Rawson Drive Leicester, MA 01524		Zoning District:
Assessors Map & Parcel #	28A - D6	Deed Reference (Book & Page):	44176 / pg 331
Applicable Zoning Bylaw Section(s):	6.4.03 (variance) 1.4.02 (special permit)		
Brief Description of Application:			
<p>This application is for an addition which will involve taking down our existing living room and utility room which are currently on an old block foundation. These rooms will be rebuilt on a proper foundation using the existing footprint facing the water and along the side facing my neighbor. In addition we would like to expand the footprint towards the road to include the addition of a small two car garage with living space above.</p>			
State Briefly Reasons for Variance or Special Permit:			
<p>See attached memo</p>			

Attach additional pages as necessary to fully describe the application.

To: Leicester Zoning Board of Appeals

RE: Application for Special Permit/Variance for 29 Rawson Drive

RECEIVED
2017 DEC 14 AM 11:31
CLERK'S OFFICE
LEICESTER MASS.

When my wife and I purchased our property at 29 Rawson Drive in April of 2009 we did not yet have any children and had not yet decided on starting a family. We had always wanted to live on the water so that if we did decide to have children there would be plenty of outdoor activities. We were unaware that the property was zoned as agricultural and figured that we would be able to add on down the road if we needed additional space. Unbeknownst to us when we purchased the home, there was a pending lawsuit against the lake association. Soon after learning of the lawsuit, our assessment increased by 30k and a snapshot was taken on this new figure of which our portion of the lawsuit was based upon. We loved the property but struggled with the financial decision we had made when we purchased the home just after the overinflated market crashed, when home prices were dropping but still high, and now we owed an additional 25k as a result of the lawsuit. Despite the unfortunate financial setbacks, over time we grew to love our neighbors, our lake and just relaxing in our back yard. We decided to start a family and three children later we have outgrown our 2 bedroom home. Our daughter is in Kindergarten and Julian our middle child will start preschool next year at Leicester Primary school. My daughter loves her school and her teachers and my son cannot wait to start and ride the bus with his big sister. We have made friends around the lake and in the summer make frequent stops in our boat for the children to talk to their new friends. The house and the town have grown on us and we are applying for this variance as we are simply out of room. In addition to the shortage of bedrooms, we have had to pay for a storage unit for over 8 years as the house does not have an attic or a basement.

Due to the SA zoning and the small lot we are limited in options and unable to work with the current footprint. The 40 foot setbacks currently land somewhere inside our existing home. The proposed addition will use the same footprint on 3 sides and will not be expanded on the waterfront side of the

property. The expansion will include a small garage with living space above on the road side of the property. The lot across the street is wooded facing our property and the only neighbor with visibility to this addition has no objections to the proposed build. Furthermore, our living room and utility room are currently sitting on an old block foundation. As part of this project these will be taken down and rebuilt on a proper foundation which will strengthen the home and eliminate moisture in the crawl space. The utility room will be expanded into the new garage space in order to allow for an additional furnace which will deliver heat to floor registers which will be installed on the entire lower level (currently we only have ceiling heat on the first floor which quickly escapes to the second level). These improvements in addition to the proposed garage and living space above will allow our family to stay in our home for many years.

Thank you for your consideration,

The Woodens (Jeremy, Adrianna, Gianna, Julian and Rowan)



Town Of Leicester
OFFICE OF THE INSPECTOR OF CODES
3 Washburn Square
Leicester, Massachusetts 01524-1333
Phone: (508) 892-7003 Fax: (508) 892-1163
Building & Zoning Enforcement
Jeff Taylor

Plumbing & Gas Inspector

John P. Dolen

Wiring Inspector

John Markley

Date: November 21, 2017

Jeremy Wooden
29 Rawson Drive
Leicester, Ma. 01524

Re: garage addition

Dear Mr. Wooden;

You have applied for a permit to build an addition with garage under located at 29 Rawson drive. Your property is in the Suburban Agricultural zoning district. In this district you need forty (40) feet in all directions from property lines to be in compliance with setback requirements.

Your plot plan shows the addition will be 24' 9" from the front property line and 11' 8" from the side property line. The home appears to already be in the setback area which means the house is a pre-existing non-conforming structure.

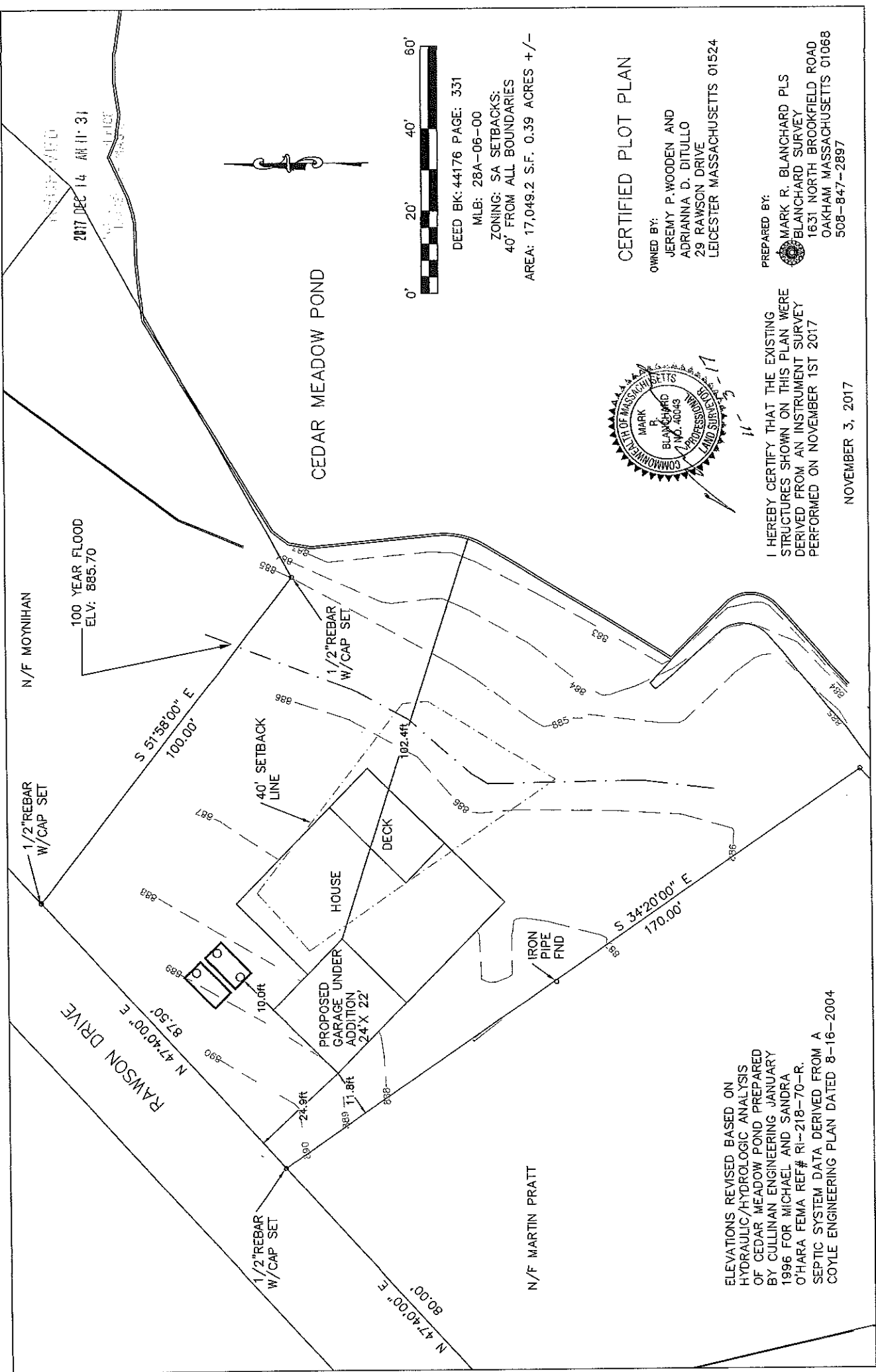
At this time I Must deny your application based on the aforementioned setback information. You will need to apply with the Zoning Board of Appeals for a special permit to extend your existing home and a variance to the setback requirements.

Please see the town clerk for the applications for a special permit and a variance and follow the attached directions.

If you have any questions regarding this letter please direct those to this office.

Jeff Taylor, CBO
Inspector of Buildings
Zoning Enforcement Officer

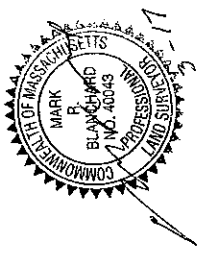
CC
Zoning Board of Appeals



CEDAR MEADOW POND



DEED BK: 44176 PAGE: 331
 MLB: 28A-06-00
 ZONING: SA SETBACKS:
 40' FROM ALL BOUNDARIES
 AREA: 17,049.2 S.F. 0.39 ACRES +/-



CERTIFIED PLOT PLAN

OWNED BY:
 JEREMY P. WOODEN AND
 ADRIANNA D. DITULLO
 29 RAWSON DRIVE
 LEICESTER MASSACHUSETTS 01524

PREPARED BY:
 MARK R. BLANCHARD PLS
 BLANCHARD SURVEY
 1631 NORTH BROOKFIELD ROAD
 OAKHAM MASSACHUSETTS 01068
 508-847-2897

I HEREBY CERTIFY THAT THE EXISTING
 STRUCTURES SHOWN ON THIS PLAN WERE
 DERIVED FROM AN INSTRUMENT SURVEY
 PERFORMED ON NOVEMBER 1ST 2017

NOVEMBER 3, 2017

ELEVATIONS REVISED BASED ON
 HYDRAULIC/HYDROLOGIC ANALYSIS
 OF CEDAR MEADOW POND PREPARED
 BY CULLINAN ENGINEERING JANUARY
 1996 FOR MICHAEL AND SANDRA
 O'HARA FEMA REF# RI-218-70-R.
 SEPTIC SYSTEM DATA DERIVED FROM A
 COYLE ENGINEERING PLAN DATED 8-16-2004

REVISIONS	BY

J.R. ASSOCIATES
DESIGN SERVICES
23 CORDES ROAD
LESTER, MA 01546
(508) 464-4371

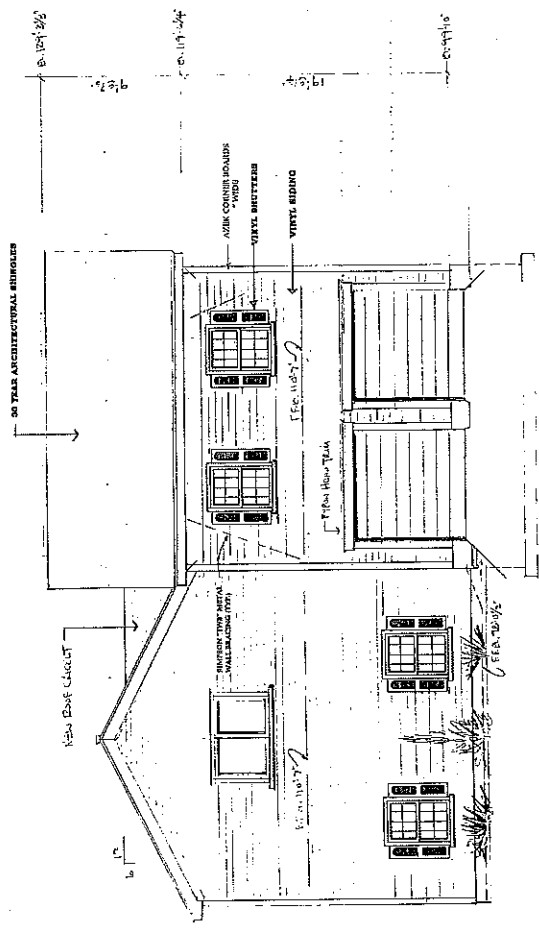


ELEVATIONS

JEREMY WOODEN
29 RAWSON DRIVE
LESTER, MA

DATE 12/14/17	BY J.R.
SCALE 1/4" = 1'-0"	PROJECT 29 RAWSON DRIVE
SHEET A-1	
OF 5	

RECEIVED
2017 DEC 14 AM 11:31
J.R. ASSOCIATES



FRONT ELEVATION
(1/4" = 1'-0")

NO.	DATE	BY	REVISIONS
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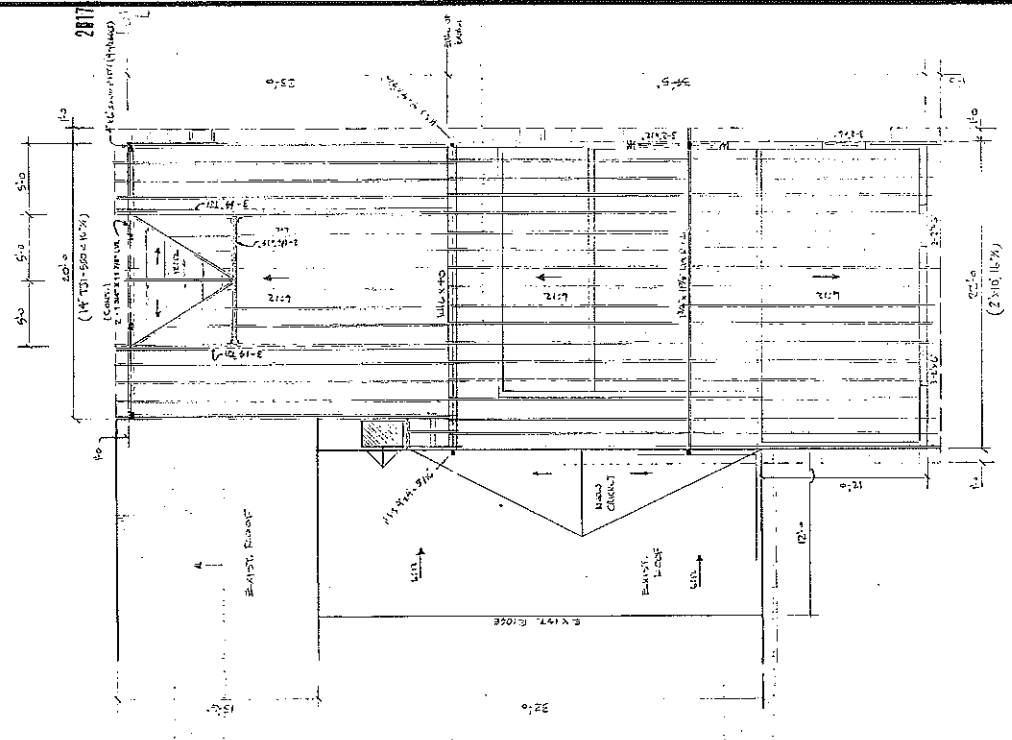
J.R. ASSOCIATES
 DESIGN SERVICES
 10001 N. 10TH AVE.
 SUITE 100
 DENVER, CO 80231

ROOF FRAMING PLAN
 ELEVATIONS

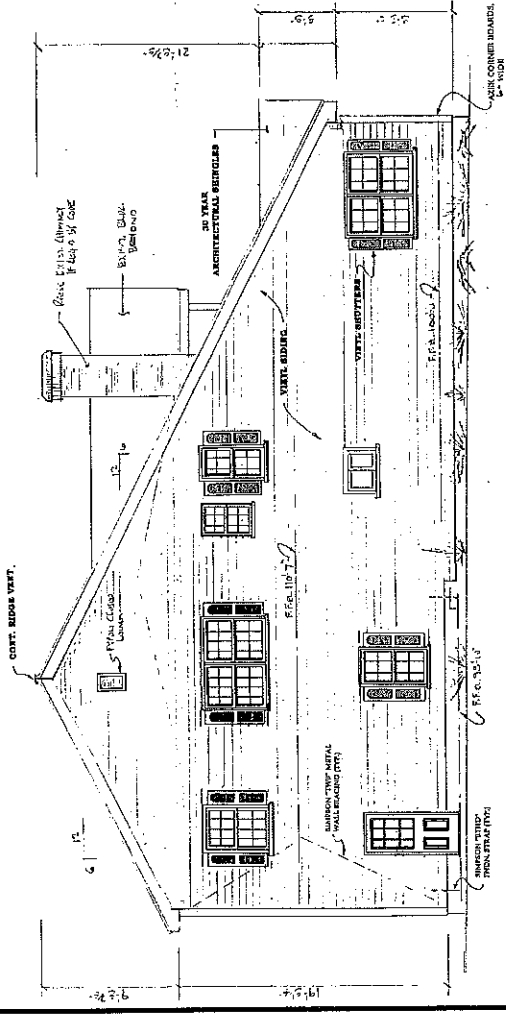
JEREMY WOODEN
 29 RAMSON DRIVE
 LEICESTER, MA

2017 DEC 14 AM

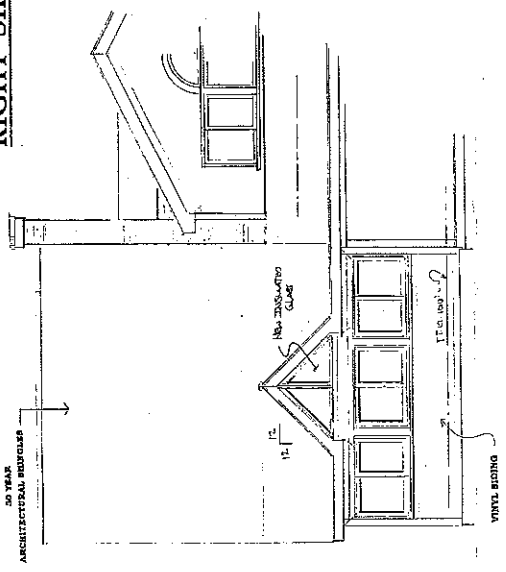
A-2
 OF 5 SHEETS



ROOF FRAMING PLAN



RIGHT SIDE ELEVATION



REAR ELEVATION

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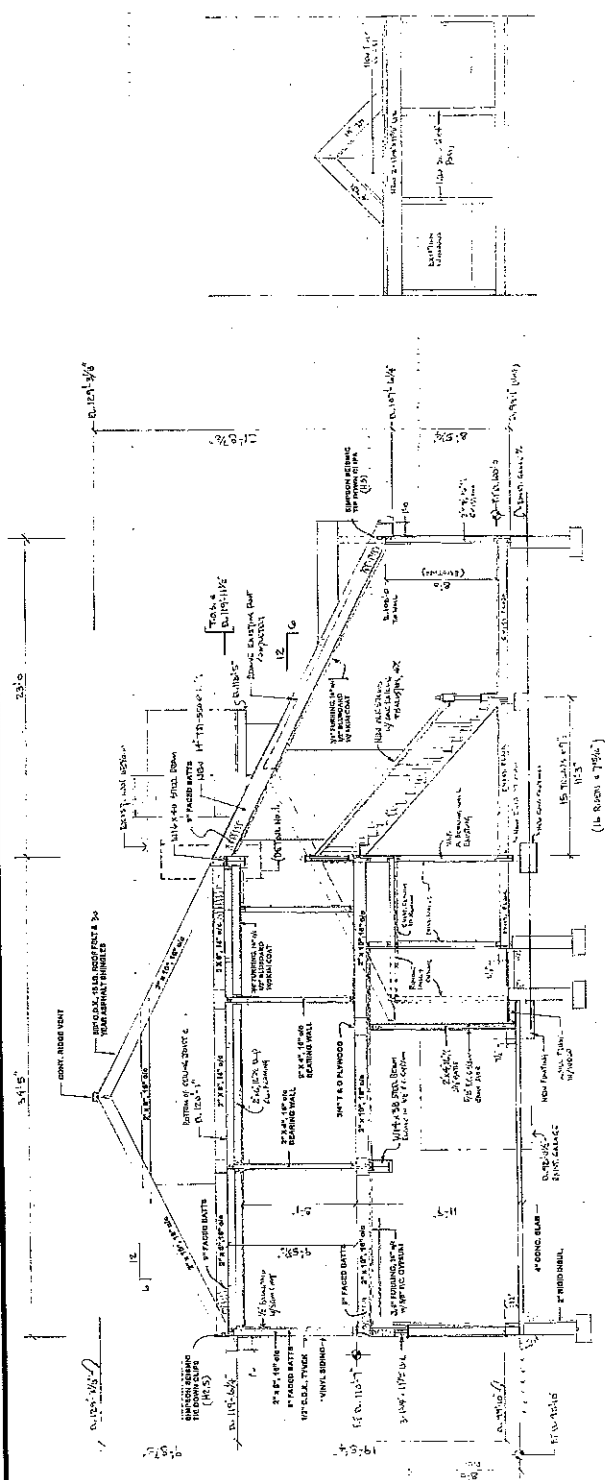
DESIGN SERVICES
J.R. ASSOCIATES
13 JESSICA ROAD
PO BOX 100
LEICESTER, MA 01545
TEL: 413-526-1234
FAX: 413-526-1235

BUILDING SECTIONS
WINDOW SCHEDULE
DOOR SCHEDULE
DETAILS

JEREMY WOODEN
29 RAWSON DRIVE
LEICESTER, MA

DATE: 5-14-15
DRAWN BY: JAW
CHECKED BY: JAW
SHEET: A-4
OF: 5

2017 DEC 14 AM 11:32
11:06
11:06



DOOR TYPES

NO.	TYPE	DESCRIPTION
1	1	1. JEREMY WOODEN
2	2	2. 29 RAWSON DRIVE
3	3	3. LEICESTER, MA
4	4	4. 413-526-1234
5	5	5. 413-526-1235
6	6	6. 13 JESSICA ROAD
7	7	7. PO BOX 100
8	8	8. LEICESTER, MA 01545
9	9	9. TEL: 413-526-1234
10	10	10. FAX: 413-526-1235

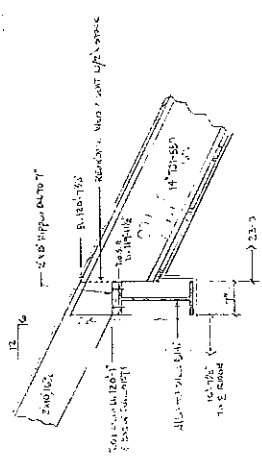
WINDOW SCHEDULE

NO.	UNIT	SIZE	QTY.	TYPE	REMARKS	LOCATION
1	1	1	1	1	1	1
2	2	2	2	2	2	2
3	3	3	3	3	3	3
4	4	4	4	4	4	4
5	5	5	5	5	5	5
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9	9	9	9	9	9	9
10	10	10	10	10	10	10

DOOR SCHEDULE

NO.	UNIT	SIZE	QTY.	TYPE	REMARKS	LOCATION
1	1	1	1	1	1	1
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5	5	5	5	5	5	5
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SECTION A



DETAIL NO. 1

REVISIONS	BY

J.R. ASSOCIATES
DESIGN SERVICES
60 GARDEN ROAD
ROSELAND, MA 01968
(508) 883-5121

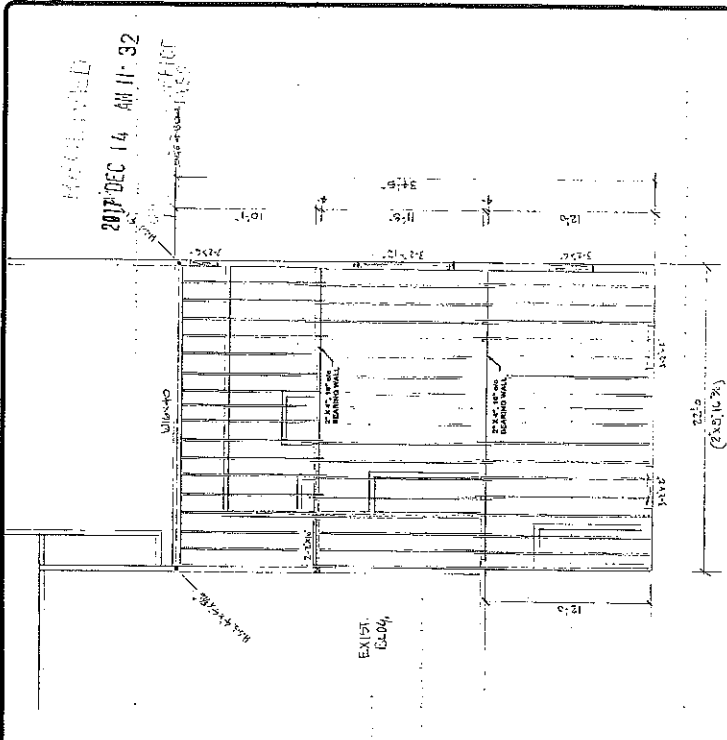


FOUNDATION PLAN &
WALL SECTIONS
SECOND FLOOR FRAMING
CEILING JOIST LAYOUT
NOTES

JEREMY WOODEN
29 RAWSON DRIVE
LEICESTER, MA.

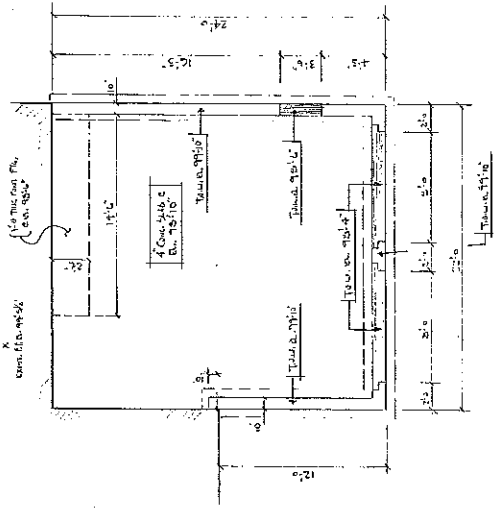
PROJECT
SHEET
DATE
JOB NO.

A-5
OF 5
SHEET



SECOND FLOOR FRAMING

1/4"=1'-0"

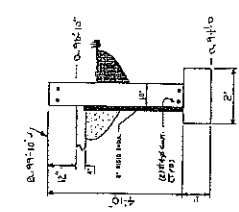


FOUNDATION PLAN

1/4"=1'-0"

FOUNDATION NOTES

1. FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE FOUNDATION DESIGN AND CONSTRUCTION MANUAL (FDCM).
2. ALL FOUNDATION WALLS SHALL BE MINIMUM 16" THICK UNLESS OTHERWISE NOTED.
3. ALL FOUNDATION WALLS SHALL BE MINIMUM 12" HIGH ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
4. ALL FOUNDATION WALLS SHALL BE MINIMUM 12" HIGH ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
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15. ALL FOUNDATION WALLS SHALL BE MINIMUM 12" HIGH ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.



TYPICAL WALL SECTION

CEILING JOIST LAYOUT

1/4"=1'-0"

1. CEILING JOIST LAYOUT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CEILING JOIST LAYOUT MANUAL (CJLM).
2. ALL CEILING JOISTS SHALL BE MINIMUM 2x12 UNLESS OTHERWISE NOTED.
3. ALL CEILING JOISTS SHALL BE MINIMUM 12" HIGH ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
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14. ALL CEILING JOISTS SHALL BE MINIMUM 12" HIGH ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
15. ALL CEILING JOISTS SHALL BE MINIMUM 12" HIGH ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.

TYPICAL WALL SECTION