

Property Use
Existing Use: Residential
Proposed Additional Use: Parking Lot

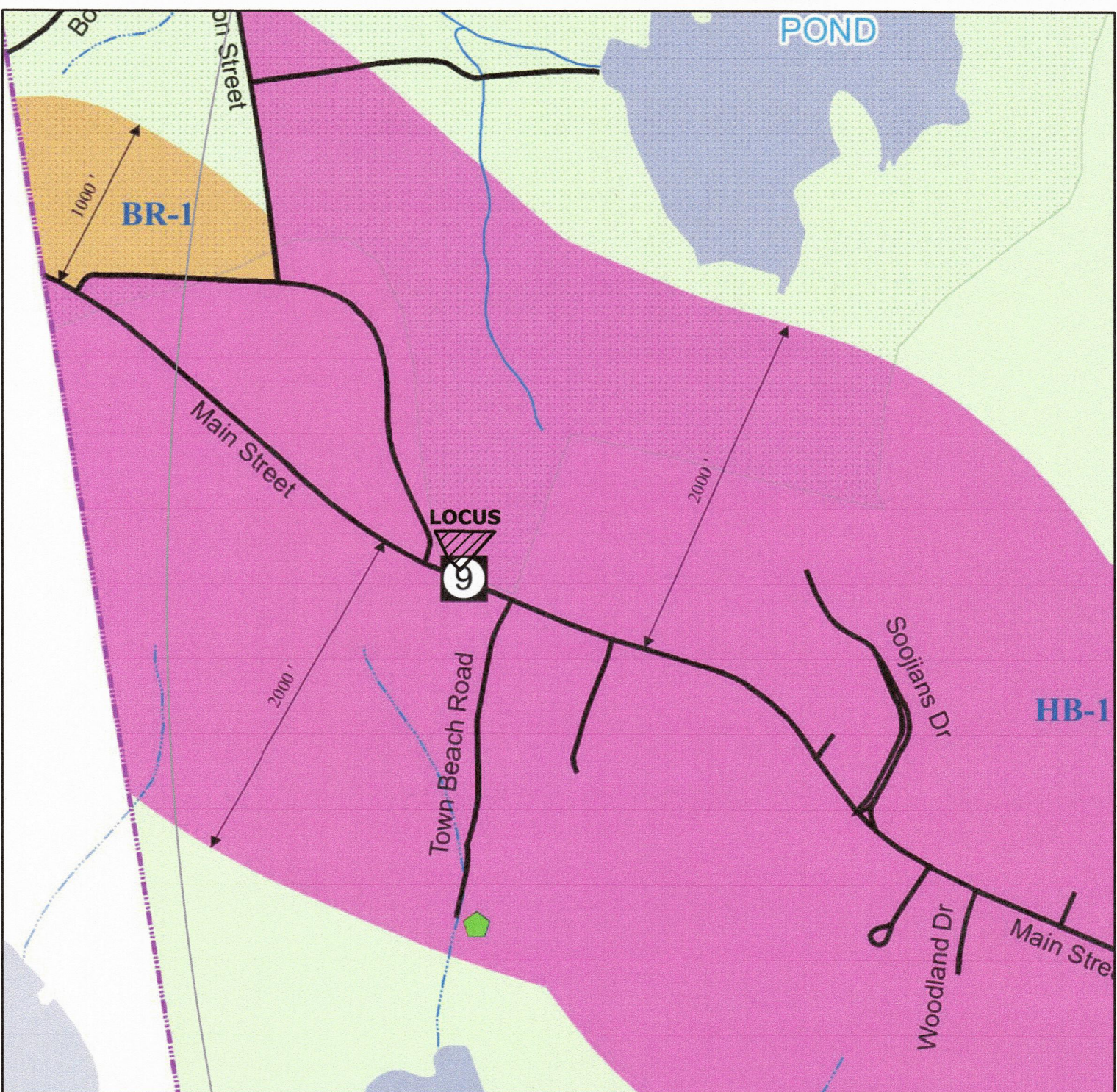
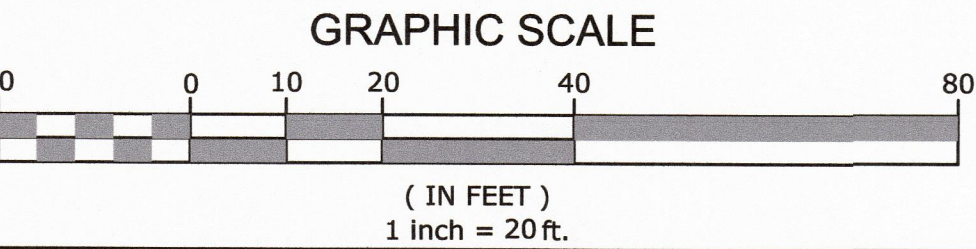
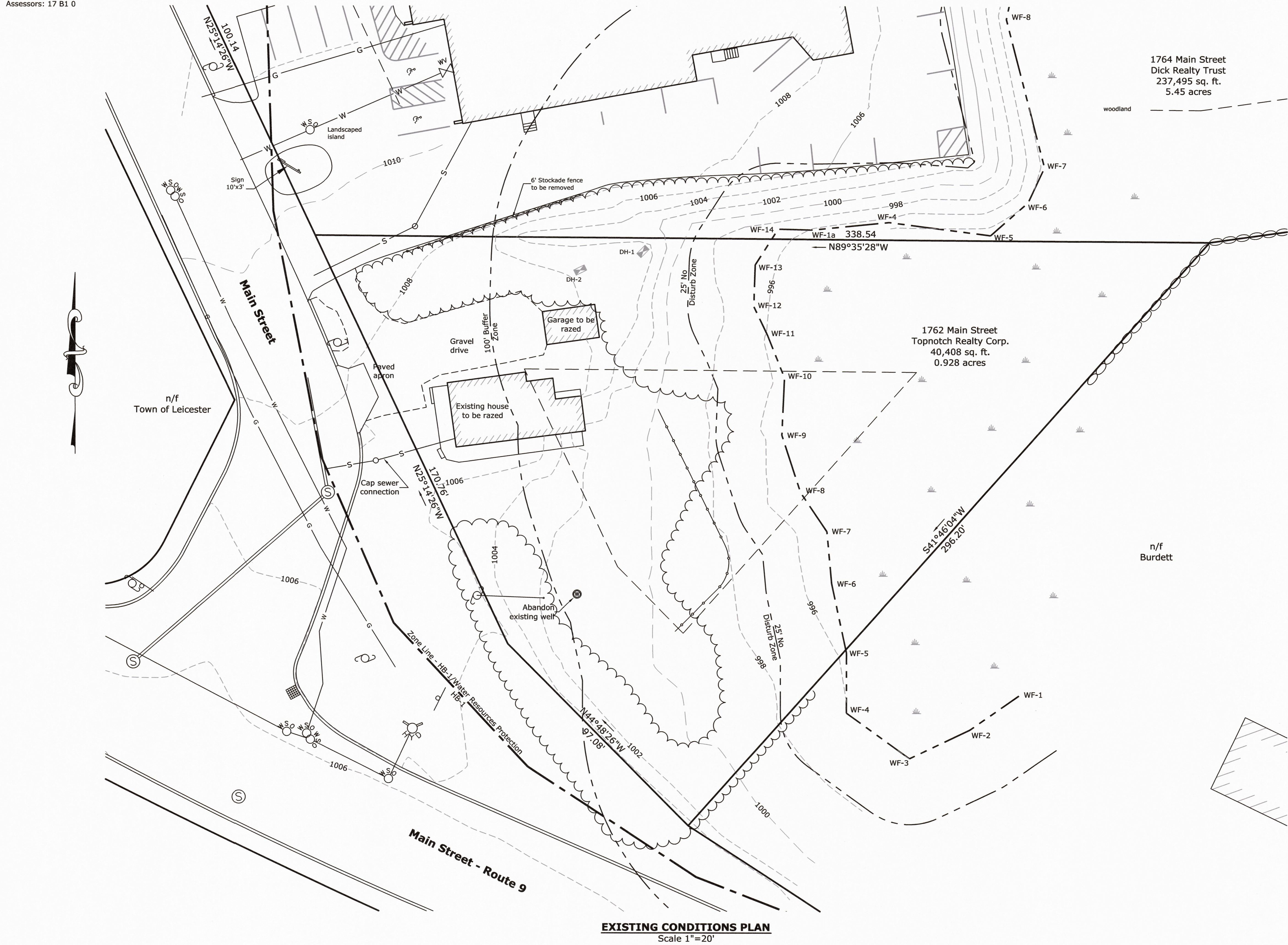
Lot Impervious Coverage: 1,917 ft² existing
9,243 ft² proposed

References

Deed: Book 32332 Page 120

Plans: Plan Book 390 Plan 41
Route 9, 1898 State Highway Layout
Route 9, 1982 State Highway Alteration

Assessors: 17 B1 0



LOCUS PLAN
Scale 1"=800'

LEGEND

- SW STONE WALL
- IPF IRON PIN FOUND
- DHF DRILL HOLE FOUND
- BOUND TO BE SET
- BOUND FOUND
- DRAIN MANHOLE
- CATCH BASIN
- UTILITY POLE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- LIGHT - WALL MOUNTED
- LIGHT - POLE MOUNTED
- SIGN
- ELECT., TEL. & CABLE
- WATER LINE
- SEWER LINE
- x WF-# WETLAND FLAG

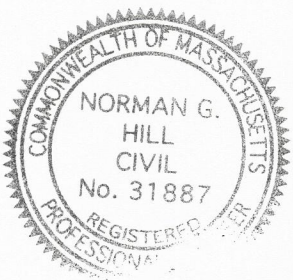
Soil Tests

DH-1
0"-24" A horizon 10yr 3/2 sandy loam
24"-36" B horizon 10yr 6/6 sandy loam
36"-72" C horizon 10yr 6/2 sandy loam

No mottles
No water present
Elevation = 1004.2
Groundwater = 998.2

DH-1
0"-24" A horizon 10yr 3/2 sandy loam
24"-36" B horizon 10yr 6/6 sandy loam
36"-72" C1 horizon 10yr 6/4 sandy loam
72"-84" C2 horizon 10yr 6/2 sandy loam

No mottles
No water present
Elevation = 1006.0
Groundwater = 999.0



DATE: 6-25-19
NORMAN G. HILL, PE #31887

Existing Conditions Plan
for
Parking Expansion
located at
1762 Main Street
Leicester, MA

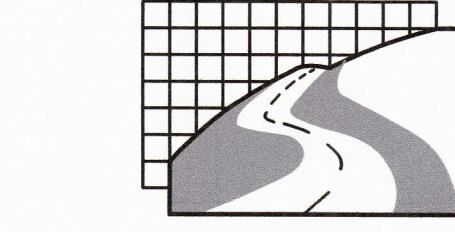
Prepared For
Cultivate Holdings, LLC
P.O. Box 812006
Wellesley, MA 02482

Owned By
Topnotch Realty Corporation
208 Pine Street
Leicester, MA 01524

Scale: 1" = 20'

REVISIONS			
No.	Date	Design	Checked
1	6/25/19	MHG	NGH
2			
3			
4			
5			
6			
7			

Field By:	JL/BH	3/19
Designed By:	MHG	4/19
Drawn By:	MHG	4/19
Checked By:	NGH	4/19



Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

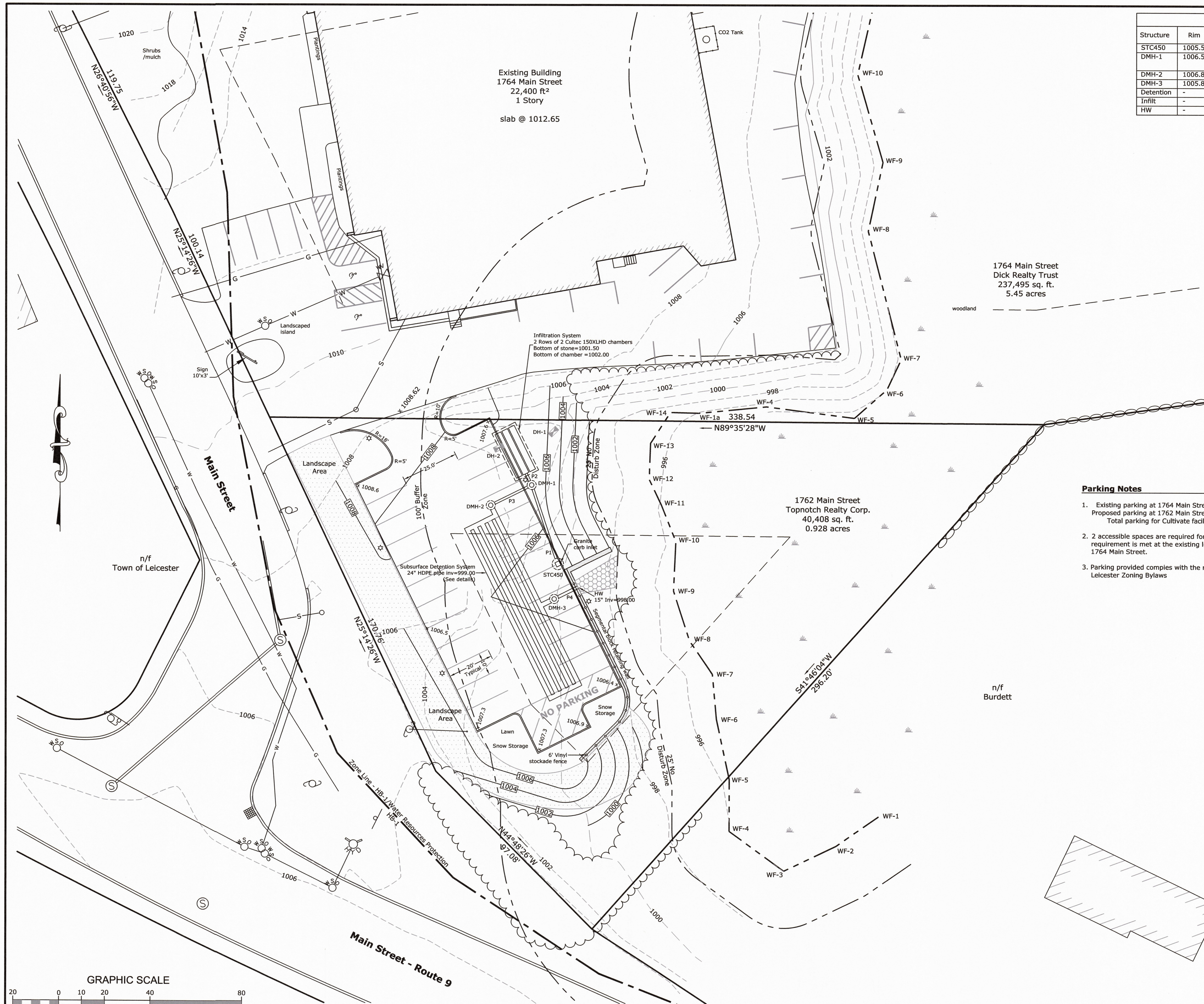
Bellingham
167 Hartford Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

www.landplanninginc.com

Date	April 12, 2019	Sheet No.
Job No.	G9370	1



Schedule of Drainage Structures									
Structure	Rim	Inlet			Outlet			Description of Structure	
		Pipe	Dia.	Elev.	Pipe	Dia.	Elev.		
STC450	1005.50	-	-	-	P1	12	1002.50	Stormceptor STC 450I	
DMH-1	1006.50	P1	12	1002.00	P2	6	1002.00	Precast conc manhole	
					P3	12	1002.60		
DMH-2	1006.82	P3	12	1001.00	Detention	24	999.00	Precast conc manhole	
DMH-3	1005.84	-	-	999.00	P4	15	998.15	See detail for weir	
Detention	-	-	-	999.00	-	-	-	HDPE Pipe detention	
Infiltr	-	P2	6	1002.00	-	-	-	Cultec infiltration system	
HW	-	-	-	-	P4	15	998.00	Outlet at kettle hole	

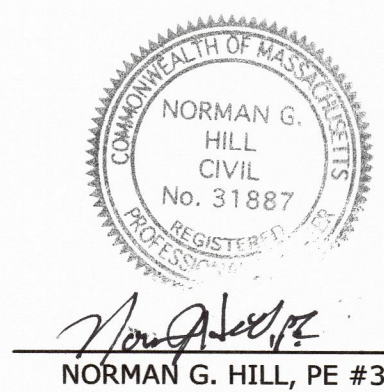
Drainage Pipe Schedule							
Pipe	From	To	Length	Slope	Dia.	Description	
P1	STC450	DMH-1	32	1.56%	12"	HDPE	
P2	DMH-1	Infiltration	4	Flat	6"	HDPE	
P3	DMH-1	DMH-2	16	10.0%	12"	HDPE	
P4	DMH-3	HW	10	1.50%	12"	HDPE	

- General Notes**
- All elevations refer to NAVD 1988 datum (scaled from USGS maps).
 - No portion of the site is located within the limits of the flood zone as shown on the FIRM Map #25027C0590E dated 07/04/11.
 - All underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.

- LEGEND**
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- Parking Notes**
- Existing parking at 1764 Main Street = 26 Spaces
Proposed parking at 1762 Main Street = 24 Spaces
Total parking for Cultivate facility = 50 spaces
 - 2 accessible spaces are required for 50 spaces. The accessible space requirement is met at the existing lot at the front of the building at 1764 Main Street.
 - Parking provided complies with the requirements of Section 5.1 of the Leicester Zoning Bylaws

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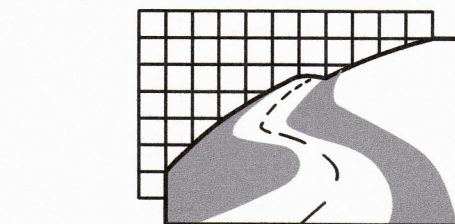
DATE: 6-25-19
NORMAN G. HILL, PE #31887

**Site Plan
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Parking Expansion
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Leicester, MA**

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