

LOCUS MAP
NOT TO SCALE

SITE PLANS FOR SKYVIEW ESTATES MAIN STREET LEICESTER, MA 01611

FOR REGISTRY USE ONLY

AGENT:
RE/MAX PATRIOT REALTY
55 MEAD STREET
LEOMINSTER, MA 01453

APPLICANT
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

OWNER
651 MAIN STREET, LLC
55 MEAD STREET
LEOMINSTER, MA 01453

CIVIL ENGINEER / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801

ENVIRONMENTAL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR BLDG 2 UNIT H
EXETER NH 03833-7507

LEICESTER PLANNING BOARD WAIVERS REQUESTED

SECTION V.A.1.f – MINIMUM CENTER LINE RADII, 200' MIN. REQUIRED TO ALLOW CENTER LINE RADIUS OF 120' AND 135'

SECTION V.A.3.a – MAXIMUM STREET GRADE 10% TO ALLOW FOR A STREET GRADE OF NO MORE THAN 12%

SECTION V.B.1A – REINFORCED CONCRETE STORM DRAINAGE PIPING REQUIRED A WAIVER IS REQUESTED TO UTILIZE HIGH DENSITY POLYPROPYLENE (HDPE) DRAINAGE LINES OR APPROVED EQUAL WITHIN THE DRAINAGE SYSTEM OF THE SUBDIVISION.

SECTION V.I.C.4 – VELOCITIES SHALL BE BETWEEN 2 AND 10 FEET PER SECOND A WAIVER IS REQUESTED TO ALLOW WATER VELOCITY WITHIN THE CLOSED STORMWATER SYSTEM FROM 11.92 FPS TO 14.0 FPS WHICH IS LESS THAN THE MANUFACTURER'S RECOMMENDATION FOR SCOUR WITHIN THE PIPING NETWORK.

SECTION V.I.E.3 – STREET LIGHTING REQUIRED TO ALLOW STREET LIGHTING TO BE INSTALLED AS PRIVATE DRIVEWAY LIGHT

SECTION V.I.L STREET TREES SHALL BE INSTALLED ON BOTH SIDES OF THE ROADWAY TO ALLOW FOR STREET TREE PLANTINGS TO BE INSTALLED AS SHOWN ON THE PLANS

SECTION V.I.G.1 – SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN A SUBDIVISION A WAIVER IS REQUESTED TO INSTALL SIDEWALKS ON ONLY 1 SIDE OF THE ROADWAY DUE TO THE STEEP TERRAIN OF THE PROPOSED SUBDIVISION AND LACK OF CONNECTION TO A MUNICIPAL SIDEWALK ALONG MAIN STREET (AKA ROUTE 9)

GENERAL NOTES

- THE OWNER OF RECORD:
LOT 21-B5.1
651 MAIN STREET, LLC
55 MEAD STREET
LEOMINSTER, MA 01453
BOOK 66895, PAGE 224
- ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST
LOT SIZE: 22,500 SF
LOT FRONTAGE: 100 FT.
FRONT SETBACK: 25 FT.
SIDE SETBACK: 15 FT.
REAR SETBACK: 25 FT.
- EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.

LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
COVER	C	09/01/22	-
EXISTING CONDITIONS	V-101	03/08/21	-
TYPICAL BUILDING KEY PLANS	C-001	09/01/22	-
VEGETATION MANAGEMENT PLAN	C-002	09/01/22	-
SITE PREPARATION PLAN - PHASE 1A	C-100	09/01/22	-
SITE PREPARATION PLAN - PHASE 1B	C-100A	09/01/22	-
SITE PREPARATION PLAN - PHASE 1C	C-100B	09/01/22	-
SITE PREPARATION PLAN - PHASE 2	C-100C	09/01/22	-
OVERALL SITE LAYOUT KEY PLAN	C-101	09/01/22	-
ENLARGED SITE LAYOUT PLAN	C-101A	09/01/22	-
ENLARGED SITE LAYOUT PLAN	C-101B	09/01/22	-
ENLARGED SITE LAYOUT PLAN	C-101C	09/01/22	-
OVERALL GRADING & DRAINAGE PLAN	C-102	09/01/22	-
GRADING & DRAINAGE PLAN	C-102A	09/01/22	-
GRADING & DRAINAGE PLAN	C-102B	09/01/22	-
GRADING & DRAINAGE PLAN	C-102C	09/01/22	-
EARTH MOVING SUMMARY PLAN	C-102D	09/01/22	-
TEST PIT SUMMARY PLAN	C-102E	09/01/22	-
OVERALL UTILITIES PLAN	C-103	09/01/22	-
UTILITIES PLAN	C-103A	09/01/22	-
UTILITIES PLAN	C-103B	09/01/22	-
UTILITIES PLAN	C-103C	09/01/22	-
ROADWAY PROFILE - SKYVIEW DRIVE	C-201	09/01/22	-
ROADWAY PROFILES - KETTLE LANE & EMERGENCY ACCESS	C-202	09/01/22	-
DETAILS	C-501	09/01/22	-
DETAILS	C-502	09/01/22	-
DETAILS	C-503	09/01/22	-
DETAILS	C-504	09/01/22	-
DETAILS	C-505	09/01/22	-
DETAILS	C-506	09/01/22	-
DETAILS	C-507	09/01/22	-

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: NONE DWG.: C-2889-01_Cover

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



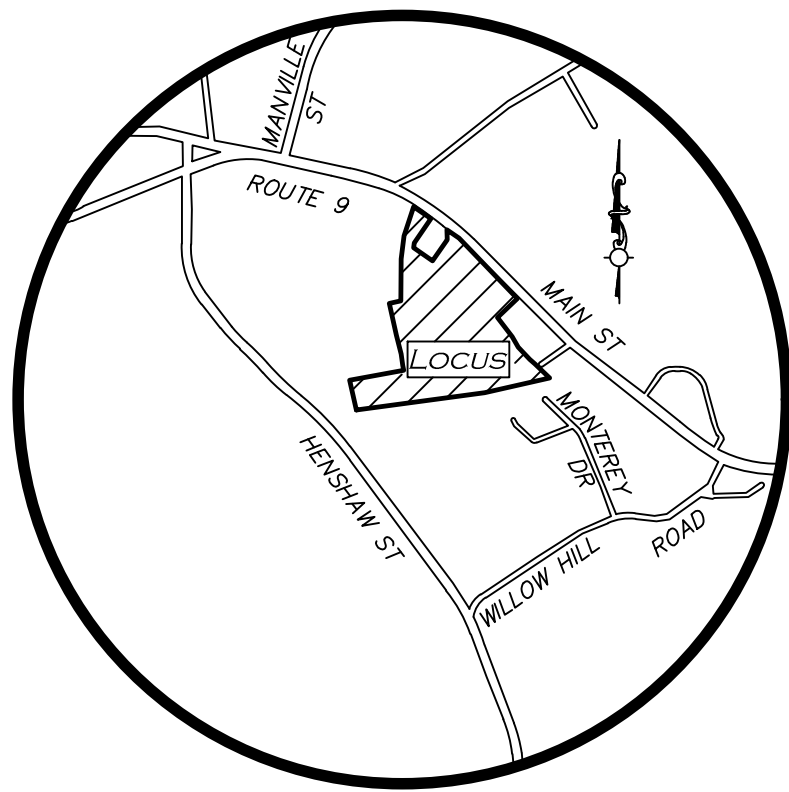
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
COVER	C
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ISSUED FOR SITE PLAN APPROVAL: SEPTEMBER 1, 2022

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LOCUS MAP
(NOT TO SCALE)

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LOCUS REFERENCES

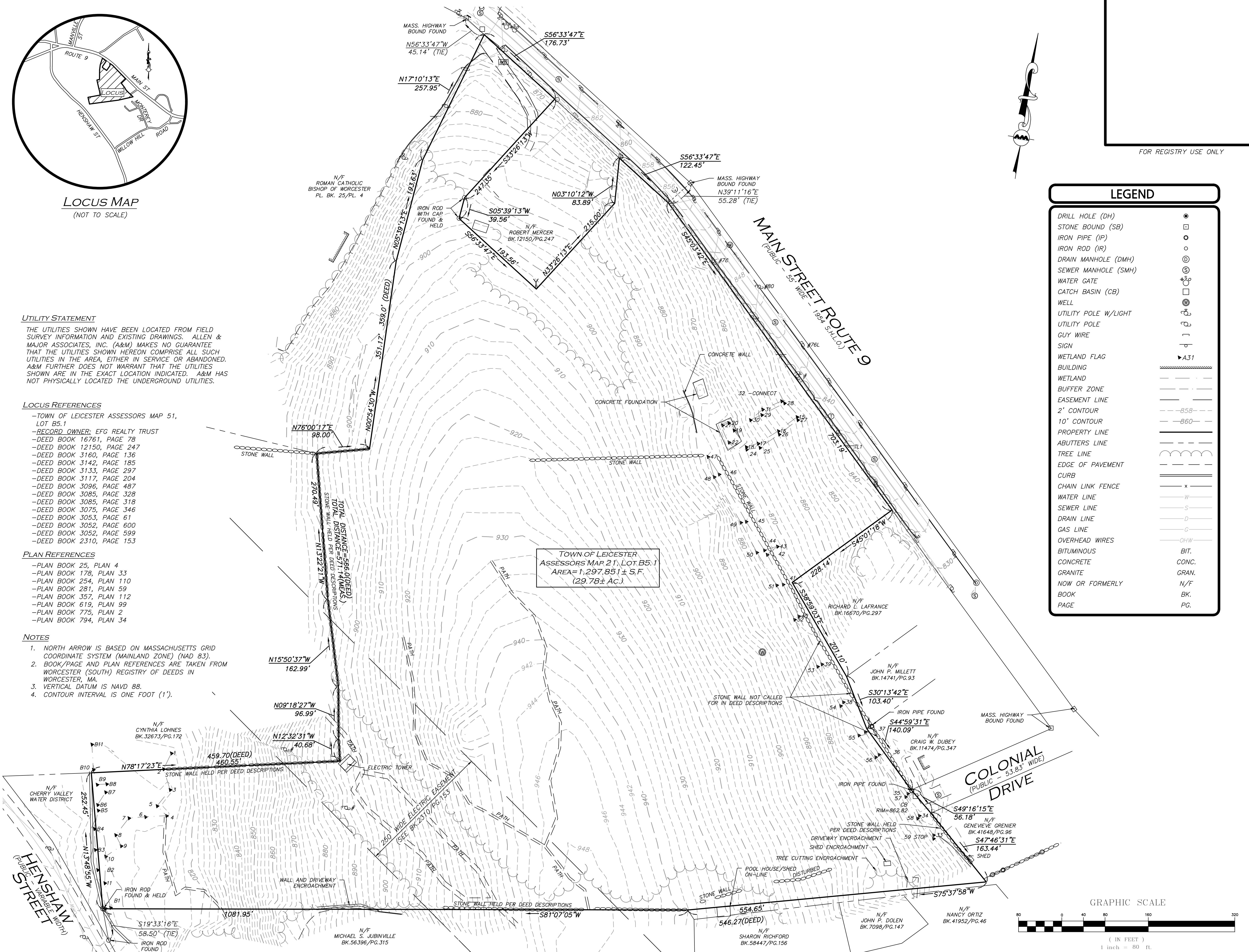
- TOWN OF LEICESTER ASSESSORS MAP 51, LOT B5.1
- RECORD OWNER: EFG REALTY TRUST
- DEED BOOK 16761, PAGE 78
- DEED BOOK 12150, PAGE 247
- DEED BOOK 3160, PAGE 136
- DEED BOOK 3142, PAGE 185
- DEED BOOK 3133, PAGE 297
- DEED BOOK 3117, PAGE 204
- DEED BOOK 3096, PAGE 487
- DEED BOOK 3085, PAGE 328
- DEED BOOK 3085, PAGE 318
- DEED BOOK 3075, PAGE 346
- DEED BOOK 3053, PAGE 61
- DEED BOOK 3052, PAGE 600
- DEED BOOK 3052, PAGE 599
- DEED BOOK 2310, PAGE 153

PLAN REFERENCES

- PLAN BOOK 25, PLAN 4
- PLAN BOOK 178, PLAN 33
- PLAN BOOK 254, PLAN 110
- PLAN BOOK 281, PLAN 59
- PLAN BOOK 357, PLAN 112
- PLAN BOOK 619, PLAN 99
- PLAN BOOK 775, PLAN 2
- PLAN BOOK 794, PLAN 34

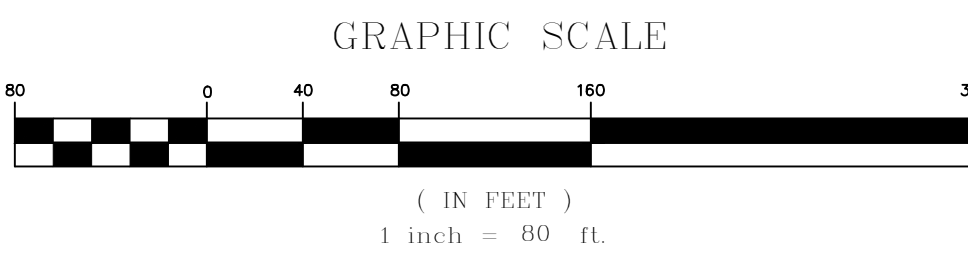
NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER (SOUTH) REGISTRY OF DEEDS IN WORCESTER, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').



LEGEND

DRILL HOLE (DH)	⊙
STONE BOUND (SB)	□
IRON PIPE (IP)	○
IRON ROD (IR)	◦
DRAIN MANHOLE (DMH)	⊕
SEWER MANHOLE (SMH)	⊙
WATER GATE	⊕
CATCH BASIN (CB)	⊕
WELL	⊕
UTILITY POLE W/LIGHT	⊕
UTILITY POLE	⊕
GUY WIRE	—
SIGN	—
WETLAND FLAG	▲A31
BUILDING	▭
WETLAND	▨
BUFFER ZONE	▨
EASEMENT LINE	—
2' CONTOUR	- - - -
10' CONTOUR	- - - -
PROPERTY LINE	—
ABUTTERS LINE	—
TREE LINE	~ ~ ~ ~
EDGE OF PAVEMENT	—
CURB	—
CHAIN LINK FENCE	x —
WATER LINE	—
SEWER LINE	—
DRAIN LINE	—
GAS LINE	—
OVERHEAD WIRES	—
BITUMINOUS	—
CONCRETE	—
GRANITE	—
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.



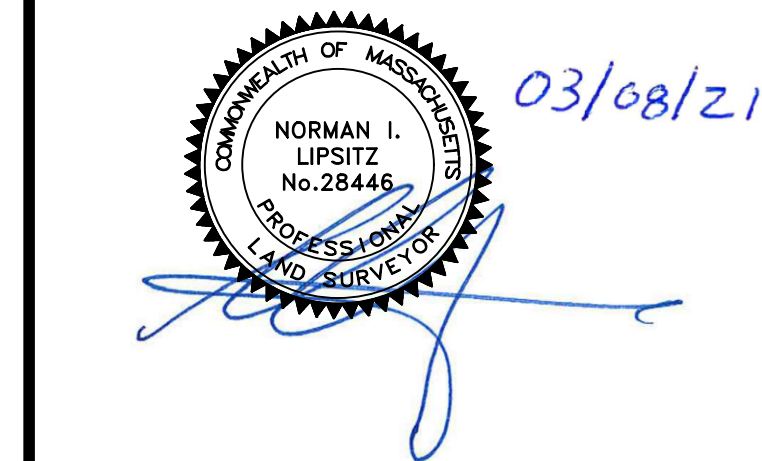
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WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JANUARY 10, 2021 AND FEBRUARY 9, 2021.
 THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.
 ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
 THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF LEICESTER ASSESSOR'S INFORMATION.
 THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

[Signature] MAR. 8, 2021
 PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
 265 SUNRISE HIGHWAY, SUITE 1368
 ROCKVILLE CENTER, NY 11570

PROJECT:
651 MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	03/08/21
SCALE:	1" = 80'	DWG. NAME:	S-2889-01-EC
DRAFTED BY:	AJR	CHECKED BY:	NIL

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
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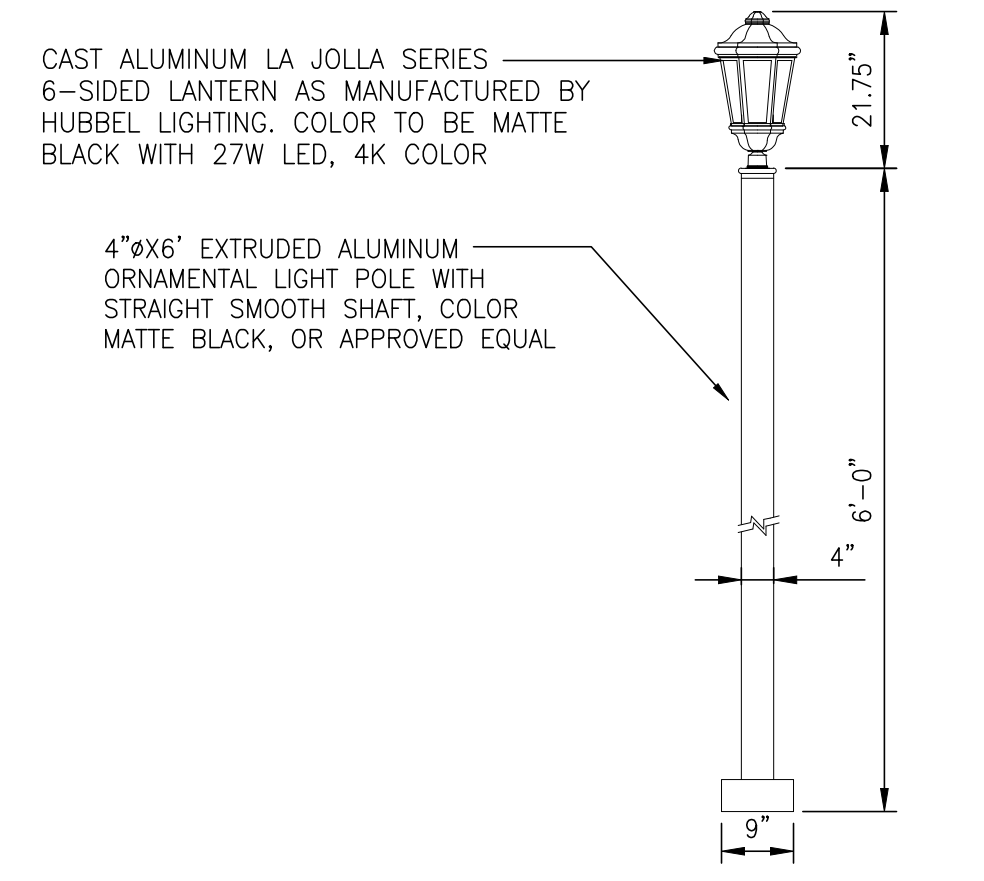
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH
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DRAWING TITLE:	SHEET NO.
EXISTING CONDITIONS	V-101

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LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/TOWN OF LEICESTER, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. EVERGREEN AND DECIDUOUS SHRUBS ARE TYPICAL AND SHOWN WITH SYMBOLS. IT IS UP TO THE CONTRACTOR TO SELECT PLANT STOCK FOR THE SITE CONDITIONS, SHADE, SUN, AND MICROCLIMATE AS WELL AS WHAT IS AVAILABLE AT THE NURSERY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL IN WRITING NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
- NO INVASIVE SPECIES OR PLANTS THAT COULD BECOME INVASIVE ARE TO BE PLANTED (NO BURNING BUSH OR GIANT MISCANTHUS, OR JAPANESE BARBERRY - REFER TO THE MASS. PROHIBITED PLANT LIST). NATIVE AND ORNAMENTAL PLANTINGS THAT AREA APPROPRIATE FOR LOCATING NEXT TO A HOME ARE TO BE SELECTED. PLANT SIZES TO BE PERENNIALS - 1 GAL. SHRUBS 3-5 GAL AND LARGE DECIDUOUS SHRUB TO BE 3-4' HT. B&B.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (LATEST EDITION). PLANTINGS TO HAVE 18" MIN TOPSOIL AROUND ROOTBALLS. 3" MIN PINE PARK MULCH SHALL BE PLACED ON LANDSCAPE BEDS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- A MINIMUM 18" WIDE BARRIER OF PEASTONE SHALL BE INSTALLED IN ALL PLANT BED WHICH ABUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF BUILDINGS WITH FLAMMABLE MATERIALS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00).



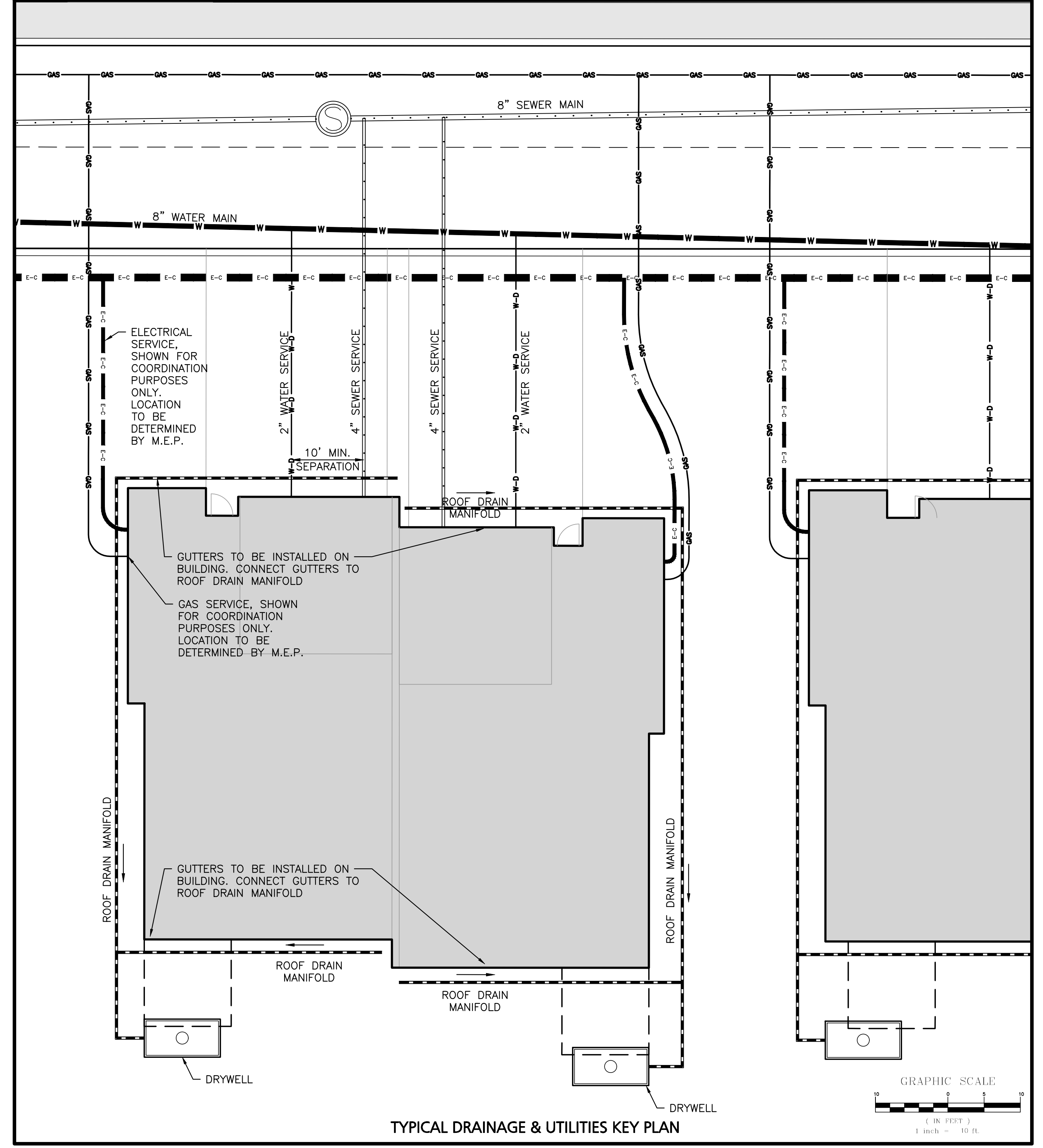
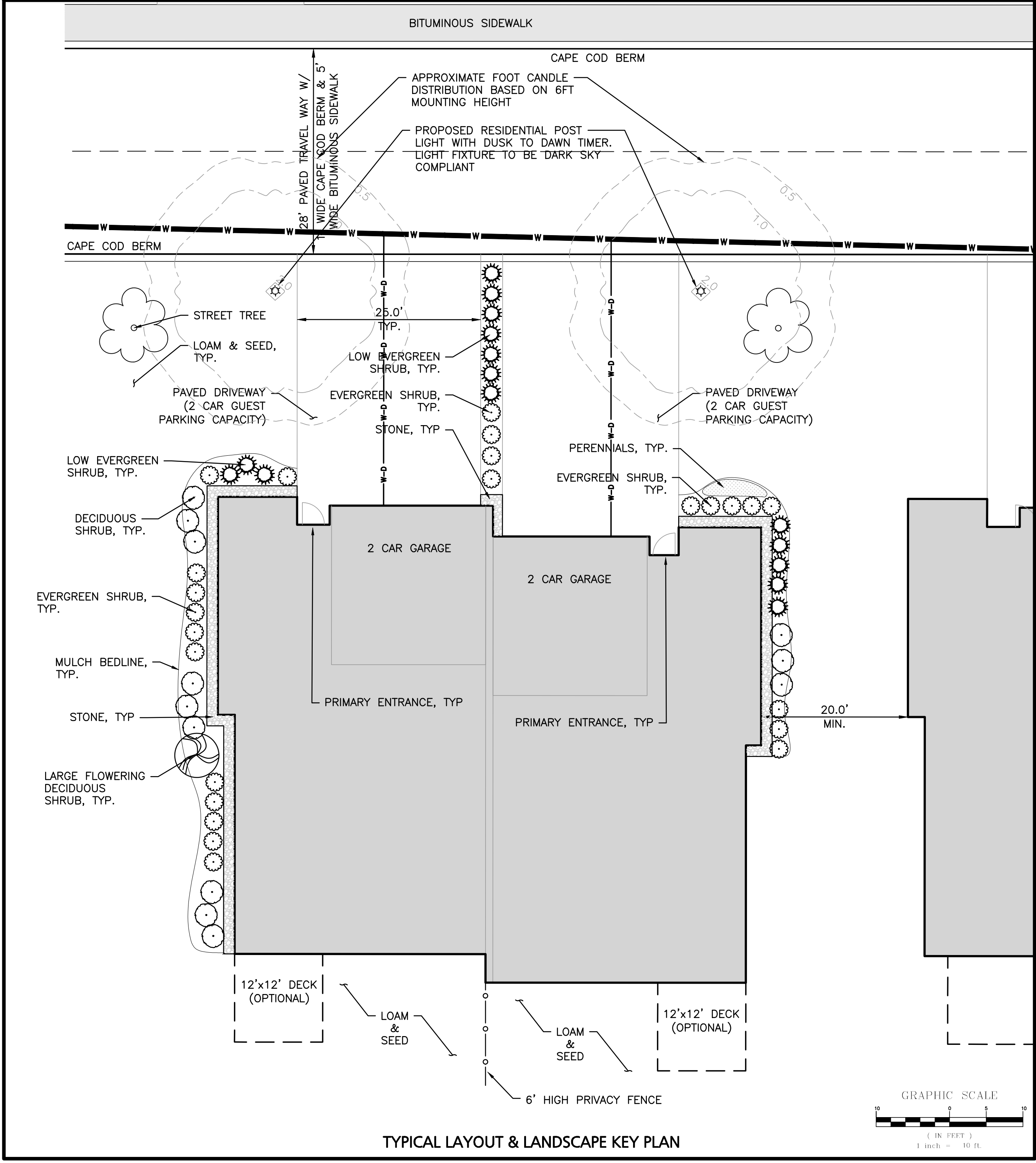
1 DRIVEWAY LIGHT POLE DETAIL
SCALE: NONE

GENERAL NOTES

- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- PARKING REQUIREMENTS SHALL BE MET THROUGH THE CONSTRUCTION OF AN ATTACHED TWO CAR GARAGE FOR EACH RESIDENTIAL UNIT AND A MINIMUM OF TWO CARS WITHIN DRIVEWAY AREA FOR A TOTAL OF FOUR SPACES FOR EACH DWELLING UNIT.

LEGEND

BUILDING	[Symbol]
CAPE COD BERM	[Symbol]
BITUMINOUS SIDEWALK	[Symbol]
DRAIN LINE	[Symbol]
SEWER LINE	[Symbol]
WATER LINE	[Symbol]
DOMESTIC WATER LINE	[Symbol]
ELEC/CABLE CONDUIT	[Symbol]
GAS LINE	[Symbol]



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

MICHAEL A. MALYNOWSKI
CIVIL
No. 47269
REGISTERED PROFESSIONAL ENGINEER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: AS SHOWN DWG.: C-2889-01_Building Keys

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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FAX: (781) 935-2896

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DRAWING TITLE: TYPICAL BUILDING KEY PLANS SHEET No. C-001

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_BUILDING_KEYS.DWG

LOAM AND SEEDING NOTES (GENERAL LAWN MIX):

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

GENERAL LAWN MIX

PURITY	SCIENTIFIC NAME	COMMON NAME	PROPORTION	PERCENT	PERCENT BY WEIGHT
	FESTUCA RUBRA "RUBRA"	CREeping RED FESCUE	37%	95%	90%
	PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
	LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
	FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

- SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
- ALL SEEDING (INCLUDING NEW ENGLAND WETLAND MIX SEEDS) TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS AT ALL SLOPED AREAS CONTRACTOR TO INSTALL COCONUT FIBER JUTE MESH NETTING ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS. PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS AT NO ADDITIONAL COST TO OWNER & UNTIL SLOPES ARE FULLY STABLE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER. AFTER SEEDING, SEEDING AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY FOR 2 MONTHS (USE NO HAY) SO THAT SEED IS KEPT MOIST.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 8%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 90% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- LAWN AREAS TO BE SEED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

SEEDING OF SLOPE AREAS:

- SEEDING SHALL OCCUR IN THE DRY & AFTER SLOPES ARE COMPACTED. IT IS IMPORTANT THAT THE SLOPES ARE SEED AT THE BEGINNING OF THE PROJECT. THE SEED WILL NEED A MIN. OF 6 MONTHS TO INITIALLY ESTABLISH PRIOR TO OCCUPANCY SO THAT THERE IS LIMITED EROSION & SLOPE FAILURE. INSTALL NEW ENGLAND EROSION CONTROL /RESTORATION MIX FOR DRY SITES, WILDFLOWER MIX AND DETENTION MIX PER PLAN AND SPREAD AT A RATIO OF 1 LB PER 600 SQ. FT. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT.
- ALL SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS AT ALL SLOPED AREAS CONTRACTOR TO INSTALL COCONUT FIBER JUTE MESH NETTING ON ALL SLOPES EQUAL TO 3:1 AND GREATER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS. PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS AT NO ADDITIONAL COST TO OWNER & UNTIL SLOPES ARE FULLY STABLE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.
- AFTER SEEDING, ALL AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTRACTOR RESPONSIBLE TO KEEP WATERED EVERY DAY UNTIL SEED IS ESTABLISHED & APPROVED BY A&M LANDSCAPE ARCHITECT (USE NO HAY) SO THAT SEED IS KEPT MOIST. FOR SPREADING OF THE SEED WITH DRY DETENTION BASINS, WATER LEVELS MAY BE LOWERED IN THE DETENTION AREAS BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEMATERING METHODS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ANY DEMATERING METHODS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. WATER FROM ANY DEMATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

LOAM & SEED 50% SHOWY NEW ENGLAND WILDFLOWER MIX, 50% EROSION CONTROL MIX USE EROSION CONTROL BLANKET ON 3:1 SLOPES OR GREATER

LOAM & SEED 50% SHOWY NEW ENGLAND WILDFLOWER MIX, 50% EROSION CONTROL MIX USE EROSION CONTROL BLANKET ON 3:1 SLOPES OR GREATER

LOAM & SEED 50% SHOWY NEW ENGLAND WILDFLOWER MIX, 50% EROSION CONTROL MIX USE EROSION CONTROL BLANKET ON 3:1 SLOPES OR GREATER

6" LOAM SEED & GENERAL LAWN MIX FOR FLAT AREAS, TYP.

6" LOAM & SEED BOTTOM, TOP, & SIDE SLOPES OF BASIN WITH BOTH NEW ENGLAND EROSION CONTROL MIX FOR DETENTION BASINS & MOST SITES AND NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES. SEE NOTE #22 ON SHEET L-102 & SEED SPECIFICATIONS ON L-101. IMPORTANT TO GRADE & SEED AT EARLY STAGE IN CONSTRUCTION TO ALLOW 6 MONTHS TO ESTABLISH & MINIMIZE EROSION PRIOR TO DISCHARGING STORMWATER.

SURFACE TREATMENT KEY

- LAWN GRASS-PERENNIAL RYE/FESCUE/KENTUCKY BLUEGRASS MIX.
- EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR WET SITES) TO BE USED ON ANY GRASSED SWALES OR INTERIOR OF DRAINAGE BASINS.
- EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR DRY SITES) FOR SIDESLOPES GRADED FROM 3: 1 TO 2:1 (MAX.), APPLIED WITH A BONDED FIBER MATRIX/HYDROSEED OR BIODEGRADABLE ENVIRONMENTAL MATTING.
- STONE RIPRAP PER CONSTRUCTION DETAILS
- GRAVEL ACCESS - 12" DEPTH OF CLEAN COMPACTED GRAVEL
- IMPERVIOUS COVER - ROOF OR PAVEMENT PER CONSTRUCTION DETAILS
- EXISTING TREELINE
- PROPOSED TREELINE

SEED MIX SPECIFICATIONS FOR SLOPES AREAS

WWW.NEWP.COM OR
Ph: (413) 548-8000 | Fx: (413) 549-4000 | info@newp.com
New England Wetland Plants, Inc.
820 West Street
Amherst, MA 01002

NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES:

- | | |
|-------------------------------------|-------------------------|
| 1. UPLAND BENTGRASS | AGROSTIS PERENNANS |
| 2. ROUGH BENTGRASS/TICKLEGRASS | AGROSTIS SCABRA |
| 3. BLUE GRAMA | BOUETOLOUA GRACILIS |
| 4. CANADA WILD RYE | ELYMUS CANADENSIS |
| 5. CREEPING RED FESCUE | FESTUCA RUBRA |
| 6. ANNUAL RYEGRASS (NATURALIZED) | LOLIUM MULTIFLORUM |
| 7. PERENNIAL RYEGRASS (NATURALIZED) | LOLIUM PERENNE |
| 8. LITTLE BLUESTEM | SCHIZACHYRIUM SCOPARIUM |
| 9. INDIAN GRASS | SORGHASTRUM NUTANS |

**(BY NEW ENGLAND WETLAND PLANTS INC.)
EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES:**

- | | |
|----------------------------|----------------------|
| A. ELYMUS VIRGINICUS | VIRGINIA WILD RYE |
| B. FESTUCA RUBRA | CREEPING RED FESCUE |
| C. SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM |
| D. ANDROPOGON GERARDII | BIG BLUESTEM |
| E. PANICUM VIRGATUM | SWITCH GRASS |
| F. VERBENA HASTATA | BLUE VERVAIN |
| G. AGROSTIS SCABRA | ROUGH BENTGRASS |
| H. ASTER NOVAE-ANGLIAE | NEW ENGLAND ASTER |
| I. EUPATORIUM MACULATUM | SPOTTED JOE PYE WEED |
| J. EUPATORIUM PERFOOLIATUM | BONESET |
| K. JUNCUS EFFUSUS | SOFT RUSH |
| L. SCIRPUS CYPERINUS | WOOL GRASS |

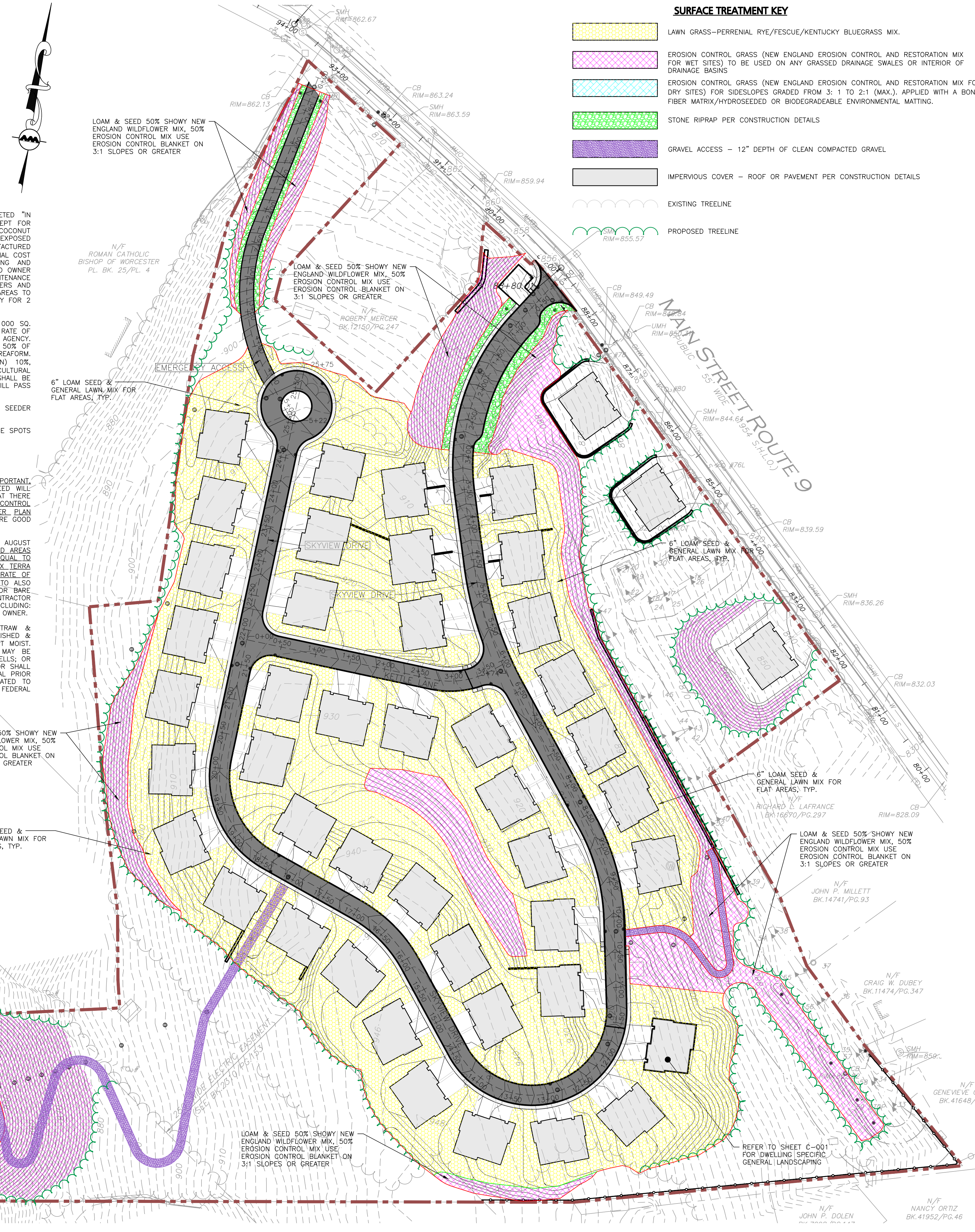
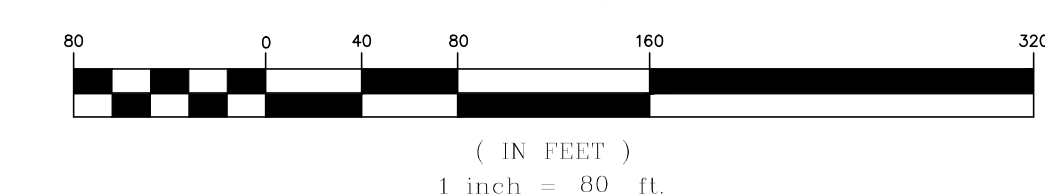
SHOWY NEW ENGLAND WILDFLOWER MIX

- | | |
|--------------------------|--------------------------------------|
| SCHIZACHYRIUM SCOPARIUM | LITTLE BLUESTEM |
| CHAMAECRISTA FASCICULATA | PARTRIDGE PEA |
| SORGHASTRUM NUTANS | INDIAN GRASS |
| FESTUCA RUBRA | RED FESCUE |
| ELYMUS CANADENSIS | CANADA WILD RYE |
| ELYMUS RIPARIUS | RIVERBANK WILD RYE |
| HELIOPSIS HELIANTHOIDES | OX EYE SUNFLOWER |
| COREOPSIS LANCEOLATA | LANCE LEAVED COREOPSIS |
| RUDBECKIA HIRTA | BLACK EYED SUSAN |
| LIATRIS SPICATA | SPIKED GAYFEATHER/MARSH BLAZING STAR |
| ASCLEPIAS SYRIACA | COMMON MILKWEED |
| VERNONIA NOVEBORACENSIS | NEW YORK IRONWEED |
| ASTER NOVAE-ANGLIAE | NOVAE-ANGLIA NEW ENGLAND ASTER F |
| (SYMPHYOTRICHUM) | |
| EUPATORIUM PURPUREUM | PURPLE JOE PYE WEED |
| (EUTROCHUM MACULATUM) | |
| ASCLEPIAS TUBEROSA | BUTTERFLY MILKWEED |
| SOLIDAGO JUNCEA | EARLY GOLDENROD |
| EUPATORIUM PERFOOLIATUM | BONESET |

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF LEICESTER, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. OWNERS TO COORDINATE DIRECTLY WITH THE LANDSCAPE CONTRACTOR FOR REPLACEMENT PLANTINGS.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7" OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 18" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- AN MINIMUM 18" WIDE BARRIER OF 1-1/2" GRAY OR TAN PEASTONE SHALL BE INSTALLED IN ALL PLANT BEDS WHICH DIRECTLY ADJUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00). INSTALL 6" DEEP OF PEASTONE WITH MIRAFI WEED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTONE AND ADJACENT MULCH BED. PROVIDE SHOP DRAWINGS TO A&M FOR APPROVAL PRIOR TO PURCHASE OF PEASTONE, MIRAFI WEED FABRIC & STEEL EDGING.

GRAPHIC SCALE



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

CLIENT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO.: 2889-01 **DATE:** 09-01-2022

SCALE: 1" = 80' **DWG.:** C-2889-01_Site-Prep

DESIGNED BY: SM **CHECKED BY:** MAM

PREPARED BY:



civil engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: VEGETATION MANAGEMENT PLAN

SHEET No. C-002

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1-888-344-7233

GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 11+50

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERING, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, AND ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1B - SKYVIEW DRIVE STA. 11+50 TO 24+00 & SKYVIEW TERRACE

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1C - SKYVIEW DRIVE STA. 24+00 TO 25+50 & EMERGENCY ACCESS

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

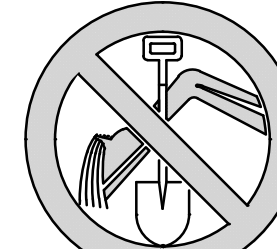
PHASE 2 - LOT DEVELOPMENT AND HOME-BUILDING

1. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
2. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
3. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON.
4. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
5. CONSTRUCT BUILDING FOUNDATIONS
6. STABILIZE DISTURBED AREAS

LEGEND

LIMIT OF DISTURBANCE	
LIMIT OF 'CLEAR AND GRUB'	
TEMPORARY FENCE	
TUBULAR BARRIER	
CATCH BASIN FILTER	
STABILIZED ENTRANCE	
STOCKPILE/STAGING AREA	

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1-888-344-7233

STUMP REMOVAL NOTES:

1. THE PROJECT AREA SHALL BE CLEARED OF EXISTING TREES AS NEEDED FOR PHASED ROADWAY, DRAINAGE, AND DWELLING CONSTRUCTION. ALL STUMPS SHALL BE GROUND AND USED FOR MULCH ON SITE OR SHALL BE REMOVED FROM THE SITE. NO STUMPS SHALL BE BURIED OR USED AS FILL ANYWHERE ON THE PROJECT SITE.
2. TREE BRANCHES AND TRUNKS SHALL BE EITHER GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE.
3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

TEMPORARY BASIN NOTES:

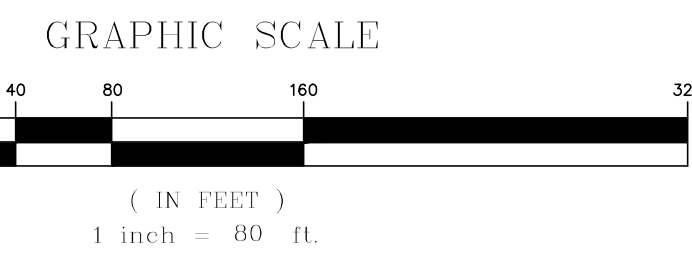
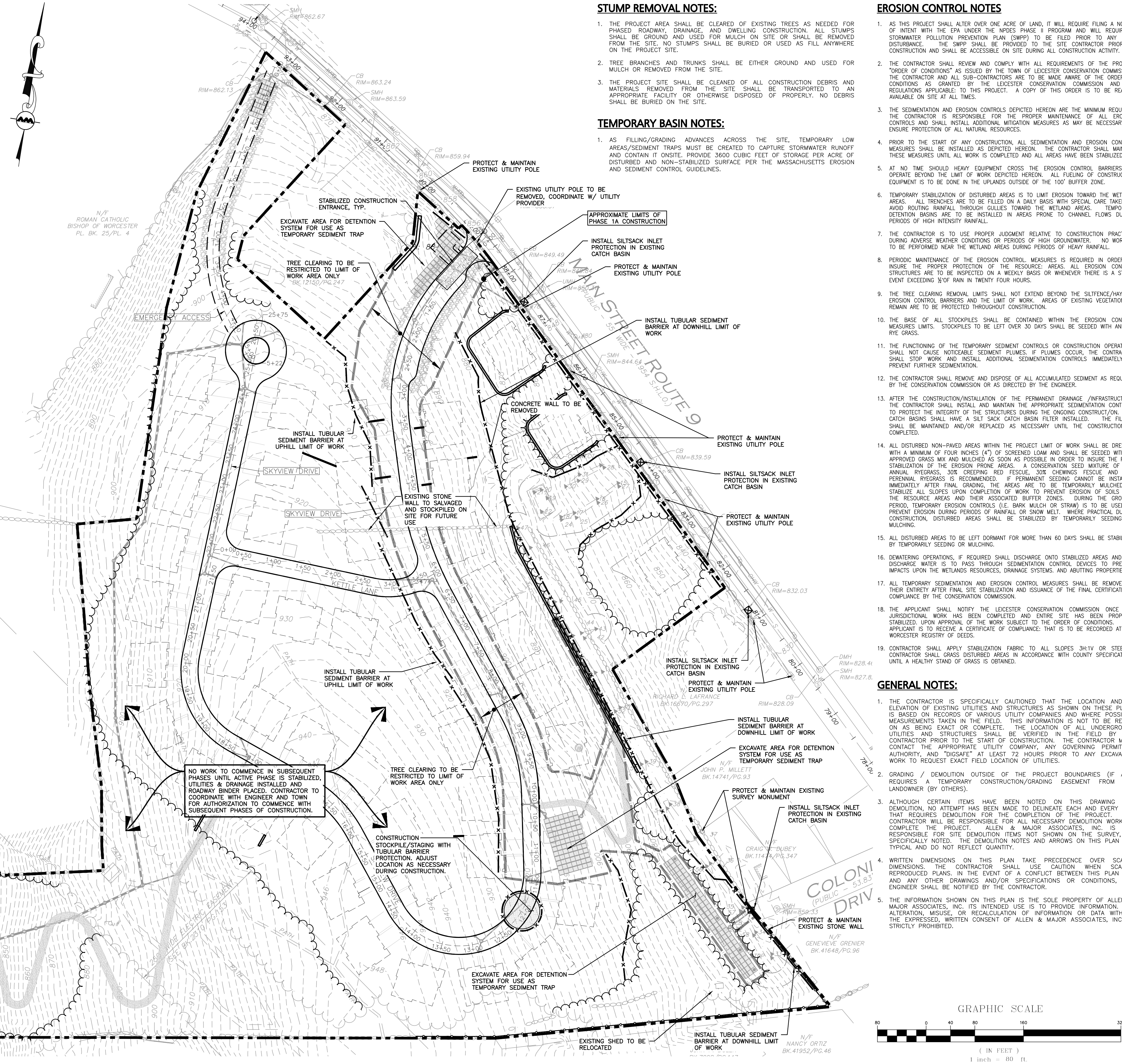
1. AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON-SITE. PROVIDE 3600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.

EROSION CONTROL NOTES

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT 'ORDER OF CONDITIONS' AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS ASSOCIATED PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING BANHAL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE. AREAS ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEMATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

MICHAEL A. MALYKOWSKI
CIVIL
No. 47269
PROFESSIONAL

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 80' DWG.: C-2889-01_Site-Prep

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: PHASE 1A
SITE PREPARATION PLAN

SHEET No. C-100
05 OF 31

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GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 11+50

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERING, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, AND ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1B - SKYVIEW DRIVE STA. 11+50 TO 24+00 & SKYVIEW TERRACE

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1C - SKYVIEW DRIVE STA. 24+00 TO 25+50 & EMERGENCY ACCESS

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 2 - LOT DEVELOPMENT AND HOME-BUILDING

1. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
2. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES
3. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON.
4. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
5. CONSTRUCT BUILDING FOUNDATIONS
6. STABILIZE DISTURBED AREAS

NO WORK TO COMMENCE IN SUBSEQUENT PHASES UNTIL ACTIVE PHASE IS STABILIZED, UTILITIES & DRAINAGE INSTALLED AND ROADWAY BINDER PLACED. CONTRACTOR TO COORDINATE WITH ENGINEER AND TOWN FOR AUTHORIZATION TO COMMENCE WITH SUBSEQUENT PHASES OF CONSTRUCTION.

CONSTRUCTION STOCKPILE/STAGING WITH TUBULAR BARRIER PROTECTION. ADJUST LOCATION AS NECESSARY DURING CONSTRUCTION.

NO DWELLING UNIT WORK TO COMMENCE IN PREVIOUS PHASES UNTIL ALL PHASES OF INFRASTRUCTURE WORK IS COMPLETED. CONTRACTOR TO COORDINATE WITH ENGINEER AND TOWN FOR AUTHORIZATION TO COMMENCE WITH SUBSEQUENT PHASES OF CONSTRUCTION.

APPROX. LIMITS OF DWELLING UNITS TO BE CONSTRUCTED AS PART OF PHASE 2 WORK

TREE CLEARING TO BE RESTRICTED TO LIMIT OF WORK AREA ONLY

TREE CLEARING TO BE RESTRICTED TO LIMIT OF WORK AREA ONLY

PAVEMENT BINDER COURSE TO BE INSTALLED PRIOR TO COMMENCEMENT OF NEXT PHASE

APPROXIMATE LIMITS OF PHASE 1B CONSTRUCTION

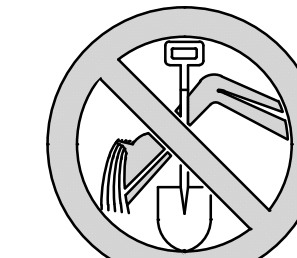
INSTALL 8' HIGH CONSTRUCTION FENCING ALONG LIMITS SHOWN

STONE WALL TO BE REMOVED

LEGEND

- LIMIT OF DISTURBANCE
- LIMIT OF 'CLEAR AND GRUB'
- TEMPORARY FENCE
- TUBULAR BARRIER
- CATCH BASIN FILTER
- STABILIZED ENTRANCE
- STOCKPILE/STAGING AREA

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

STUMP REMOVAL NOTES:

1. THE PROJECT AREA SHALL BE CLEARED OF EXISTING TREES AS NEEDED FOR PHASED ROADWAY, DRAINAGE, AND DWELLING CONSTRUCTION. ALL STUMPS SHALL BE GROUND AND USED FOR MULCH ON SITE OR SHALL BE REMOVED FROM THE SITE. NO STUMPS SHALL BE BURIED OR USED AS FILL ANYWHERE ON THE PROJECT SITE.
2. TREE BRANCHES AND TRUNKS SHALL BE EITHER GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE.
3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

TEMPORARY BASIN NOTES:

1. AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON SITE. PROVIDE 3600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.

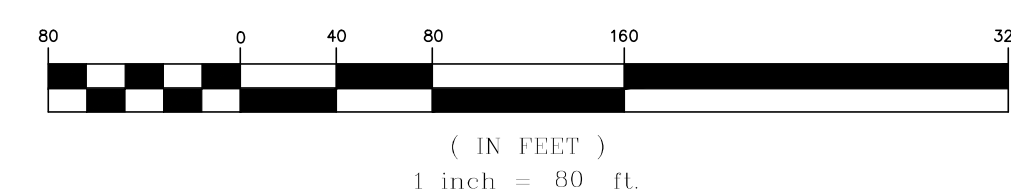
EROSION CONTROL NOTES:

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT 'ORDER OF CONDITIONS' AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RANFALL THROUGH WETLANDS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
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18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND 'DISSAFE' AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
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GRAPHIC SCALE



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REVISIONS

REV	DATE	DESCRIPTION

PROJECT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO.: 2889-01 **DATE:** 09-01-2022

SCALE: 1" = 80' **DWG.:** C-2889-01_Site-Prep

DESIGNED BY: SM **CHECKED BY:** MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying
environmental consulting • landscape architecture
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FAX: (781) 935-2896

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DRAWING TITLE: PHASE 1B
SITE PREPARATION PLAN

SHEET No.: C-100A

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R:\PROJECTS\2889-01\CIVIL DRAWINGS\CURRENT\C-2889-01_SITE-PREP.DWG

GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 11+50

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERING, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, AND ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1B - SKYVIEW DRIVE STA. 11+50 TO 24+00 & SKYVIEW TERRACE

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
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9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1C - SKYVIEW DRIVE STA. 24+00 TO 25+50 & EMERGENCY ACCESS

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
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10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 2 - LOT DEVELOPMENT AND HOME-BUILDING

1. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
2. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
3. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON.
4. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
5. CONSTRUCT BUILDING FOUNDATIONS
6. STABILIZE DISTURBED AREAS

LEGEND

LIMIT OF DISTURBANCE	
LIMIT OF 'CLEAR AND GRUB'	
TEMPORARY FENCE	
TUBULAR BARRIER	
CATCH BASIN FILTER	
STABILIZED ENTRANCE	
STOCKPILE/STAGING AREA	

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

STUMP REMOVAL NOTES:

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2. TREE BRANCHES AND TRUNKS SHALL BE EITHER GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE.
3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

TEMPORARY BASIN NOTES:

1. AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON-SITE. PROVIDE 3600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.

EROSION CONTROL NOTES:

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT "ORDER OF CONDITIONS" AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RANFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DENATURING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022
SCALE: 1" = 80' DWG.: C-2889-01_Site-Prep
DESIGNED BY: SM CHECKED BY: MAM



ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 933-6889
FAX: (781) 933-2896

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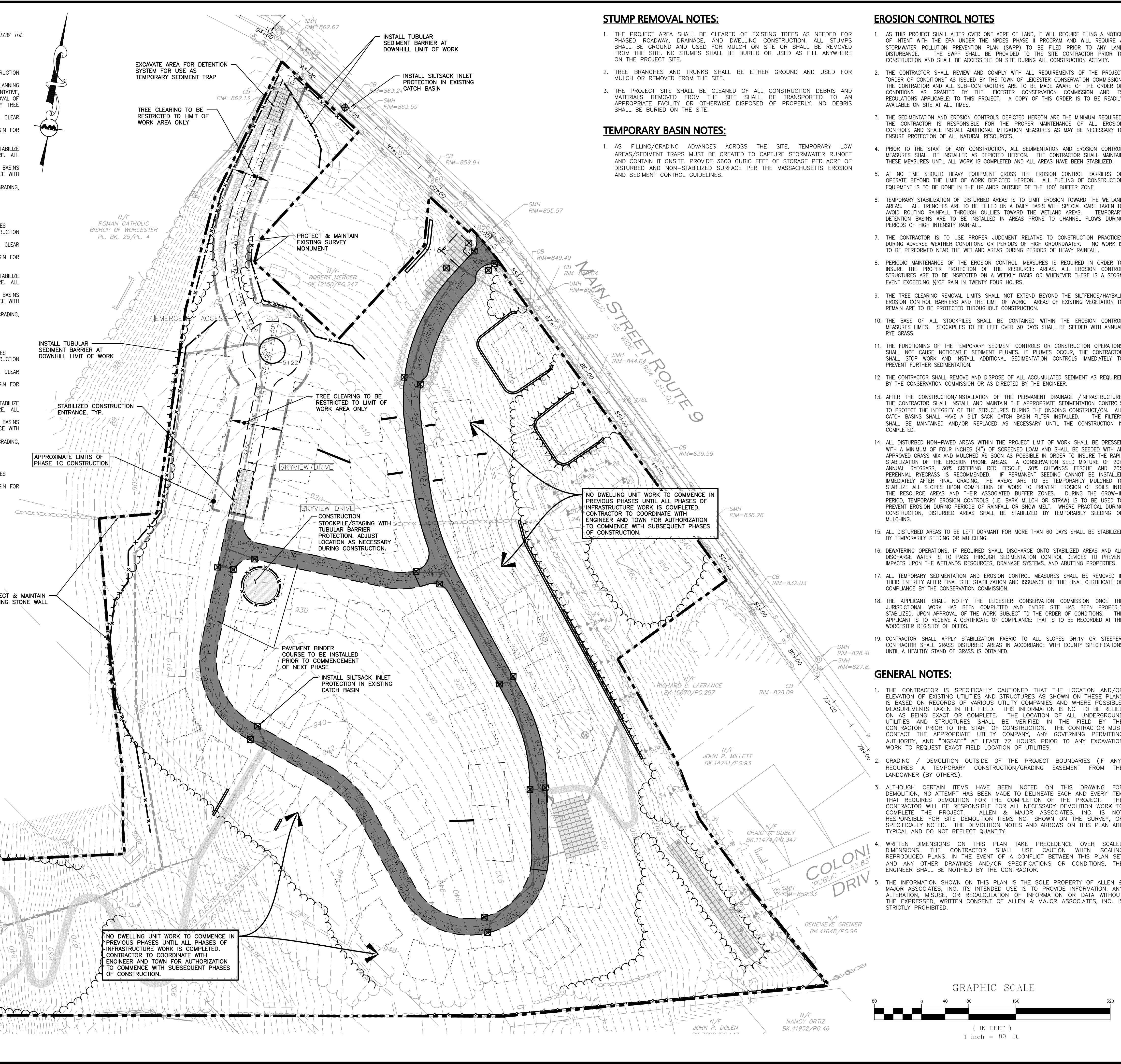
THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENTS/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: **PHASE 1C**
SITE PREPARATION PLAN

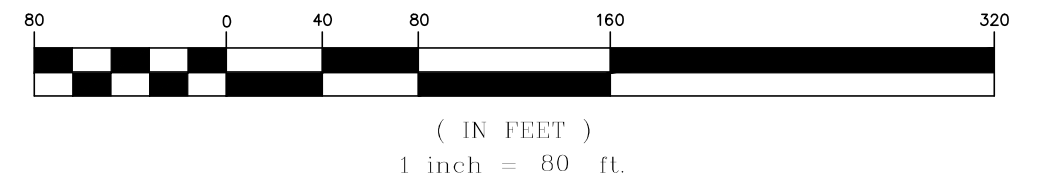
SHEET No. **C-100B**

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GRAPHIC SCALE



GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 11+50

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- TEMPORARY FENCE
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- STABILIZED ENTRANCE
- STOCKPILE/STAGING AREA

PROTECT & MAINTAIN EXISTING STONE WALL

DIG SAFE



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3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULCHES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE. AREAS ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEMATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS. THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE
0 40 80 160 320
(IN FEET)
1 inch = 80 ft.

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD
I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER
MICHAEL A. MALYKOWSKI
CIVIL
No. 47269
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.
Date: 2022.08.31 16:52:07 -0400

REV	DATE	DESCRIPTION

PROJECT: SKYVIEW ESTATES RESIDENTIAL DEVELOPMENT MAIN STREET LEICESTER, MA

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 80' DWG.: C-2889-01_Site-Prep

DESIGNED BY: SM CHECKED BY: MAM



ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOUBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: PHASE 2 SITE PREPARATION PLAN SHEET No. C-100C
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R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\1-C-2889-01_SITE-PREP.DWG

LEGEND

PROP. PROPERTY LINE
CURB
SIDEWALK
ADA ACCESSIBLE RAMP
BASELINE
SIGN
GRAVEL ACCESS
ZONING DISTRICT LINE

UNIT DENSITY CALCULATION

BUSINESS (B)		Acres	SF			
Lot Area	29.74		1,295,474			
Net Area				Net Area Reduction Ratio	Net Area Reduction	Net Area Reduction
Wetland Buffer	140,808	0.0%	0		140,808	
Electrical Easement	127,766	0.0%	0		127,766	
slopes of 20% or greater	262,318	0.0%	0		262,318	
					530,893	
subdivision roads and infrastructure	20.0%		152,916			
Net Acreage	Lot	Buffers	Roads	Allowable		
	1,295,474	- 530,893	- 152,916	=	611,665	
Unit 1	Unit 2	Unit 3	Unit 4	Unit 5		
15,000	+ 7,500	+ 7,500	+ 7,500	+ 7,500	=	45,000
Net Acreage	611,665	-	45,000	=	566,665	
Required Area per Unit over 6		SF		Allowable Density		
		2,000		288		

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1-888-344-7233

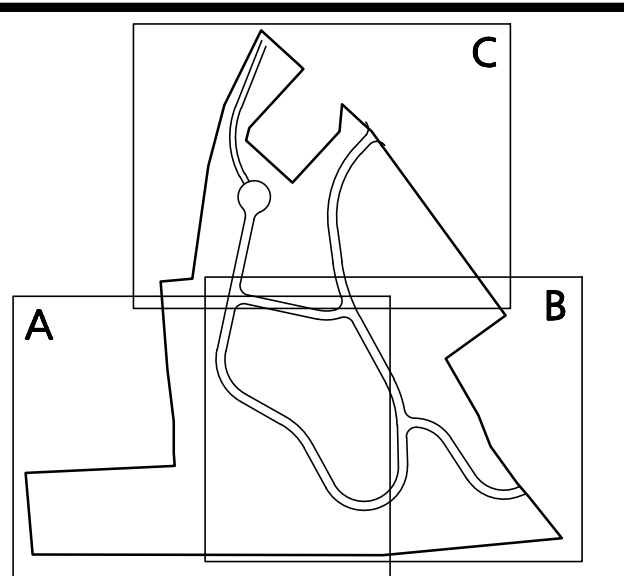
SHEET C

ZONING TABLE - BUSINESS (B)

	ALLOWED/REQUIRED	PROPOSED (LOT 1)	PROPOSED (LOT 2)	PROPOSED (LOT 3)	PROPOSED (LOT 4)	PROPOSED (LOT 5)
LOT AREA (SF)	22,500	34,848	22,651	32,670	44,431	1,160,003
FRONTAGE (FT)	100	176.73	182.00	200.00	219.35	175.40
FRONT YARD (FT)	25	N/A	25	27.1	26.8	279.3
REAR YARD (FT)	25	N/A	> 25	> 25	> 25	> 25
SIDE YARD (FT)	15	N/A	> 15	> 15	> 15	> 15
BUILDING HEIGHT (FT)	35	N/A	< 35	< 35	< 35	< 35
NO. OF STORES	2.5	N/A	2	2	2	2
MAX BUILDING COVERAGE (%)	33	N/A	19.3%	13.4%	9.8%	17.4%

GENERAL NOTES

- THE OWNER OF RECORD: LOT 21-B5.1, 651 MAIN STREET, LLC, 55 MEAD STREET, LEOWINSTER, MA 01453, BOOK 66895, PAGE 224.
- ZONING DISTRICT: BUSINESS (B). LOT SIZE: 22,500 SF. LOT FRONTAGE: 100 FT. FRONT SETBACK: 25 FT. SIDE SETBACK: 15 FT. REAR SETBACK: 25 FT.
- EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #2502700782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
- AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTORS EXPENSE.
- IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
- A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND AROUND THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE TOWN AND APPROPRIATE UTILITY COMPANIES. THE OWNER AND OWNER'S REPRESENTATIVE, THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION. THE CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK, THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- PARKING REQUIREMENTS SHALL BE MET THROUGH THE CONSTRUCTION OF AN ATTACHED TWO CAR GARAGE FOR EACH RESIDENTIAL UNIT AND A MINIMUM OF TWO CARS WITHIN DRIVEWAY AREA FOR A TOTAL OF FOUR SPACES FOR EACH DWELLING UNIT.



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 80' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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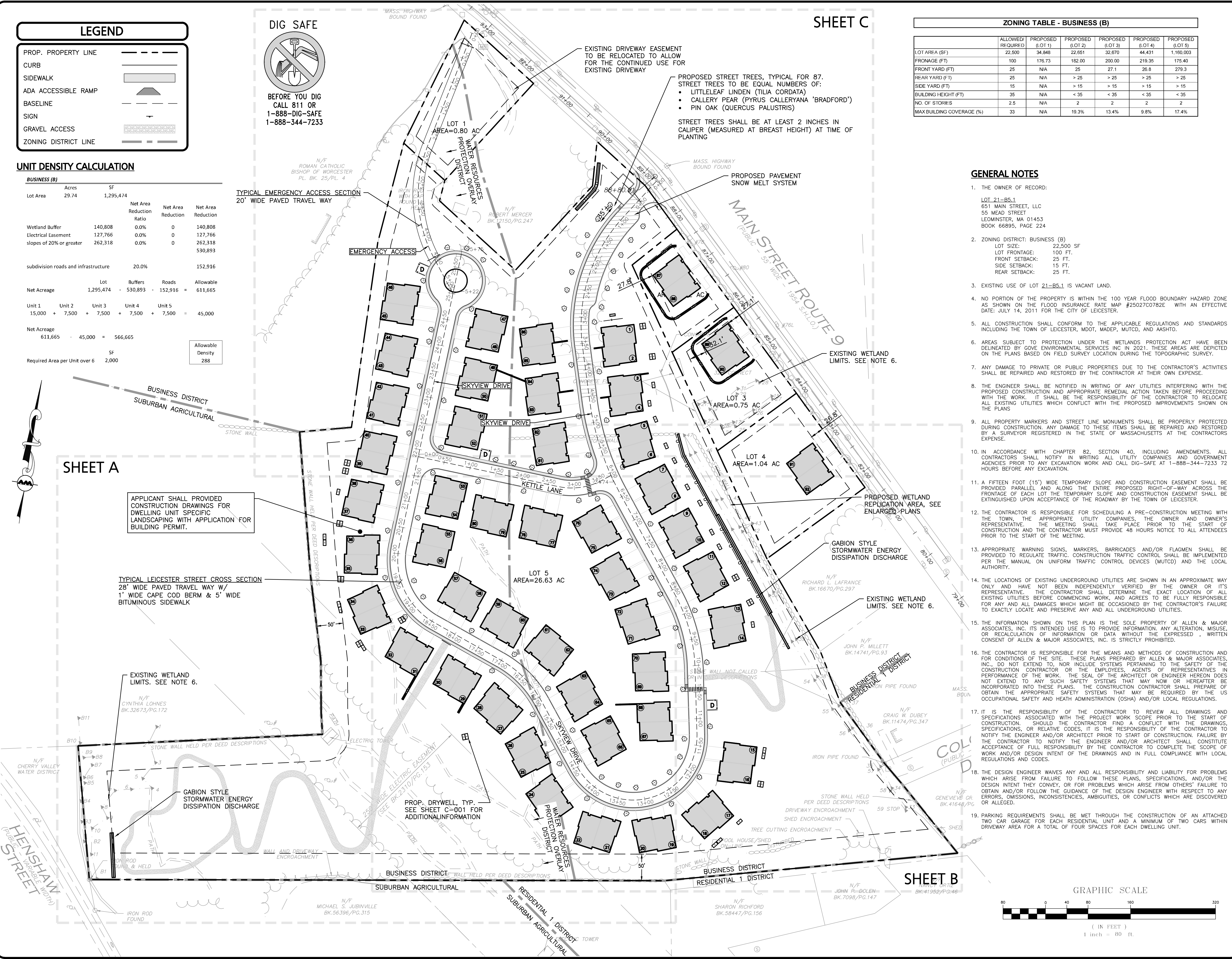
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DRAWING TITLE: OVERALL SITE LAYOUT
KEY PLAN

SHEET No. C-101

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SHEET A

APPLICANT SHALL PROVIDED CONSTRUCTION DRAWINGS FOR DWELLING UNIT SPECIFIC LANDSCAPING WITH APPLICATION FOR BUILDING PERMIT.

TYPICAL LEICESTER STREET CROSS SECTION
28' WIDE PAVED TRAVEL WAY W/
1' WIDE CAPE COD BERM & 5' WIDE BITUMINOUS SIDEWALK

EXISTING WETLAND LIMITS. SEE NOTE 6.

N/F CYNTHIA LOHNS BK.32673/PG.172

GABION STYLE STORMWATER ENERGY DISSIPATION DISCHARGE

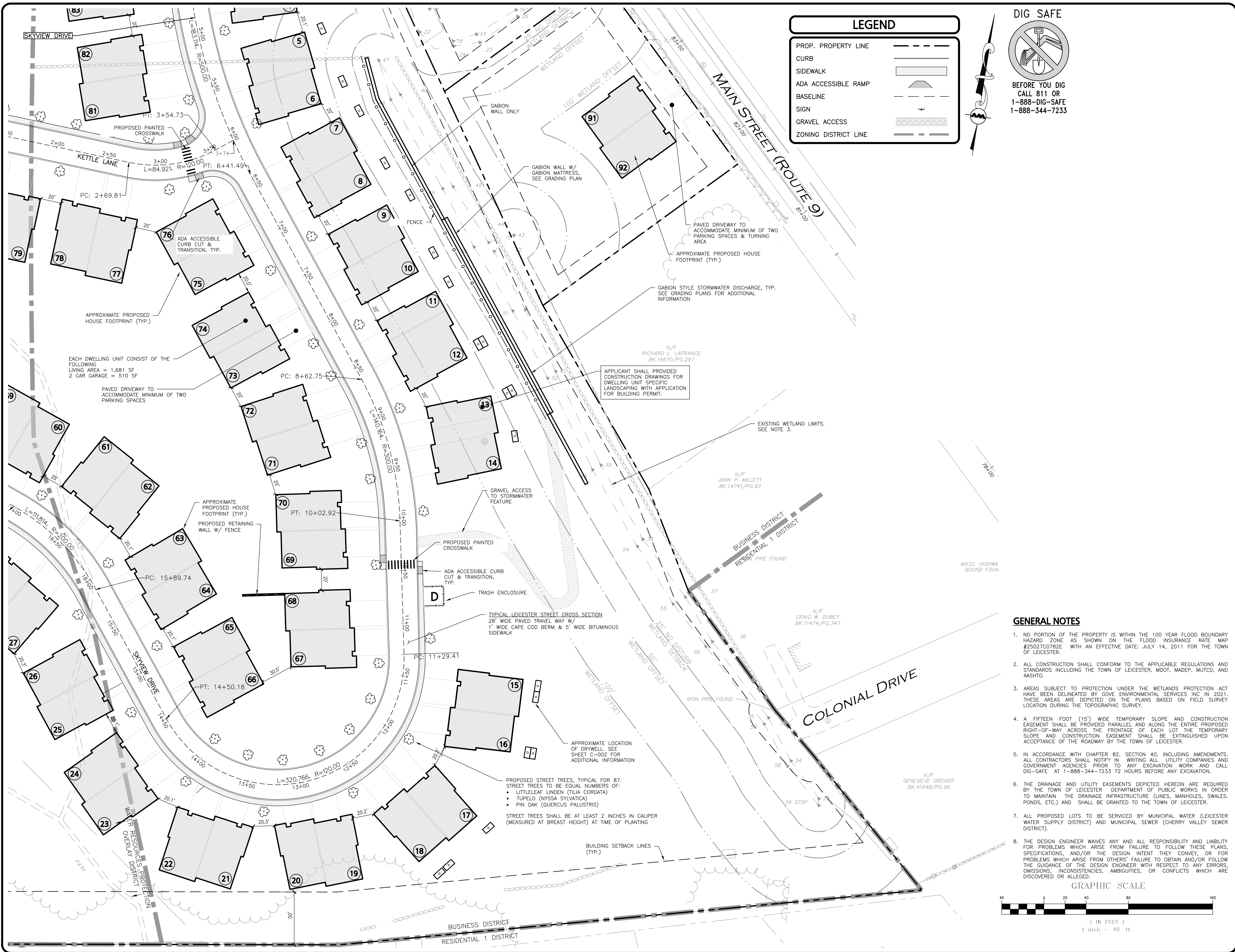
PROP. DRYWELL, TYP. SEE SHEET C-001 FOR ADDITIONAL INFORMATION

SHEET B

GRAPHIC SCALE
1 inch = 80 ft.



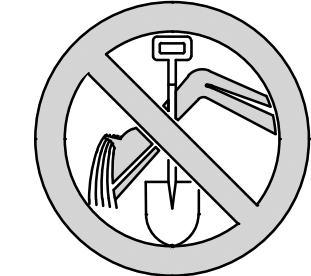
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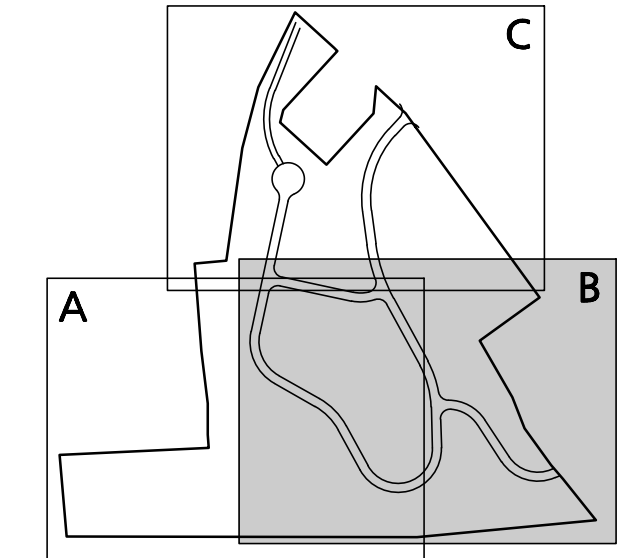
LEGEND

- PROP. PROPERTY LINE
- CURB
- SIDEWALK
- ADA ACCESSIBLE RAMP
- BASELINE
- SIGN
- GRAVEL ACCESS
- ZONING DISTRICT LINE

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BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO.: 2889-01 **DATE:** 09-01-2022

SCALE: 1" = 40' **DWG.:** C2889-01_Layout & Materials

DESIGNED BY: SM **CHECKED BY:** MAM

PREPARED BY:

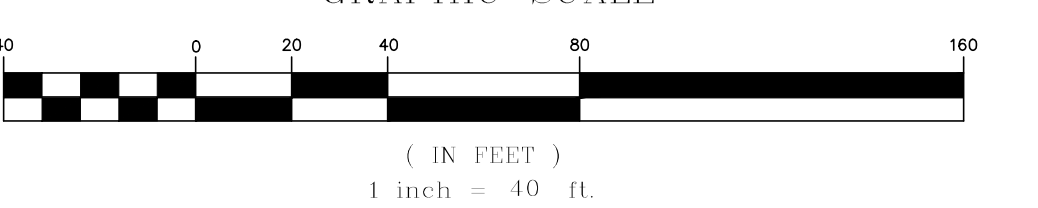
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DRAWING TITLE: ENLARGED SITE LAYOUT PLAN
SHEET No.: C-101B
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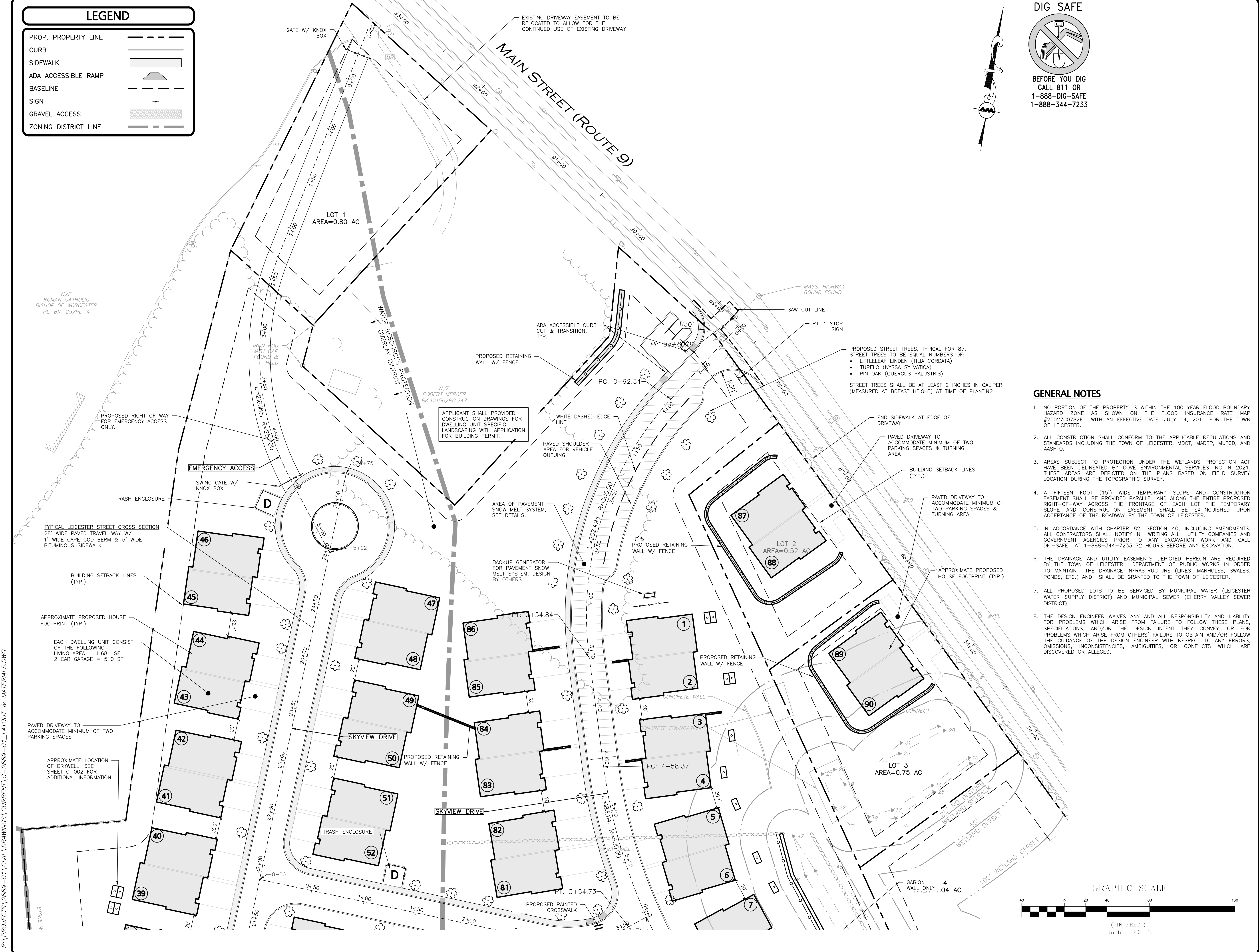
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- AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
- A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT. THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
- IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
- THE DRAINAGE AND UTILITY EASEMENTS DEPICTED HEREON ARE REQUIRED BY THE TOWN OF LEICESTER DEPARTMENT OF PUBLIC WORKS IN ORDER TO MAINTAIN THE DRAINAGE INFRASTRUCTURE (LINES, MANHOLES, SWALES, PONDS, ETC.) AND SHALL BE GRANTED TO THE TOWN OF LEICESTER.
- ALL PROPOSED LOTS TO BE SERVICED BY MUNICIPAL WATER (LEICESTER WATER SUPPLY DISTRICT) AND MUNICIPAL SEWER (CHERRY VALLEY SEWER DISTRICT).
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

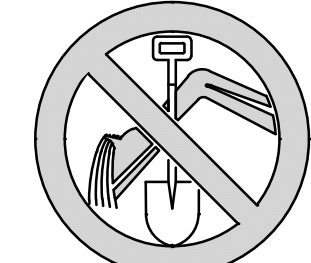


LEGEND

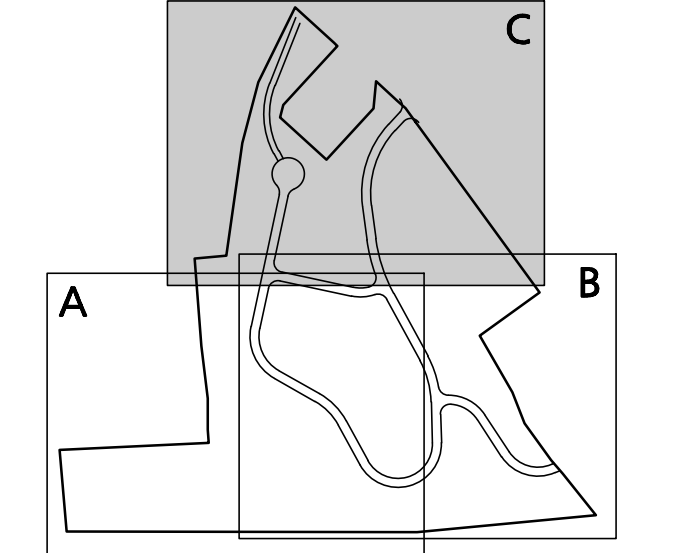
PROP. PROPERTY LINE	---
CURB	——
SIDEWALK	——
ADA ACCESSIBLE RAMP	——
BASELINE	---
SIGN	——
GRAVEL ACCESS	——
ZONING DISTRICT LINE	---



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BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HERewith.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

GENERAL NOTES

- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #2502700782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE TOWN OF LEICESTER.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND ASHITO.
- AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
- A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
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- THE DRAINAGE AND UTILITY EASEMENTS DEPICTED HEREON ARE REQUIRED BY THE TOWN OF LEICESTER DEPARTMENT OF PUBLIC WORKS IN ORDER TO MAINTAIN THE DRAINAGE INFRASTRUCTURE (LINES, MANHOLES, SWALES, PONDS, ETC) AND SHALL BE GRANTED TO THE TOWN OF LEICESTER.
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REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 40' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: **ENLARGED SITE LAYOUT PLAN**

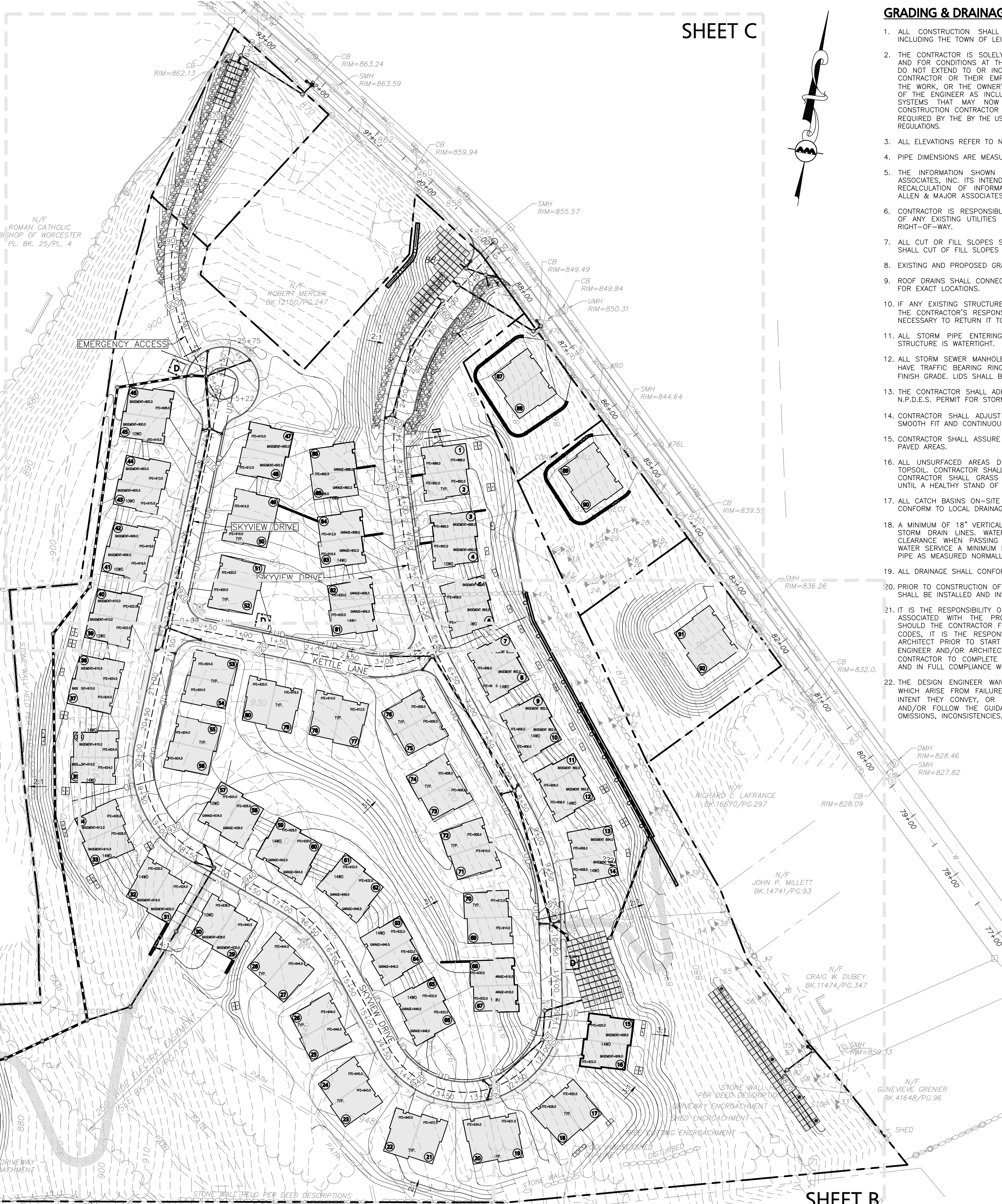
SHEET No. **C-101C**

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\1-C-2889-01_LAYOUT & MATERIALS.DWG

EROSION CONTROL NOTES:

- AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT "ORDER OF CONDITIONS" AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
- THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
- PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
- AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
- TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
- THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
- PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
- THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
- THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
- AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
- ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHIEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
- ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
- DEWATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
- ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
- THE APPLICANT JS TO NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS. THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.

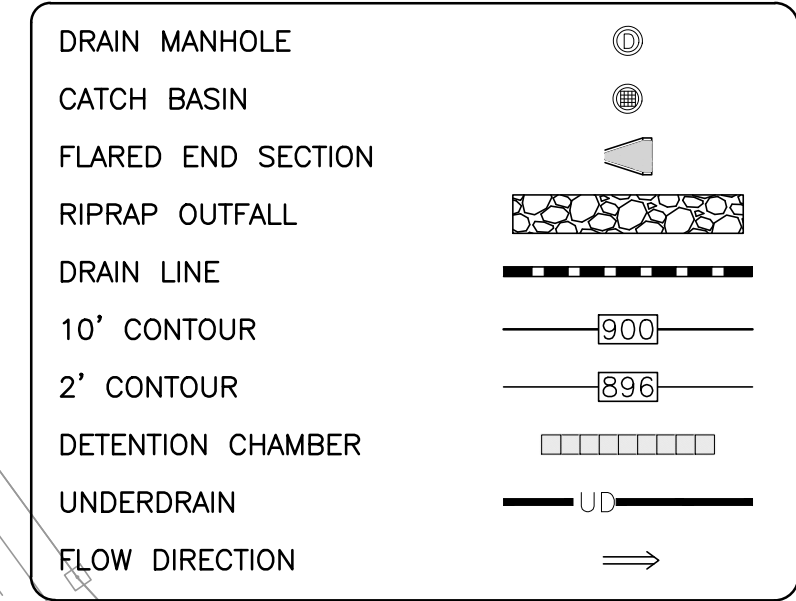
SHEET C



GRADING & DRAINAGE NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. AT NO TIME SHALL CUT OF FILL SLOPES EXCEED 2:1.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT
- ROOF DRAINS SHALL CONNECT TO NEAREST DRAIN STRUCTURE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE "DRAIN".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- ALL DRAINAGE SHALL CONFORM TO LOCAL AND MADEP REQUIREMENTS.
- PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

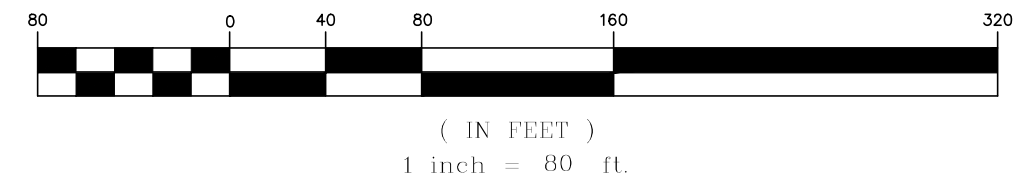
LEGEND



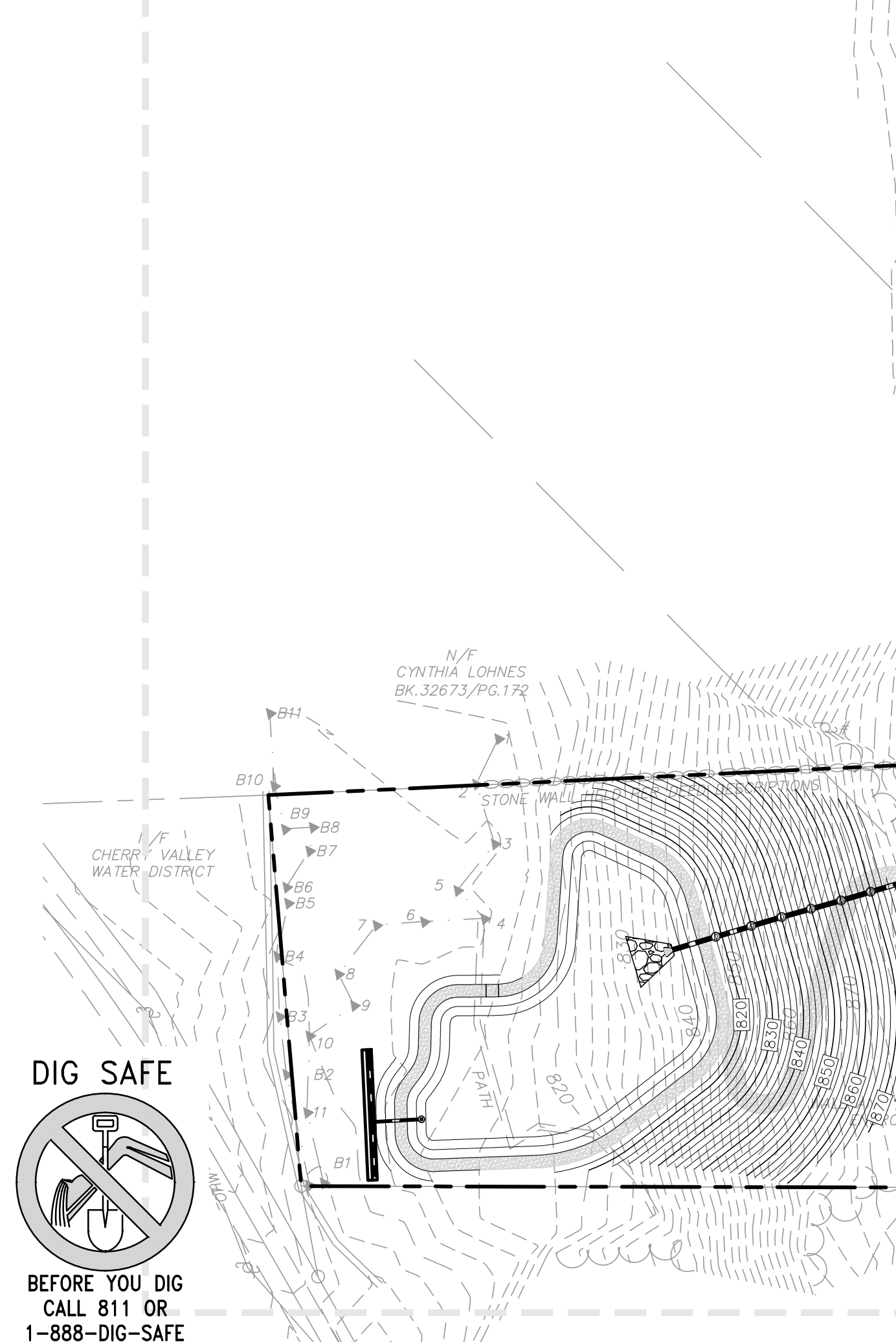
SOIL TESTING NOTES:

- ADDITIONAL TEST PITS SHALL BE DUG WITHIN THE FOOTPRINT OF EACH DRYWELL USED FOR STORMWATER INFILTRATION. A MINIMUM OF 2 VERTICAL FEET BELOW THE BOTTOM OF STONE ELEVATION. DURING EXCAVATION, DEPTHS TO BEDROCK AND/OR SEASONAL HIGH WATER SHALL BE OBSERVED AND RECORDED IF ENCOUNTERED. IF LEDGE, BEDROCK OR SIMILAR SUBSURFACE MATERIAL IS DISCOVERED WITHIN 2 VERTICAL FEET FROM THE DESIGNED BOTTOM STONE ELEVATION OF THE INFILTRATION SYSTEM, THE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH CRUSHED STONE OF EQUAL DIAMETER THAT WILL BE USED TO CONSTRUCT THE INFILTRATION SYSTEM.
- IN THE EVENT THE ON-SITE CONDITIONS ARE NOT CONSISTENT WITH THE MODELED INFILTRATION RATE, MODIFICATIONS TO THE SYSTEM MUST BE REVIEWED AND APPROVED BY THE TOWN'S ENGINEER AND BY THE PLANNING STAFF.

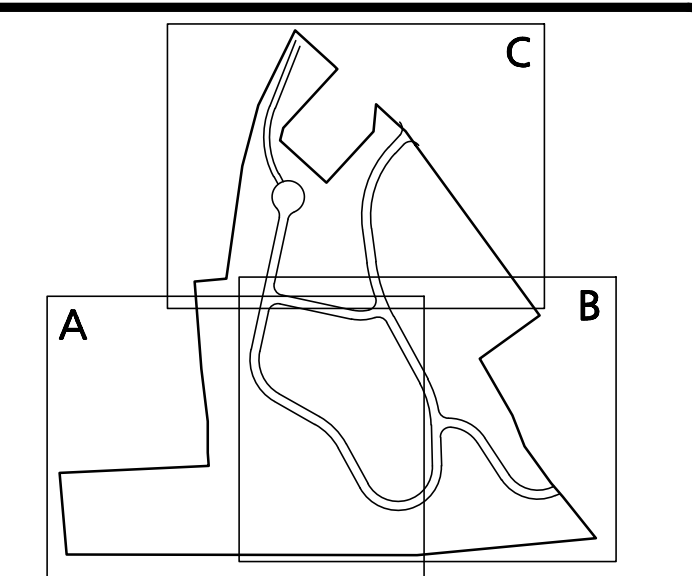
GRAPHIC SCALE



SHEET A



SHEET B



KEY MAP NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Professionally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 80' DWG. : C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • landscape architecture
environmental consulting • landscape architecture
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FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: SHEET No.

OVERALL GRADING & DRAINAGE PLAN C-102

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BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- FLARED END SECTION
- RIPRAP OUTFALL
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- DETENTION CHAMBER
- UNDERDRAIN
- FLOW DIRECTION

TYP. DRYWELL. DETERMINE FINAL LOCATION IN THE FIELD. SEE SOIL TESTING NOTES ON SHEET C-102.

APPROXIMATE HOUSE FOOTPRINT. TYP. ROOF RUNOFF SHALL BE DIRECTED TO A DRYWELL WHICH SHALL BE INSTALLED FOR EACH STRUCTURE. DETERMINE FINAL LOCATION IN THE FIELD. SEE SOIL TESTING NOTES ON SHEET C-102.

DRAINAGE STRUCTURE TABLE

STRUCTURE	STRUCTURE DETAILS
CB-20	RIM=906.70 INV.OUT=902.64 (DMH-20) 57LF, 12"HDPPE, S=1.00%
CB-21	RIM=906.38 INV.OUT=902.30 (DMH-20) 23LF, 12"HDPPE, S=1.00%
CB-22	RIM=904.73 INV.OUT=900.63 (DMH-21) 19LF, 12"HDPPE, S=1.00%
CB-23	RIM=904.73 INV.OUT=900.63 (DMH-21) 9LF, 12"HDPPE, S=3.93%
CB-26	RIM=931.03 INV.OUT=926.91 (DMH-25) 13LF, 12"HDPPE, S=3.93%
CB-27	RIM=931.08 INV.OUT=926.98 (DMH-25) 18LF, 12"HDPPE, S=3.07%
CB-50	RIM=933.97 INV.OUT=929.86 (DMH-50 (CDS)) 26LF, 12"HDPPE, S=4.26%
CB-51	RIM=933.93 INV.OUT=929.83 (DMH-50 (CDS)) 33LF, 12"HDPPE, S=3.25%
CB-52	RIM=921.29 INV.OUT=917.19 (DMH-53) 8LF, 12"HDPPE, S=1.00%
CB-53	RIM=921.27 INV.OUT=917.16 (DMH-53) 19LF, 12"HDPPE, S=1.00%
CB-54	RIM=920.60 INV.OUT=916.28 (DMH-54) 49LF, 12"HDPPE, S=1.00%

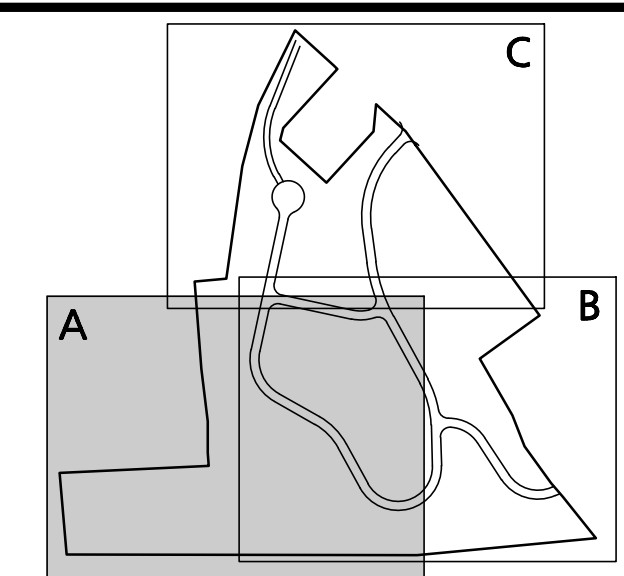
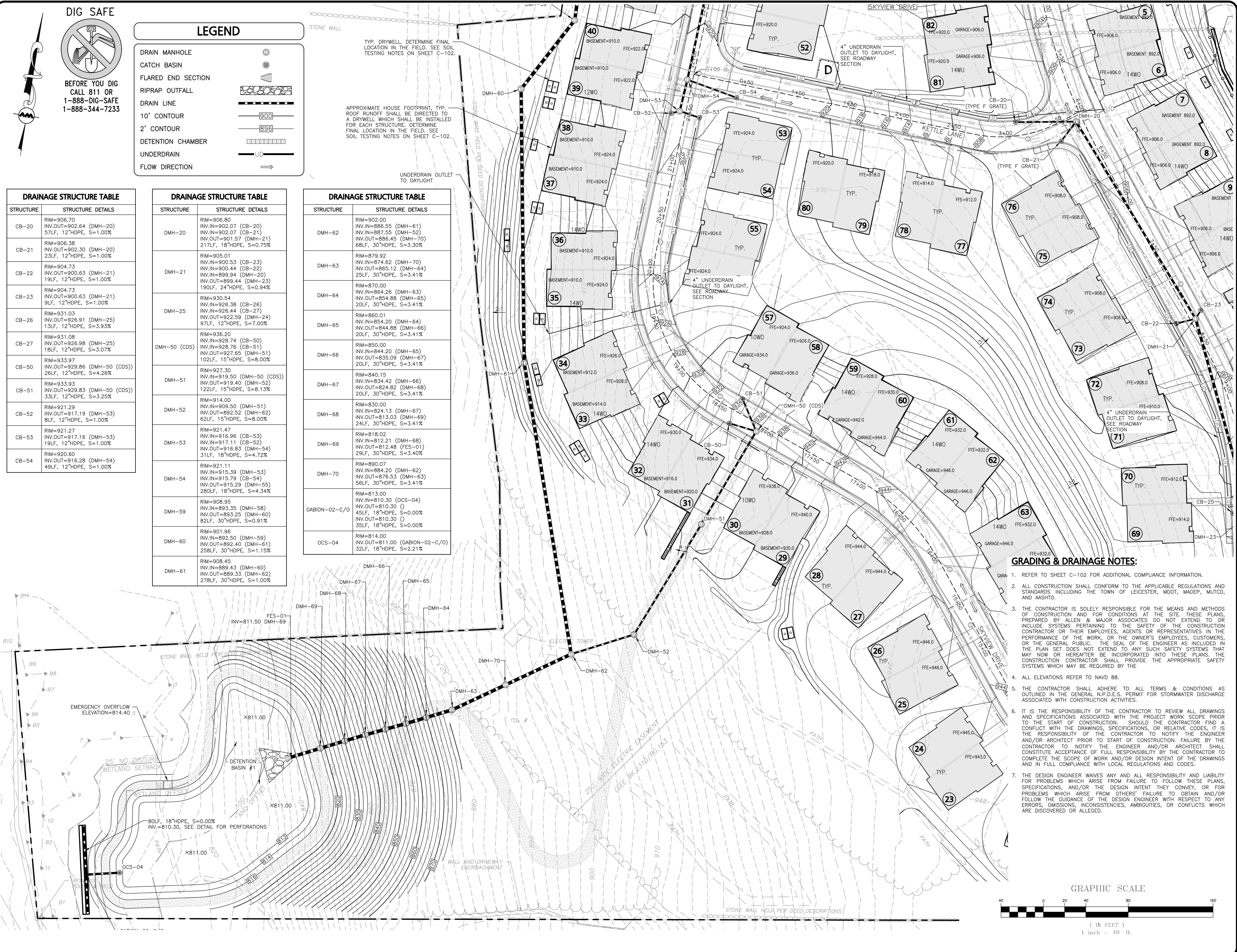
DRAINAGE STRUCTURE TABLE

STRUCTURE	STRUCTURE DETAILS
DMH-20	RIM=906.80 INV.IN=902.07 (CB-20) INV.IN=902.07 (CB-21) INV.OUT=901.57 (DMH-21) 217LF, 18"HDPPE, S=0.75%
DMH-21	RIM=905.01 INV.IN=900.53 (CB-23) INV.IN=900.44 (CB-22) INV.IN=899.94 (DMH-20) INV.OUT=899.44 (DMH-23) 190LF, 24"HDPPE, S=0.94%
DMH-25	RIM=936.20 INV.IN=928.74 (CB-50) INV.IN=928.76 (CB-51) INV.OUT=927.65 (DMH-51) 102LF, 15"HDPPE, S=8.00%
DMH-51	RIM=927.30 INV.IN=919.50 (DMH-50 (CDS)) INV.OUT=919.40 (DMH-52) 122LF, 15"HDPPE, S=8.13%
DMH-52	RIM=914.00 INV.IN=909.50 (DMH-51) INV.OUT=892.52 (DMH-62) 62LF, 15"HDPPE, S=8.00%
DMH-53	RIM=921.47 INV.IN=916.96 (CB-53) INV.IN=917.11 (CB-52) INV.OUT=916.83 (DMH-54) 31LF, 18"HDPPE, S=4.72%
DMH-54	RIM=921.11 INV.IN=915.39 (DMH-53) INV.OUT=915.79 (CB-54) INV.OUT=915.29 (DMH-55) 280LF, 18"HDPPE, S=4.34%
DMH-59	RIM=908.95 INV.IN=893.35 (DMH-58) INV.OUT=893.25 (DMH-60) 82LF, 30"HDPPE, S=0.91%
DMH-60	RIM=901.96 INV.IN=892.50 (DMH-59) INV.OUT=892.40 (DMH-61) 258LF, 30"HDPPE, S=1.15%
DMH-61	RIM=908.45 INV.IN=889.43 (DMH-60) INV.OUT=889.33 (DMH-62) 278LF, 30"HDPPE, S=1.00%

DRAINAGE STRUCTURE TABLE

STRUCTURE	STRUCTURE DETAILS
DMH-62	RIM=902.00 INV.IN=886.55 (DMH-61) INV.IN=902.07 (DMH-52) INV.OUT=886.45 (DMH-70) 68LF, 30"HDPPE, S=3.30%
DMH-63	RIM=879.92 INV.IN=874.62 (DMH-70) INV.IN=865.12 (DMH-64) 25LF, 30"HDPPE, S=3.41%
DMH-64	RIM=870.00 INV.IN=864.26 (DMH-63) INV.OUT=854.88 (DMH-65) 20LF, 30"HDPPE, S=3.41%
DMH-65	RIM=860.01 INV.IN=854.20 (DMH-64) INV.OUT=844.88 (DMH-68) 20LF, 30"HDPPE, S=3.41%
DMH-66	RIM=850.00 INV.IN=844.20 (DMH-65) INV.OUT=835.09 (DMH-67) 20LF, 30"HDPPE, S=3.41%
DMH-67	RIM=840.15 INV.IN=834.42 (DMH-66) INV.OUT=824.82 (DMH-68) 20LF, 30"HDPPE, S=3.41%
DMH-68	RIM=830.00 INV.IN=824.13 (DMH-67) INV.OUT=813.03 (DMH-69) 24LF, 30"HDPPE, S=3.41%
DMH-69	RIM=818.02 INV.IN=812.21 (DMH-68) INV.OUT=812.48 (FES-01) 29LF, 30"HDPPE, S=3.40%
DMH-70	RIM=884.20 (DMH-62) INV.IN=876.53 (DMH-63) 56LF, 30"HDPPE, S=3.41%
GABION-02-C/O	RIM=813.00 INV.IN=810.30 (OCS-04) INV.OUT=810.30 () 45LF, 18"HDPPE, S=0.00%
OCS-04	RIM=814.00 INV.OUT=811.00 (GABION-02-C/O) 32LF, 18"HDPPE, S=2.21%

R:\PROJECTS\2889-01\CIVIL DRAWINGS\CURRENT\2889-01-GRADING & DRAINAGE.DWG



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 40' DWG.: c2889-01_grading & drainage

DESIGNED BY: SM CHECKED BY: MAM



civil engineering • land surveying
environmental planning • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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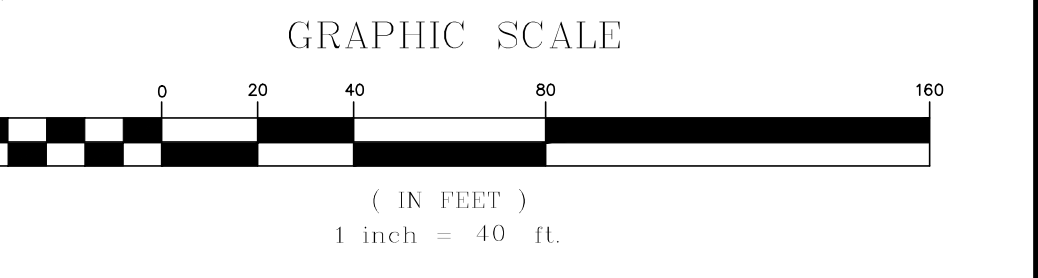
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GRADING & DRAINAGE PLAN C-102A

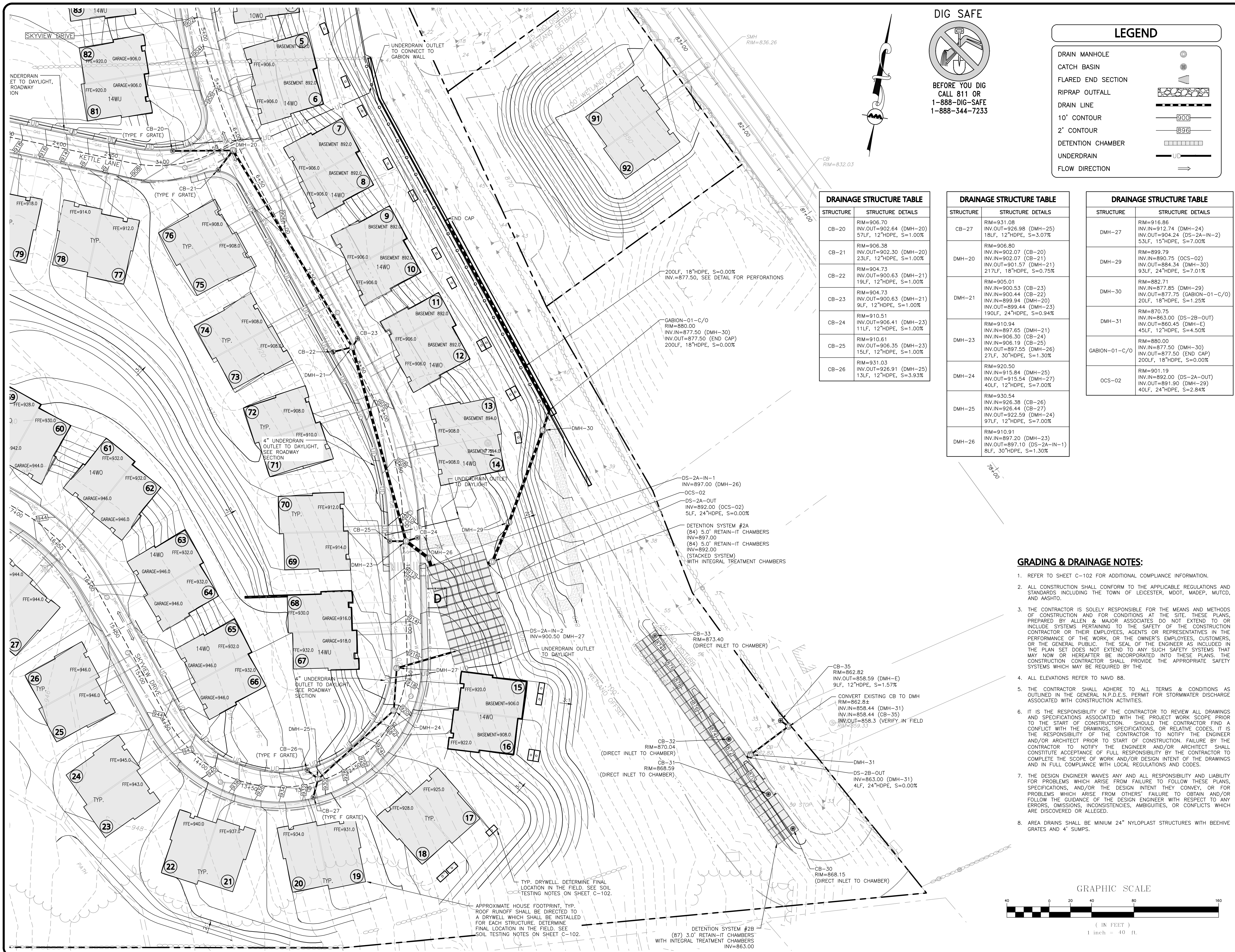
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GRADING & DRAINAGE NOTES:

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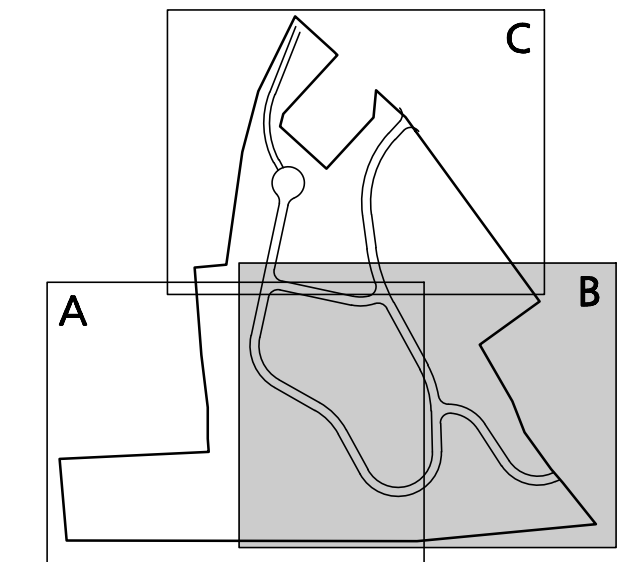
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- CATCH BASIN
- FLARED END SECTION
- RIPRAP OUTFALL
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- DETENTION CHAMBER
- UNDERDRAIN
- FLOW DIRECTION



KEY MAP
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APPROVAL UNDER SITE PLAN APPROVAL
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DATE: _____

LEICESTER PLANNING BOARD

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BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

STRUCTURE	STRUCTURE DETAILS
CB-20	RIM=906.70 INV.OUT=902.64 (DMH-20) 57LF, 12"HDPE, S=1.00%
CB-21	RIM=906.38 INV.OUT=902.30 (DMH-20) 23LF, 12"HDPE, S=1.00%
CB-22	RIM=904.73 INV.OUT=900.63 (DMH-21) 19LF, 12"HDPE, S=1.00%
CB-23	RIM=904.73 INV.OUT=900.63 (DMH-21) 9LF, 12"HDPE, S=1.00%
CB-24	RIM=910.51 INV.OUT=906.41 (DMH-23) 11LF, 12"HDPE, S=1.00%
CB-25	RIM=910.61 INV.OUT=906.35 (DMH-23) 19LF, 12"HDPE, S=1.00%
CB-26	RIM=931.03 INV.OUT=926.91 (DMH-25) 13LF, 12"HDPE, S=3.93%

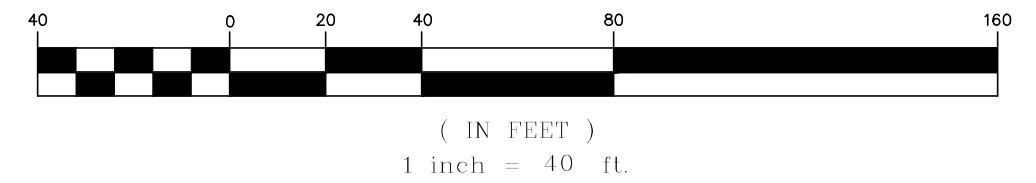
STRUCTURE	STRUCTURE DETAILS
CB-27	RIM=931.08 INV.OUT=926.98 (DMH-25) 18LF, 12"HDPE, S=3.07%
DMH-20	RIM=906.80 INV.IN=902.07 (CB-20) INV.OUT=901.57 (DMH-21) 217LF, 18"HDPE, S=0.75%
DMH-21	RIM=905.01 INV.IN=900.53 (CB-23) INV.IN=900.44 (CB-22) INV.IN=899.94 (DMH-20) INV.OUT=899.44 (DMH-23) 190LF, 24"HDPE, S=0.94%
DMH-23	RIM=910.94 INV.IN=897.65 (DMH-21) INV.IN=906.30 (CB-24) INV.IN=906.19 (CB-25) INV.OUT=897.55 (DMH-26) 27LF, 30"HDPE, S=1.30%
DMH-24	RIM=920.50 INV.IN=915.84 (DMH-25) INV.OUT=915.54 (DMH-27) 40LF, 12"HDPE, S=7.00%
DMH-25	RIM=930.54 INV.IN=926.38 (CB-26) INV.IN=926.44 (CB-27) INV.OUT=922.59 (DMH-24) 97LF, 12"HDPE, S=7.00%
DMH-26	RIM=910.91 INV.IN=897.20 (DMH-23) INV.OUT=897.10 (DS-2A-IN-1) 8LF, 30"HDPE, S=1.30%

STRUCTURE	STRUCTURE DETAILS
DMH-27	RIM=916.86 INV.IN=912.74 (DMH-24) INV.OUT=904.24 (DS-2A-IN-2) 53LF, 15"HDPE, S=7.00%
DMH-29	RIM=899.79 INV.IN=890.75 (OCS-02) INV.OUT=884.34 (DMH-30) 93LF, 24"HDPE, S=7.01%
DMH-30	RIM=882.71 INV.IN=877.85 (DMH-29) INV.OUT=877.75 (GABION-01-C/O) 20LF, 18"HDPE, S=1.25%
DMH-31	RIM=870.75 INV.IN=863.00 (DS-2B-OUT) INV.OUT=860.45 (DMH-E) 45LF, 12"HDPE, S=4.50%
GABION-01-C/O	RIM=880.00 INV.IN=877.50 (DMH-30) INV.OUT=877.50 (END CAP) 200LF, 18"HDPE, S=0.00%
OCS-02	RIM=901.19 INV.IN=892.00 (DS-2A-OUT) INV.OUT=891.90 (DMH-29) 40LF, 24"HDPE, S=2.84%

GRADING & DRAINAGE NOTES:

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- AREA DRAINS SHALL BE MINIMUM 24" NYLOPLAST STRUCTURES WITH BEEHIVE GRATES AND 4" SUMPS.

GRAPHIC SCALE



REV	DATE	DESCRIPTION
03-02-22		MISC. REVS. PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-01-2022
SCALE: 1" = 40' DWG.: c2889-01_grading & drainage
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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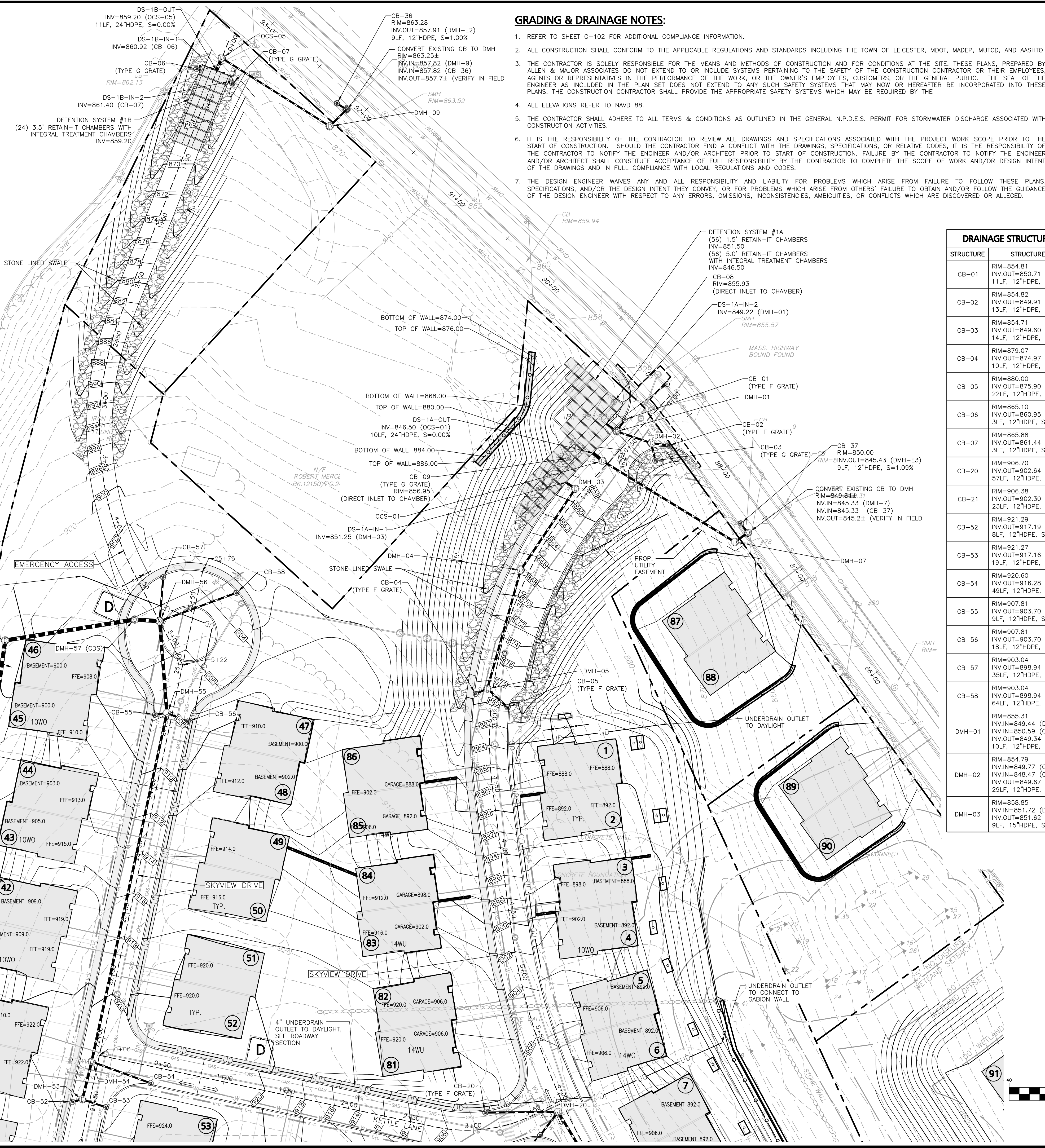
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SHEET No. **C-102B**
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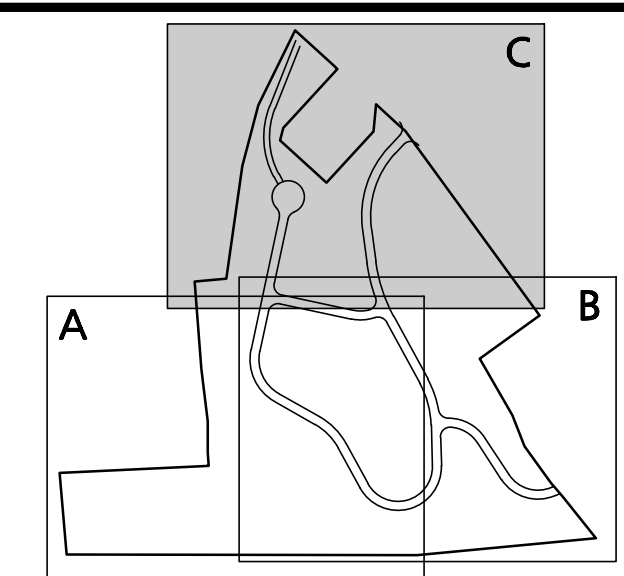
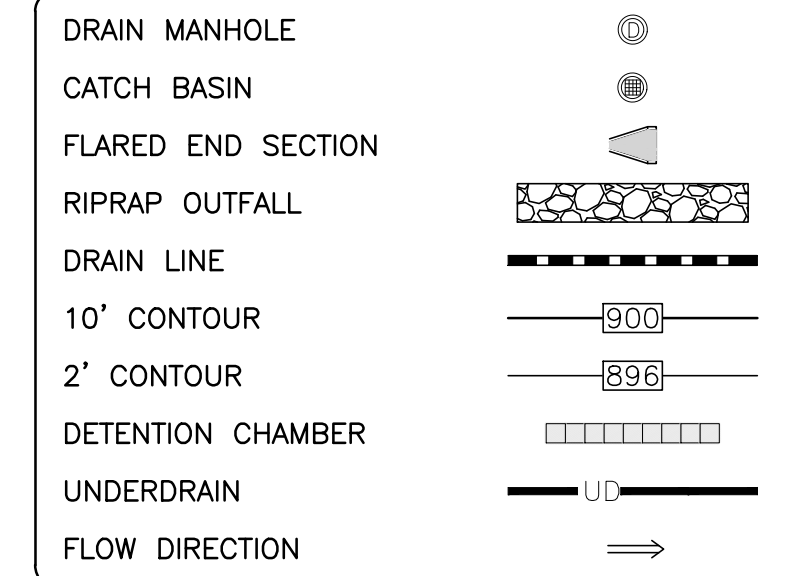
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LEGEND



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD
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TOWN CLERK - TOWN OF LEICESTER
MICHAEL A. MALYNOWSKI
CIVIL
No. 47269
REGISTERED PROFESSIONAL ENGINEER

Professionally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

DRAINAGE STRUCTURE TABLE

Table with 2 columns: STRUCTURE and STRUCTURE DETAILS. Lists structures CB-01 through CB-58 and DMH-01 through DMH-60 with their respective elevations and slopes.

DRAINAGE STRUCTURE TABLE

Table with 2 columns: STRUCTURE and STRUCTURE DETAILS. Lists structures DMH-04 through DMH-60 and OCS-01 through OCS-05 with their respective elevations and slopes.

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 40' DWG.: c2889-01_grading & drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET No. C-102C

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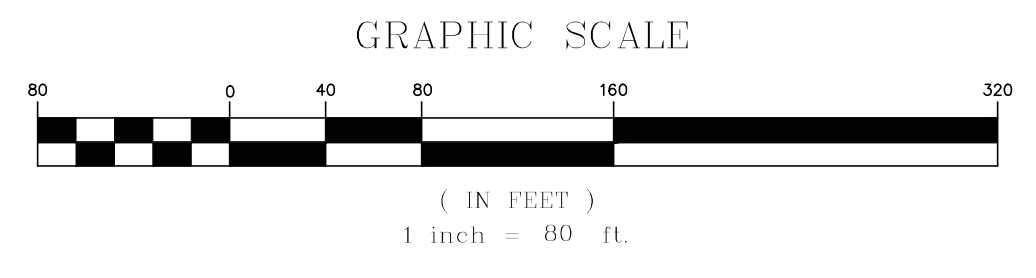
DRAIN MANHOLE	⊕
CATCH BASIN	⊗
FLARED END SECTION	▲
RIPRAP OUTFALL	▨
DRAIN LINE	—●—
10' CONTOUR	—900—
2' CONTOUR	—898—
DETENTION CHAMBER	▭
UNDERDRAIN	—UD—
FLOW DIRECTION	→

SOIL TESTING NOTES:

- ADDITIONAL TEST PITS SHALL BE DUG WITHIN THE FOOTPRINT OF EACH DRYWELL USED FOR STORMWATER INFILTRATION. A MINIMUM OF 2 VERTICAL FEET BELOW THE BOTTOM OF STONE ELEVATION. DURING EXCAVATION, DEPTHS TO BEDROCK AND/OR SEASONAL HIGH WATER SHALL BE OBSERVED AND RECORDED IF ENCOUNTERED. IF LEDGE, BEDROCK OR SIMILAR SUBSURFACE MATERIAL IS DISCOVERED WITHIN 2 VERTICAL FEET FROM THE DESIGNED BOTTOM STONE ELEVATION OF THE INFILTRATION SYSTEM, THE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH CRUSHED STONE OF EQUAL DIAMETER THAT WILL BE USED TO CONSTRUCT THE INFILTRATION SYSTEM.
- IN THE EVENT THE ON-SITE CONDITIONS ARE NOT CONSISTENT WITH THE MODELED INFILTRATION RATE, MODIFICATIONS TO THE SYSTEM MUST BE REVIEWED AND APPROVED BY THE TOWN'S ENGINEER AND BY THE PLANNING STAFF.

SOIL EXCAVATION NOTE:

- PER LEICESTER PLANNING BOARD SITE PLAN REVIEW REGULATIONS, SECTION 11.9: PROPOSED GRADING SHOWN REQUIRES APPROXIMATELY 92,170± CUBIC YARDS OF MATERIAL TO BE MOVED.



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 80' DWG. : C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: **EARTH MOVING SUMMARY PLAN**

SHEET No. **C-102D**

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17 OF 31

TP-1 Date: 3/23/2022 Pit elevation: 904.4
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 10	Top Soil	Many fine roots
10 - 16	Fine Sandy Loam	10YR 4/4
16 - 72	Very Fine Sandy Loam	2.5Y 4/3
72 - 192	Fine Sandy Loam	10YR 3/3

Pit Bottom: 192" 888.40
Observed Water: n/a
Restrictive Layer: 18" 903.07
Seepage: 18" 902.90

Mottles: 25" <5% 902.32
Some glaying: n/a

TP-2 Date: 3/23/2022 Pit elevation: 920.57
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 10	Top Soil	Many fine roots
10 - 29	Fine Sandy Loam	10YR 4/4
29 - 66	Very Fine Sandy Loam	2.5Y 5/2
66 - 164	Fine Sandy Loam	10YR 3/3

Pit Bottom: 164" 906.90
Observed Water: n/a
Restrictive Layer: 29" 918.15
Seepage: 29" 918.15

Mottles: 44" <5% 916.90
Some glaying: n/a

TP-3 Date: 3/23/2022 Pit elevation: 907.14
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 10	Top Soil	Many fine roots
10 - 24	Fine Sandy Loam	10YR 4/4
24 - 68	Very Fine Sandy Loam	2.5Y 4/3
68 - 144	Fine Sandy Loam	10YR 3/3

Pit Bottom: 144" 895.14
Observed Water: n/a
Restrictive Layer: 24" 905.14
Seepage: 44" 903.47

Mottles: 43" <5% 903.56
Some glaying: n/a

TP-4 Date: 3/23/2022 Pit elevation: 915.5
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 12	Top Soil	Many fine roots
12 - 22	Fine Sandy Loam	10YR 4/3
22 - 69	Very Fine Sandy Loam	2.5Y 4/3
69 - 139	Fine Sandy Loam	10YR 3/3

Pit Bottom: 139" 903.92
Observed Water: n/a
Restrictive Layer: 22" 913.67
Seepage: 37" 912.42

Mottles: 37" <5% 912.42
Some glaying: n/a

TP-5 Date: 3/23/2022 Pit elevation: 941.03
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 12	Top Soil	Many fine roots
12 - 24	Fine Sandy Loam	10YR 5/4
24 - 72	Very Fine Sandy Loam	2.5Y 4/3
72 - 124	Fine Sandy Loam	10YR 3/3

Pit Bottom: 124" 930.70
Observed Water: n/a
Restrictive Layer: 24" 939.03
Seepage: 34" 938.20

Mottles: 26" <5% 938.86
Some glaying: n/a

TP-6 Date: 3/23/2022 Pit elevation: 946.36
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 12	Top Soil	Many fine roots
12 - 22	Fine Sandy Loam	10YR 5/4
22 - 84	Very Fine Sandy Loam	2.5Y 4/3
84 - 120	Fine Sandy Loam	10YR 3/3

Pit Bottom: 120" 936.36
Observed Water: n/a
Restrictive Layer: 22" 944.53
Seepage: 30" 943.86

Mottles: 22" <5% 944.53
Some glaying: n/a

TP-8 Date: 3/23/2022 Pit elevation: 923.18
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 11	Top Soil	Many fine roots
11 - 34	Fine Sandy Loam	10YR 5/4
34 - 60	Very Fine Sandy Loam	2.5Y 4/3
60 - 139	Fine Sandy Loam	10YR 3/3

Pit Bottom: 139" 913.60
Observed Water: n/a
Restrictive Layer: 34" 920.35
Seepage: 21" 921.43

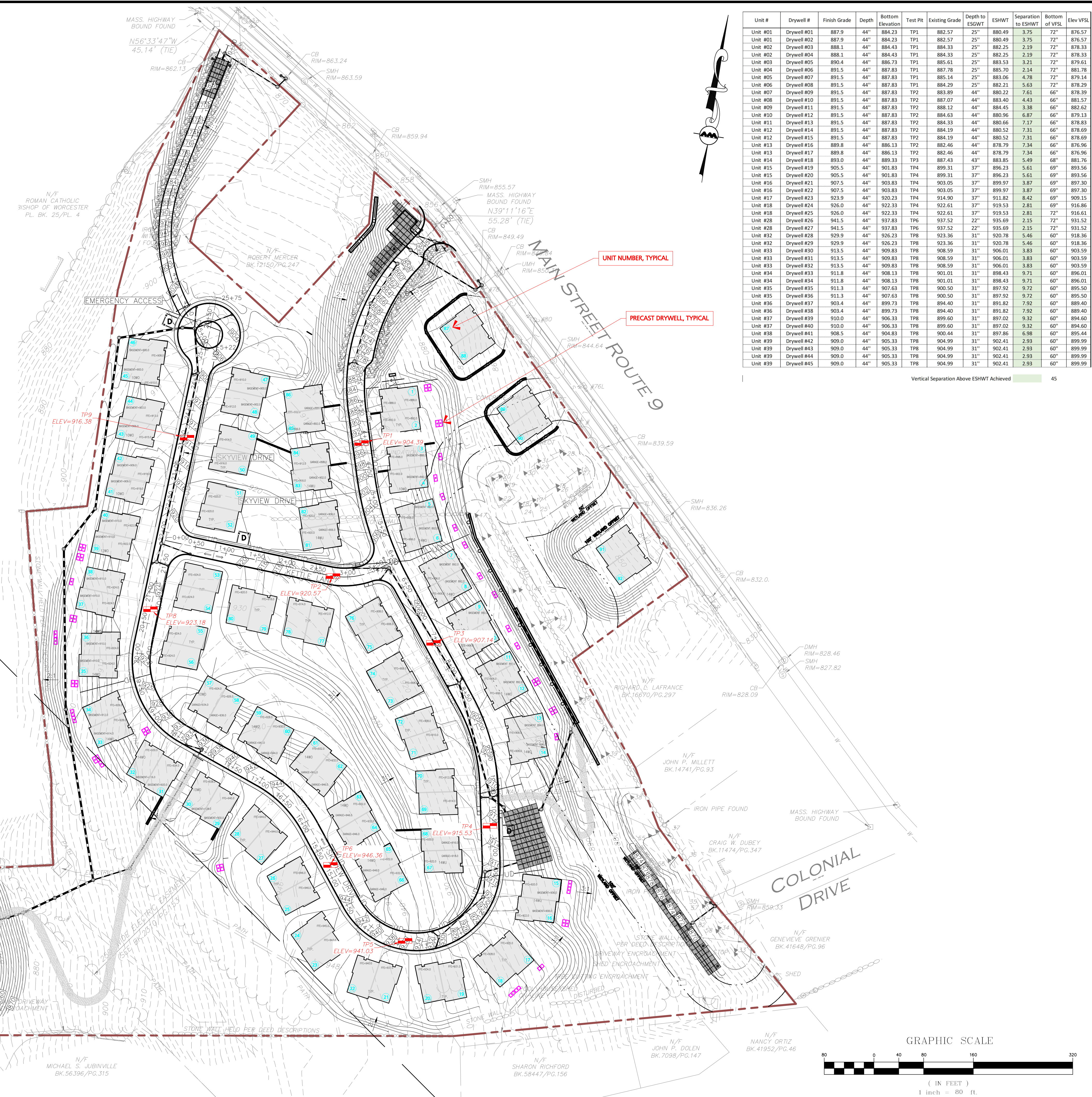
Mottles: 31" <5% 920.60
Some glaying: n/a

TP-9 Date: 3/23/2022 Pit elevation: 916.38
Witnessed by Shelley E. Hultgren - Quinn Engineering

Depth	Soil	Notes
0 - 10	Top Soil	Many fine roots
10 - 24	Fine Sandy Loam	10YR 5/4
24 - 52	Very Fine Sandy Loam	2.5Y 4/3
52 - 153	Fine Sandy Loam	10YR 3/3

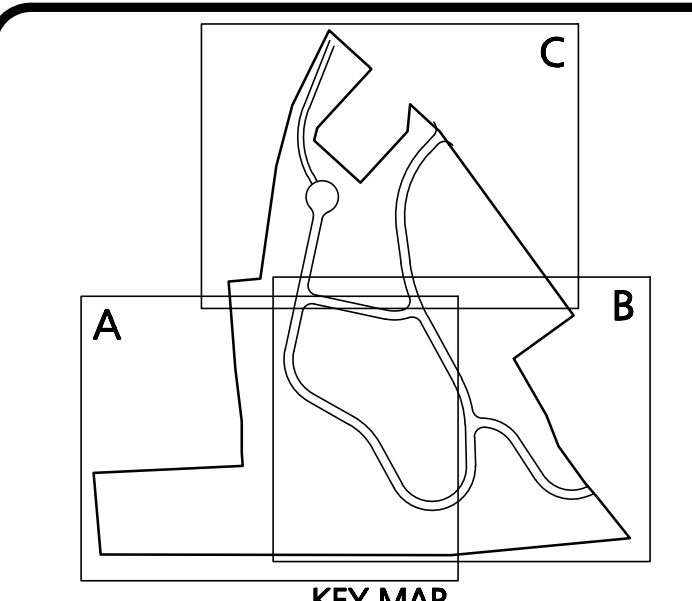
Pit Bottom: 153" 903.63
Observed Water: n/a
Restrictive Layer: 24" 914.38
Seepage: 22" 914.55

Mottles: 21" <5% 914.63
Some glaying: n/a



Unit #	Drywell #	Finish Grade	Depth	Bottom Elevation	Test Pit	Existing Grade	Depth to ESWWT	Separation to ESWWT	Bottom of VFSL	Elev VFSL	
Unit #01	Drywell #01	887.9	44"	884.23	TP1	882.57	25"	880.49	3.75	72"	876.57
Unit #01	Drywell #02	887.9	44"	884.23	TP1	882.57	25"	880.49	3.75	72"	876.57
Unit #02	Drywell #03	888.1	44"	884.43	TP1	884.33	25"	882.25	2.19	72"	878.33
Unit #02	Drywell #04	888.1	44"	884.43	TP1	884.33	25"	882.25	2.19	72"	878.33
Unit #03	Drywell #05	890.4	44"	886.73	TP1	885.61	25"	883.53	3.21	72"	879.61
Unit #04	Drywell #06	891.5	44"	887.83	TP1	887.78	25"	885.70	2.14	72"	881.78
Unit #05	Drywell #07	891.5	44"	887.83	TP1	885.14	25"	883.06	4.78	72"	879.14
Unit #06	Drywell #08	891.5	44"	887.83	TP1	884.29	25"	882.21	5.63	72"	879.29
Unit #07	Drywell #09	891.5	44"	887.83	TP2	883.89	44"	880.22	7.61	66"	878.39
Unit #08	Drywell #10	891.5	44"	887.83	TP2	887.07	44"	883.40	4.43	66"	881.57
Unit #09	Drywell #11	891.5	44"	887.83	TP2	888.12	44"	884.45	3.38	66"	882.62
Unit #10	Drywell #12	891.5	44"	887.83	TP2	884.63	44"	880.96	6.87	66"	879.13
Unit #11	Drywell #13	891.5	44"	887.83	TP2	884.33	44"	880.66	7.17	66"	878.83
Unit #12	Drywell #14	891.5	44"	887.83	TP2	884.19	44"	880.52	7.31	66"	878.69
Unit #12	Drywell #15	891.5	44"	887.83	TP2	884.19	44"	880.52	7.31	66"	878.69
Unit #13	Drywell #16	889.8	44"	886.13	TP2	882.46	44"	878.79	7.34	66"	876.96
Unit #13	Drywell #17	889.8	44"	886.13	TP2	882.46	44"	878.79	7.34	66"	876.96
Unit #14	Drywell #18	893.0	44"	889.33	TP3	887.43	43"	883.85	5.49	66"	881.76
Unit #15	Drywell #19	905.5	44"	901.83	TP4	899.31	37"	896.23	5.61	69"	893.56
Unit #15	Drywell #20	905.5	44"	901.83	TP4	899.31	37"	896.23	5.61	69"	893.56
Unit #16	Drywell #21	907.5	44"	903.83	TP4	903.05	37"	899.97	3.87	69"	897.30
Unit #16	Drywell #22	907.5	44"	903.83	TP4	903.05	37"	899.97	3.87	69"	897.30
Unit #17	Drywell #23	923.9	44"	920.23	TP4	914.90	37"	911.82	8.42	69"	909.15
Unit #18	Drywell #24	926.0	44"	922.33	TP4	922.61	37"	919.53	2.81	72"	916.61
Unit #18	Drywell #25	926.0	44"	922.33	TP4	922.61	37"	919.53	2.81	72"	916.61
Unit #18	Drywell #26	941.5	44"	937.83	TP6	937.52	22"	935.69	2.15	72"	931.52
Unit #28	Drywell #27	941.5	44"	937.83	TP6	937.52	22"	935.69	2.15	72"	931.52
Unit #32	Drywell #28	929.9	44"	926.23	TP8	923.36	31"	920.78	5.46	60"	918.36
Unit #32	Drywell #29	929.9	44"	926.23	TP8	923.36	31"	920.78	5.46	60"	918.36
Unit #33	Drywell #30	913.5	44"	909.83	TP8	908.59	31"	906.01	3.83	60"	903.59
Unit #33	Drywell #31	913.5	44"	909.83	TP8	908.59	31"	906.01	3.83	60"	903.59
Unit #33	Drywell #32	913.5	44"	909.83	TP8	908.59	31"	906.01	3.83	60"	903.59
Unit #34	Drywell #33	911.8	44"	908.13	TP8	901.01	31"	898.43	9.71	60"	896.01
Unit #34	Drywell #34	911.8	44"	908.13	TP8	901.01	31"	898.43	9.71	60"	896.01
Unit #35	Drywell #35	911.3	44"	907.63	TP8	900.50	31"	897.92	9.72	60"	895.50
Unit #35	Drywell #36	911.3	44"	907.63	TP8	900.50	31"	897.92	9.72	60"	895.50
Unit #36	Drywell #37	903.4	44"	899.73	TP8	894.40	31"	891.82	7.92	60"	889.40
Unit #36	Drywell #38	903.4	44"	899.73	TP8	894.40	31"	891.82	7.92	60"	889.40
Unit #37	Drywell #39	910.0	44"	906.33	TP8	899.60	31"	897.02	9.32	60"	894.60
Unit #37	Drywell #40	910.0	44"	906.33	TP8	899.60	31"	897.02	9.32	60"	894.60
Unit #38	Drywell #41	908.5	44"	904.83	TP8	900.44	31"	897.86	9.38	60"	895.44
Unit #39	Drywell #42	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99
Unit #39	Drywell #43	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99
Unit #39	Drywell #44	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99
Unit #39	Drywell #45	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99

Vertical Separation Above ESWWT Achieved 45



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
04-29-22		MISC. UPDATE PER TOWN COMMENTS
04-13-22		MISC. UPDATE PER TOWN COMMENTS

PROJECT: MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 0903-29-22
SCALE: 1" = 80' DWG.: C2889-01_Tst Pit Layout
DESIGNED BY: SM CHECKED BY: MAM
PREPARED BY:

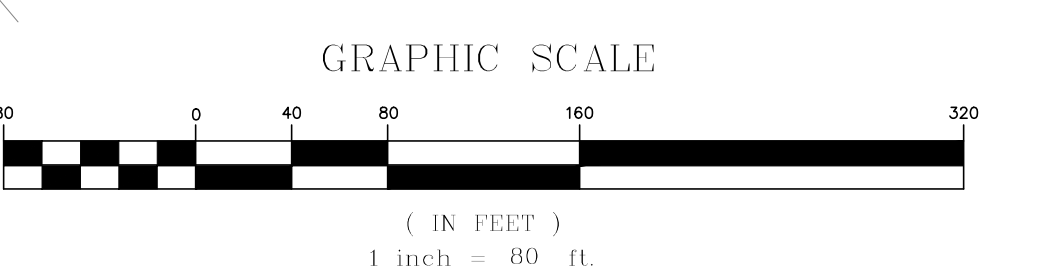

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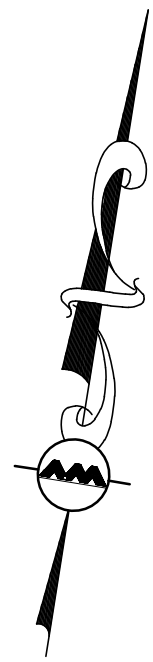
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WATER LINE	
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GAS LINE	
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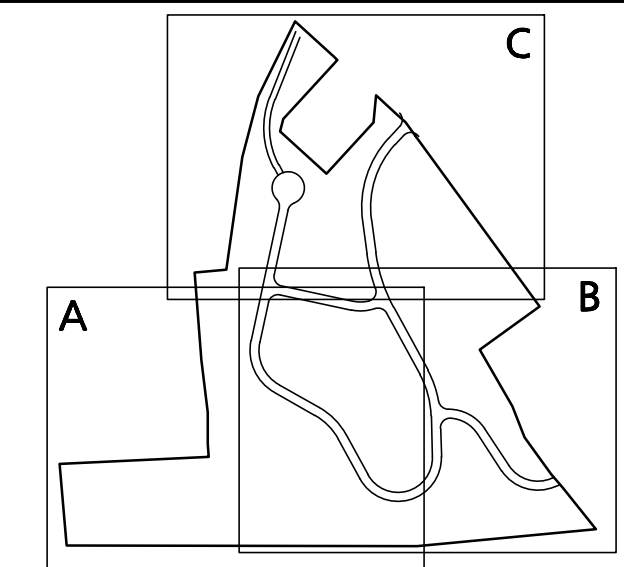
SHEET C

UTILITY NOTES:

1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
5. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MADOT, MADEP, MUTCO, AND AASHTO.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
7. ALL ELEVATIONS REFER TO NAVD 88.
8. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
9. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
10. LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE CITY OF DOVER REGULATIONS AND ELECTRIC COMPANY.
11. LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
13. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

STREET/LOT LIGHTING NOTES:

1. EACH GROUPING OF HOMES SHALL BE PROVIDED WITH A STANDARD LAMP POST LIGHT ON THE LOT NEAR THE INTERSECTION OF THE DRIVEWAY WITH THE STREET RIGHT-OF-WAY LINE. THE TYPE AND INSTALLATION SHALL BE AS DIRECTED BY THE TOWN OF LEICESTER PLANNING BOARD AND IN ACCORDANCE WITH THE STATE ELECTRICAL CODES.
2. EACH HOUSE LIGHT SHALL BE PLACED ON A DUSK TO DAWN TIMER AND SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER AND MAINTAINED IN PERPETUITY AS STATED IN THE RECORDED COVENANTS.



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

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TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -04'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 80' DWG.: C-2889-01_Utilities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



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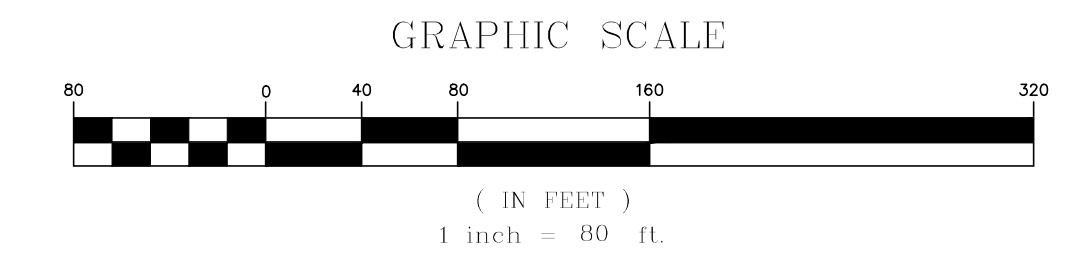
DRAWING TITLE: OVERALL UTILITIES PLAN SHEET No. C-103

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SHEET A



SHEET B



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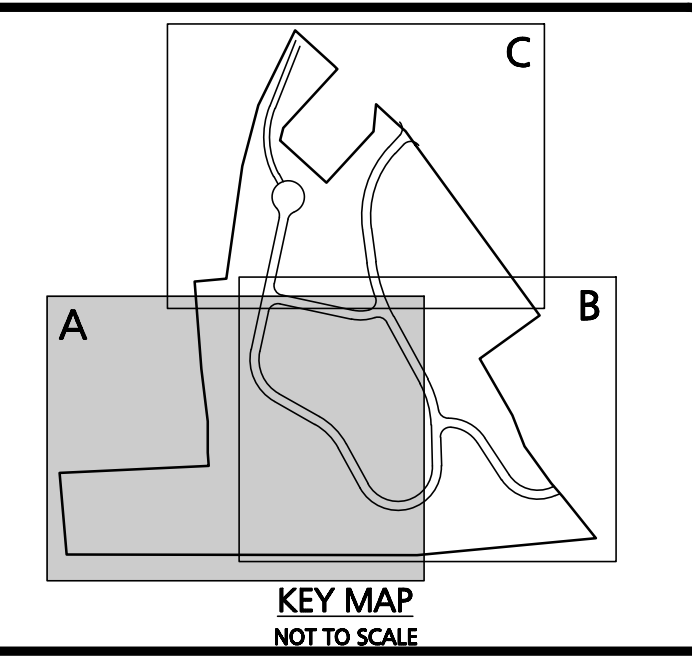


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LEGEND

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- SEWER LINE
- WATER LINE
- WATER VALVE
- ELEC/CABLE CONDUIT
- GAS LINE
- HYDRANT
- UTILITY POLE



APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HERewith.

DATE: _____

LEICESTER PLANNING BOARD
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AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-01-2022
SCALE: 1" = 40' DWG.: C-2889-01_Utillities
DESIGNED BY: SM CHECKED BY: MAM

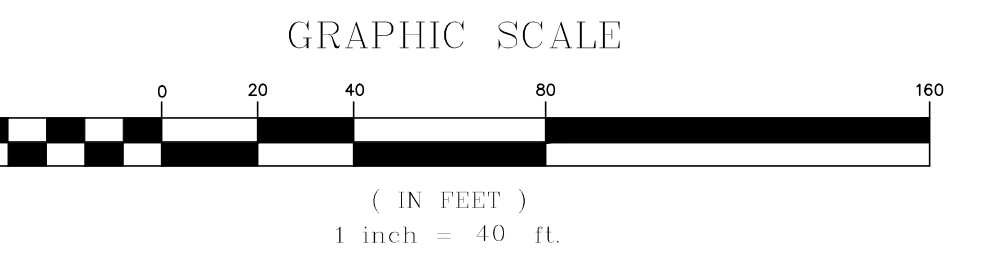
PREPARED BY:

**ALLEN & MAJOR
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civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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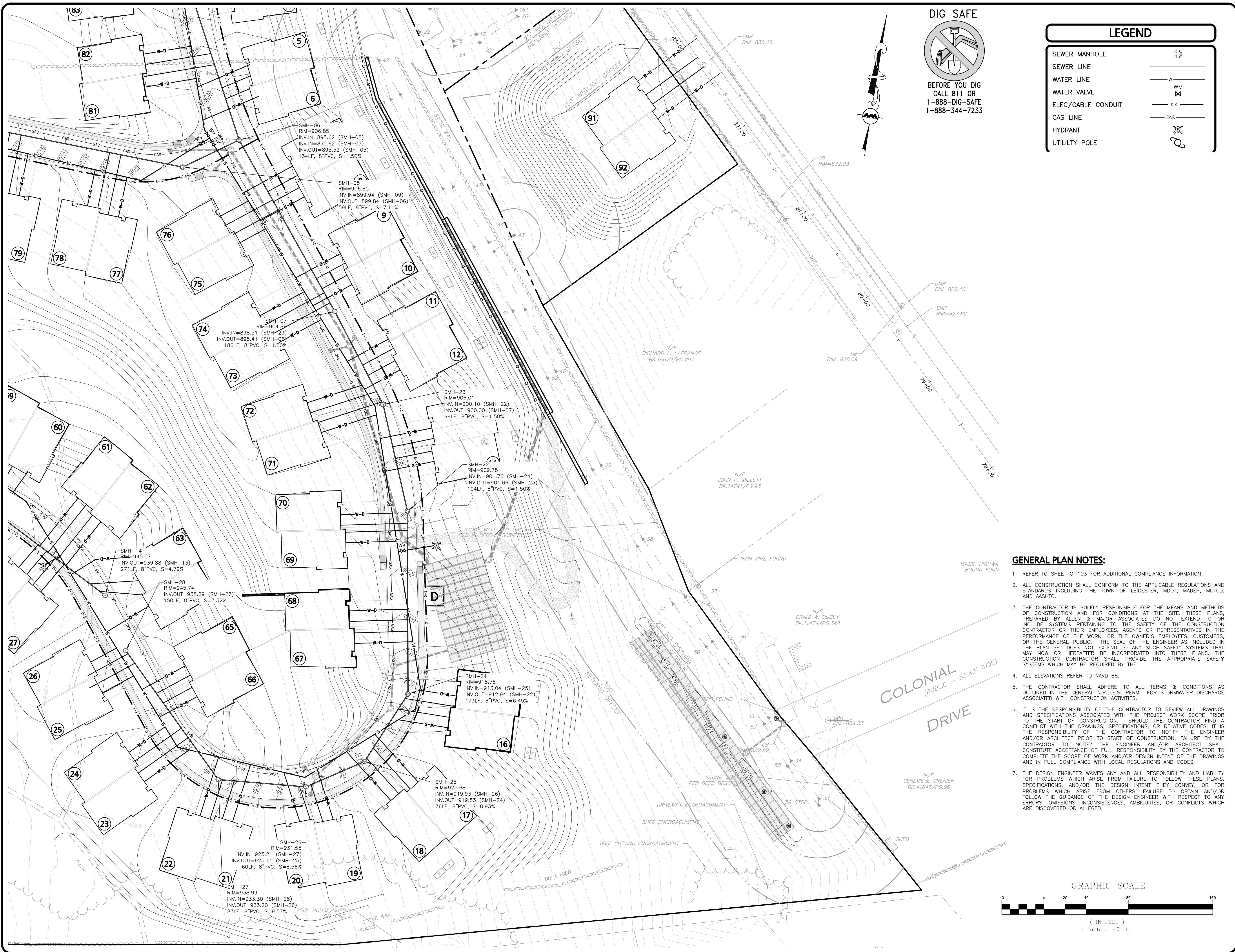
DRAWING TITLE: **UTILITY PLAN** SHEET No. **C-103A**
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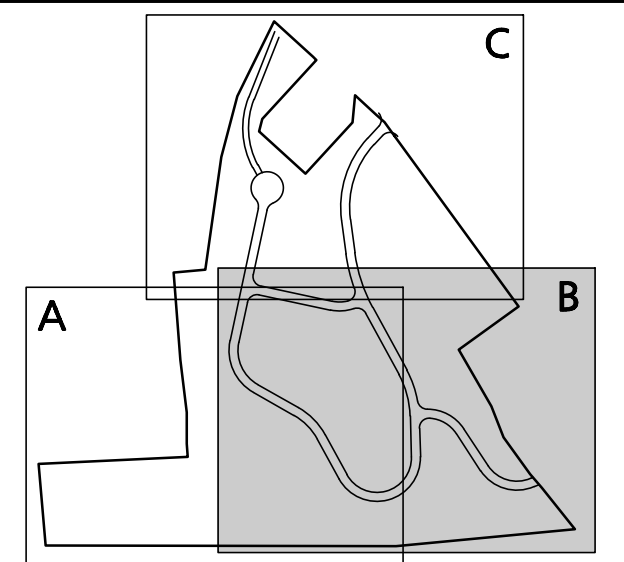
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SEWER LINE	
WATER LINE	
WATER VALVE	
ELEC/CABLE CONDUIT	
GAS LINE	
HYDRANT	
UTILITY POLE	



KEY MAP
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TOWN CLERK - TOWN OF LEICESTER



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Date: 2022.08.31 16:52:07 -04'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 40' DWG.: C-2889-01_Utilities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



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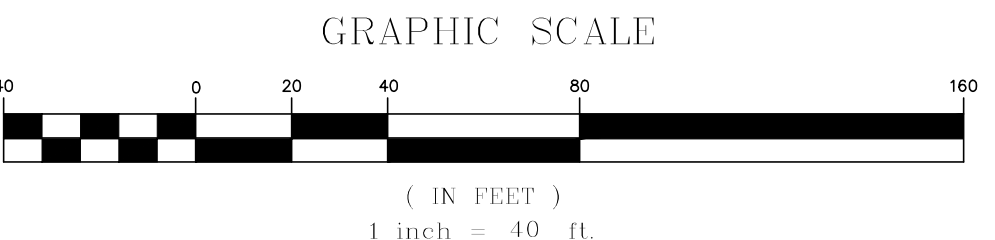
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UTILITY PLAN C-103B

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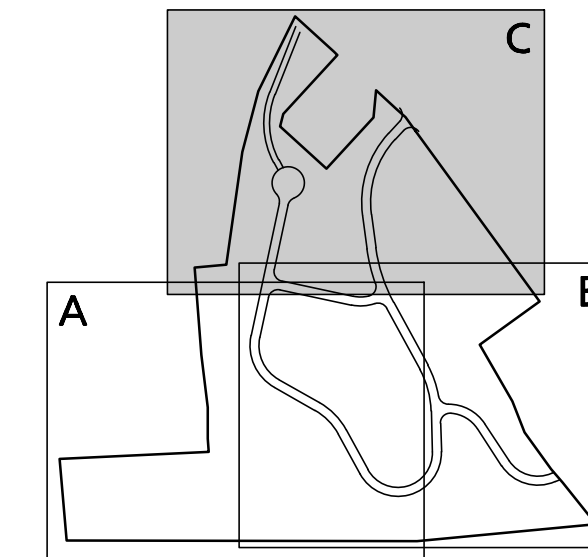


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- ELEC/CABLE CONDUIT
- GAS LINE
- HYDRANT
- UTILITY POLE



KEY MAP
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APPROVAL UNDER SITE PLAN APPROVAL
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DATE: _____

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BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 40' DWG.: C-2889-01_Utillities

DESIGNED BY: SM CHECKED BY: MAM

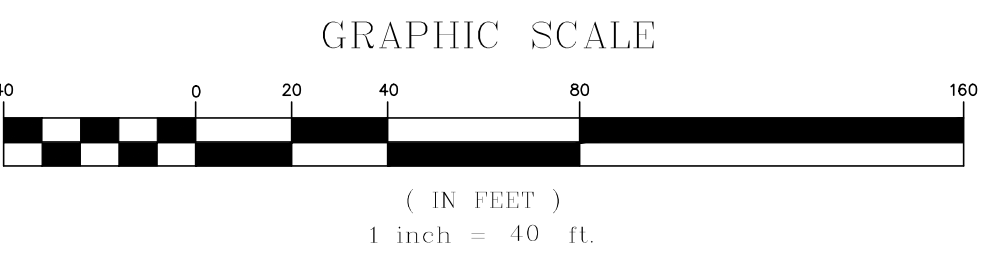
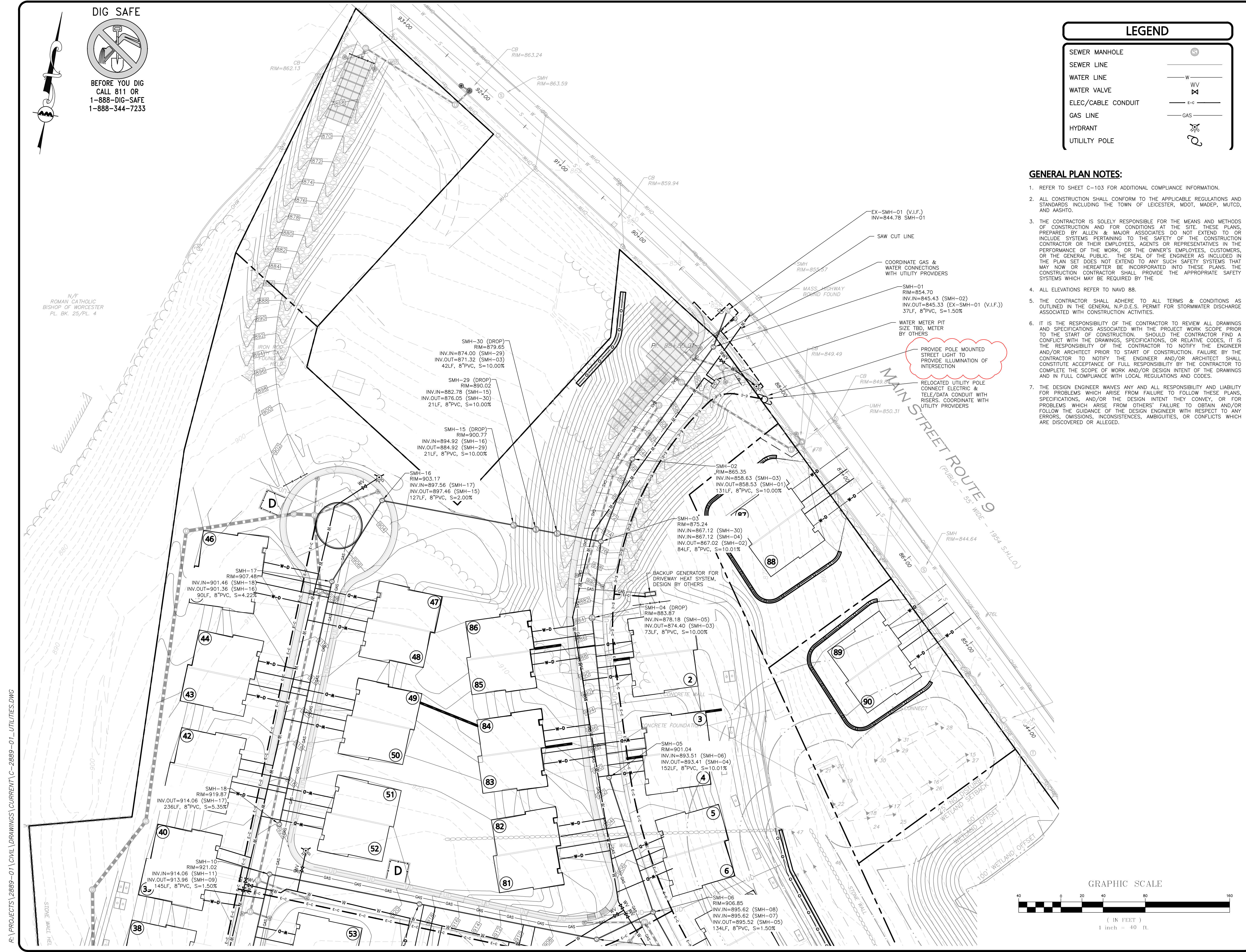
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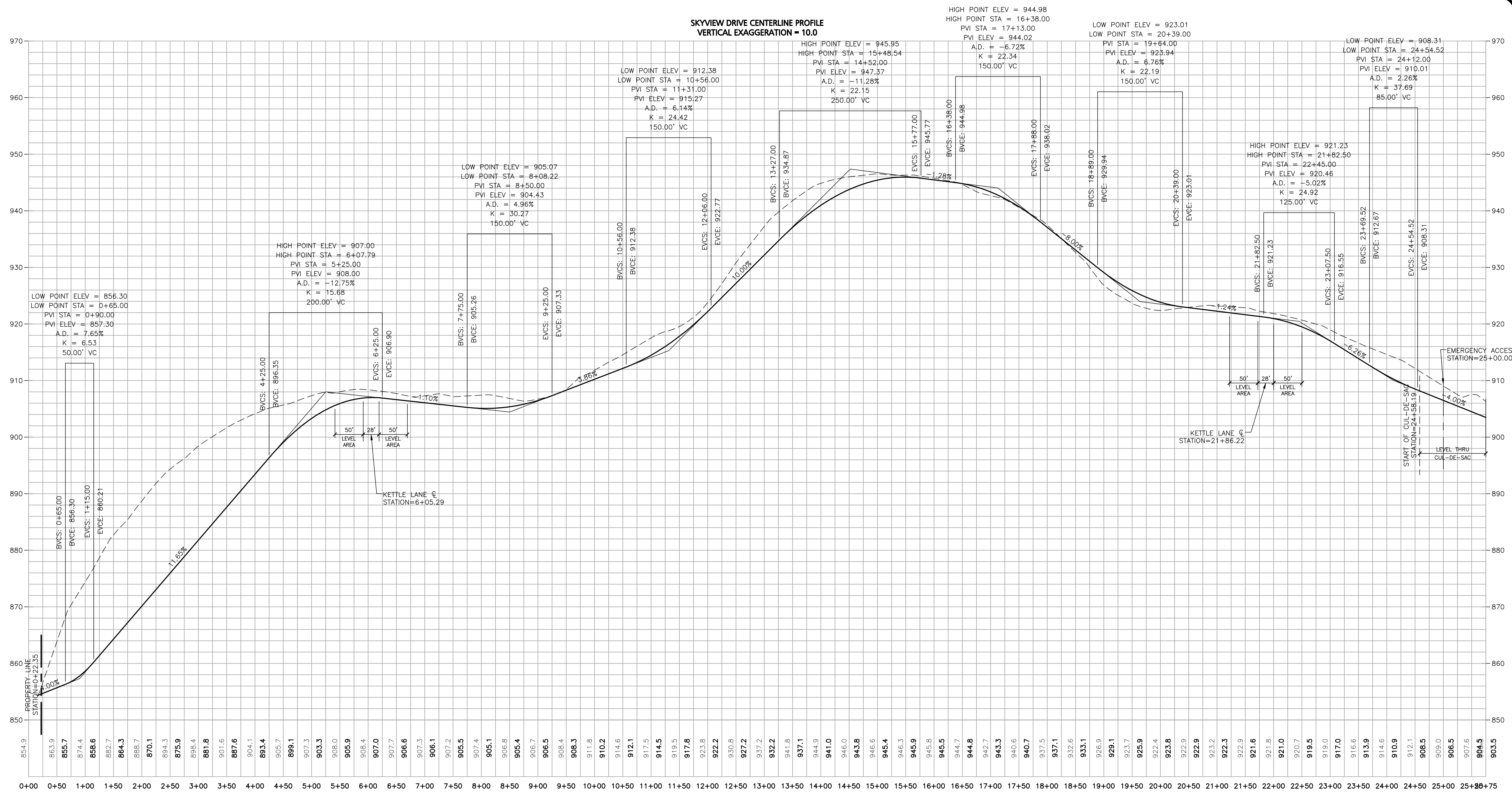
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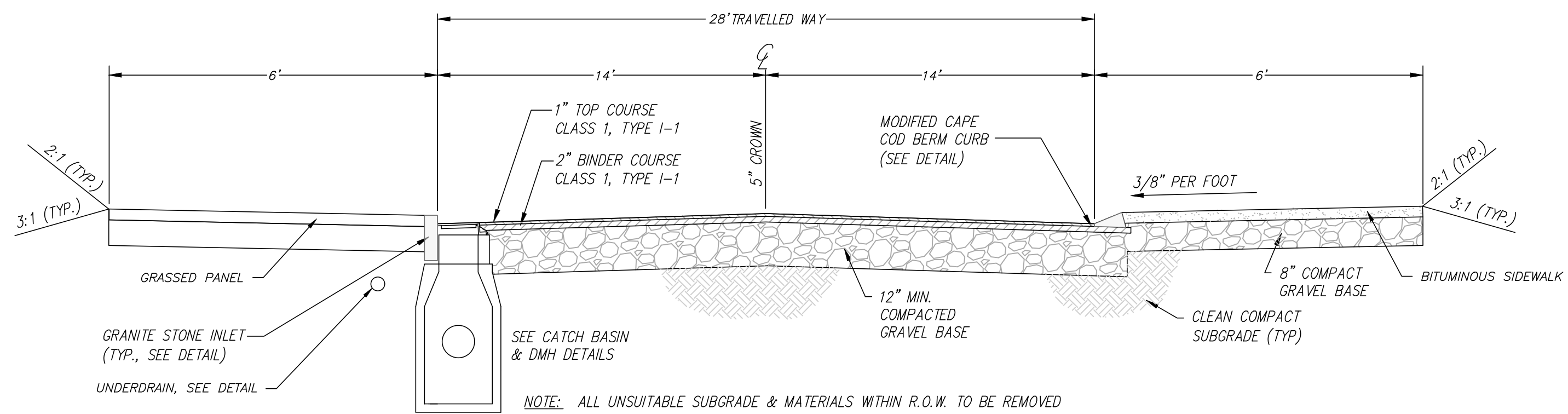


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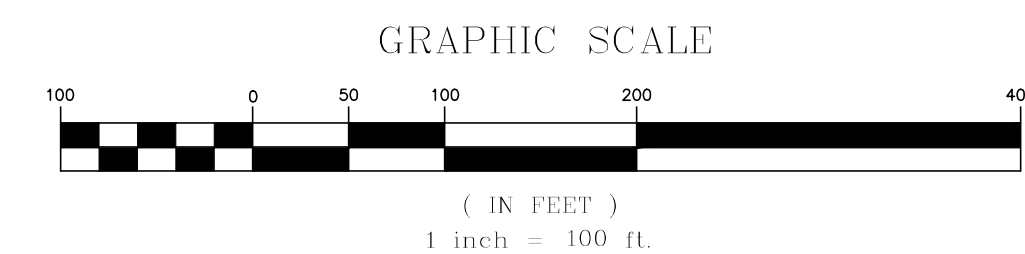


GENERAL NOTES

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- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
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DATE: _____

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TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 100' DWG.: C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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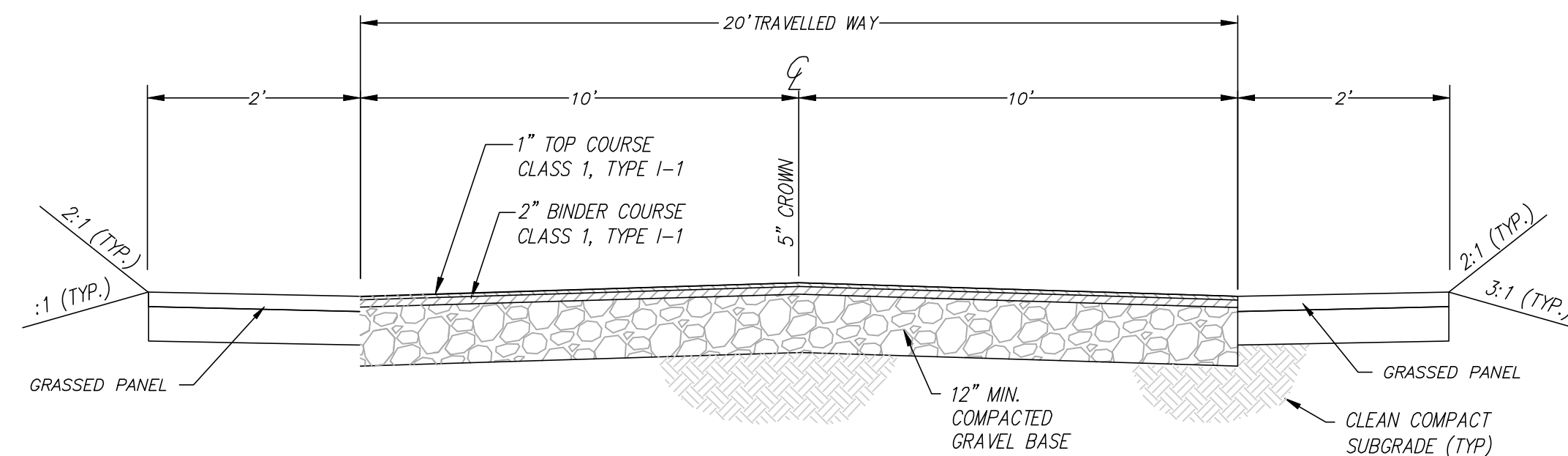
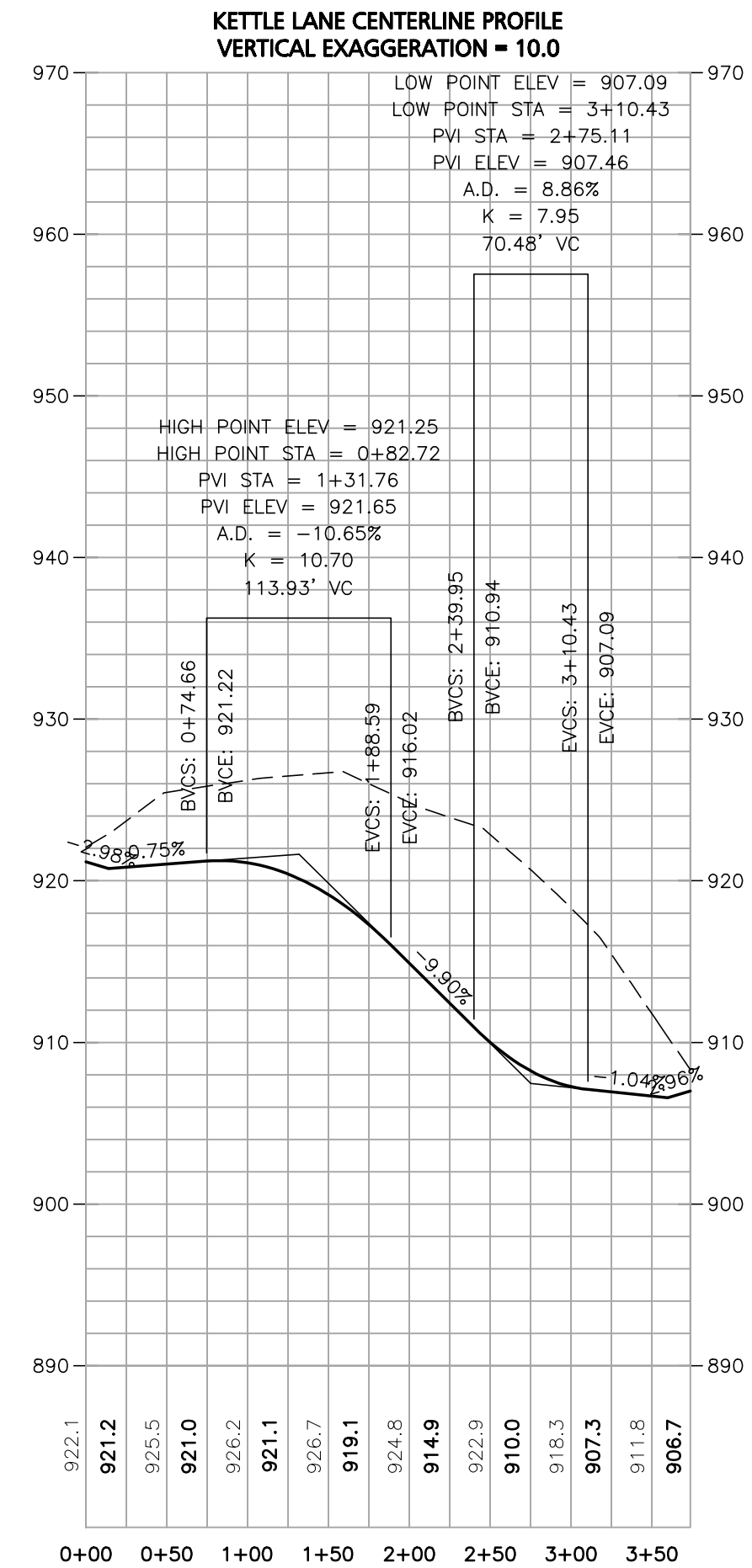
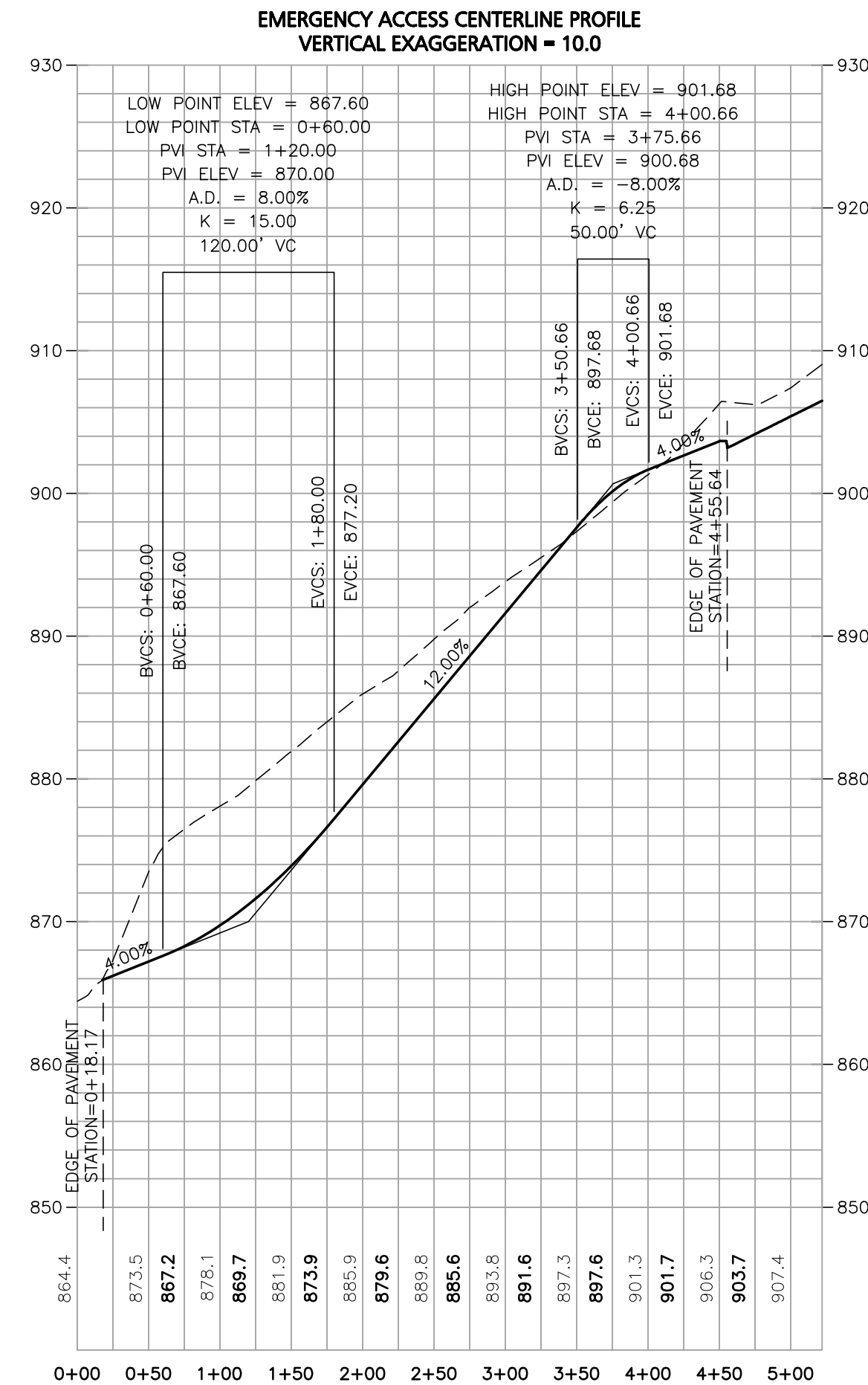
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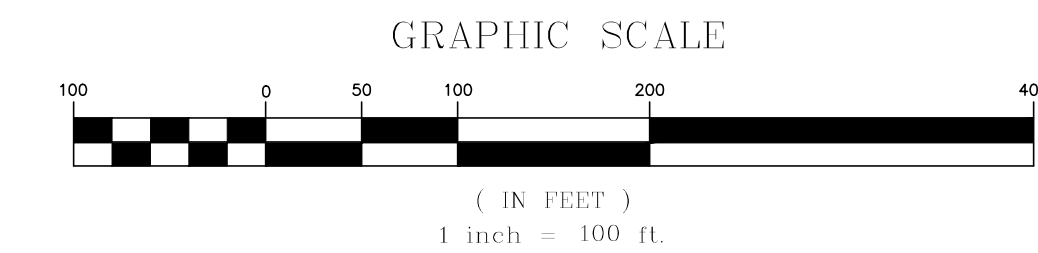
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MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

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DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

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environmental consulting • landscape architecture
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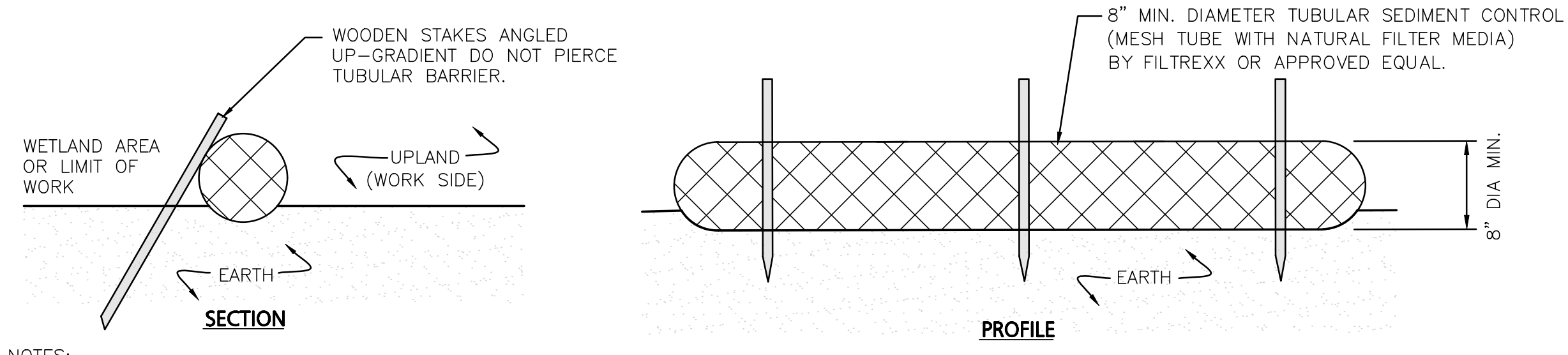
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DRAWING TITLE:
ROADWAY PROFILES
KETTLE LANE &
EMERGENCY ACCESS

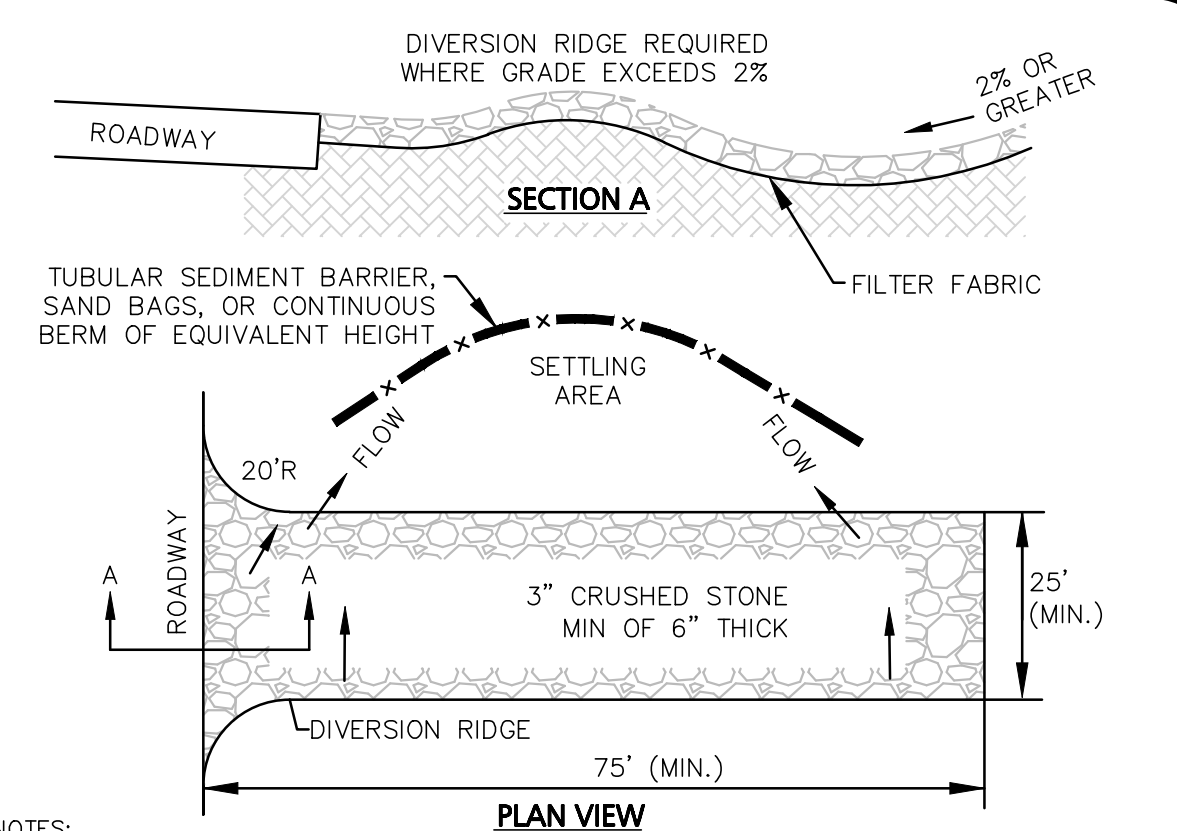
SHEET No.
C-202
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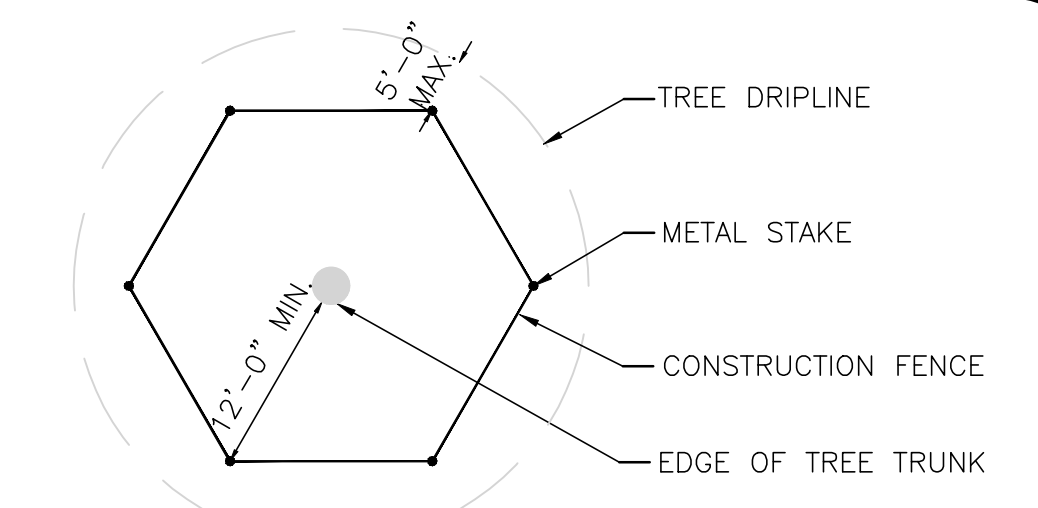
- NOTES:
- TUBULAR SEDIMENT CONTROL SHALL BE 8" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 - ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 - INSTALL WOODEN STAKES ANGLED UP-GRADE EVERY 8' ON CENTER.
 - OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 - THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 - WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 - AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE

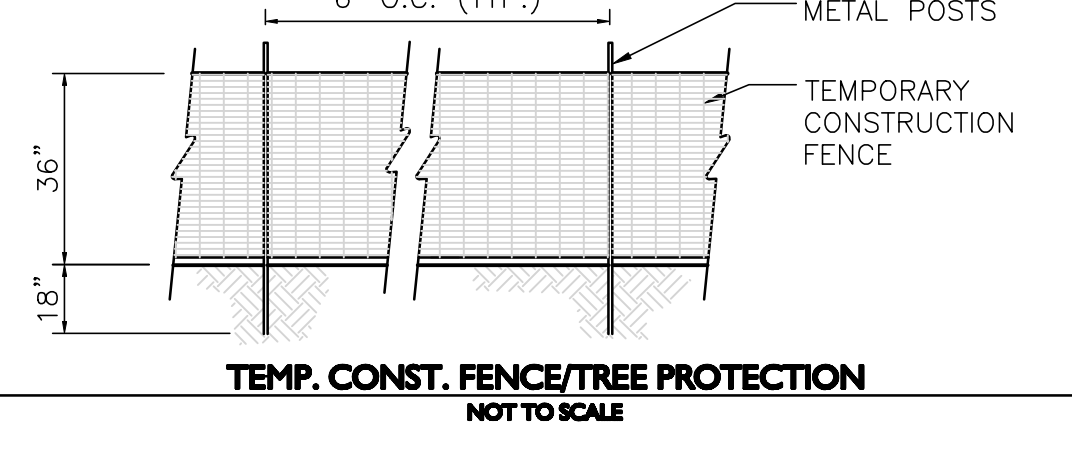


- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

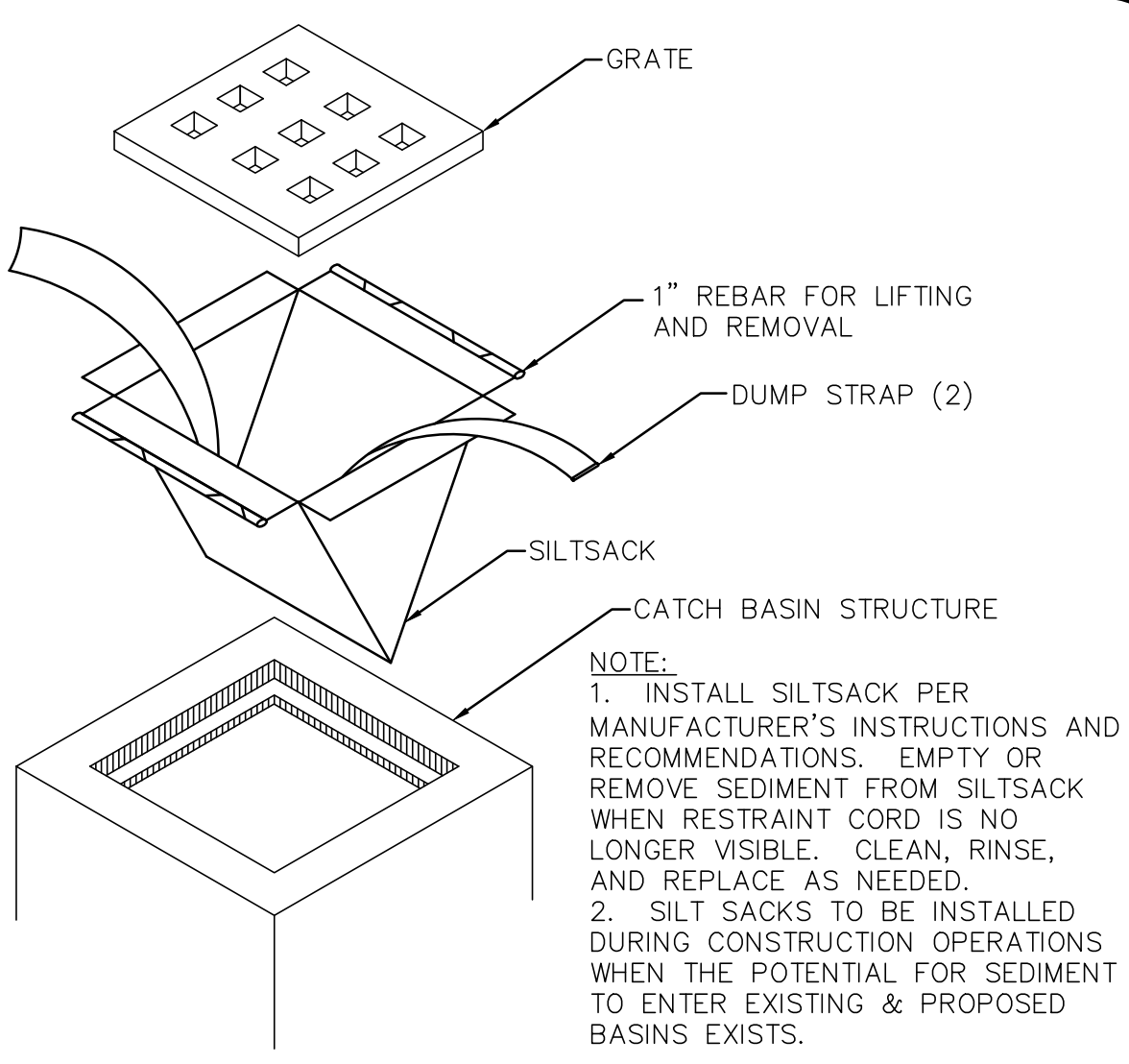
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



- NOTE:
- CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFI, CHARLOTTE, N.C. OR APPROVED EQUAL.
 - IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE TRUNKS AND DRIFLINE.

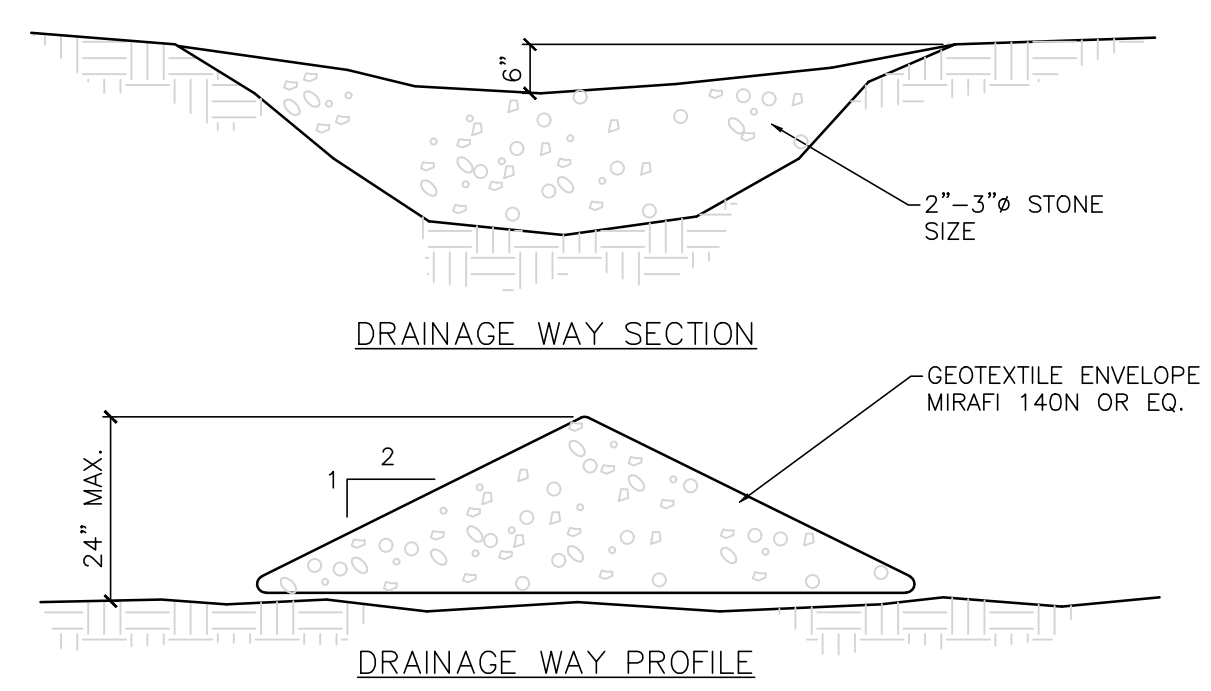


TEMP. CONST. FENCE/TREE PROTECTION
NOT TO SCALE

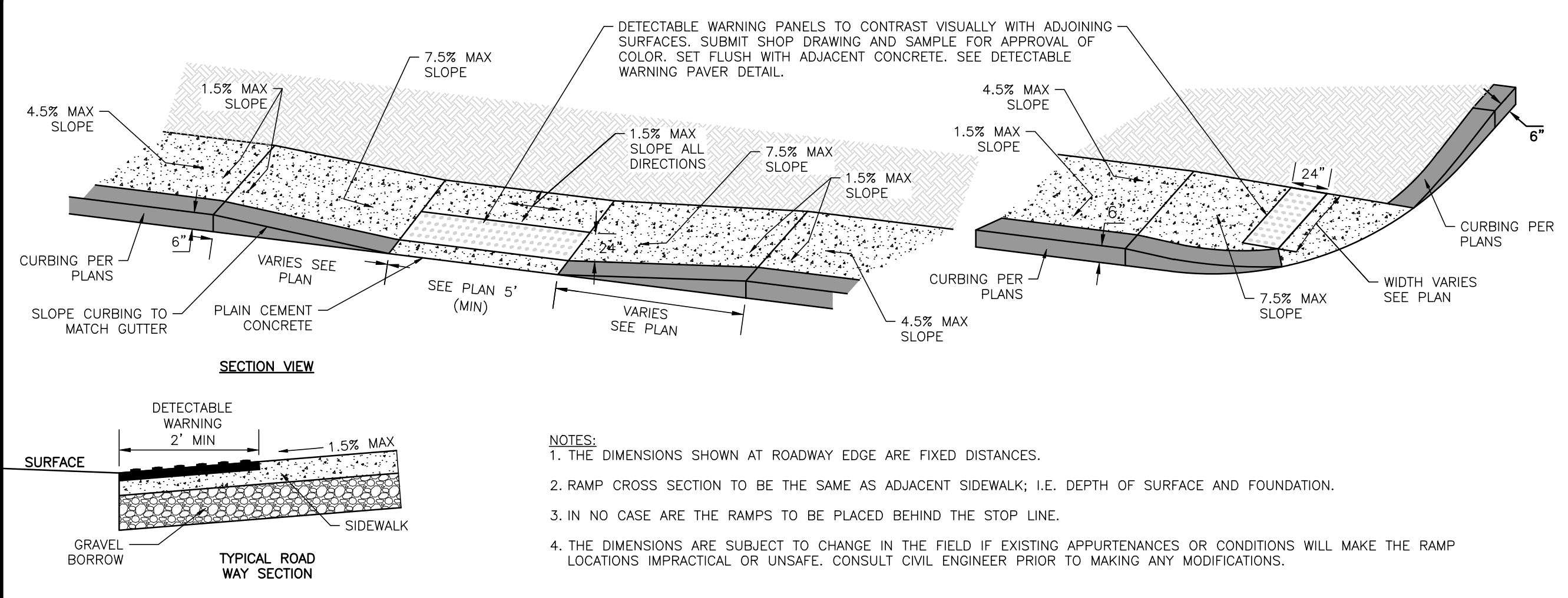


- NOTE:
- INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
 - SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

CATCH BASIN INLET PROTECTION
NOT TO SCALE

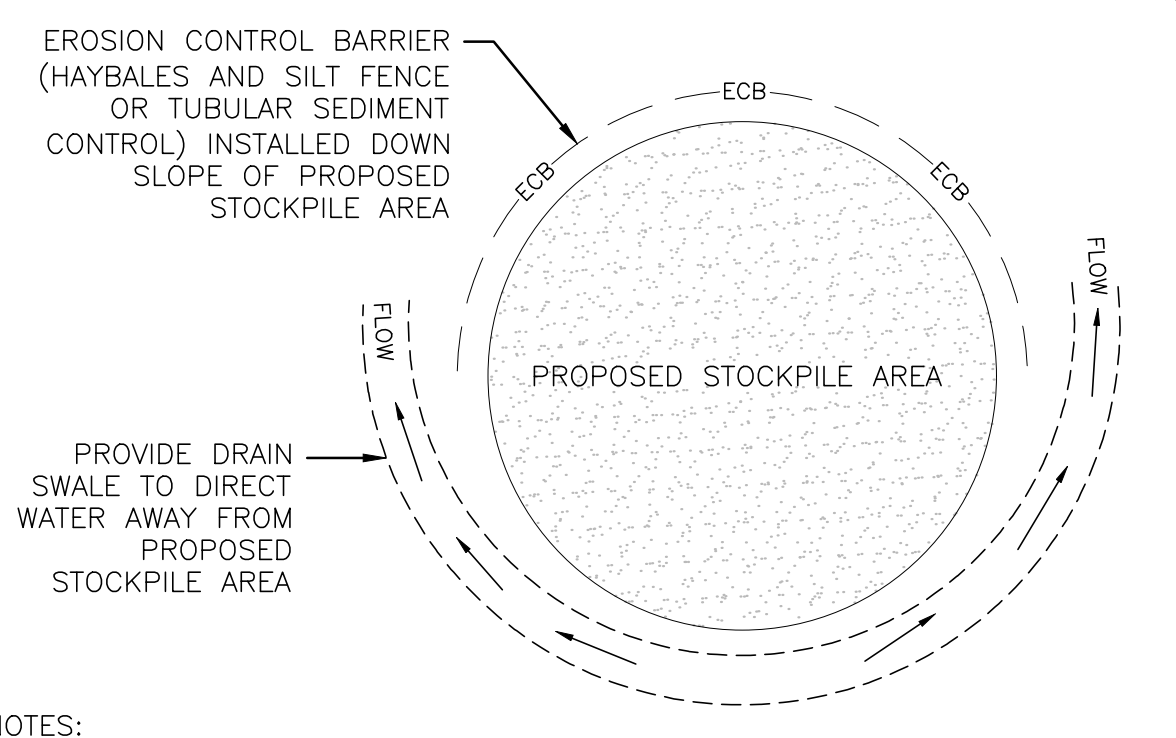


STONE CHECK DAMS
NOT TO SCALE



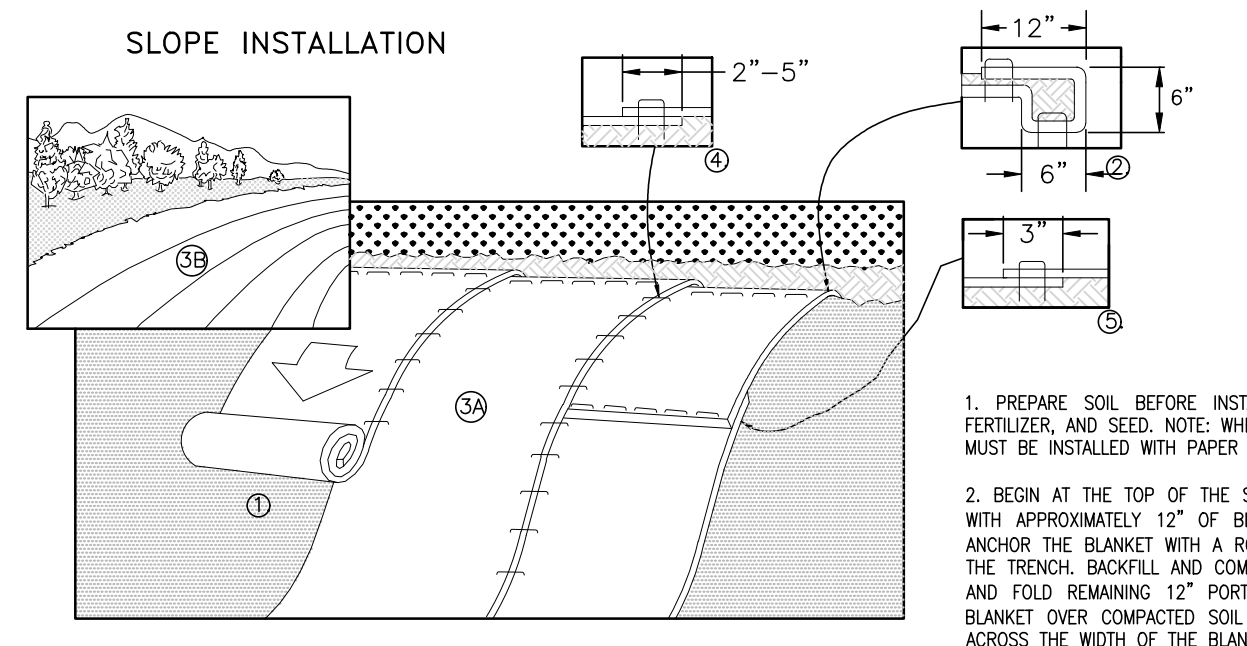
- NOTES:
- THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
 - RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
 - IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
 - THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.

ADA ACCESSIBLE CURB CUT AND TRANSITION
NOT TO SCALE



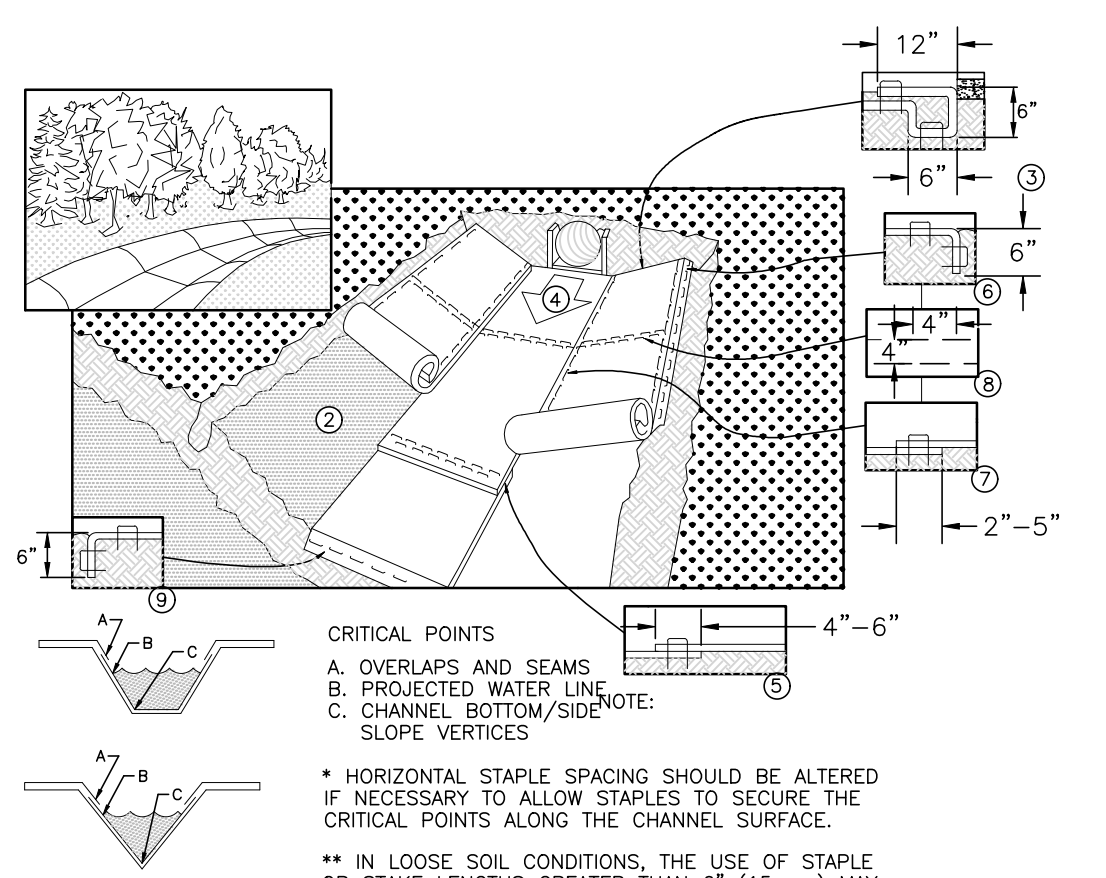
- NOTES:
- SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 - SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION
NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

SLOPE PROTECTION EROSION CONTROL MATTING
NOT TO SCALE



- CHANNEL INSTALLATION SPECIFICATIONS
- Install product in accordance with manufacturer's specifications.
 - Prepare soil before installing blankets, including any necessary application of lime, fertilizer, and seed. Note: when using cell-o-seed, do not seed prepared area. Cell-o-seed must be installed with the paper side down.
 - Begin at the top of the channel by anchoring the blanket in a 6" deep x 6" wide trench with approximately 12" of blanket extended beyond the up-slope portion of the trench. Anchor the blanket with a row of staples/stakes approximately 12" apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" portion of blanket over seed and compacted soil. Secure blanket over compacted soil with a row of staples/stakes spaced approximately 12" apart across the width of the blanket.
 - Roll center blanket in direction of water flow in bottom of channel. Blankets will unroll with appropriate side against the soil surface. All blankets must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using optional dot system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
 - Place consecutive blankets end over end (shingle style) with a 4"-6" overlap. Use a double row of staples staggered 4" apart and 4"(10") on center to secure blankets.
 - Full-length edge of blankets at top of side slopes must be anchored with a row of staples/stakes approximately 12" apart in a 6" deep x 6" wide trench. Backfill and compact the trench after stapling.
 - Adjacent blankets must be overlapped approximately 2"-5" (depending on blanket type) and stapled to ensure proper seam alignment, place the edge of the overlapping blanket (blanket being installed on top) even with the colored seam stitch on the blanket being overlapped.
 - In high flow channel applications, a stone check slot is recommended at 30' to 40' intervals. Use a double row of staples staggered 4" apart and 4" on center over entire width of channel.
- CRITICAL POINTS
- A. OVERLAPS AND SEAMS
 - B. PROJECTED WATER LINE/NOTE: CHANNEL BOTTOM/SIDE SLOPE VERTICES
 - C. CHANNEL BOTTOM/SIDE SLOPE VERTICES
- * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.
- The terminal end of the blankets must be anchored with a row of staples/stakes approximately 12" apart in a 6" deep x 6" wide trench. Backfill and compact the trench after stapling.

ROLLED EROSION CONTROL MATTING
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

MICHAEL A. MALYNOWSKI
CIVIL ENGINEER
No. 47269
REGISTERED PROFESSIONAL

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: AS SHOWN DWG.: C-2889-01_Details

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

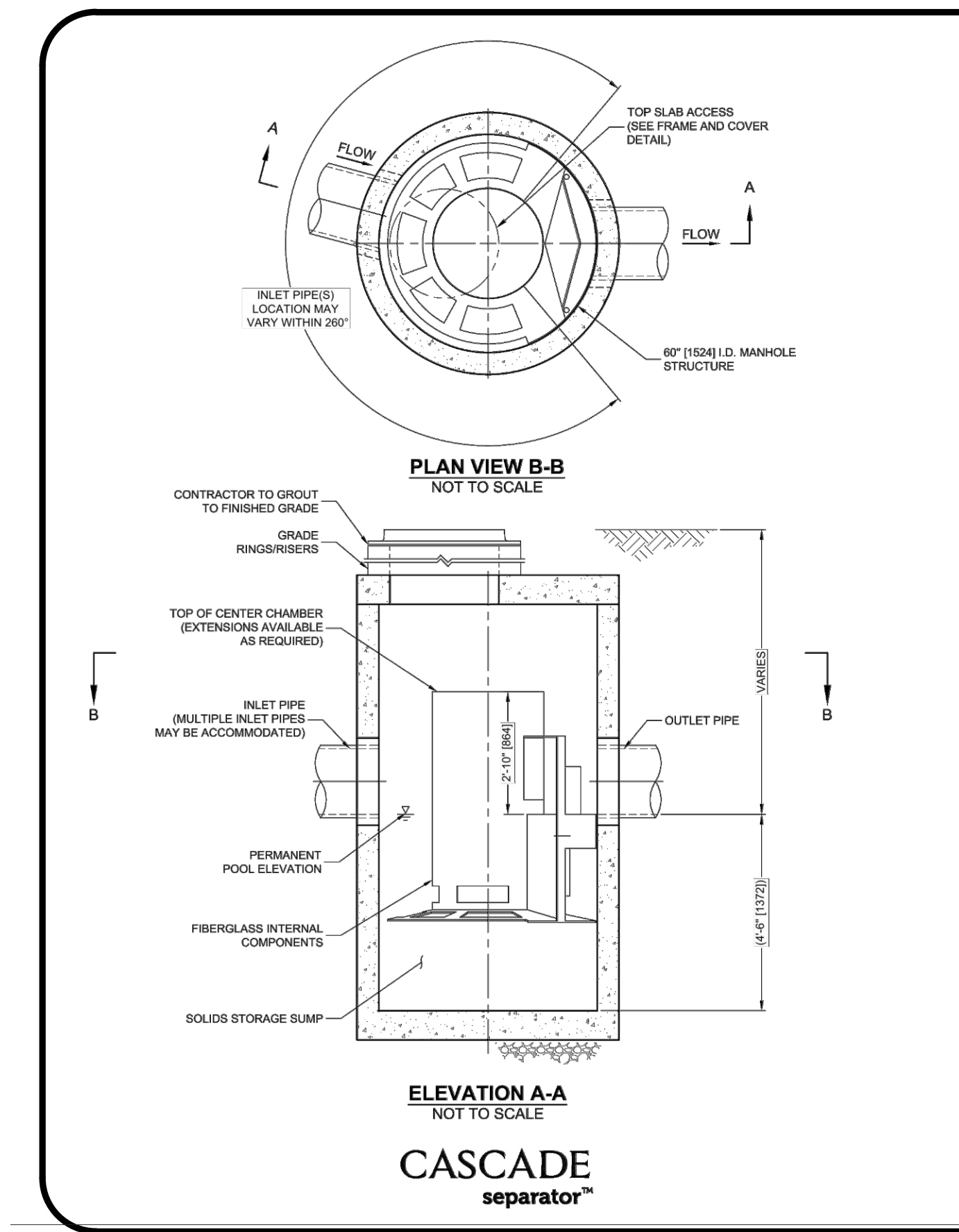
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DRAWING TITLE: DETAILS SHEET No. C-501

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CASCADE SEPARATOR DESIGN NOTES

CDS-5 RATED TREATMENT CAPACITY IS 3.00 GPM, OR PER LOCAL REGULATIONS. THE STANDARD CDS-5 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

PIPE DATA	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

GENERAL NOTES

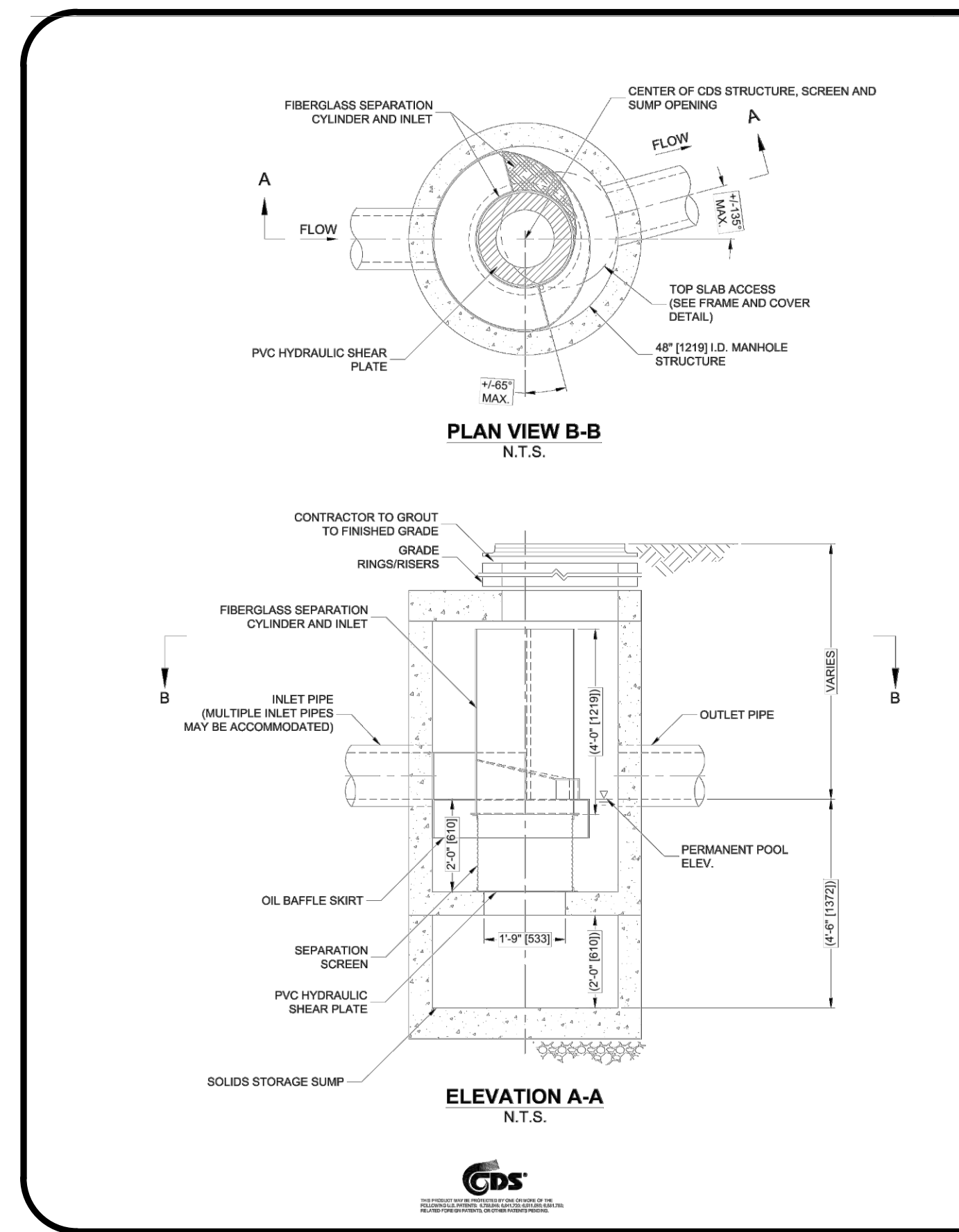
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20D LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (810) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M300 AND BE CAST WITH THE CONTECH LOGO.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399
900-338-1122 913-645-7700 913-645-7993 FAX

CS-5 CASCADE SEPARATOR STANDARD DETAIL



CDS2015-4-C DESIGN NOTES

CDS2015-4-C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

PIPE DATA	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO H20D LOAD RATING, ASSUMING EARTH COVER OF 0'-2" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M300 AND BE CAST WITH THE CONTECH LOGO.
- IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

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900-338-1122 913-645-7700 913-645-7993 FAX

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

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TOWN CLERK - TOWN OF LEICESTER

MICHAEL A. MALYNOWSKI
CIVIL
No. 47269
REGISTERED PROFESSIONAL ENGINEER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 **DATE: 09-01-2022**

SCALE: AS SHOWN **DWG.: C-2889-01_Details**

DESIGNED BY: SM **CHECKED BY: MAM**

PREPARED BY:

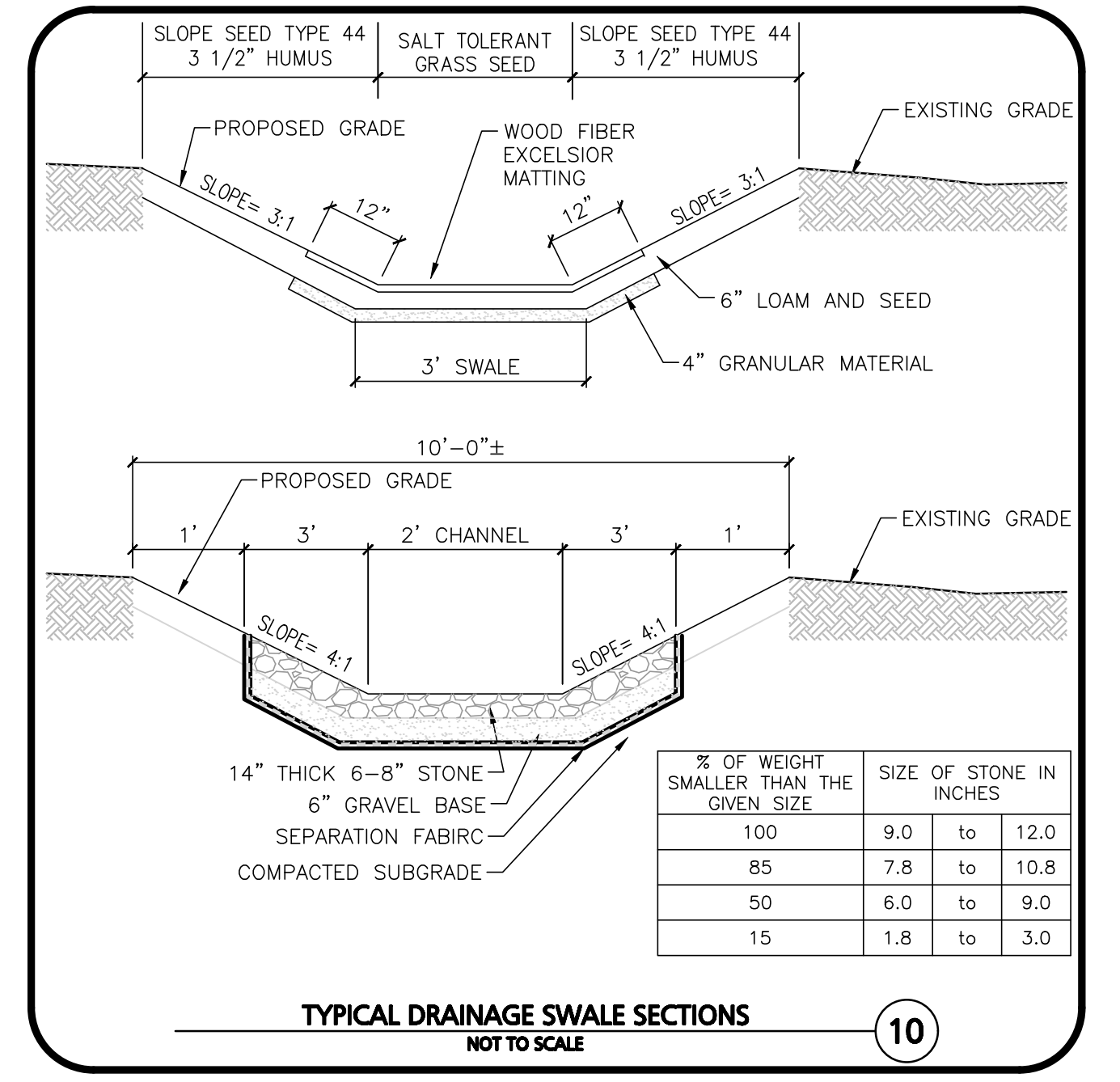
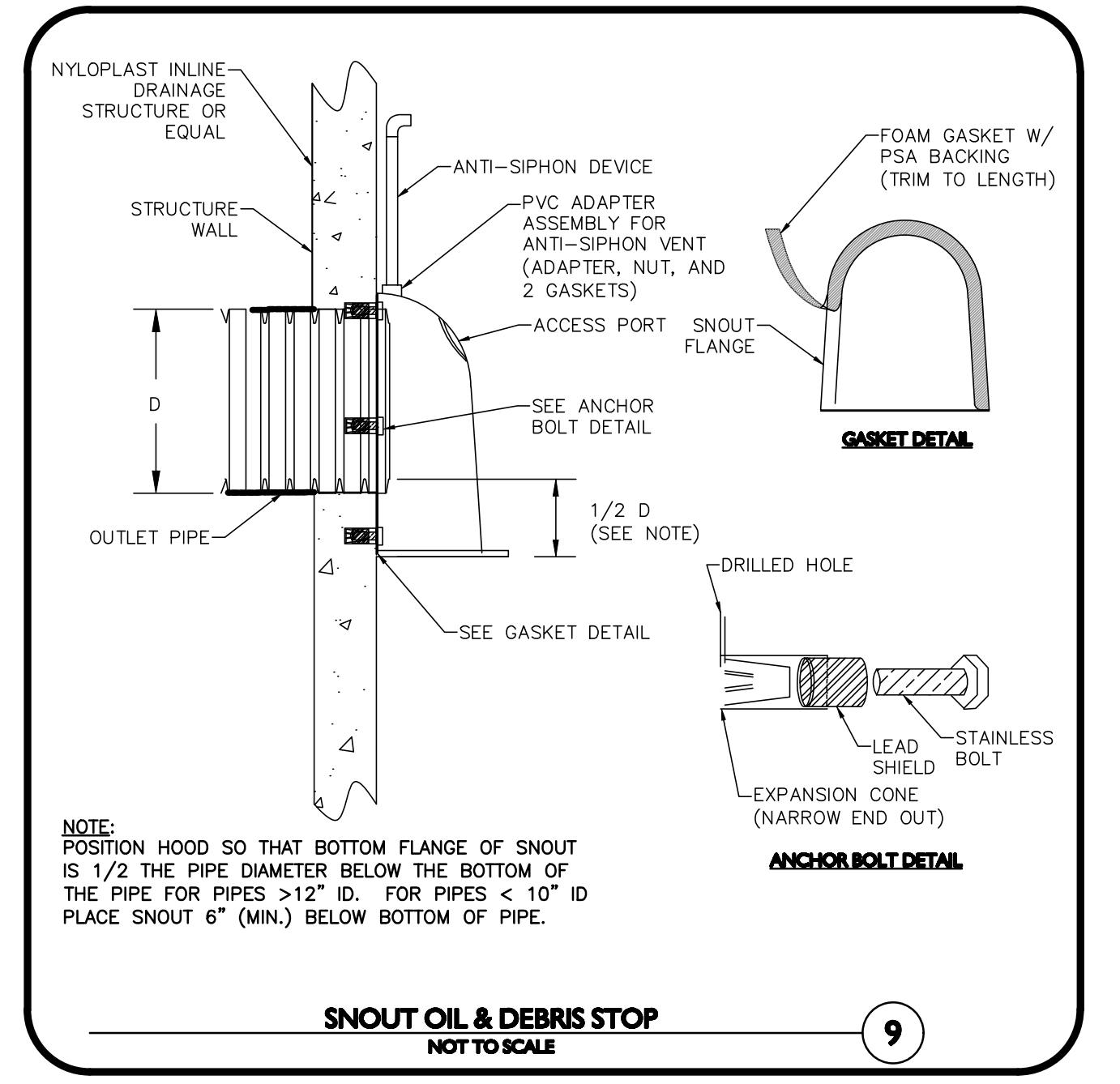
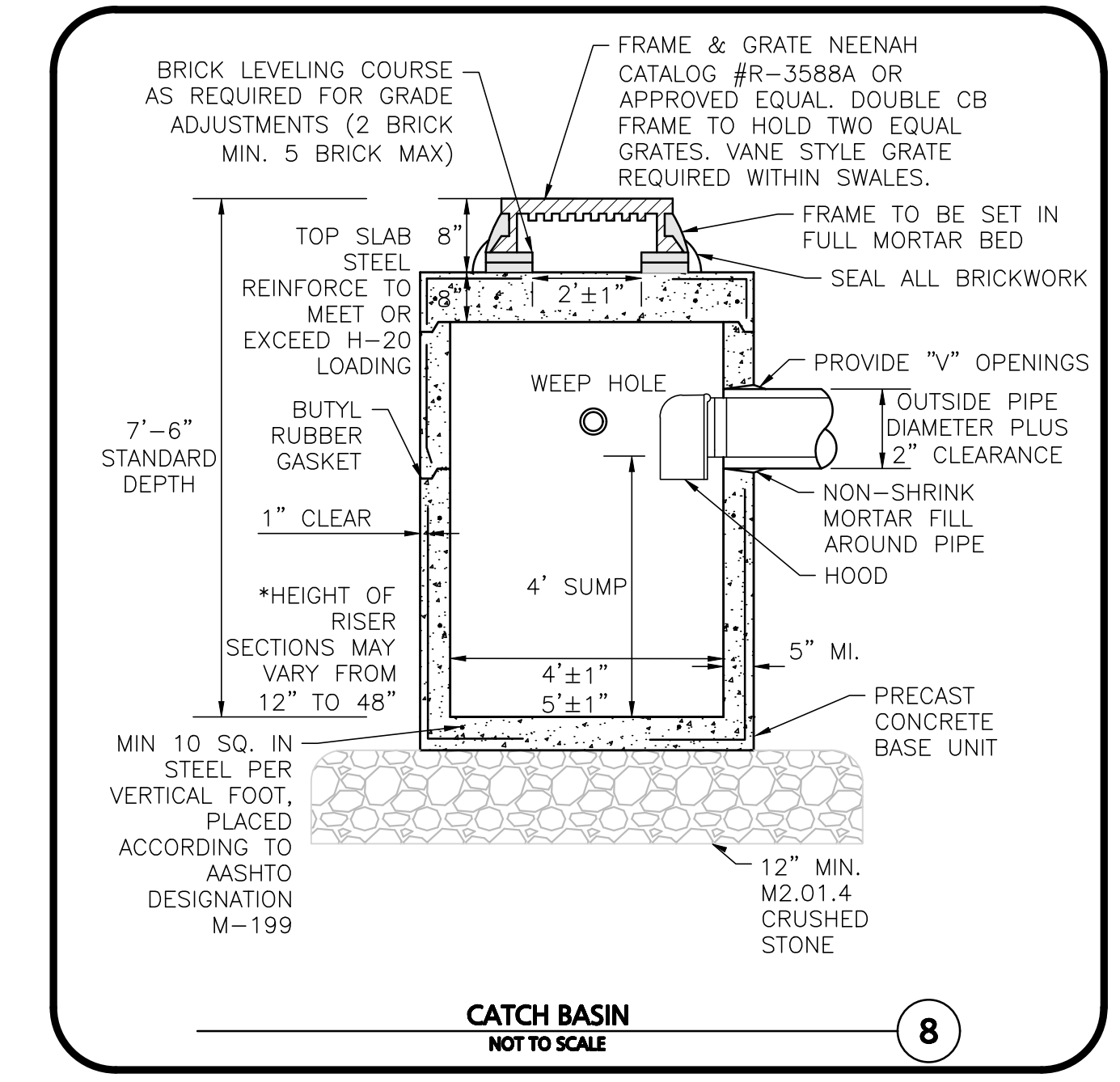
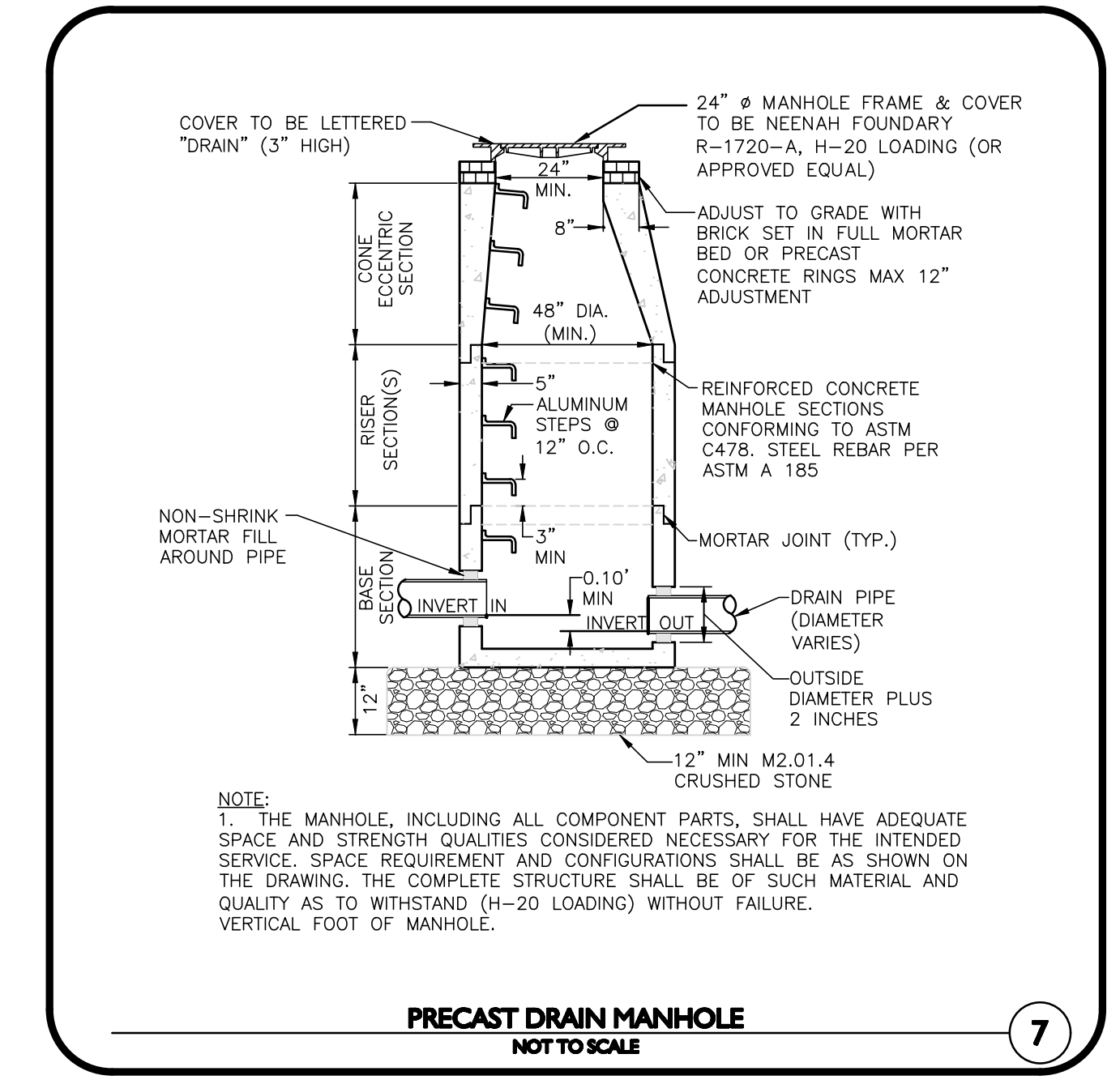
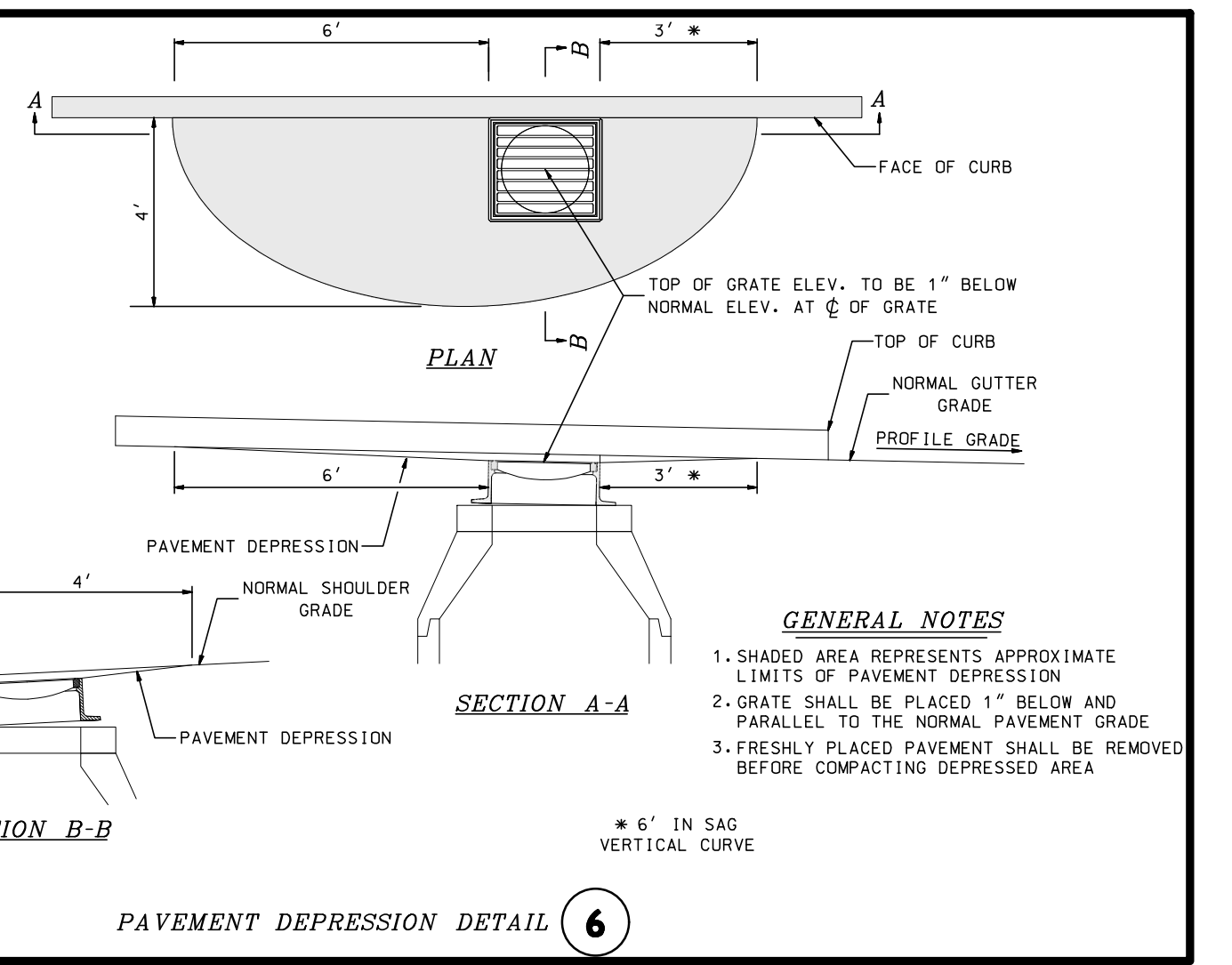
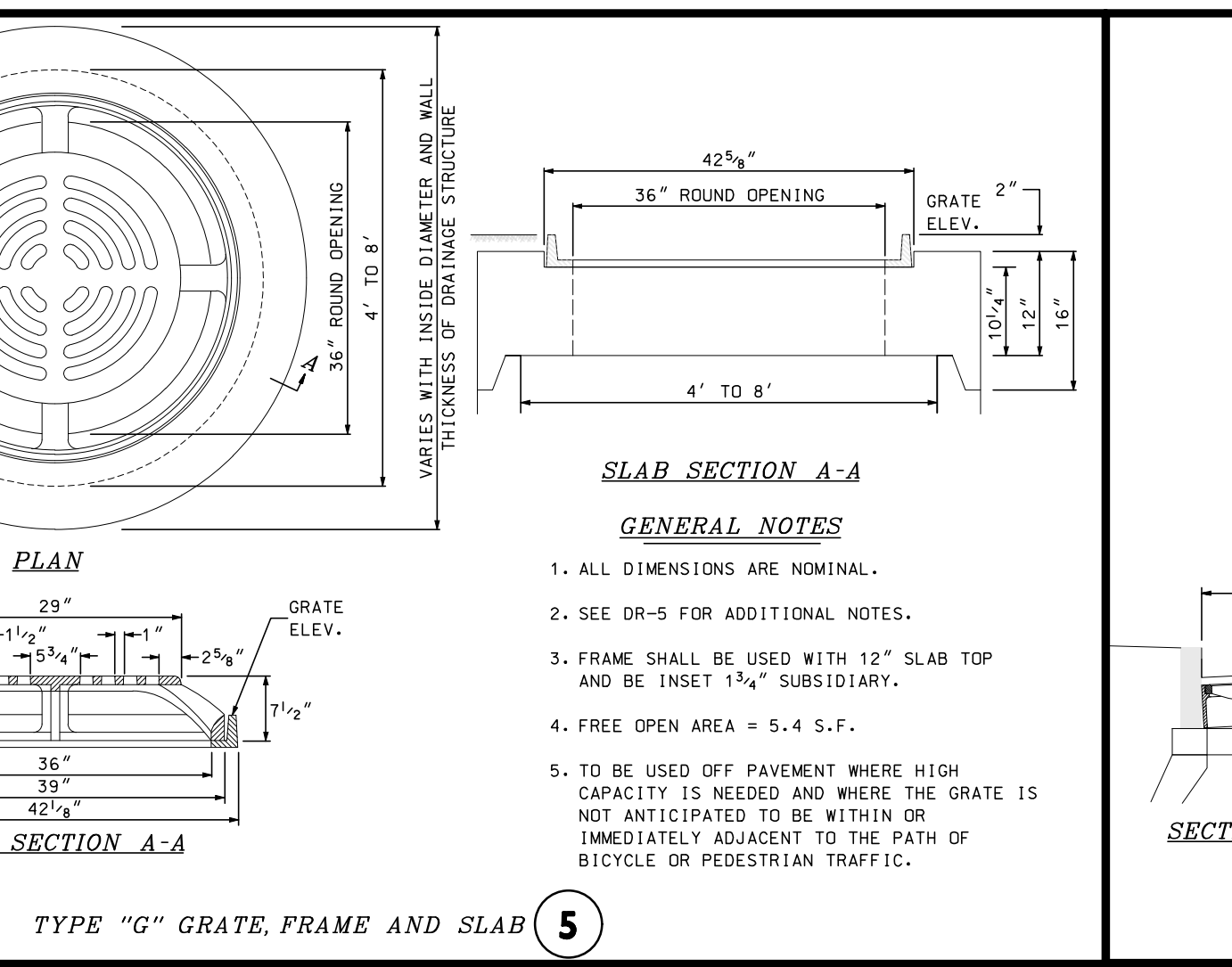
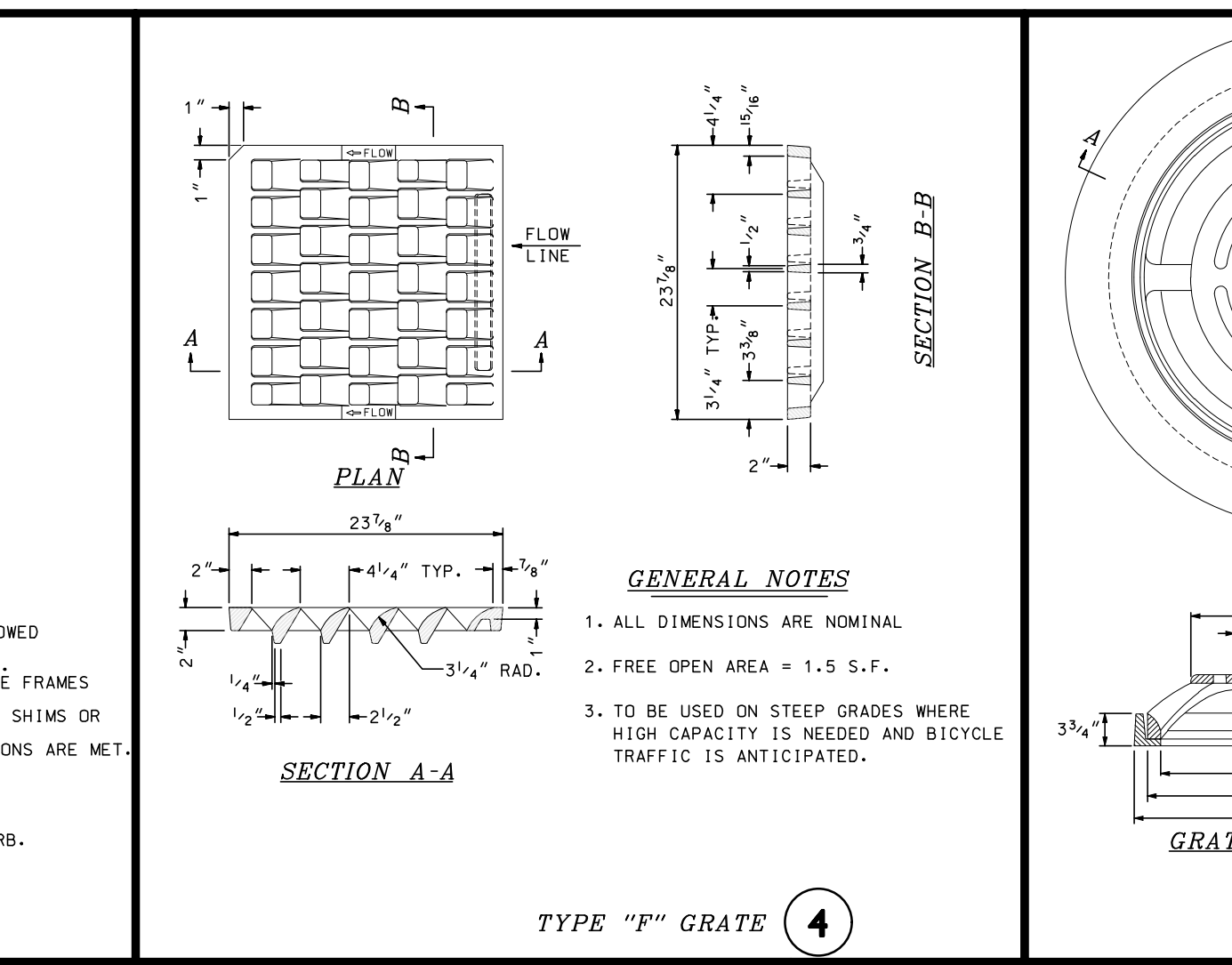
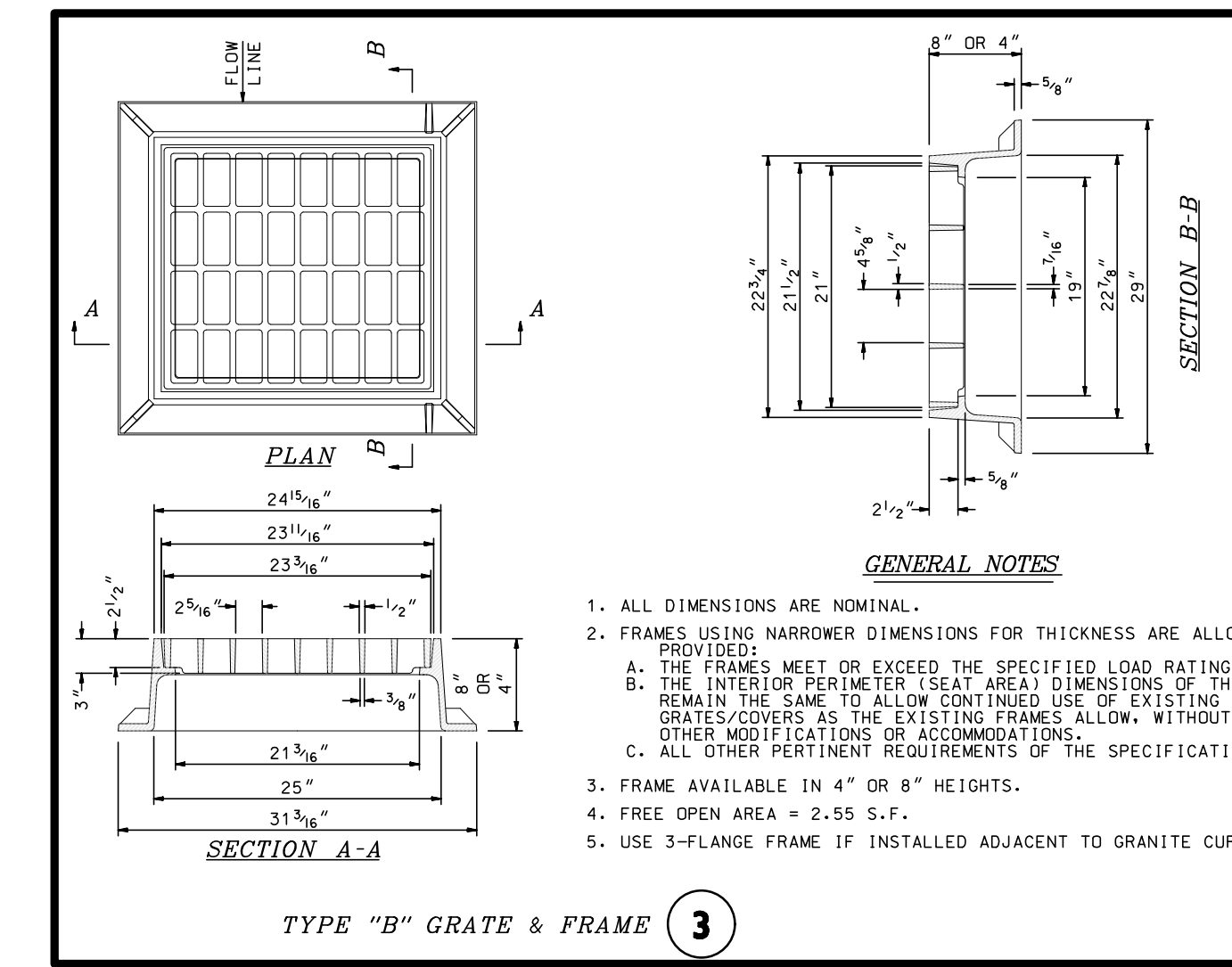
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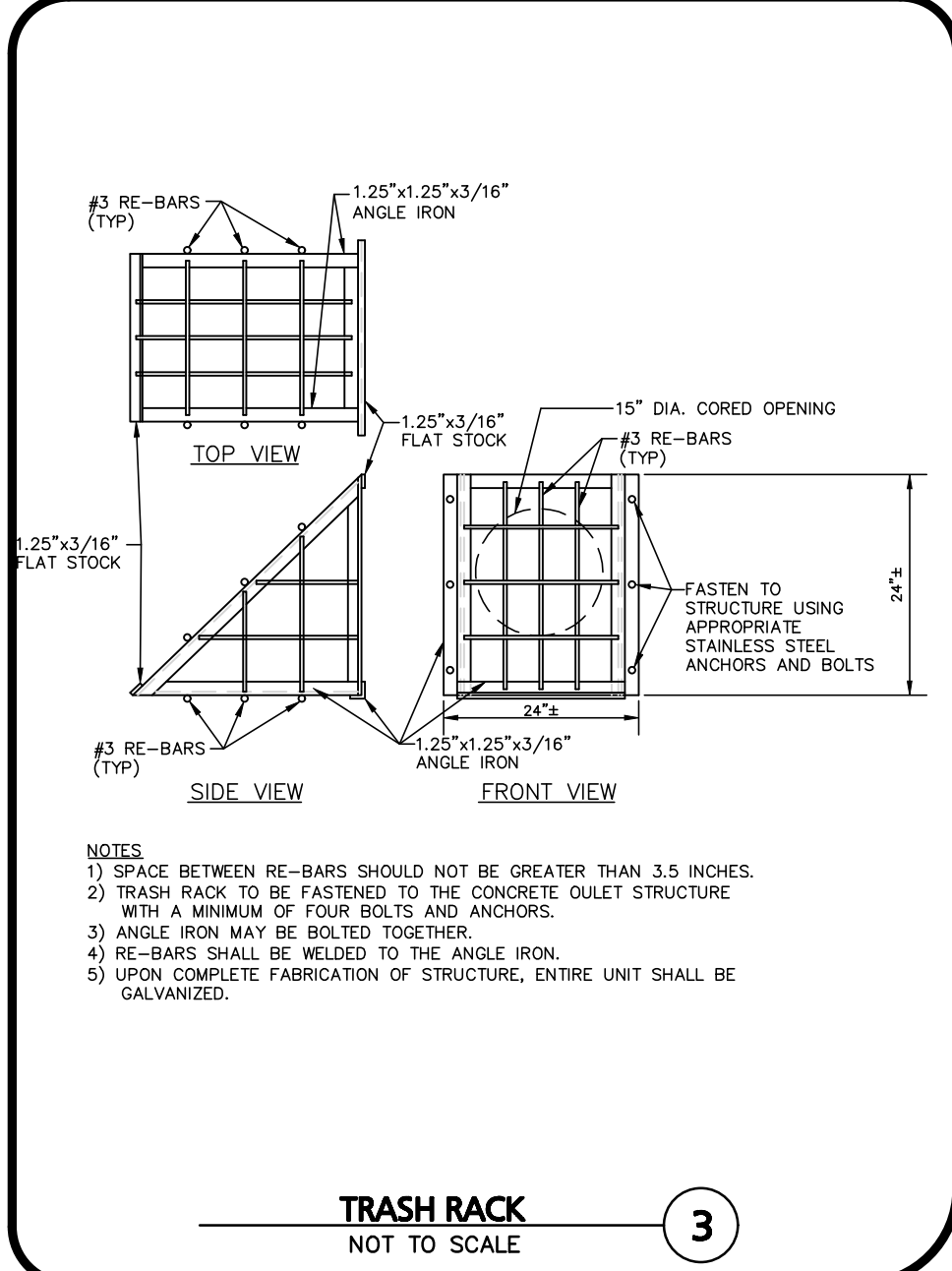
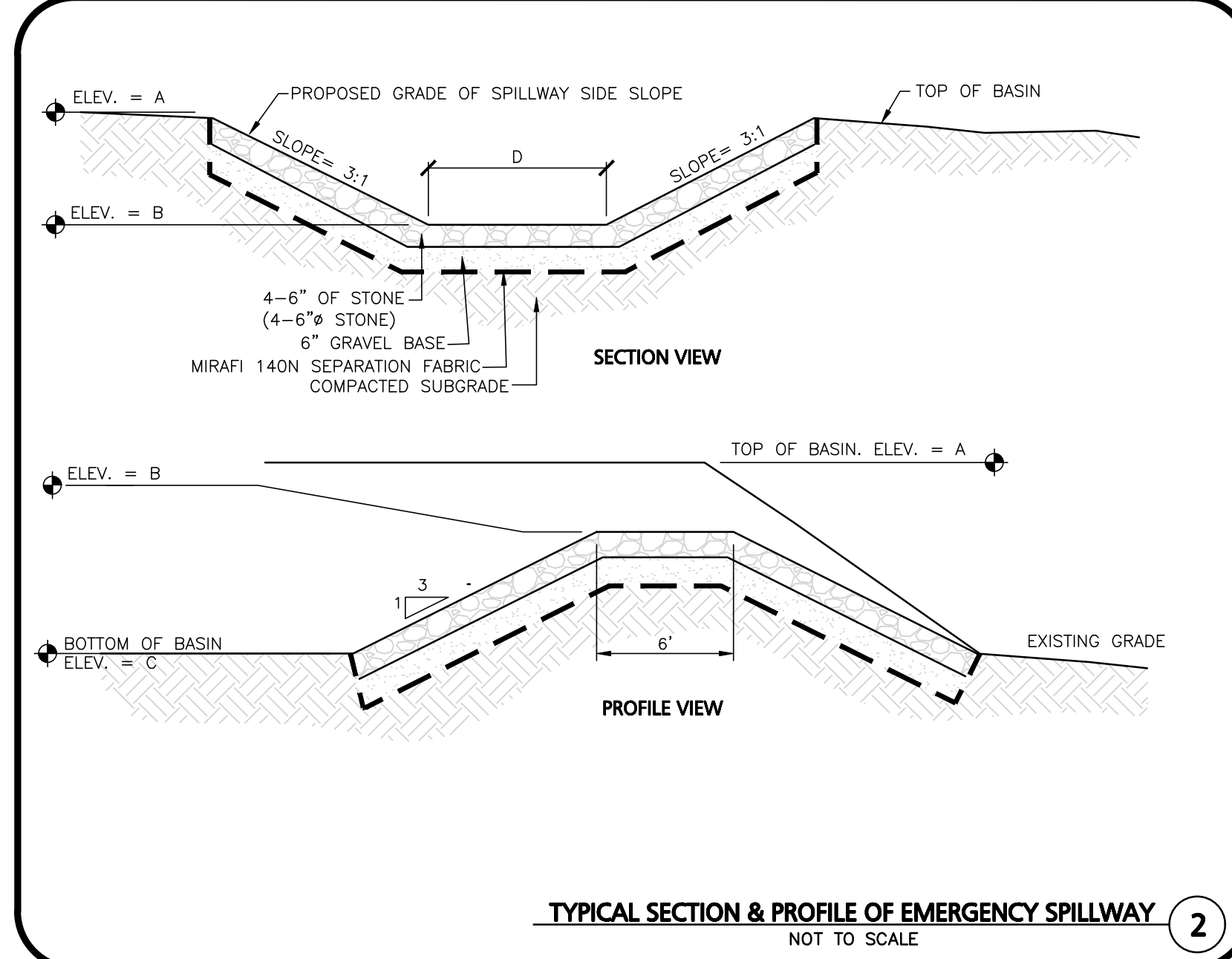
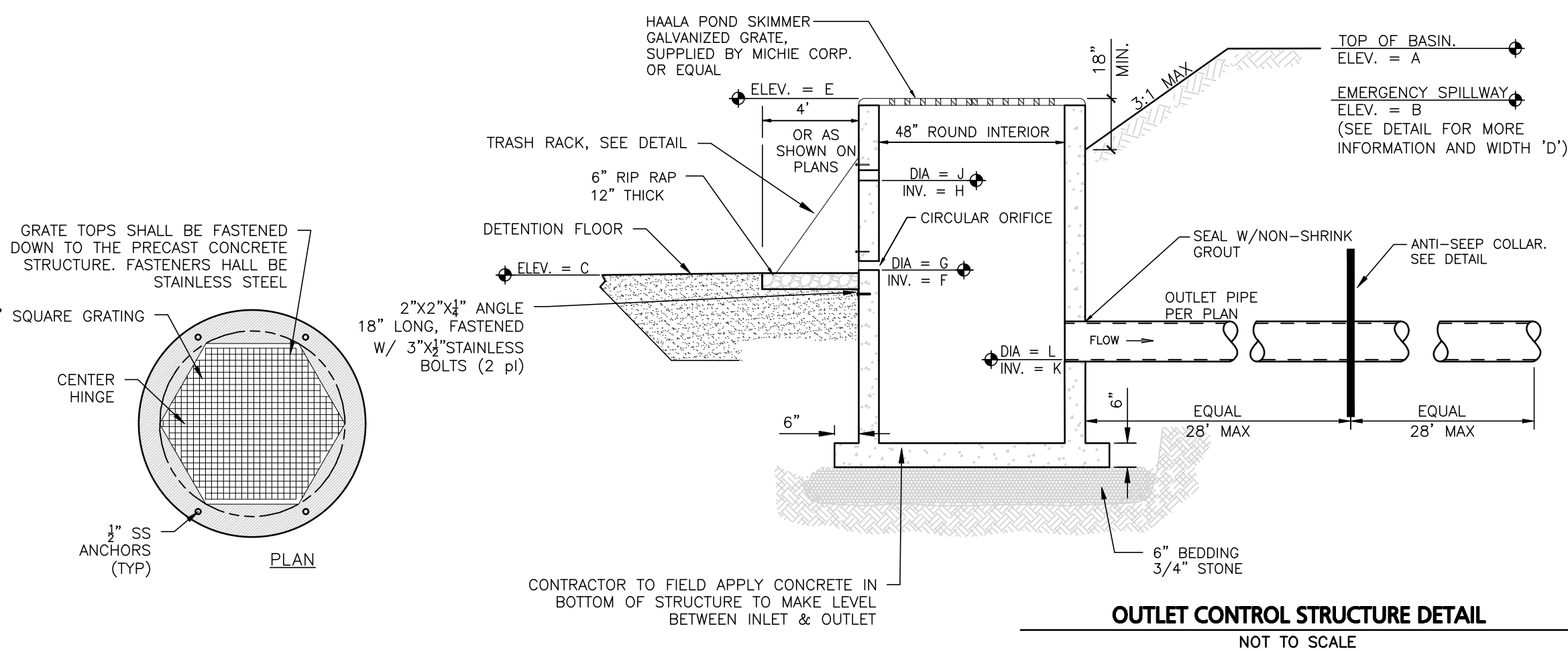
DRAWING TITLE: DETAILS **SHEET No. C-502**

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	A	B	C	D	E	F	G	H	J	K	L
	(Elev.)	(Elev.)	(Elev.)	(feet)	(Elev.)	(Elev.)	(Dia)	(Elev.)	(Dia)	(Elev.)	(Dia)
OCS-04 (DB1)	816.00	814.40	811.00	8.0	813.20	811.00	8" x2	811.90	12" x2	811.00	18"



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022
SCALE: AS SHOWN DWG.: C-2889-01_Details
DESIGNED BY: SM CHECKED BY: MAM

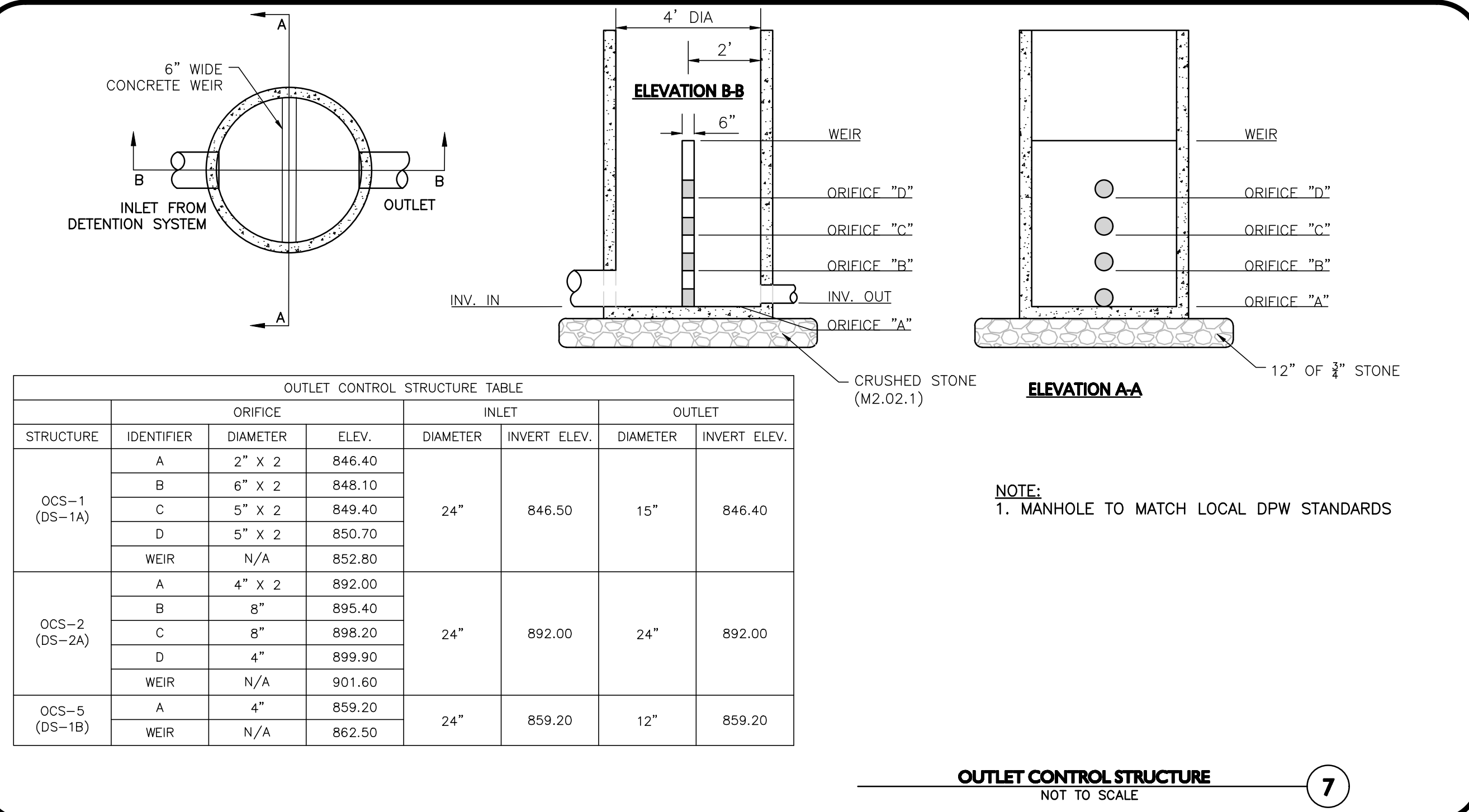
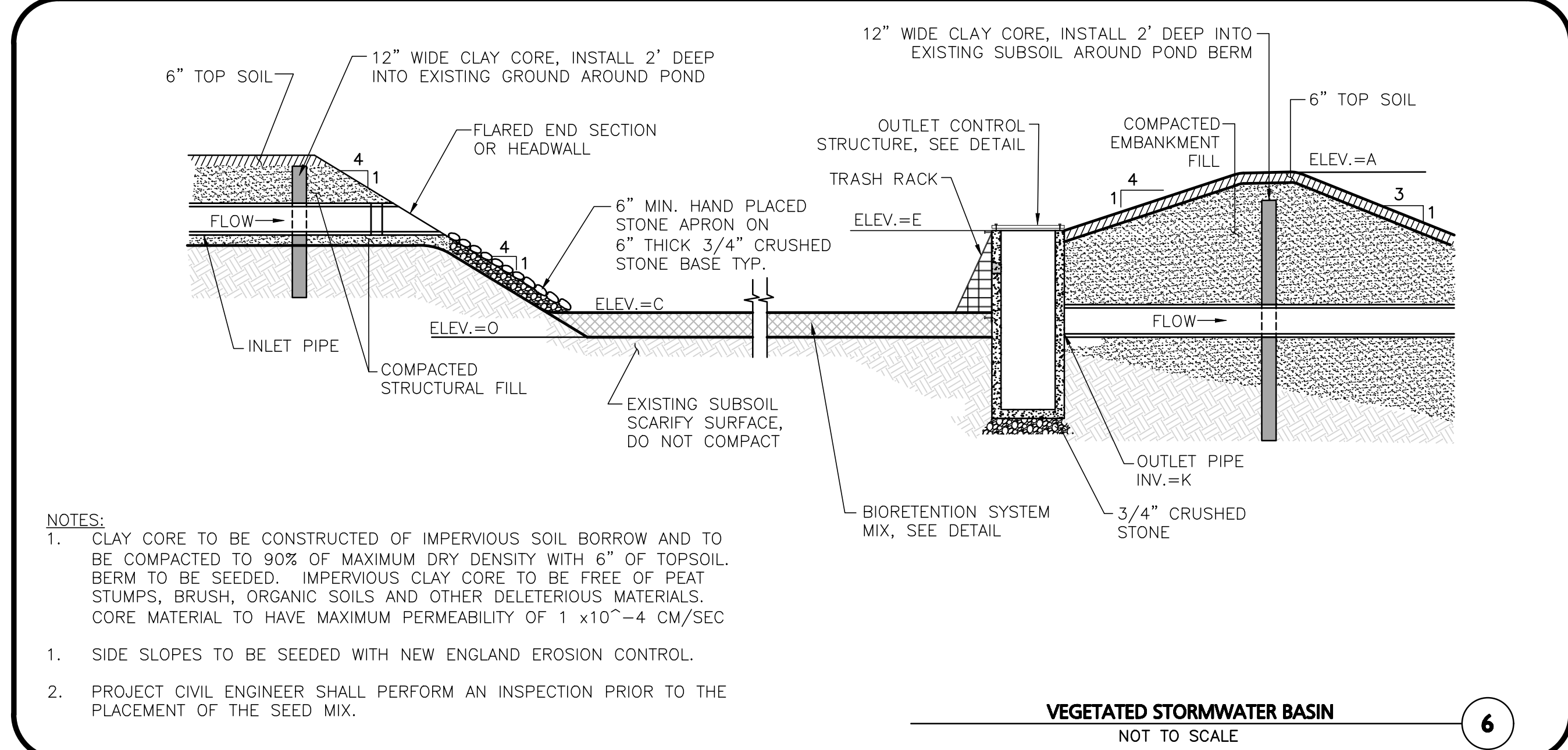
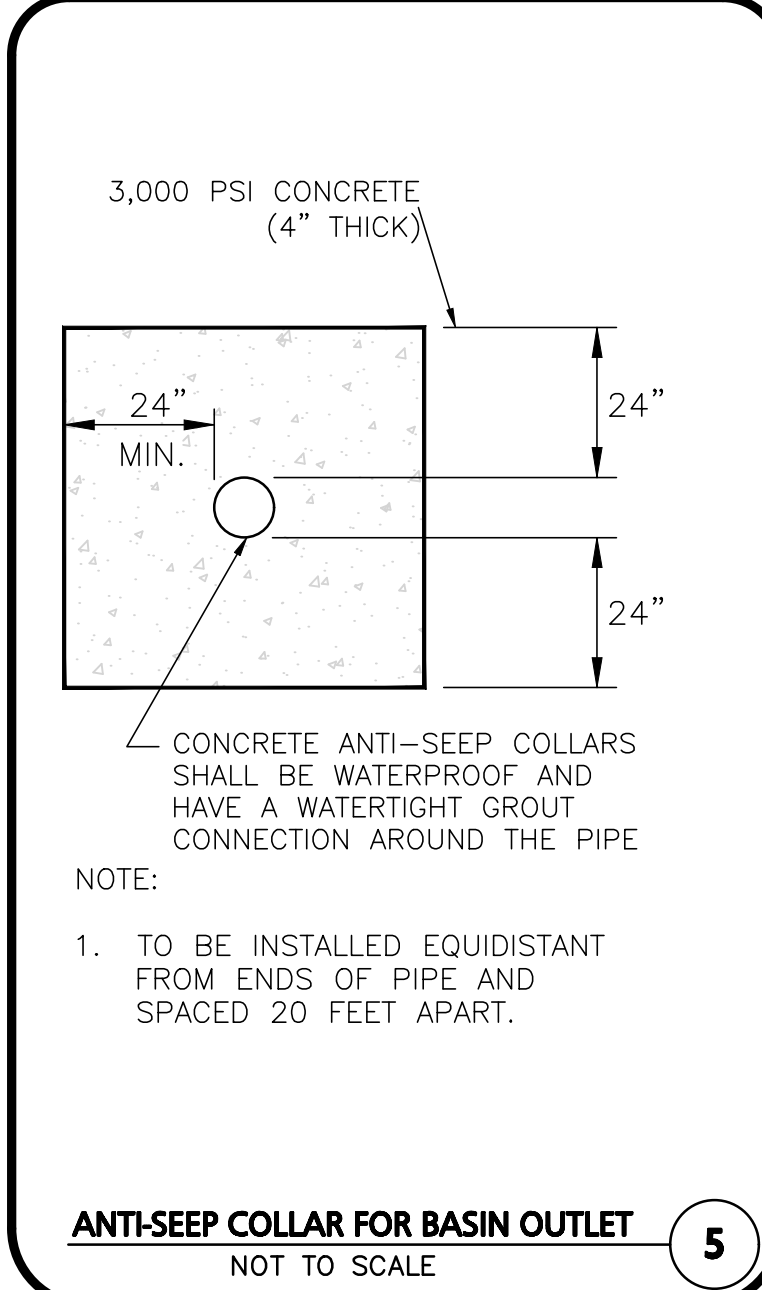
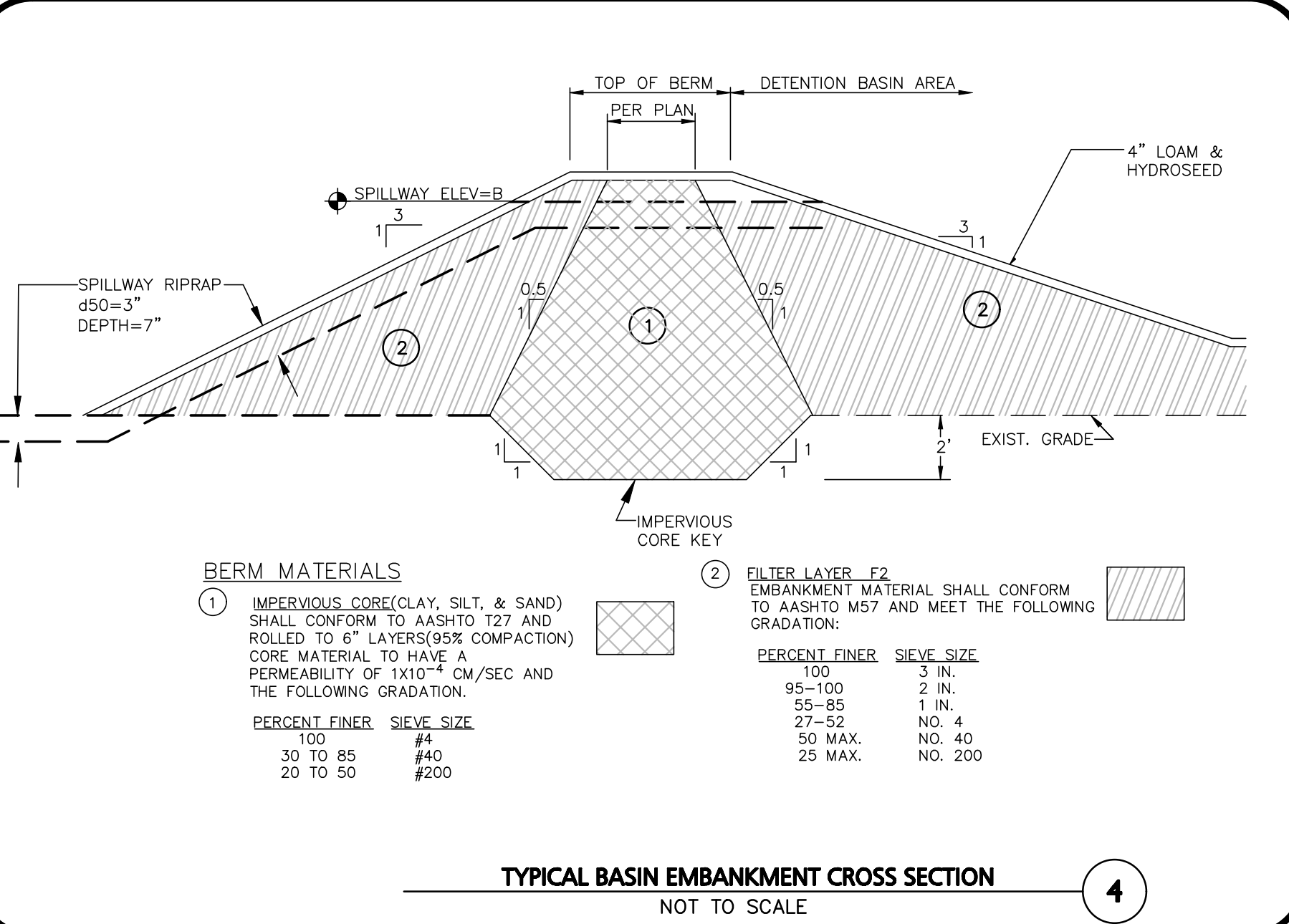
PREPARED BY:

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civil engineering • land surveying
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www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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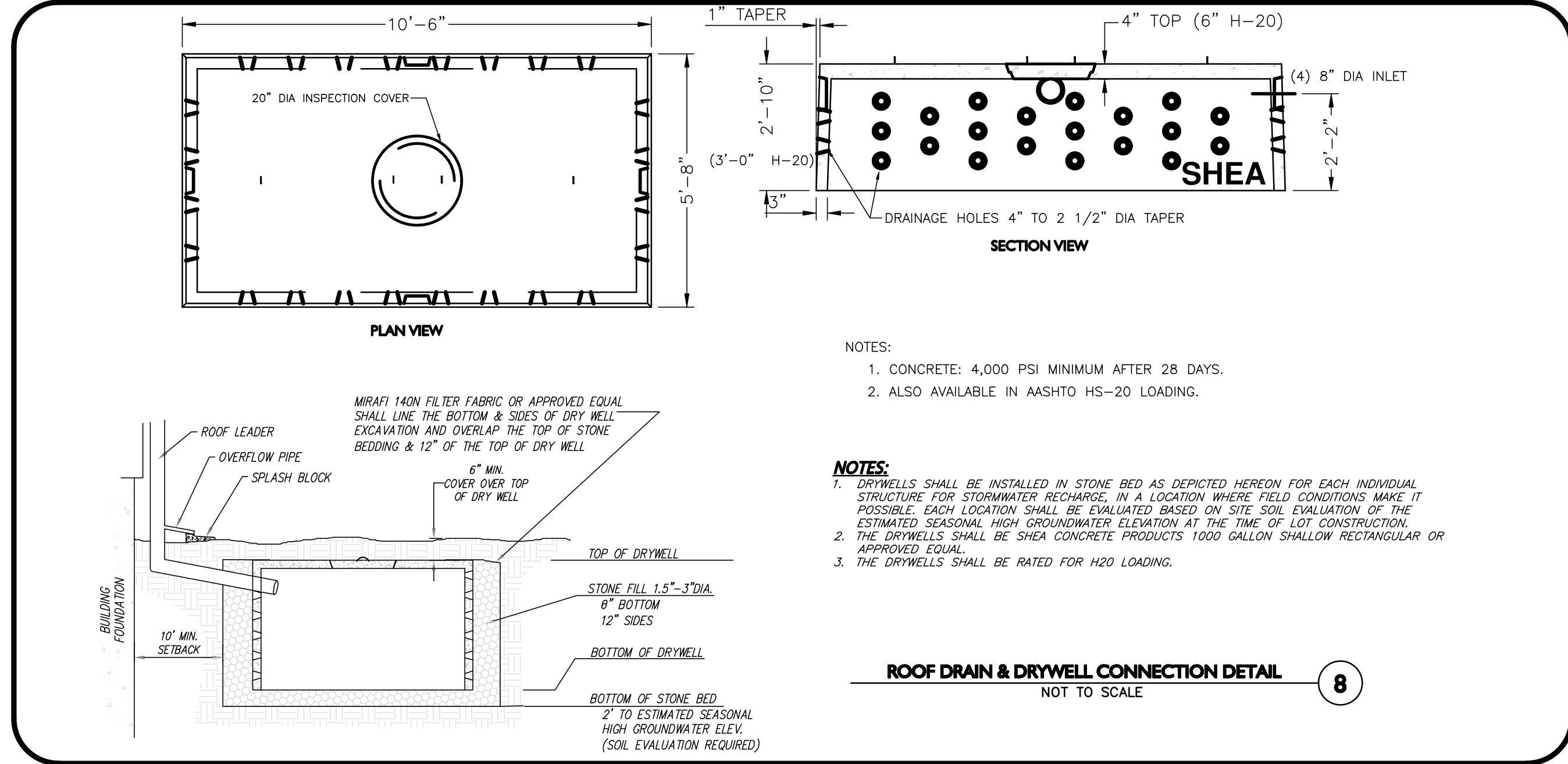
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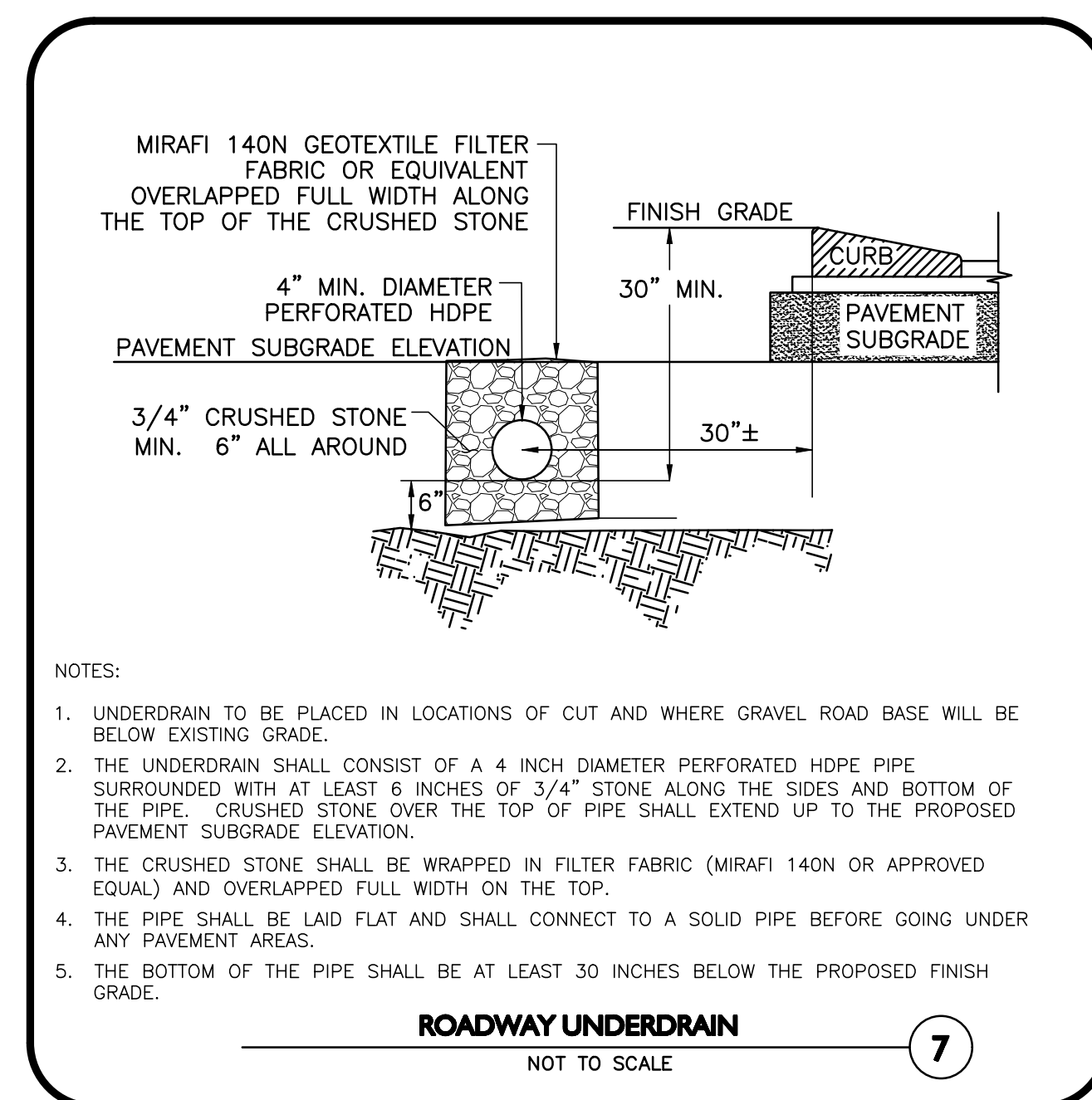
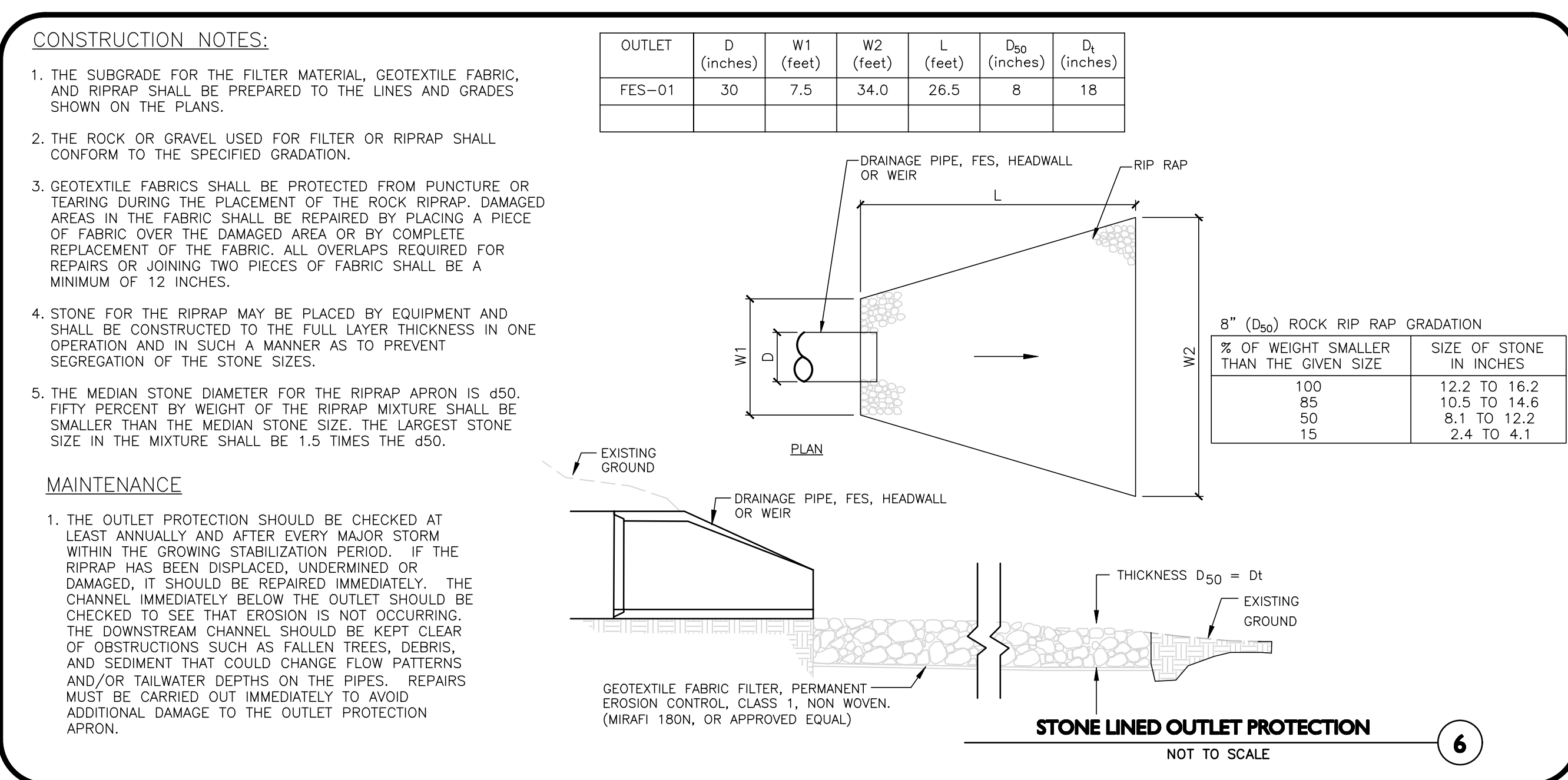
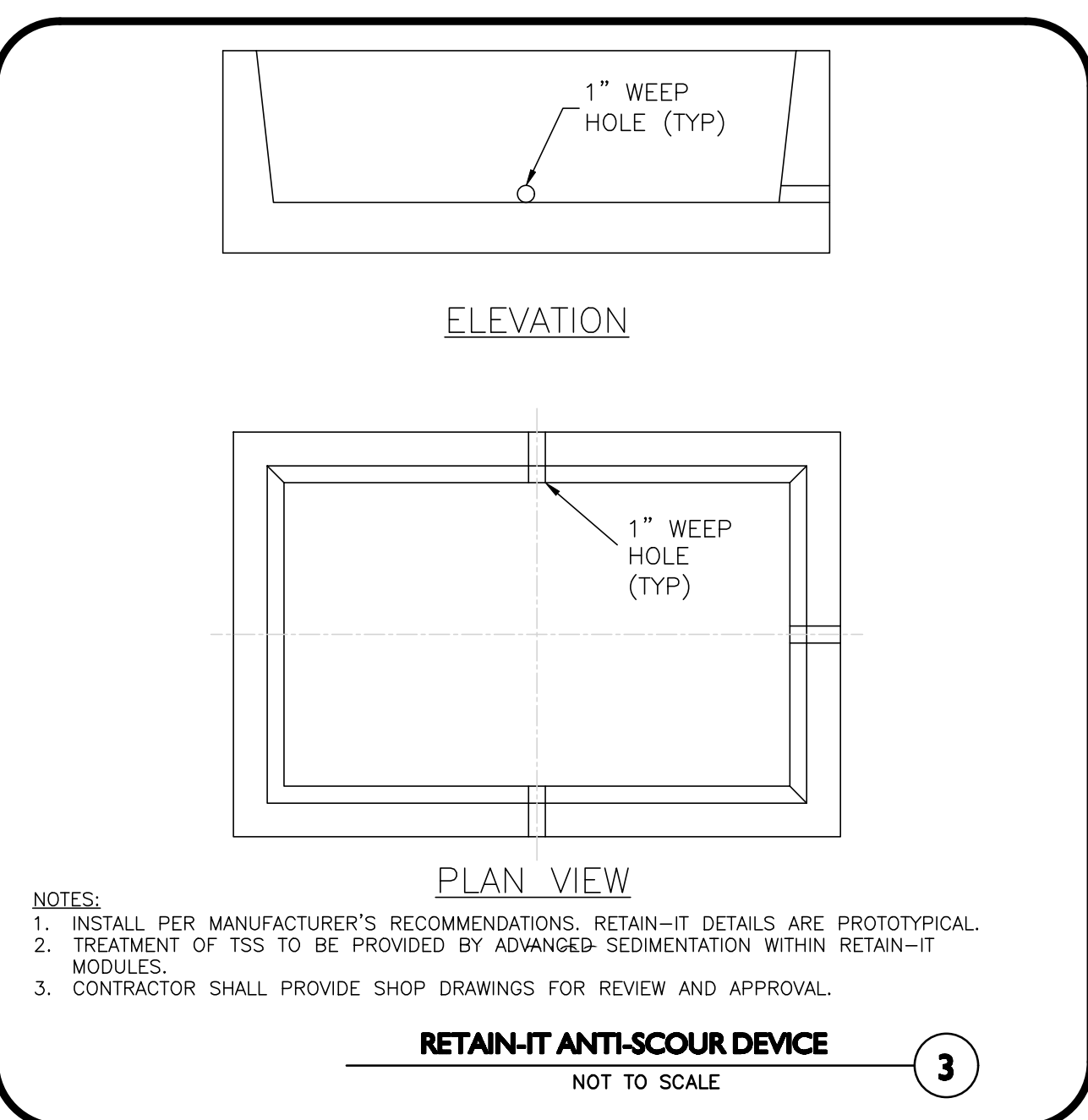
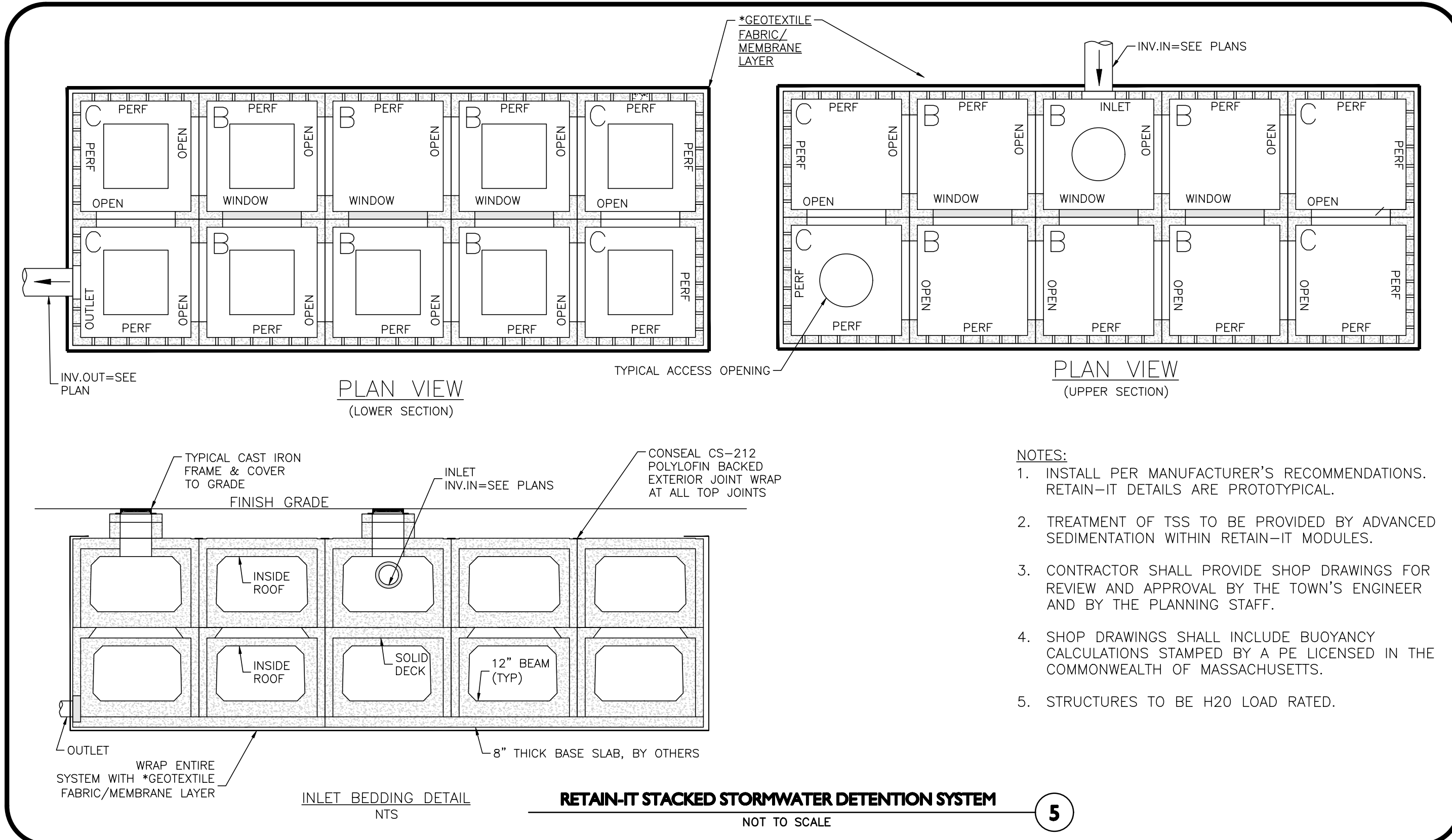
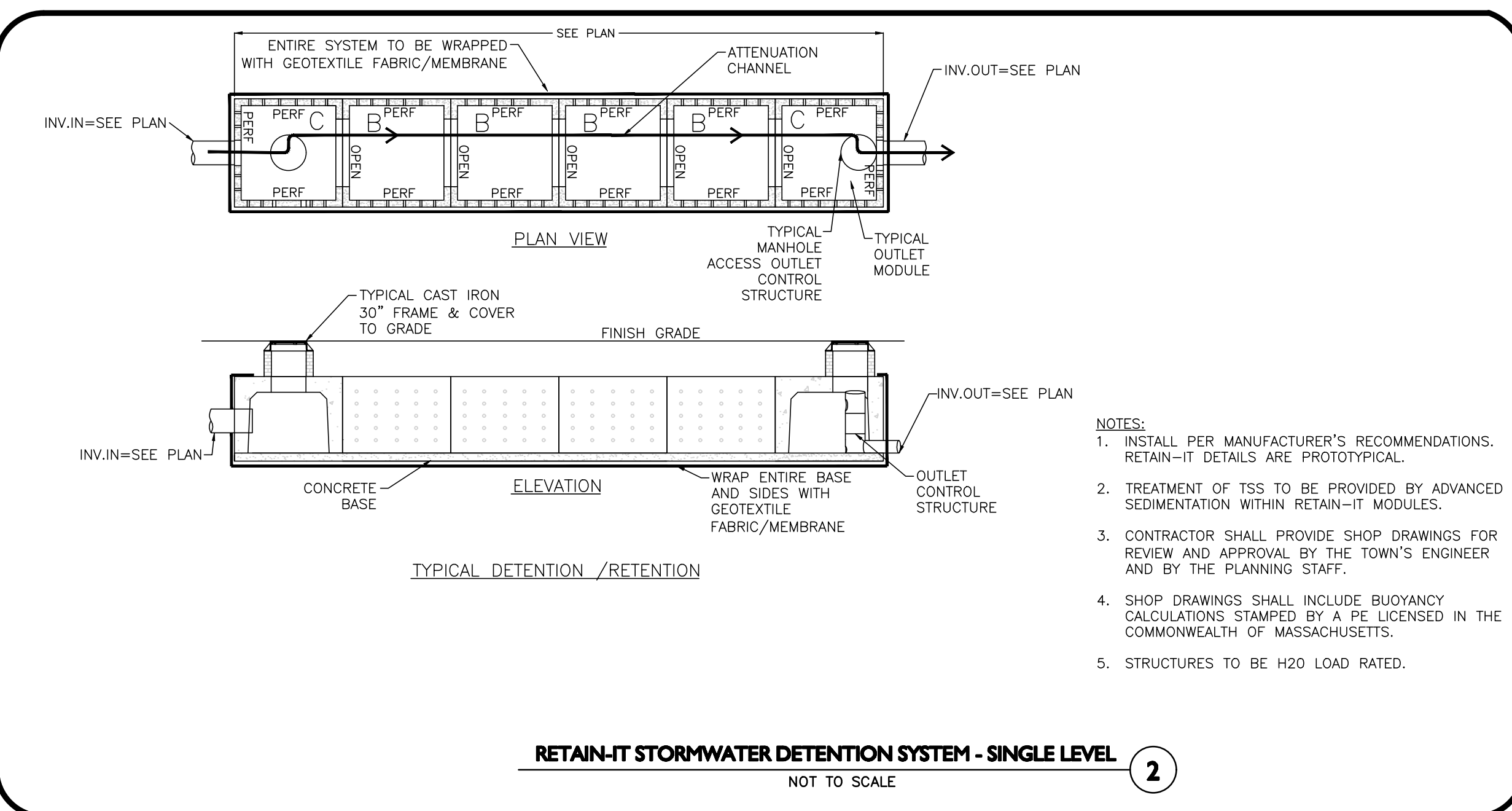
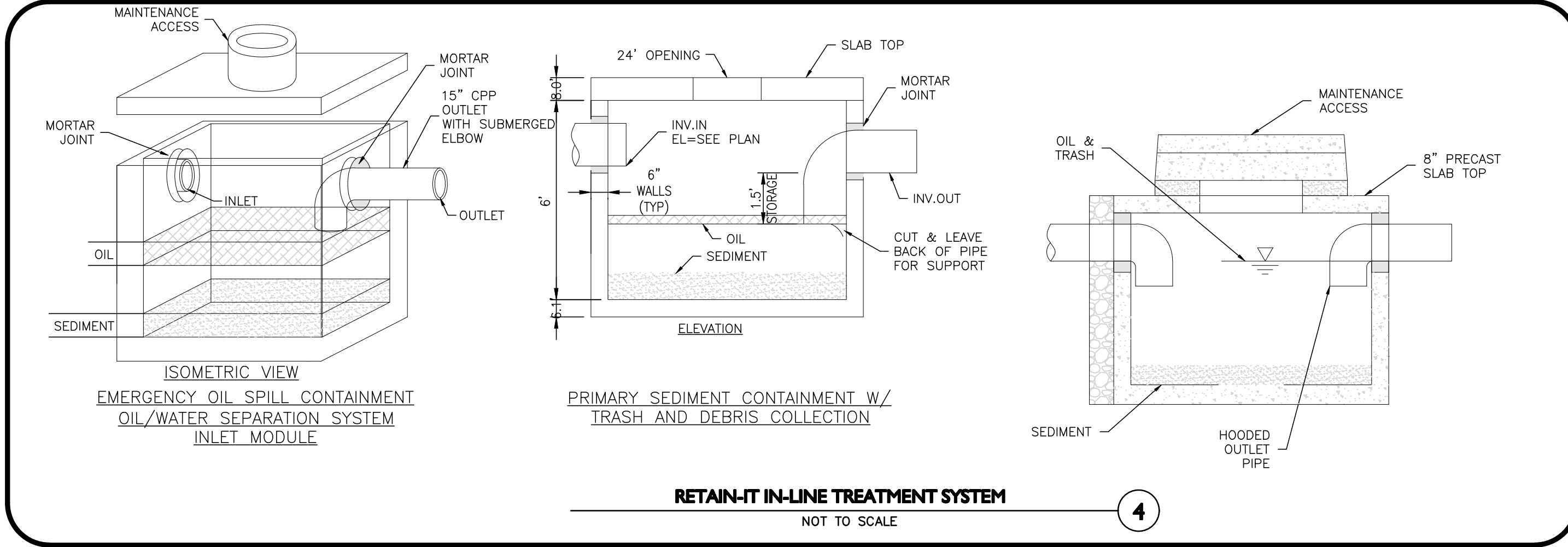
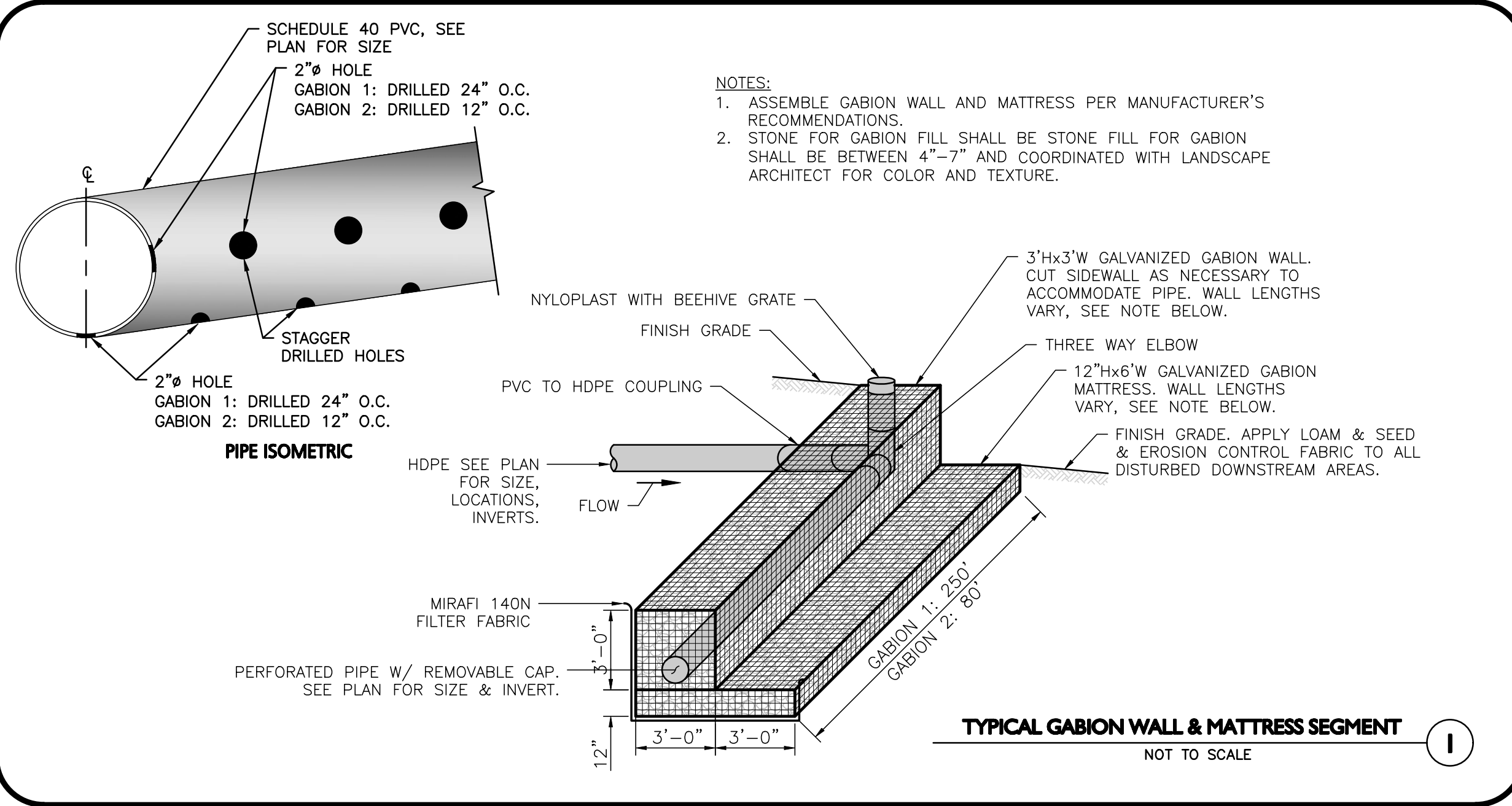
DRAWING TITLE: DETAILS SHEET No. C-503
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STRUCTURE	IDENTIFIER	ORIFICE		INLET		OUTLET	
		DIAMETER	ELEV.	DIAMETER	INVERT ELEV.	DIAMETER	INVERT ELEV.
OCS-1 (DS-1A)	A	2" X 2	846.40	24"	846.50	15"	846.40
	B	6" X 2	848.10				
	C	5" X 2	849.40				
	D	5" X 2	850.70				
	WEIR	N/A	852.80				
OCS-2 (DS-2A)	A	4" X 2	892.00	24"	892.00	24"	892.00
	B	8"	895.40				
	C	8"	898.20				
	D	4"	899.90				
	WEIR	N/A	901.60				
OCS-5 (DS-1B)	A	4"	859.20	24"	859.20	12"	859.20
	WEIR	N/A	862.50				



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TOWN CLERK - TOWN OF LEICESTER

MICHAEL A. MALYNOWSKI
CIVIL ENGINEER
No. 47269
PROFESSIONAL

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
	03-02-22	MISC. REVS. PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
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RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: AS SHOWN DWG.: C-2889-01_Details

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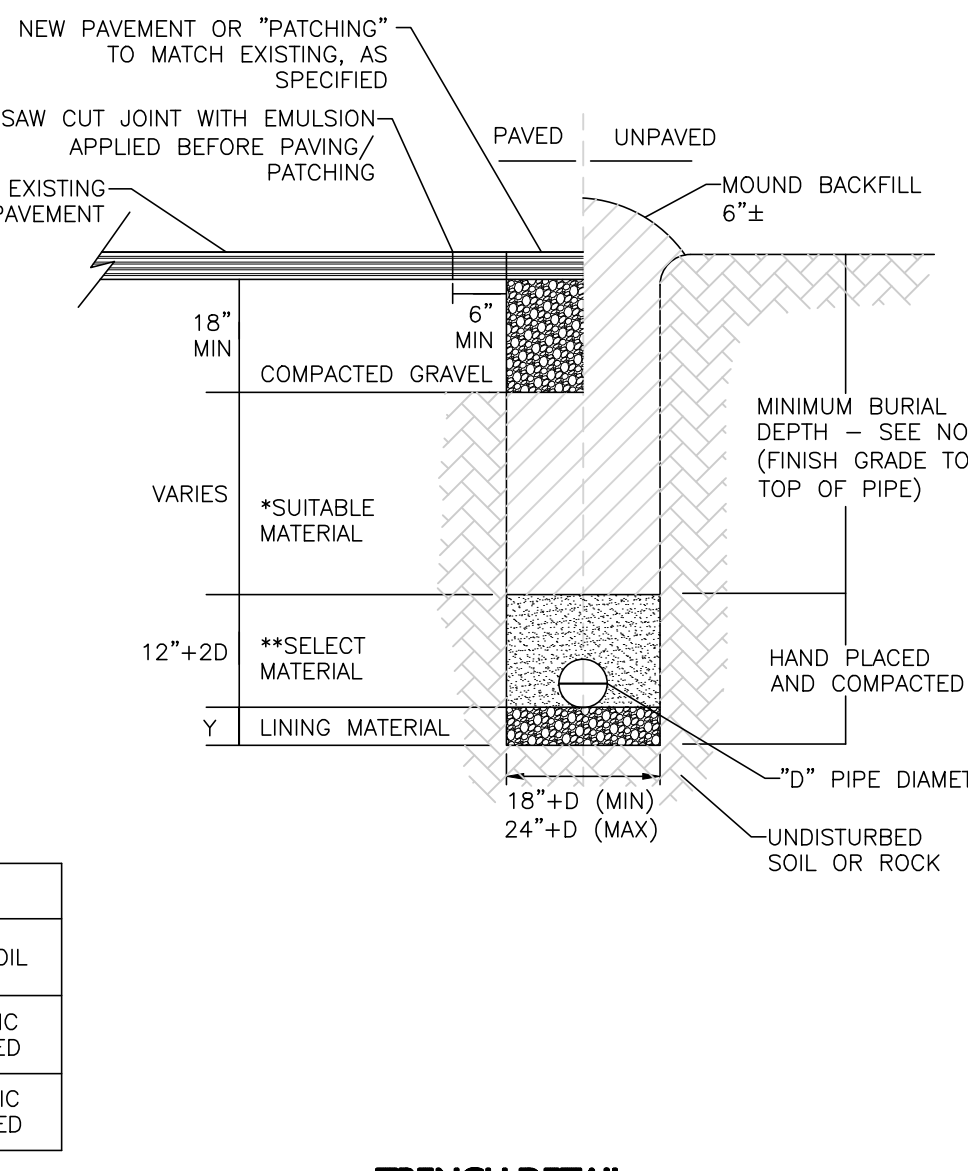
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DRAWING TITLE: **DETAILS** SHEET No. **C-504**

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- NOTES:**
- MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)
GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE
PRESSURE PIPE UNDER PAVING - 4'
PRESSURE PIPE BENEATH UNPAVED - 3'
WATER PIPE - 5'
 - WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, ASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 - TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
 - WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED. THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).



CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

* SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 3" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 12" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.

**TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.

**TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A 1/2" SQUARE OPENING, AND NOT MORE THAN 5% PASSING A 1/4" SQUARE OPENING.

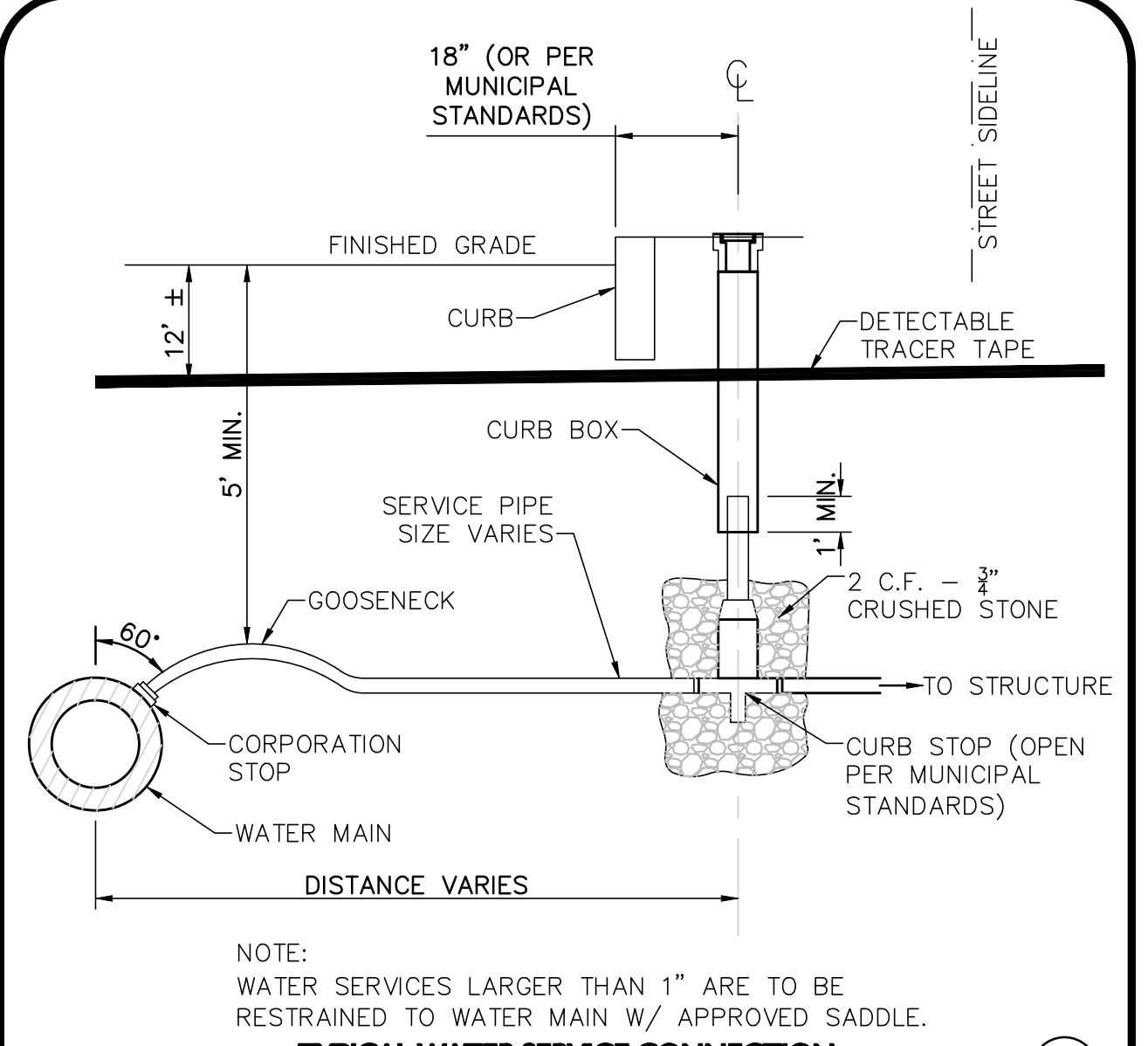
**TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 1/2" SQUARE OPENING.

FILTER FABRIC USE

	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED

TRENCH DETAIL
NOT TO SCALE

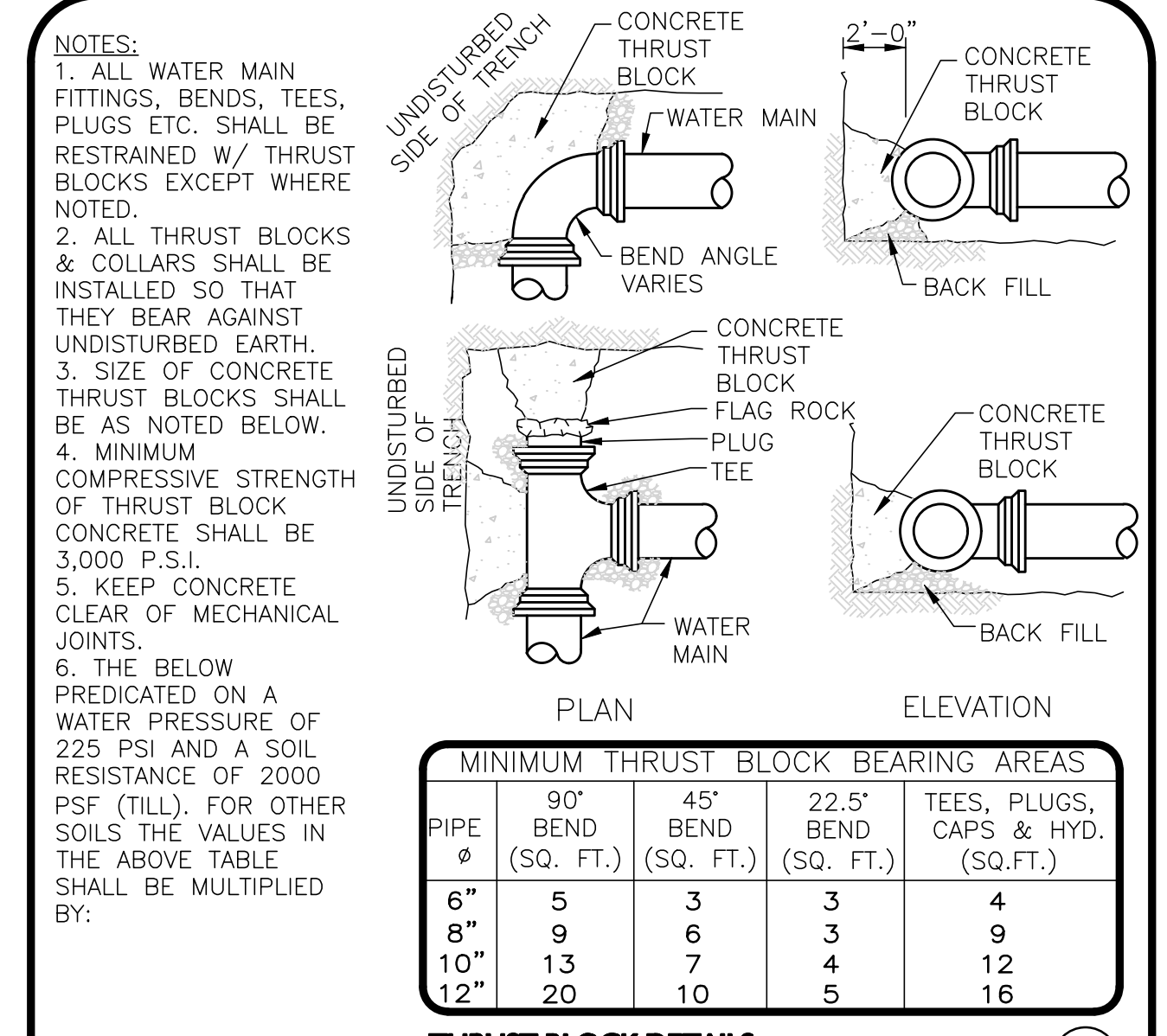
1



NOTE: WATER SERVICES LARGER THAN 1" ARE TO BE RESTRAINED TO WATER MAIN W/ APPROVED SADDLE.

TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

2

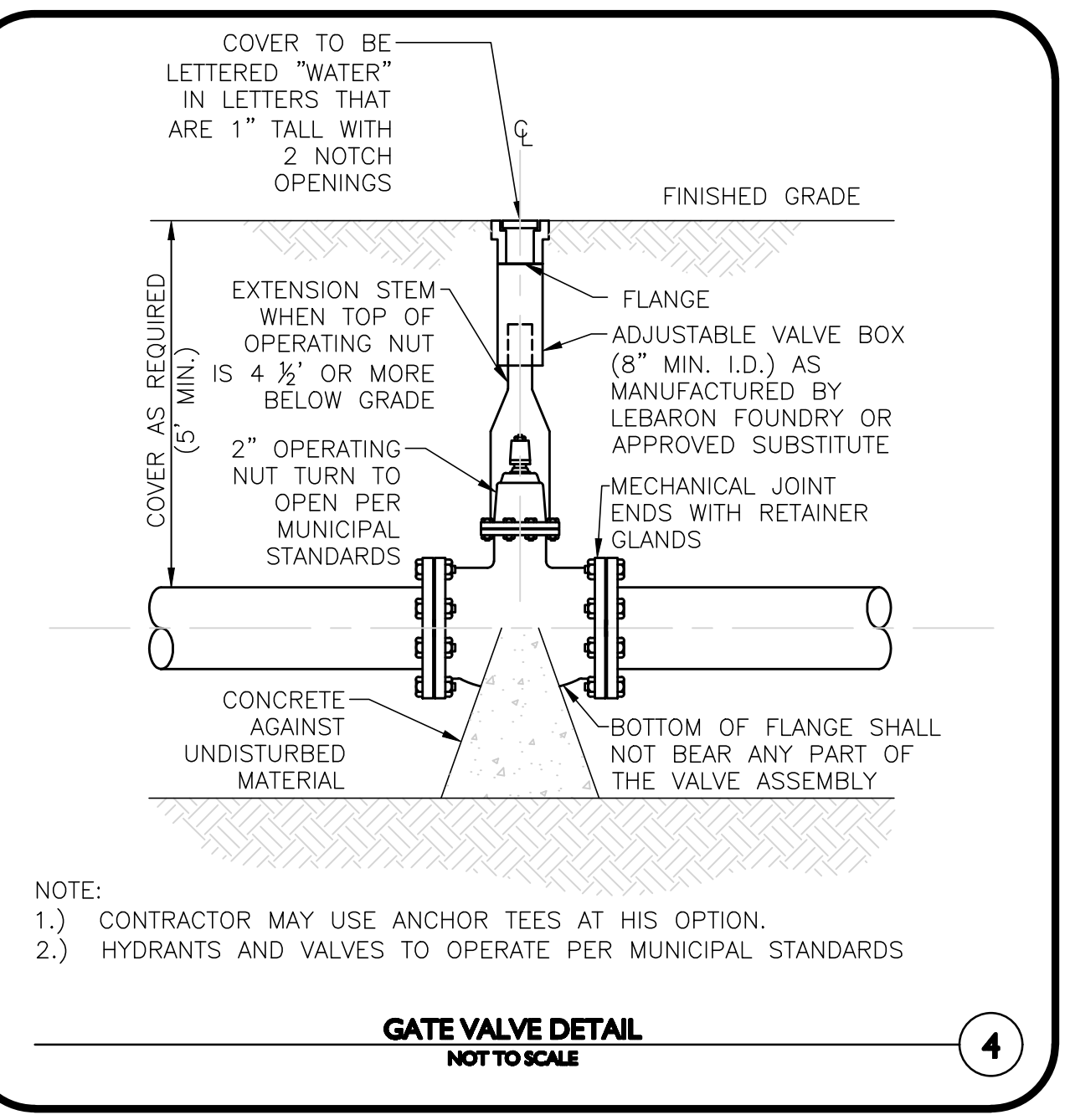


MINIMUM THRUST BLOCK BEARING AREAS

PIPE Ø	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYD. (SQ.FT.)
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16

THRUST BLOCK DETAILS
NOT TO SCALE

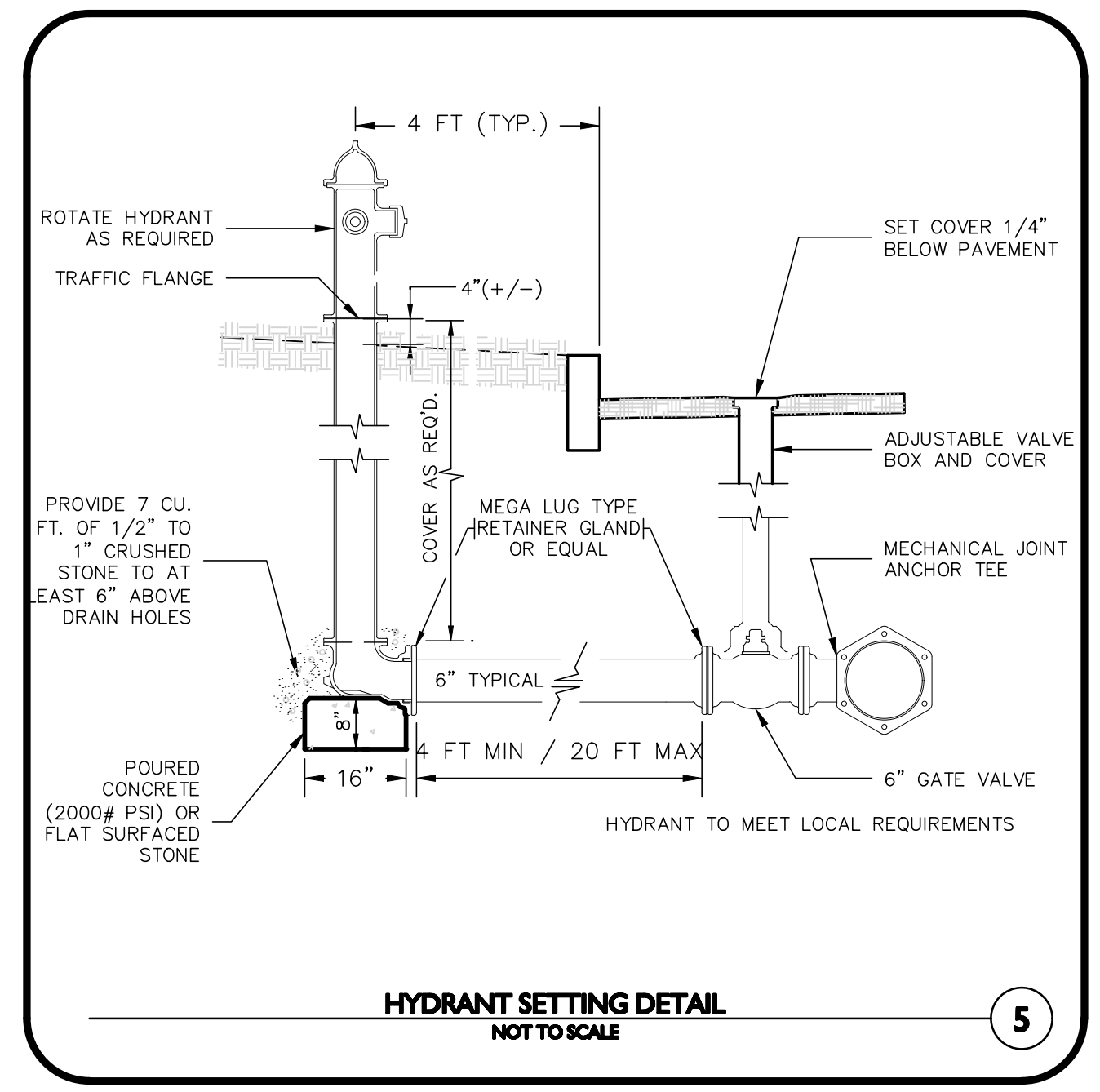
3



- NOTE:**
- CONTRACTOR MAY USE ANCHOR TEES AT HIS OPTION.
 - HYDRANTS AND VALVES TO OPERATE PER MUNICIPAL STANDARDS

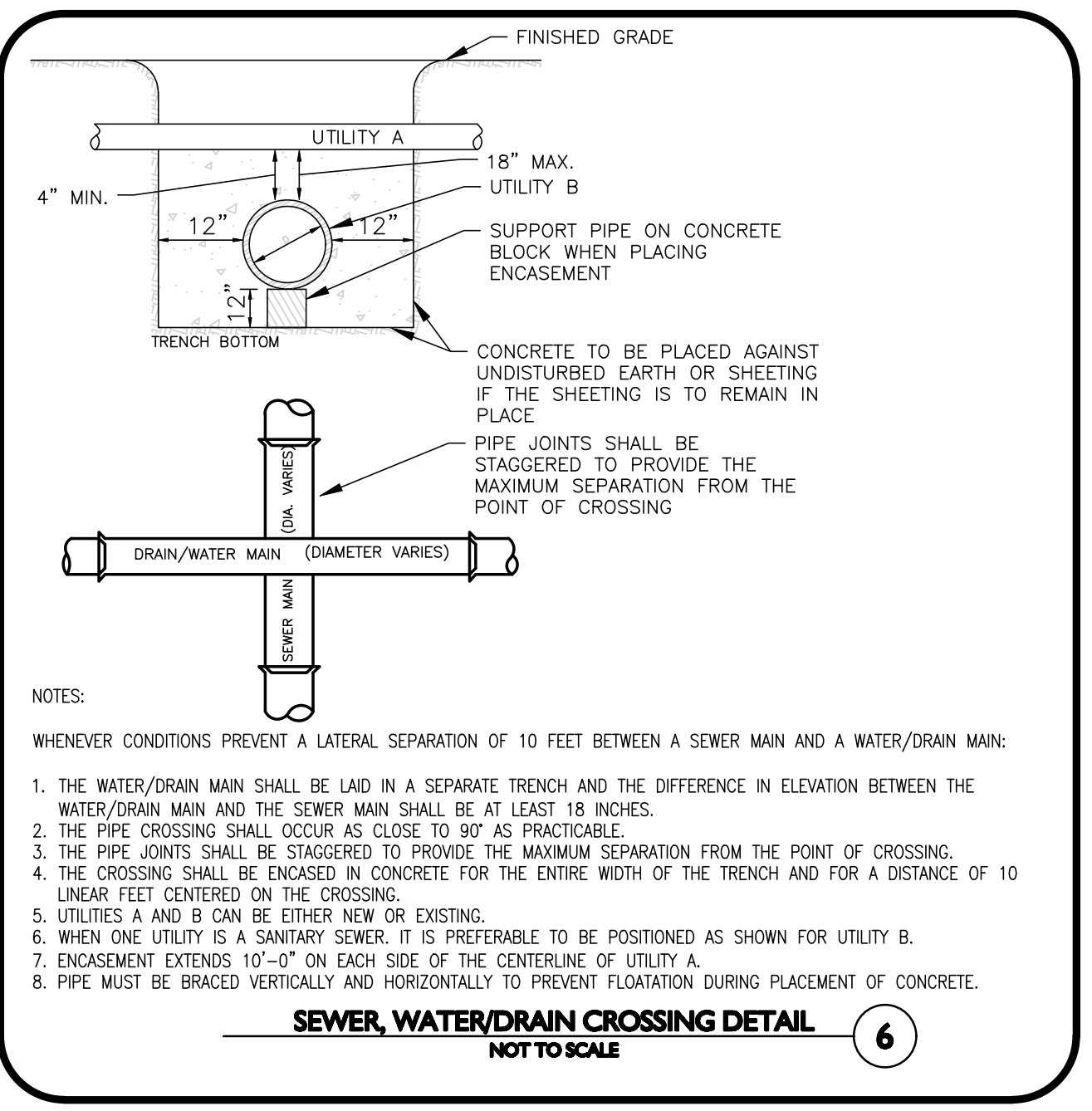
GATE VALVE DETAIL
NOT TO SCALE

4



HYDRANT SETTING DETAIL
NOT TO SCALE

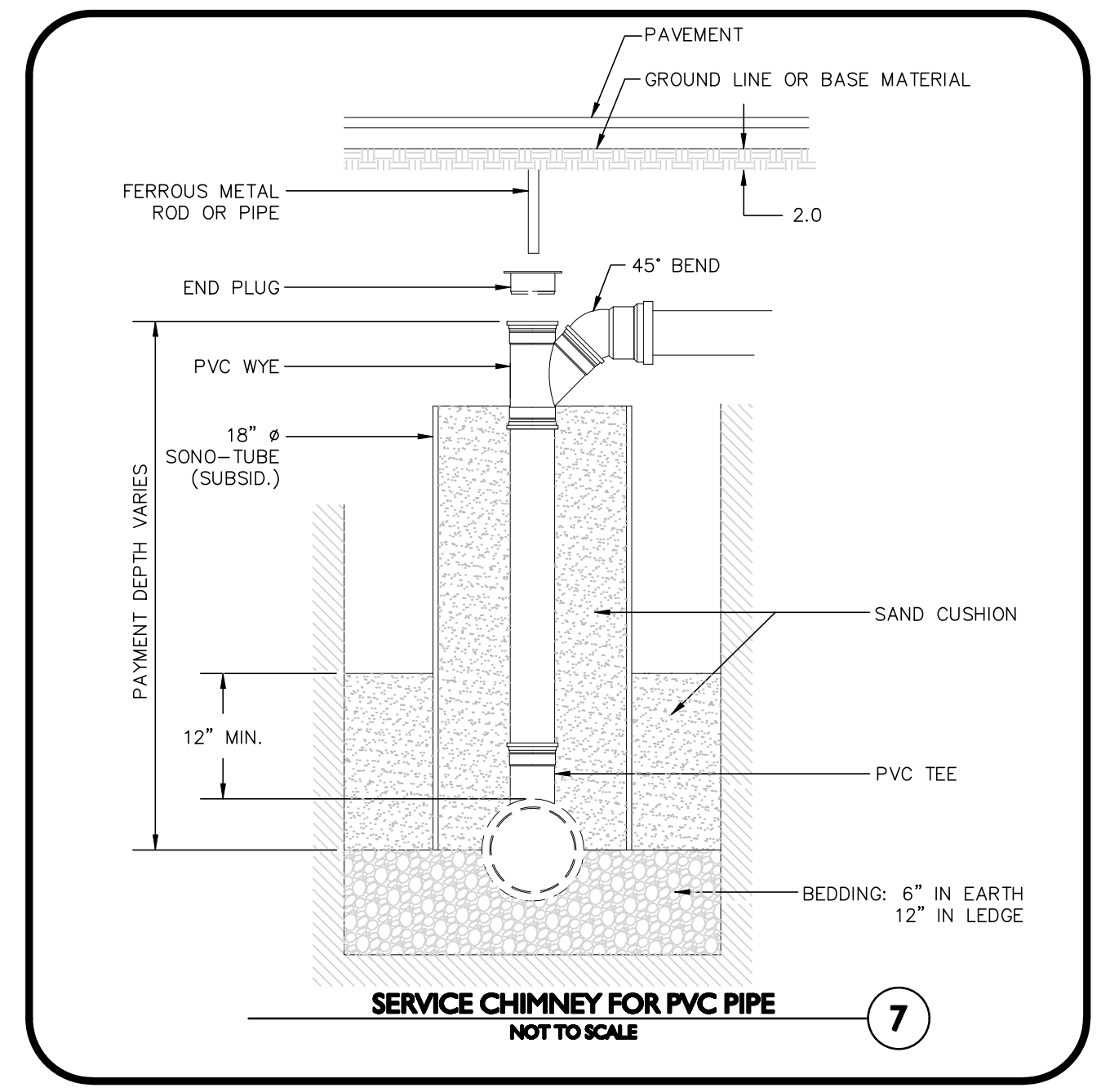
5



- NOTES:**
- WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/RAIN MAIN:
 - THE WATER/DRAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/DRAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
 - THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
 - THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
 - THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
 - UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
 - WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
 - ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
 - PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.

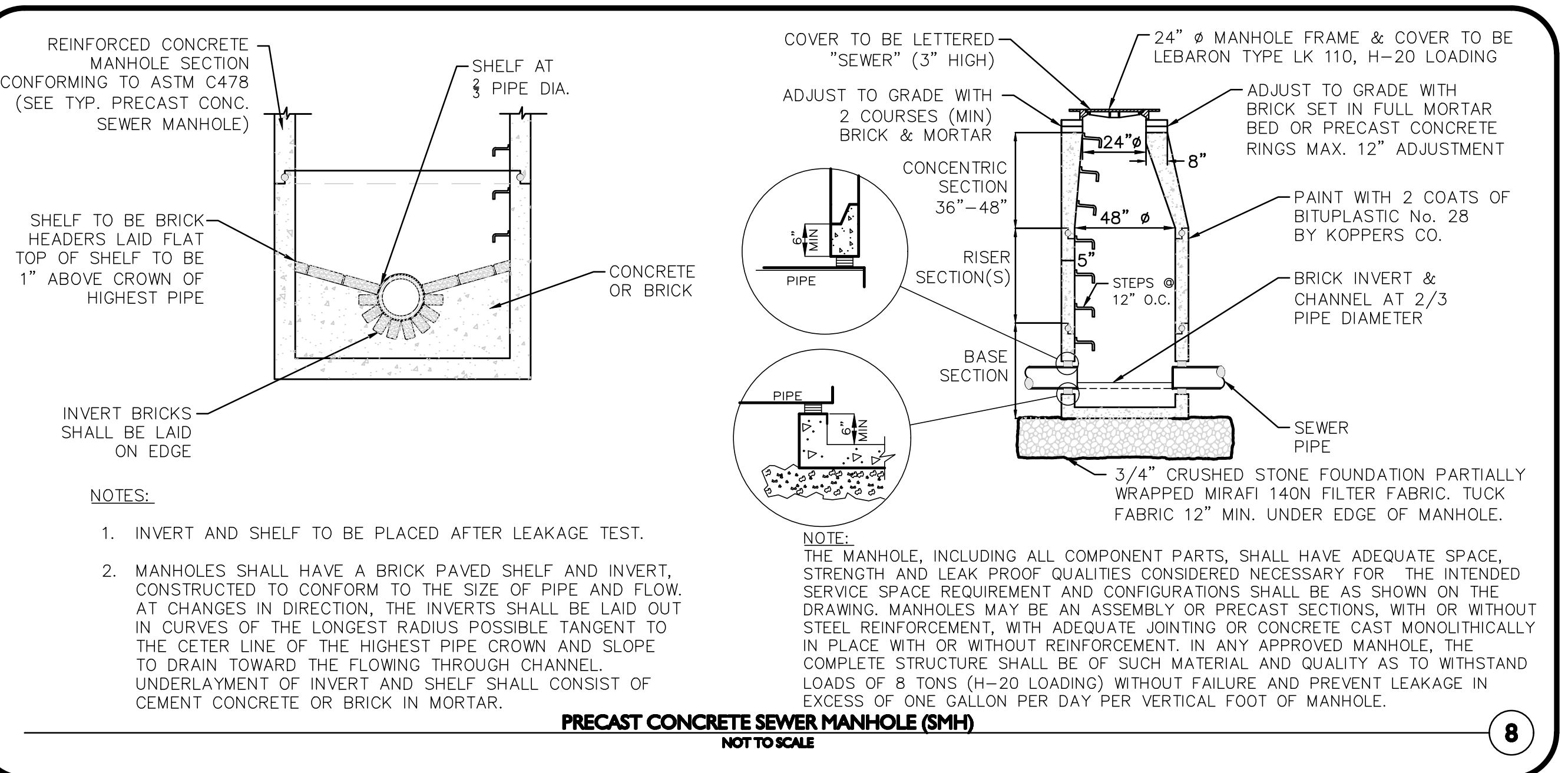
SEWER, WATER/DRAIN CROSSING DETAIL
NOT TO SCALE

6



SERVICE CHIMNEY FOR PVC PIPE
NOT TO SCALE

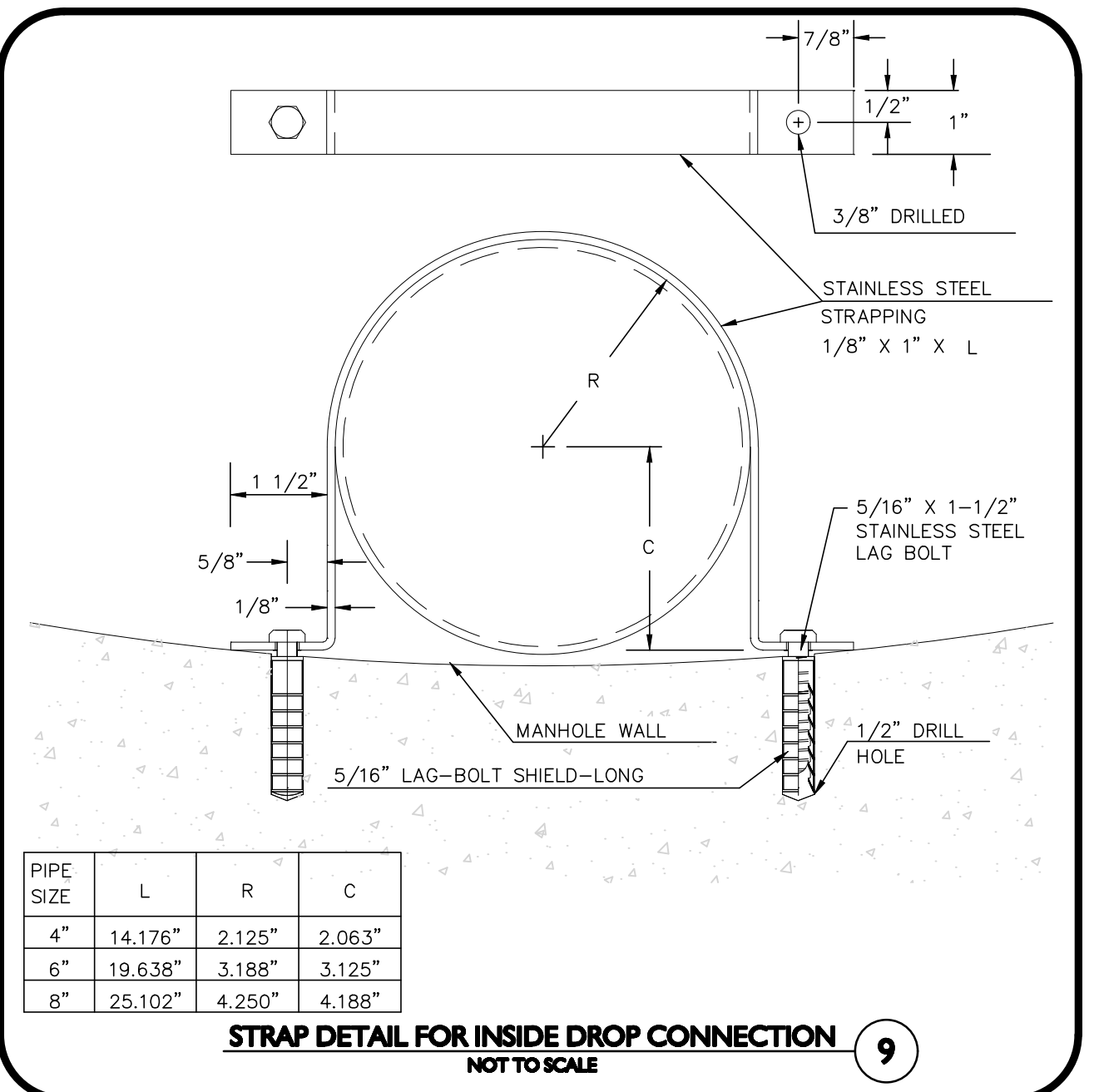
7



- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
 - MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF CEMENT CONCRETE OR BRICK IN MORTAR.

PRECAST CONCRETE SEWER MANHOLE (SMH)
NOT TO SCALE

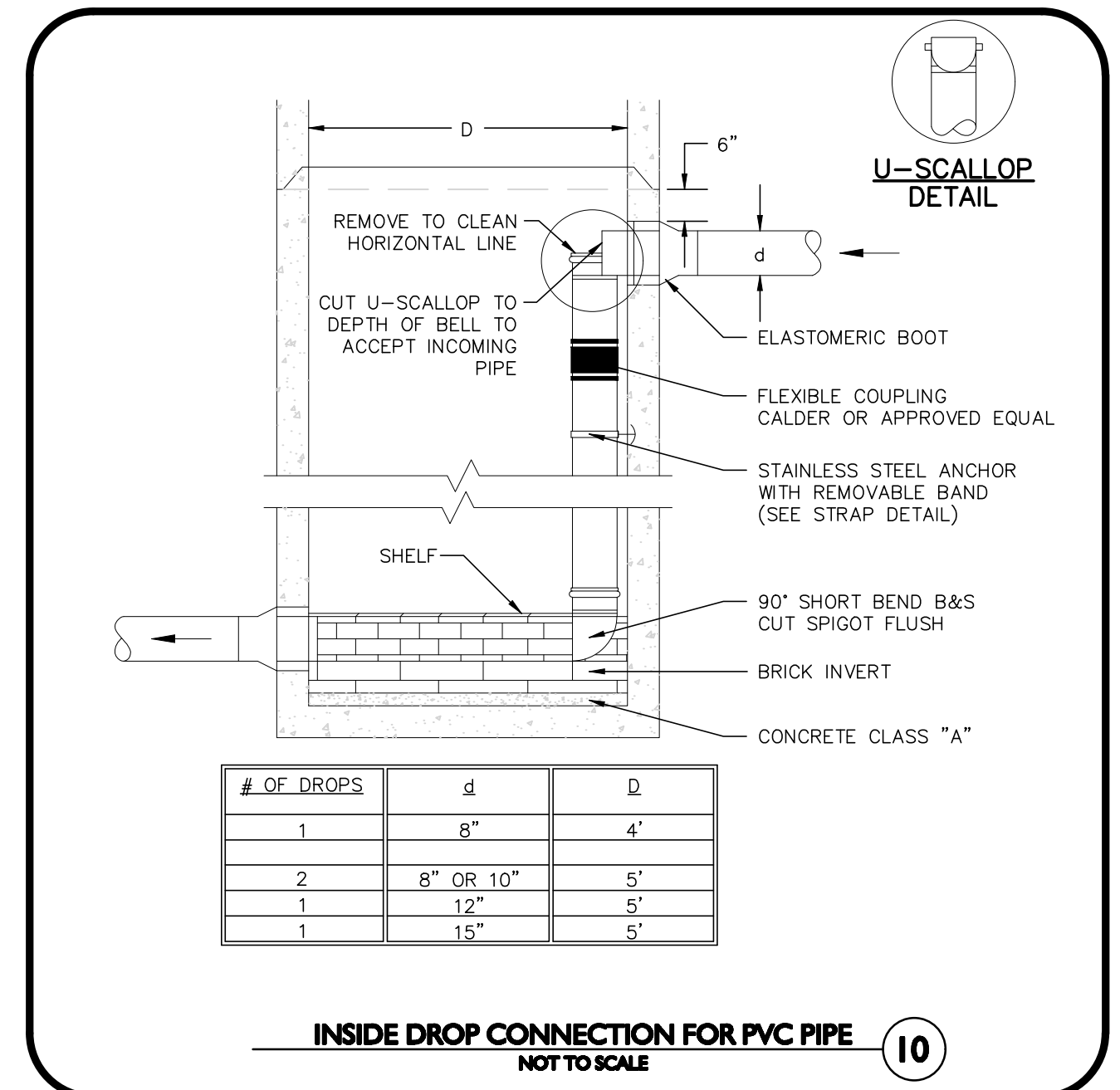
8



PIPE SIZE	L	R	C
4"	14.176"	2.125"	2.063"
6"	19.638"	3.188"	3.125"
8"	25.102"	4.250"	4.188"

STRAP DETAIL FOR INSIDE DROP CONNECTION
NOT TO SCALE

9



# OF DROPS	d	D
1	8"	4"
2	8" OR 10"	5"
1	12"	5"
1	15"	5"

INSIDE DROP CONNECTION FOR PVC PIPE
NOT TO SCALE

10

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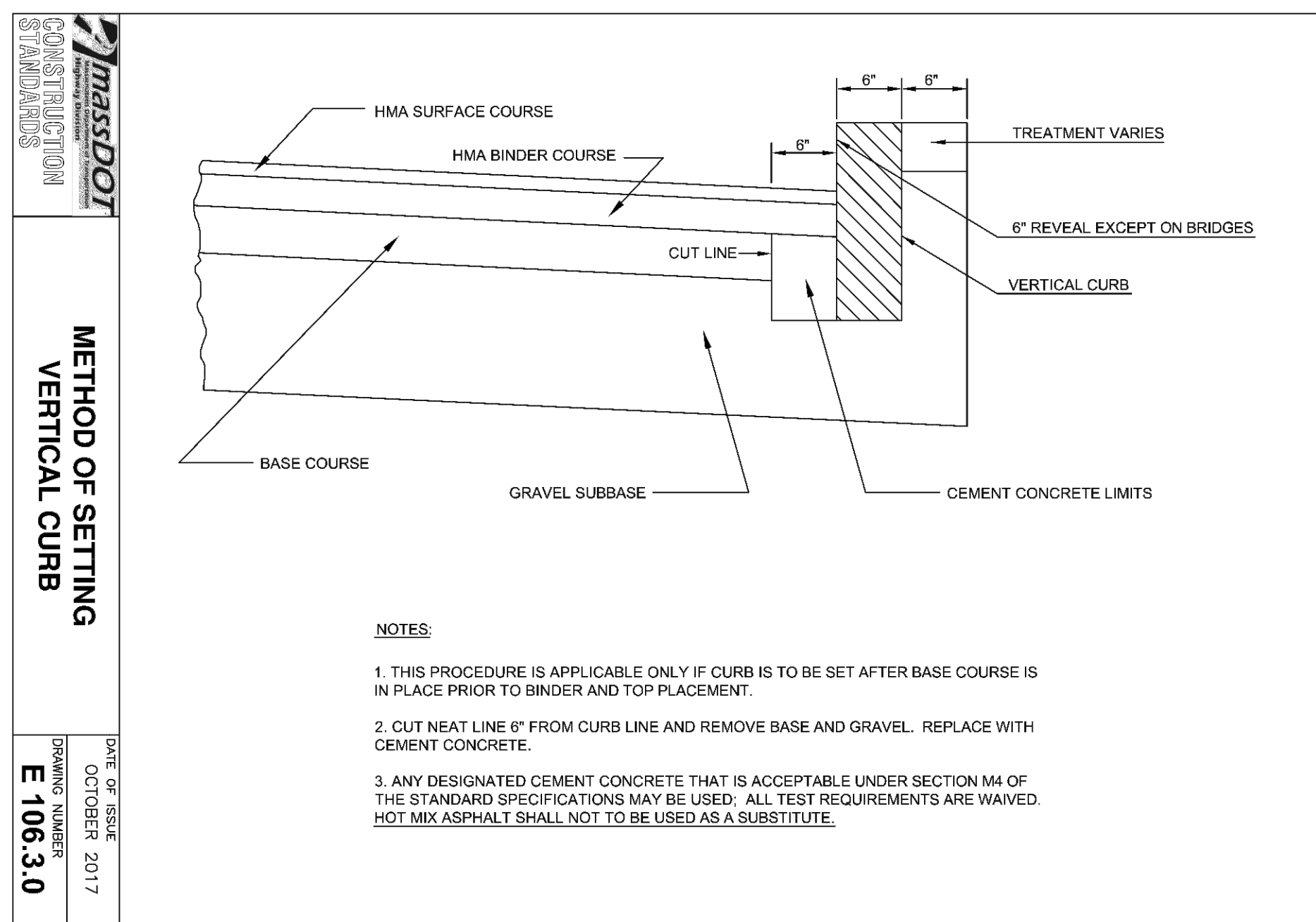
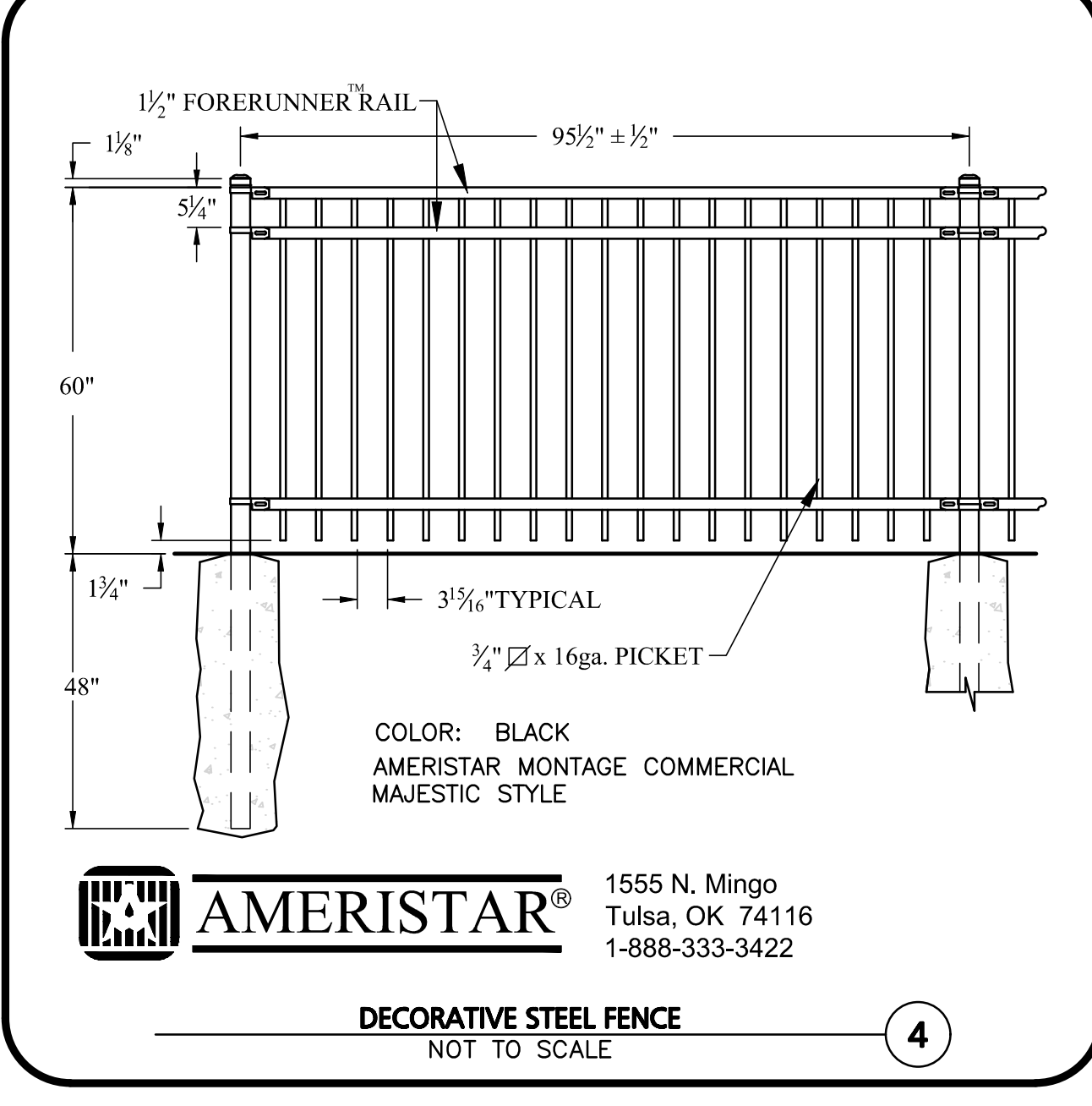
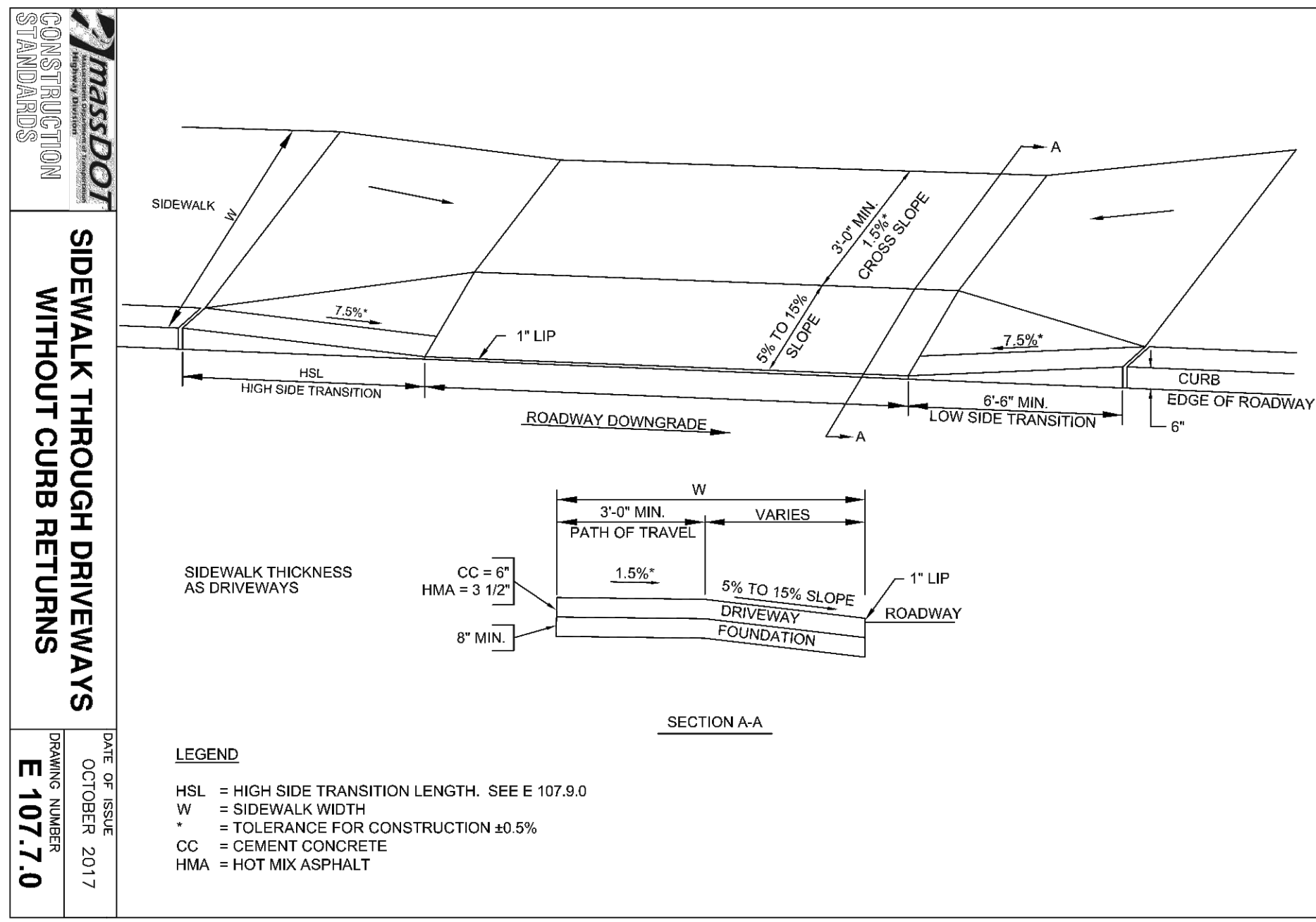
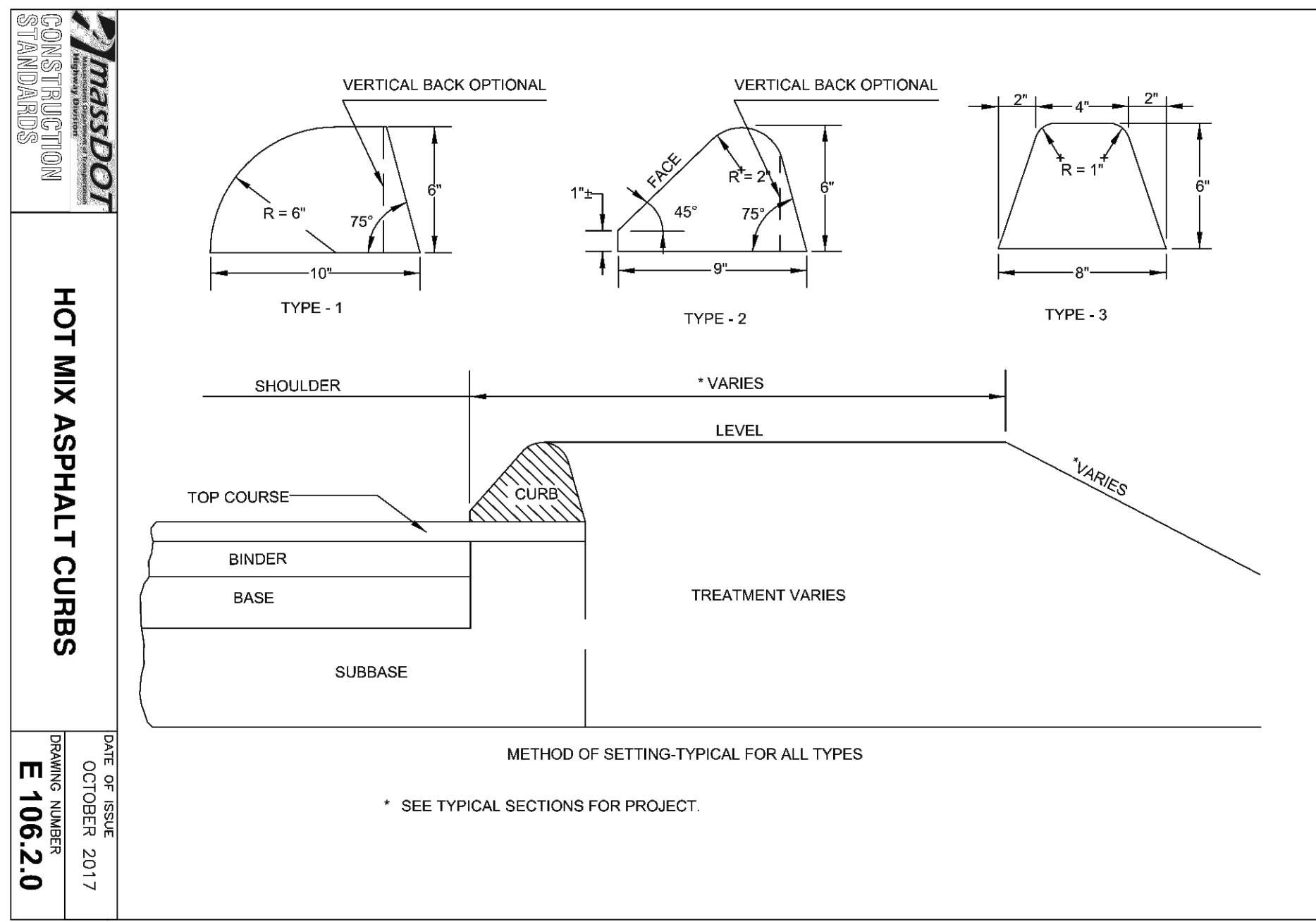
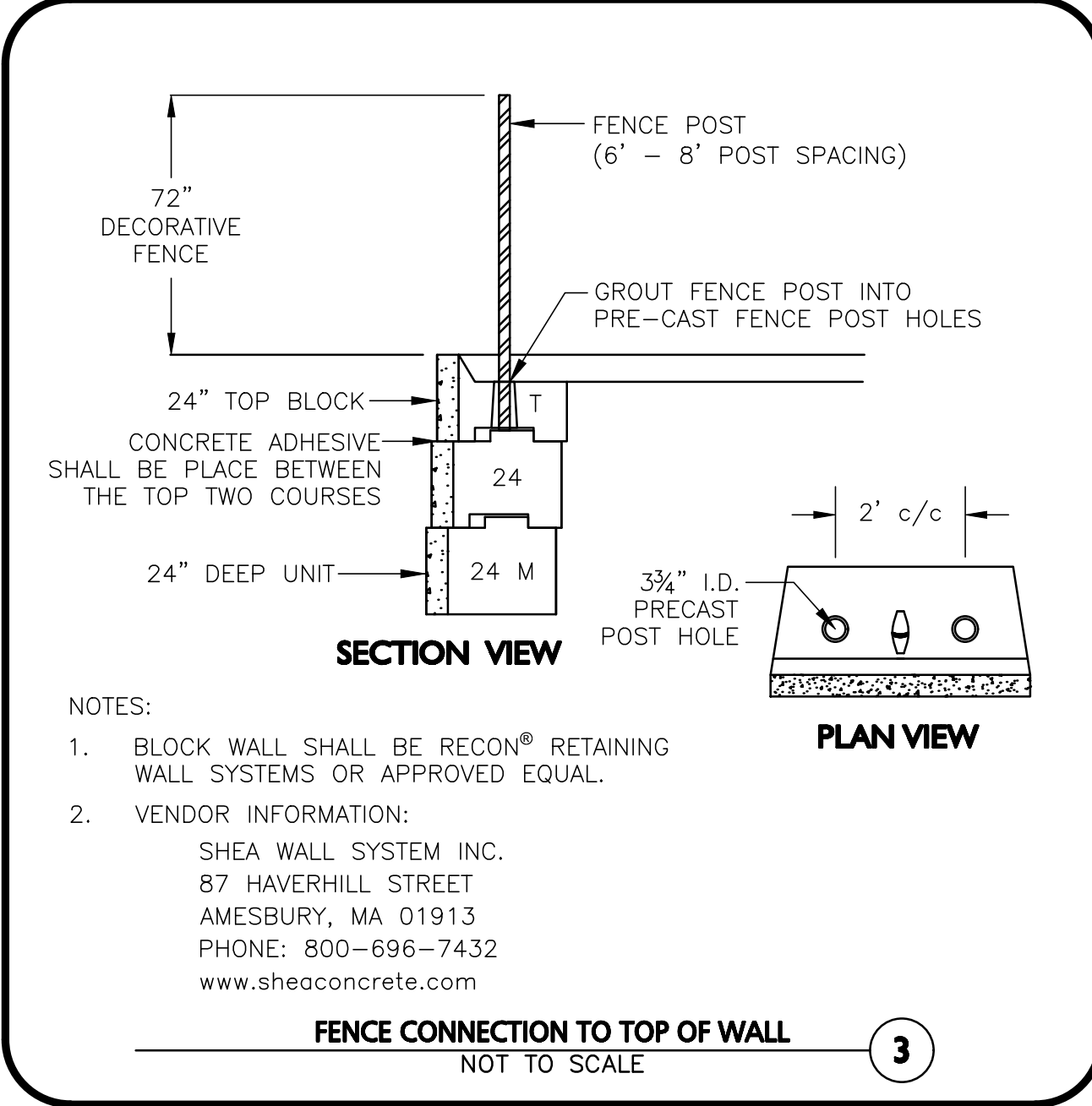
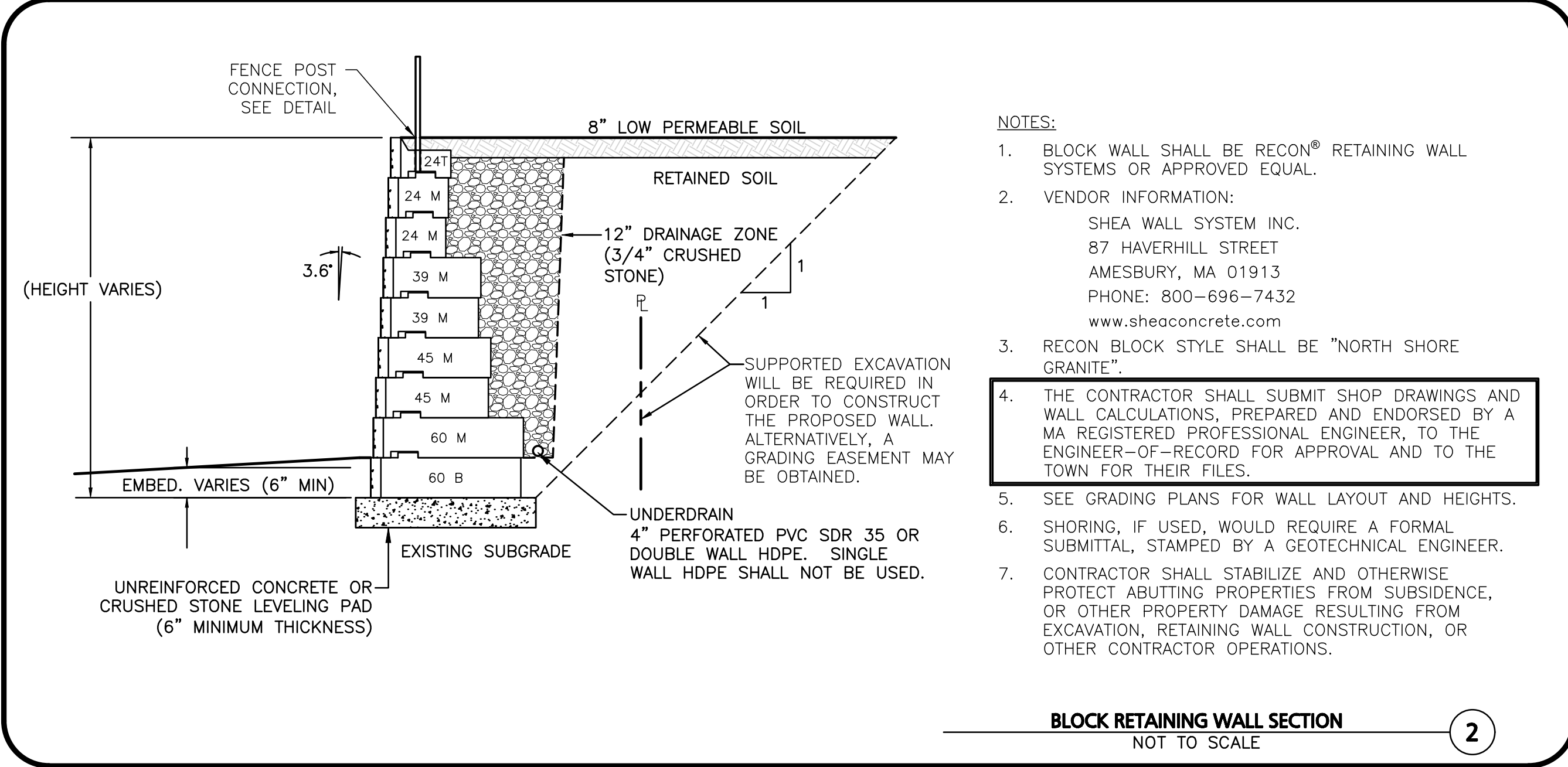
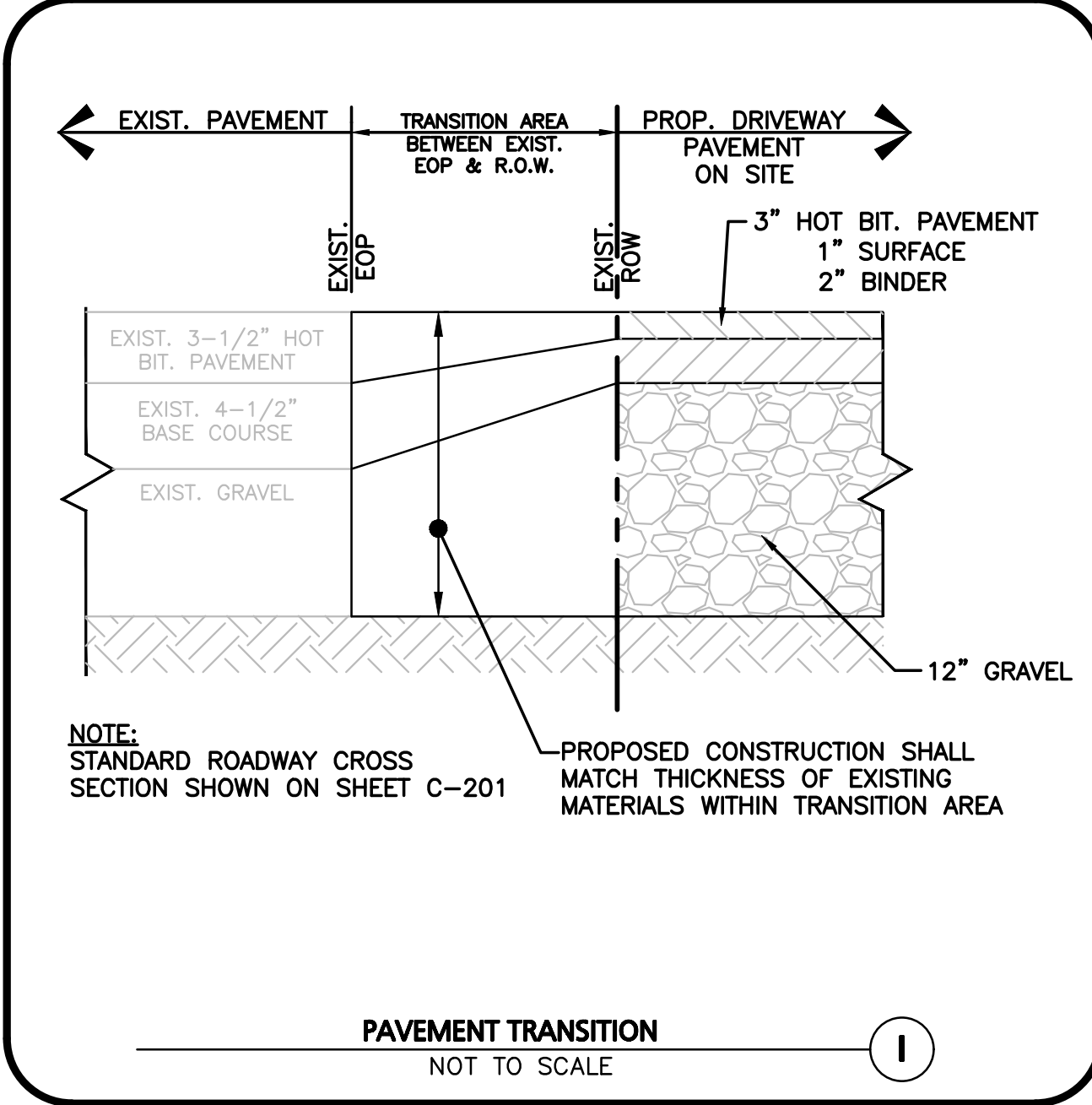
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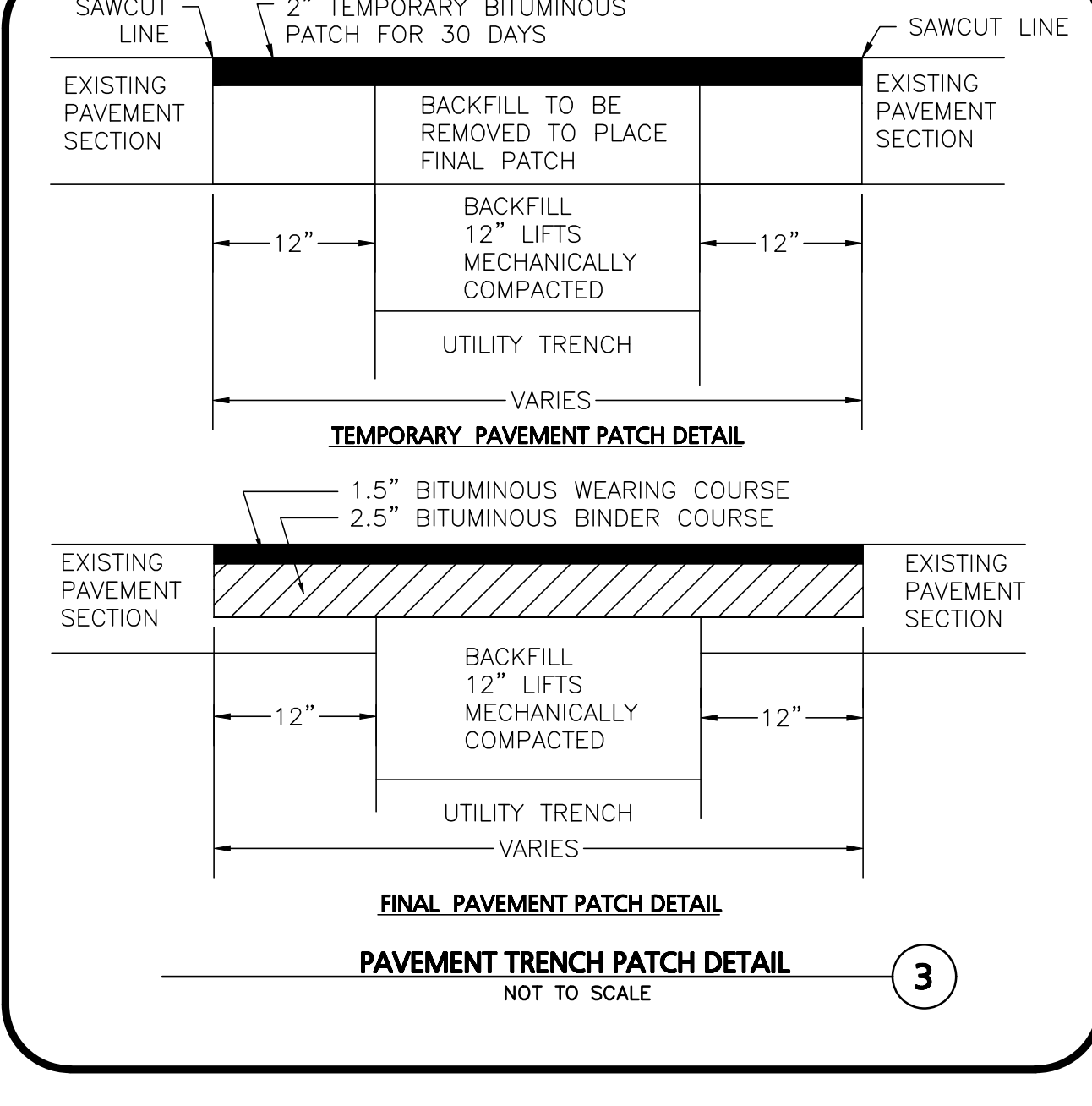
DRAWING TITLE: DETAILS SHEET No. C-505
29 OF 31



CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS

ROADWAY PROFILE GRADE	* HIGH SIDE TRANSITION LENGTH
%	ENGLISH UNITS
=0%	6'-6"
>0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" Max

NOTE:
* BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".



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MICHAEL A. MALYNOWSKI
CIVIL No. 47269 REGISTERED PROFESSIONAL ENGINEER

Digitally signed by Michael Malynowski
Date: 2022.08.31 16:52:07 -0400

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PROJECT NO. 2889-01 **DATE:** 09-01-2022

SCALE: AS SHOWN **DWG.:** C-2889-01_Details

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DRAWING TITLE: DETAILS **SHEET No.:** C-506

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