

Alaa Abusalah

From: Michael Malynowski <mmalynowski@allenmajor.com>
Sent: Tuesday, January 10, 2023 9:58 AM
To: Alaa Abusalah; Kevin Quinn; Todd Brodeur
Cc: Eyal Preis; Mark Klinger; Donna Main; Remax Patriot Realty
Subject: RE: 1/4 PB meeting
Attachments: 2023-12-09_Peer Comments Response Letter-signed.pdf; 28 Details - C-504.pdf; 01 Cover Sheet.pdf; 24 Profiles - C-202.pdf

Good morning Alaa & Kevin,

Please find attached a response letter addressing Kevin's comments from 12/30 along with the several plans sheets that have been revised. Please let me know if you will require had copies of the attached plans and we will arrange to have those delivered to your office.

Below is a summary of the changes to the specific sheets.

01 – Cover Sheet

- Update to resubmission date
- Update to revision date for Sheets 24 & 28

24 – Profile Sheet C-202

- Update the emergency access road cross section detail

28 – Detail Sheet C-504

- Update to stone lined outlet protection detail

Please do not hesitate to contact me if you have any questions.

Thanks & Stay safe,
Mike

Michael A. Malynowski, PE | Senior Project Manager
Allen & Major Associates, Inc.

Cell: 781-640-7650 | **Direct:** 781-305-9411 | mmalynowski@allenmajor.com

Manchester, NH | Woburn, MA | Lakeville, MA

www.allenmajor.com

Follow us on [LinkedIn](#) | [Instagram](#) | [Twitter](#)

From: Alaa Abusalah <AbusalahA@leicesterma.org>
Sent: Tuesday, January 3, 2023 12:48 PM
To: Michael Malynowski <mmalynowski@allenmajor.com>; Remax Patriot Realty <david@remaxpatriotrealty.com>; Todd Brodeur <tbrodeur@fletchertilton.com>
Cc: Eyal Preis <eyal.price94@gmail.com>; Mark Klinger <mark@globalgcny.com>; Donna Main <MainD@leicesterma.org>
Subject: 1/4 PB meeting
Importance: High

Hello all,

For your records please see the attached comments from Quinn Engineering dated 12/30/2022. Quinn has asked for documentation of whether the project meets the threshold for the WRPOD special permit given the reduction in dwelling units. The clarification will be helpful to both the planning board and zba.

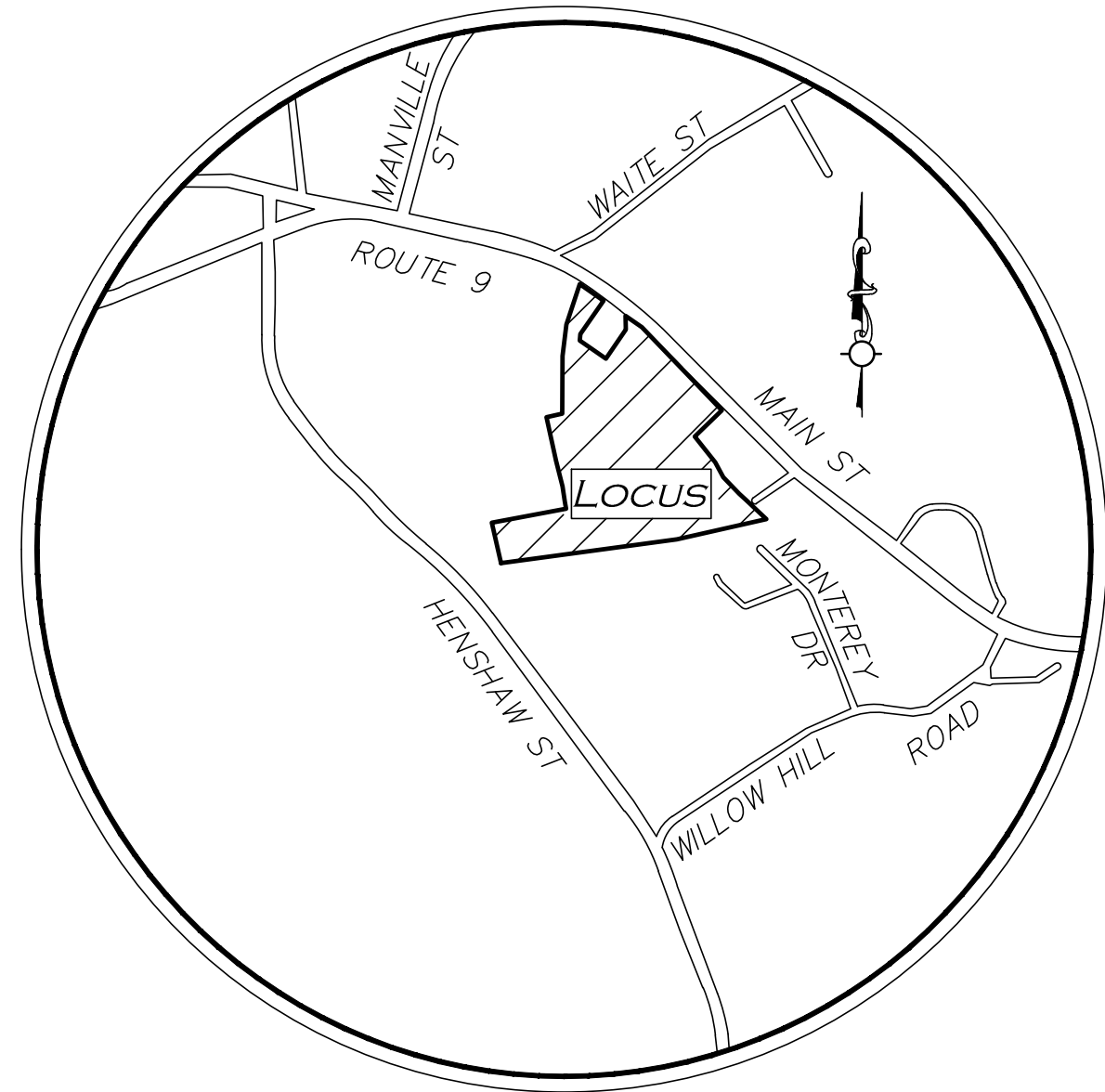
I received notice this morning that one of the voting member's lost a family member this weekend and will not be attending the meeting tomorrow. The decision deadline was extended to 1/31/2023.

I apologize for any inconvenience, please let me know how you wish to proceed.

Thank you,
Alaa

Alaa M. Abusalah
Director of Development & Inspectional Services/Town Planner
Town of Leicester
3 Washburn Square
Leicester, MA 01524
(508)892-7007

Please note that Leicester Town Hall is closed on Fridays.



LOCUS MAP
NOT TO SCALE

SITE PLANS FOR SKYVIEW ESTATES MAIN STREET LEICESTER, MA 01611

FOR REGISTRY USE ONLY

AGENT:
RE/MAX PATRIOT REALTY
55 MEAD STREET
LEOMINSTER, MA 01453

APPLICANT
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

OWNER
651 MAIN STREET, LLC
55 MEAD STREET
LEOMINSTER, MA 01453

CIVIL ENGINEER / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801

ENVIRONMENTAL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR BLDG 2 UNIT H
EXETER NH 03833-7507

LEICESTER PLANNING BOARD WAIVERS REQUESTED

SECTION V.A.1.f – MINIMUM CENTER LINE RADII. 200' MIN. REQUIRED TO ALLOW CENTER LINE RADIUS OF 120' AND 135'

SECTION V.A.3.a – MAXIMUM STREET GRADE 10% TO ALLOW FOR A STREET GRADE OF NO MORE THAN 12%

SECTION V.I.B.1A – REINFORCED CONCRETE STORM DRAINAGE PIPING REQUIRED A WAIVER IS REQUESTED TO UTILIZE HIGH DENSITY POLYPROPYLENE (HDPE) DRAINAGE LINES OR APPROVED EQUAL WITHIN THE DRAINAGE SYSTEM OF THE SUBDIVISION.

SECTION V.I.C.4 – VELOCITIES SHALL BE BETWEEN 2 AND 10 FEET PER SECOND A WAIVER IS REQUESTED ALLOW WATER VELOCITY WITHIN THE CLOSED STORMWATER SYSTEM FROM 11.92 FPS TO 14.0 FPS WHICH IS LESS THAN THE MANUFACTURES RECOMMENDATION FOR SCOUR WITHIN THE PIPING NETWORK.

SECTION V.I.E.3 – STREET LIGHTING REQUIRED TO ALLOW STREET LIGHTING TO BE INSTALLED AS PRIVATE DRIVEWAY LIGHT

SECTION V.I.L STREET TREES SHALL BE INSTALLED ON BOTH SIDES OF THE ROADWAY TO ALLOW FOR STREET TREE PLANTINGS TO BE INSTALLED AS SHOWN ON THE PLANS

SECTION V.I.G.1 – SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN A SUBDIVISION A WAIVER IS REQUESTED TO INSTALL SIDEWALKS ON ONLY 1 SIDE OF THE ROADWAY DUE TO THE STEEP TERRAIN OF THE PROPOSED SUBDIVISION AND LACK OF CONNECTION TO A MUNICIPAL SIDEWALK ALONG MAIN STREET (AKA ROUTE 9)

GENERAL NOTES

- THE OWNER OF RECORD:
LOT 21-B5.1
651 MAIN STREET, LLC
55 MEAD STREET
LEOMINSTER, MA 01453
BOOK 66895, PAGE 224
- ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST
LOT SIZE: 22,500 SF
LOT FRONTAGE: 100 FT.
FRONT SETBACK: 25 FT.
SIDE SETBACK: 15 FT.
REAR SETBACK: 25 FT.
- EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #2502700782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.

LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
COVER	C	09/01/22	01/09/23
EXISTING CONDITIONS	V-101	03/08/21	-
TYPICAL BUILDING KEY PLANS	C-001	09/01/22	-
VEGETATION MANAGEMENT PLAN	C-002	09/01/22	12/05/22
SITE PREPARATION PLAN - PHASE 1A	C-100	09/01/22	12/05/22
SITE PREPARATION PLAN - PHASE 1B	C-100A	09/01/22	12/05/22
SITE PREPARATION PLAN - PHASE 1C	C-100B	09/01/22	12/05/22
SITE PREPARATION PLAN - PHASE 2	C-100C	09/01/22	12/05/22
OVERALL SITE LAYOUT KEY PLAN	C-101	09/01/22	12/05/22
ENLARGED SITE LAYOUT PLAN	C-101A	09/01/22	12/05/22
ENLARGED SITE LAYOUT PLAN	C-101B	09/01/22	12/05/22
ENLARGED SITE LAYOUT PLAN	C-101C	09/01/22	12/05/22
OVERALL GRADING & DRAINAGE PLAN	C-102	09/01/22	12/05/22
GRADING & DRAINAGE PLAN	C-102A	09/01/22	12/05/22
GRADING & DRAINAGE PLAN	C-102B	09/01/22	12/05/22
GRADING & DRAINAGE PLAN	C-102C	09/01/22	12/05/22
EARTH MOVING SUMMARY PLAN	C-102D	09/01/22	12/05/22
TEST PIT SUMMARY PLAN	C-102E	09/01/22	12/05/22
OVERALL UTILITIES PLAN	C-103	09/01/22	12/05/22
UTILITIES PLAN	C-103A	09/01/22	12/05/22
UTILITIES PLAN	C-103B	09/01/22	12/05/22
UTILITIES PLAN	C-103C	09/01/22	12/05/22
ROADWAY PROFILE - SKYVIEW DRIVE	C-201	09/01/22	12/05/22
ROADWAY PROFILES - KETTLE LANE & EMERGENCY ACCESS	C-202	09/01/22	01/09/23
DETAILS	C-501	09/01/22	-
DETAILS	C-502	09/01/22	-
DETAILS	C-503	09/01/22	-
DETAILS	C-504	09/01/22	01/09/23
DETAILS	C-505	09/01/22	-
DETAILS	C-506	09/01/22	-
DETAILS	C-507	09/01/22	-

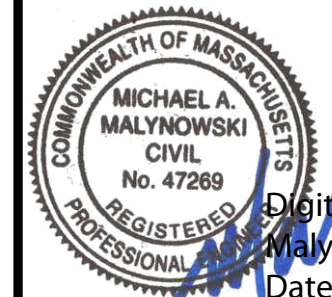
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER



Digitally signed by Michael A. Malynowski
Date: 2023.01.10 09:37:30 -05'00'
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	01-09-23	MISC. REVS. PER TOWN COMMENTS
1	12-05-22	MISC. REVISIONS TO REDUCE DENSITY

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: NONE DWG.: C-2889-01_Cover

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

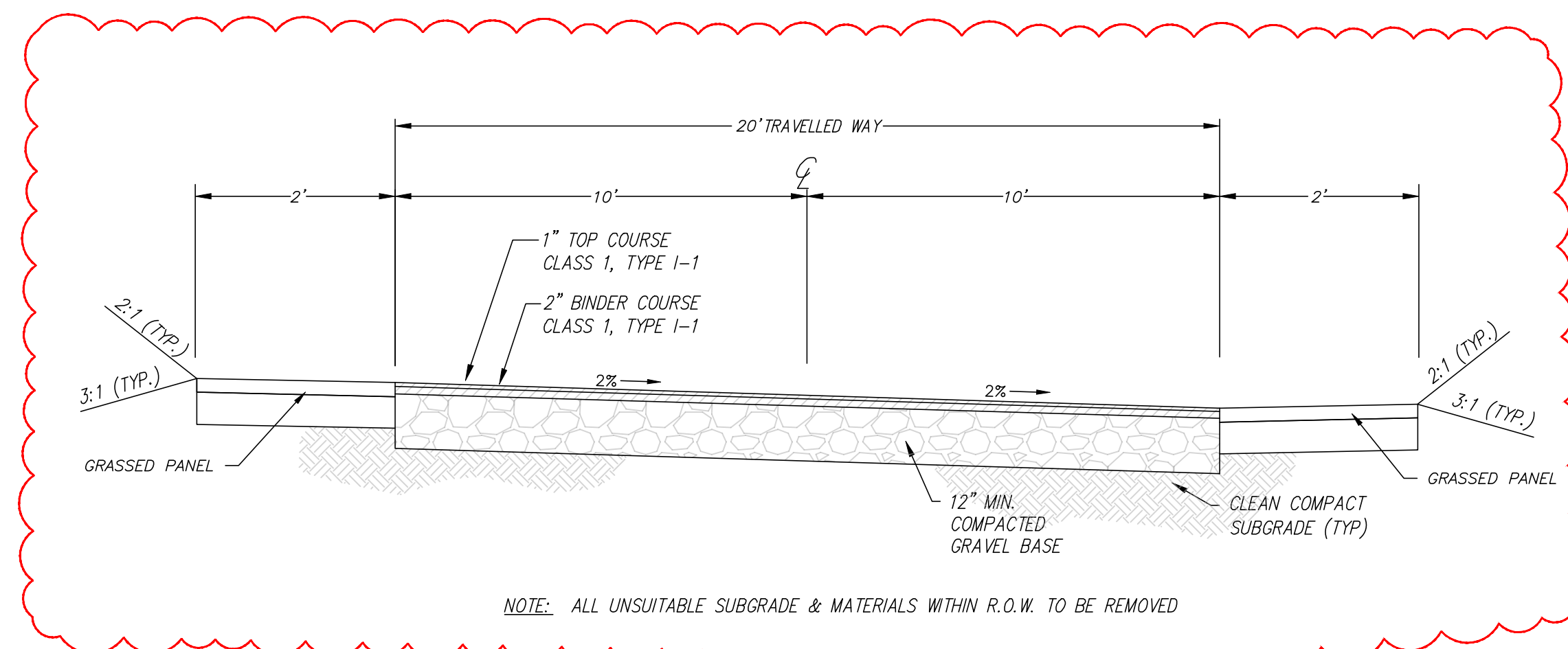
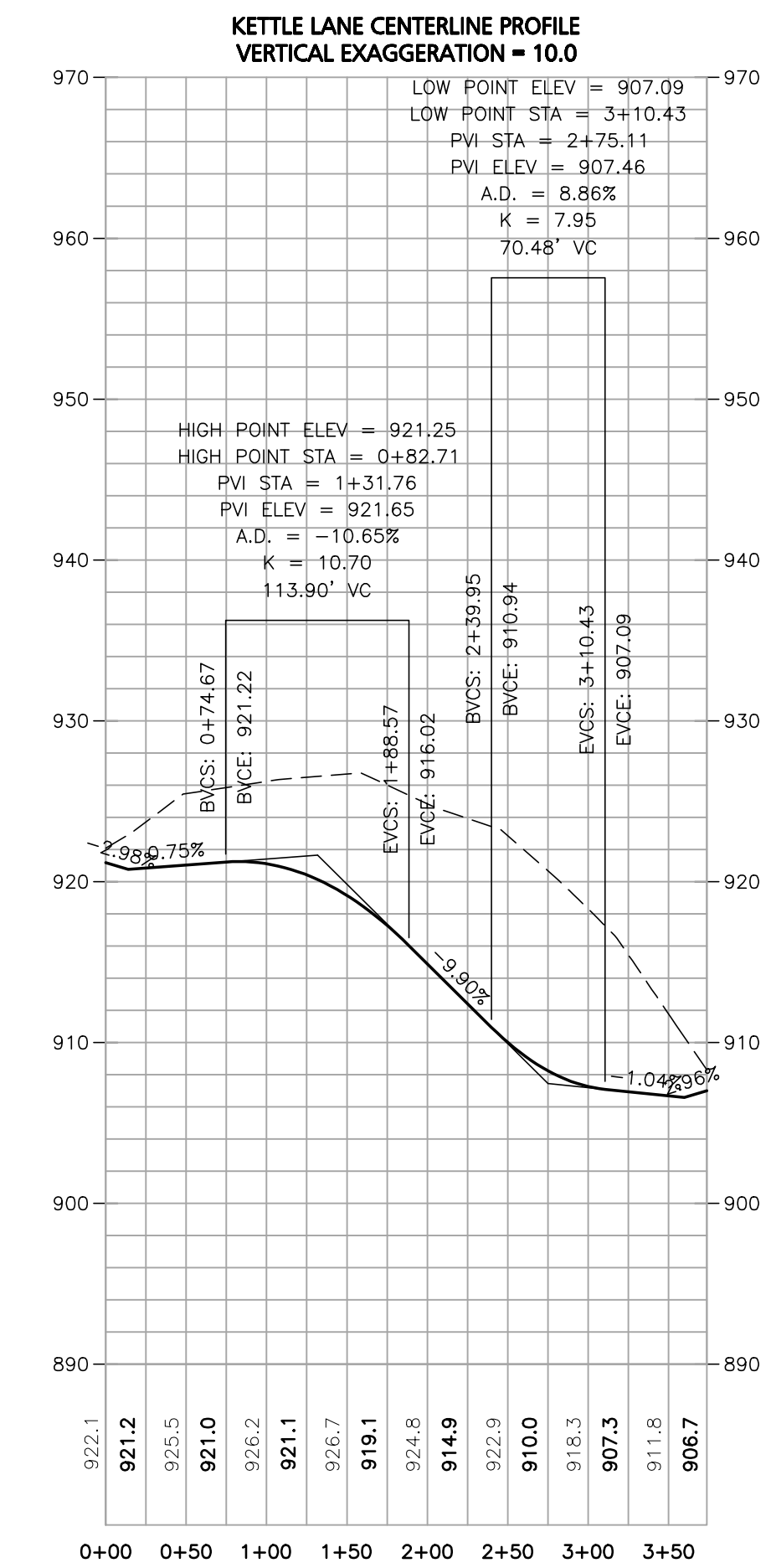
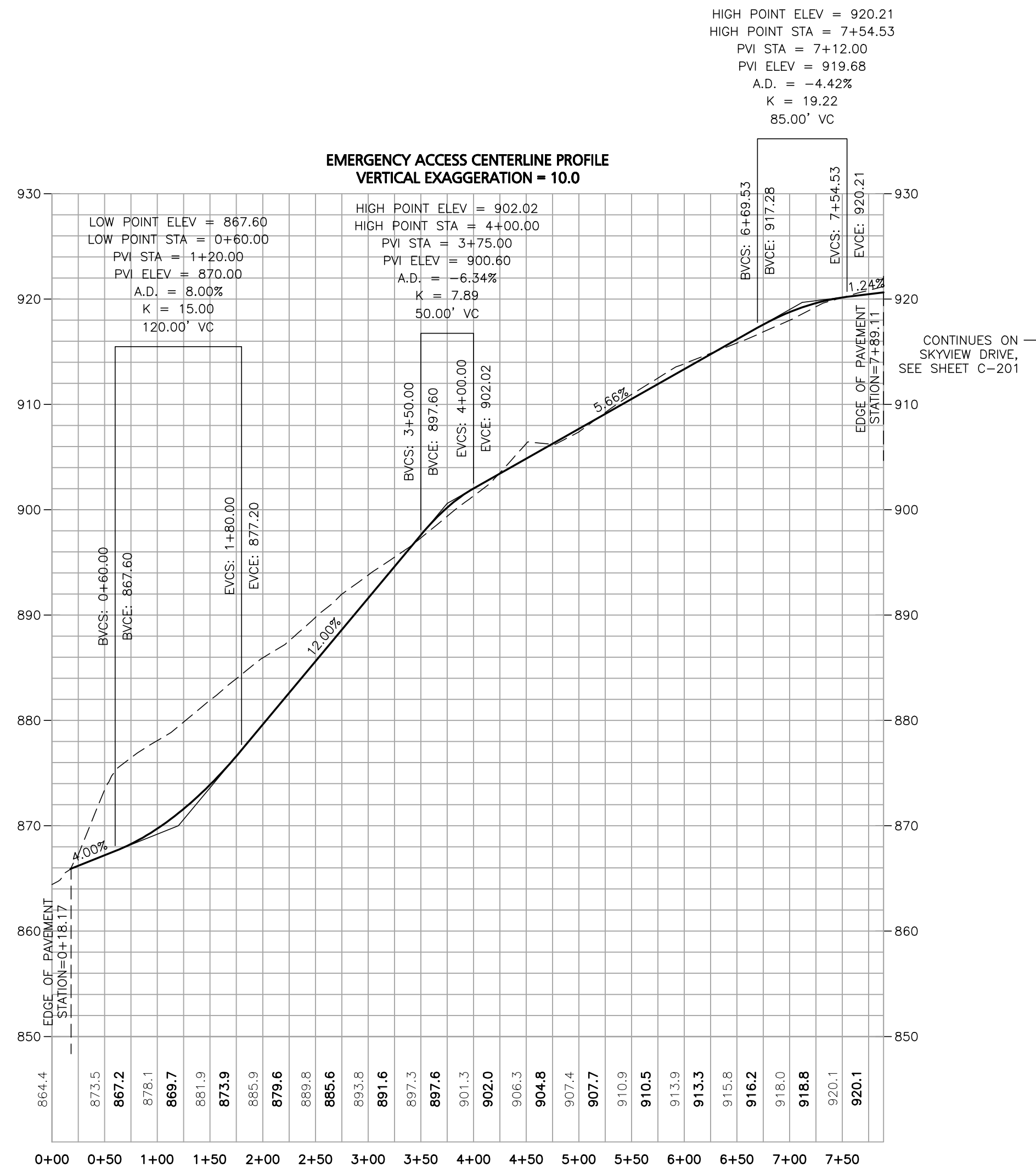
THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:	SHEET No.
COVER	C
Copyright © 2022 Allen & Major Associates, Inc. All Rights Reserved	1 OF 31

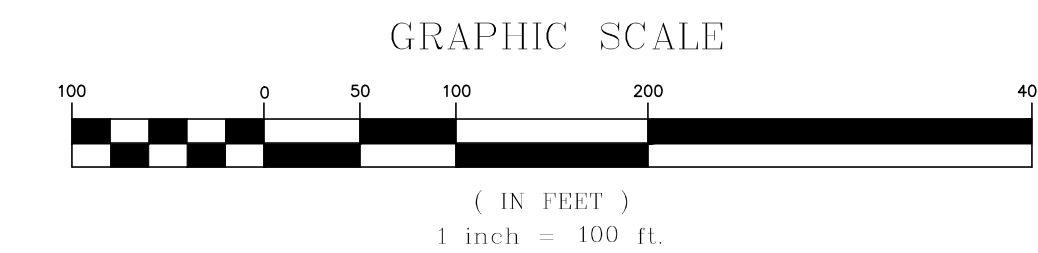
ISSUED FOR SITE PLAN APPROVAL: SEPTEMBER 1, 2022
MISC UPDATES TO REDUCE DENSITY: DECEMBER 5, 2022
MISC UPDATES PER TOWN COMMENTS: JANUARY 9, 2023

GENERAL NOTES

1. REFER TO SHEET C-102 FOR ADDITIONAL INFORMATION
2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
3. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



EMERGENCY ACCESS CROSS - SECTION
NOT TO SCALE



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	01-09-23	MISC. REVS. PER TOWN COMMENTS
1	12-05-22	MISC. REVISIONS TO REDUCE DENSITY

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: 1" = 100' DWG.: C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 933-6889
FAX: (781) 933-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:
ROADWAY PROFILES
KETTLE LANE &
EMERGENCY ACCESS

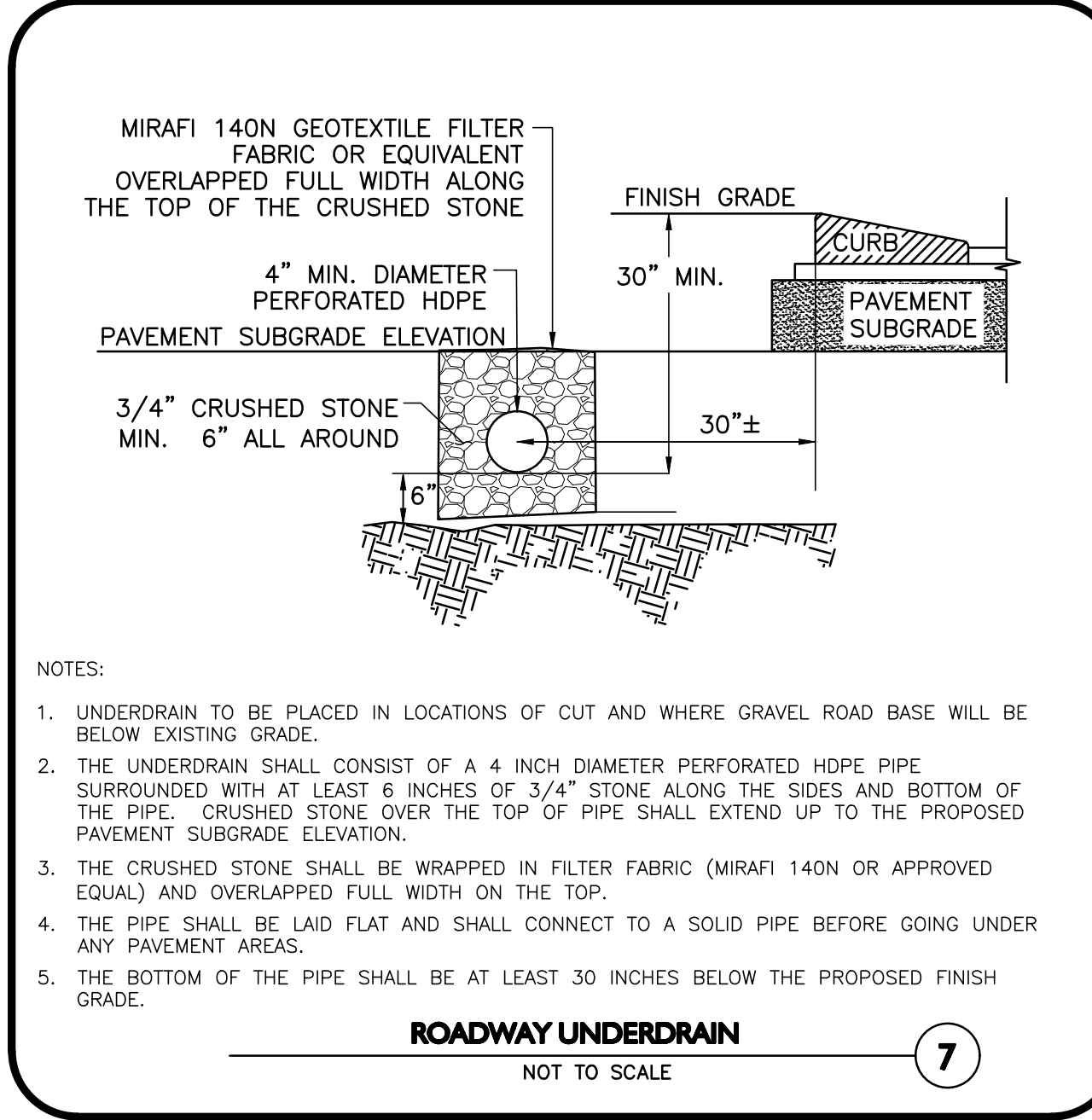
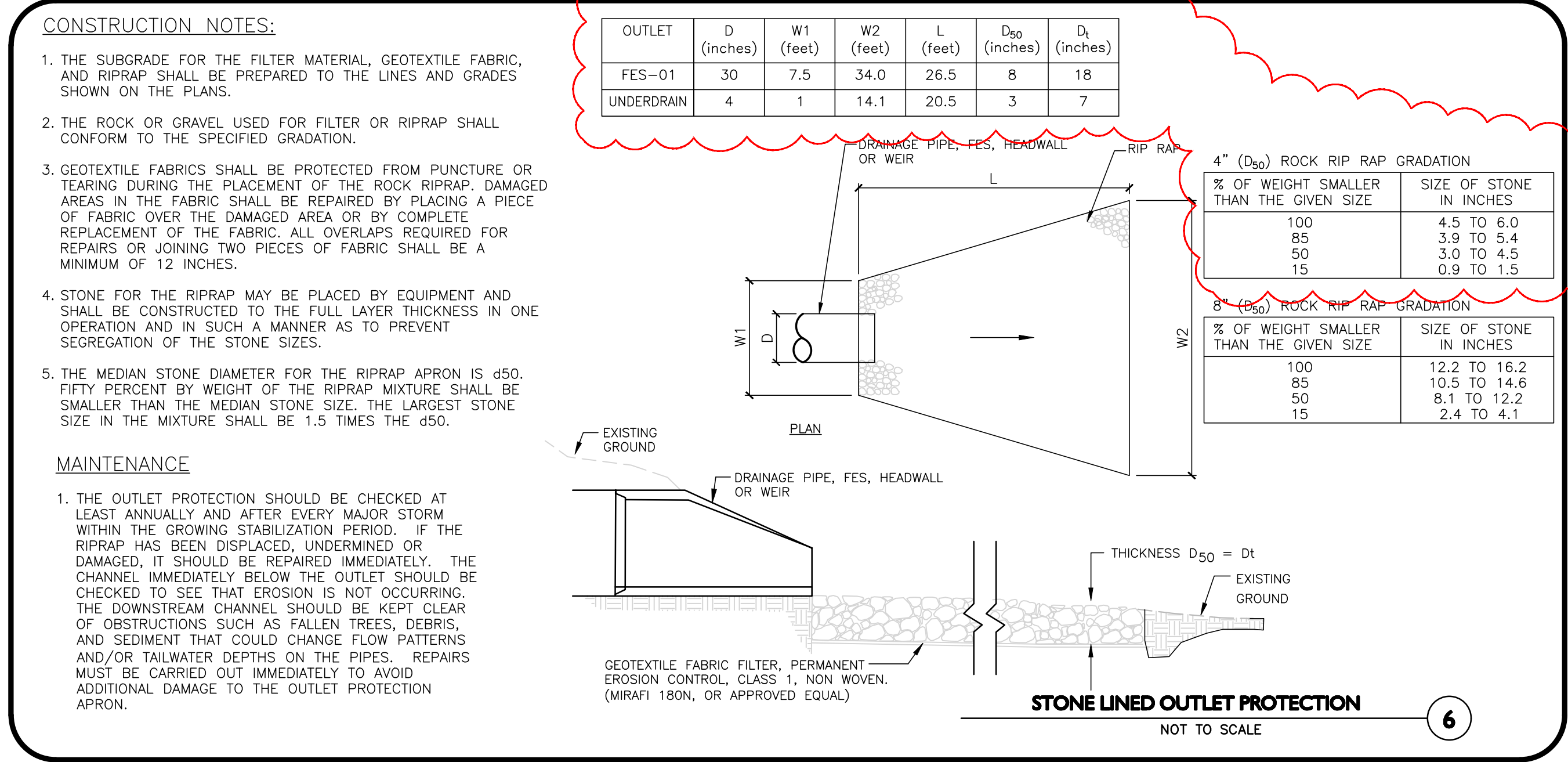
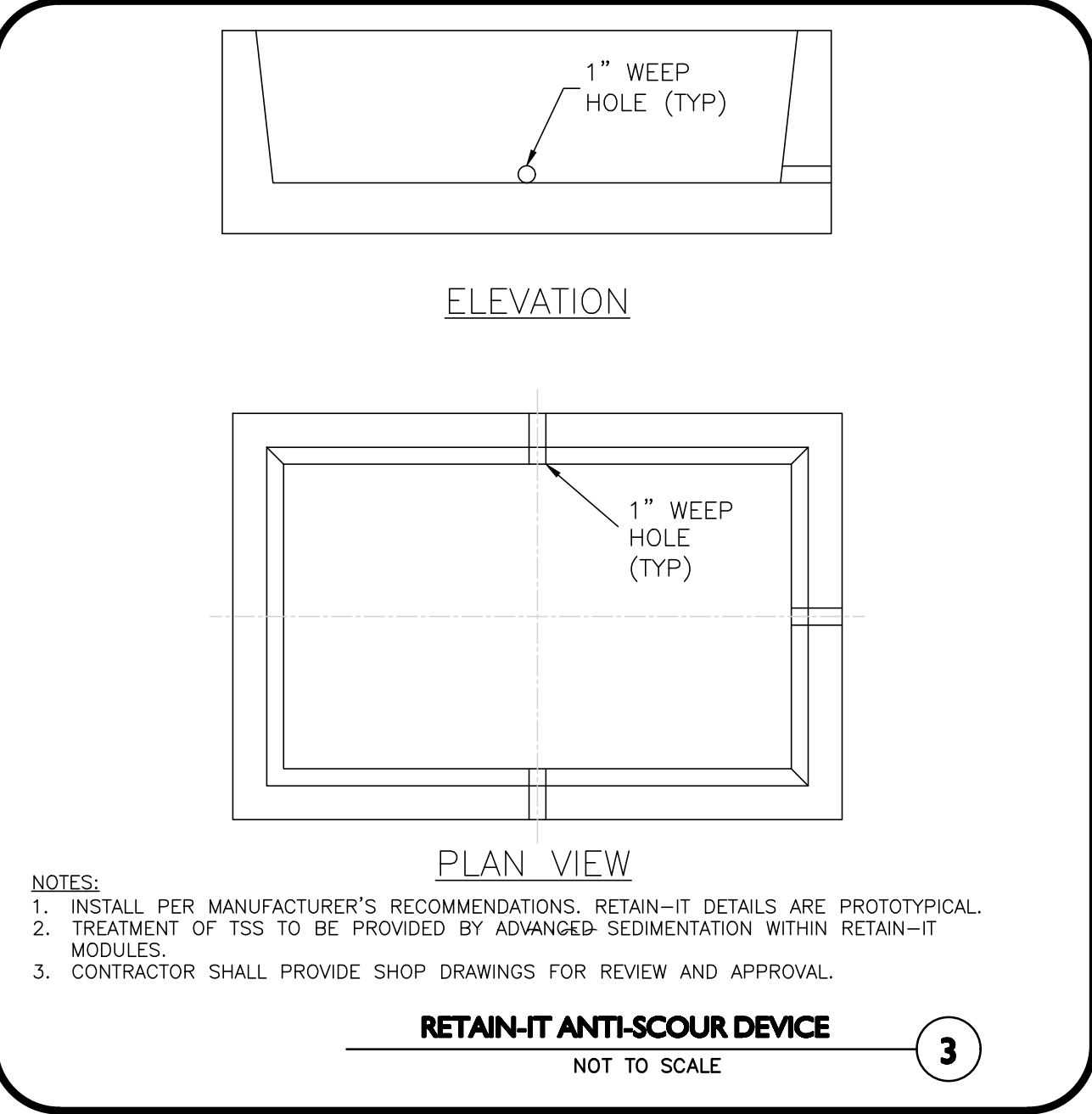
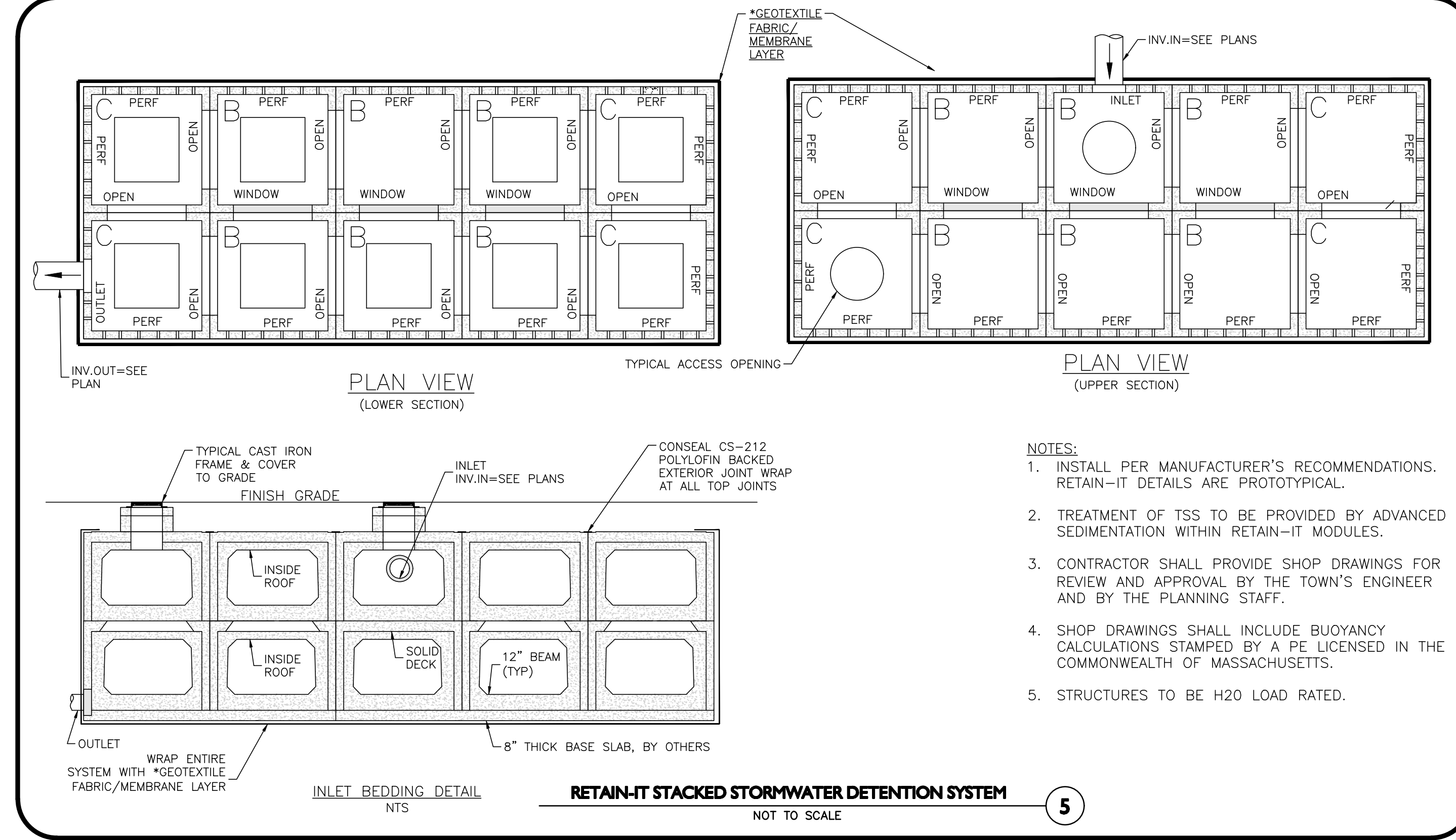
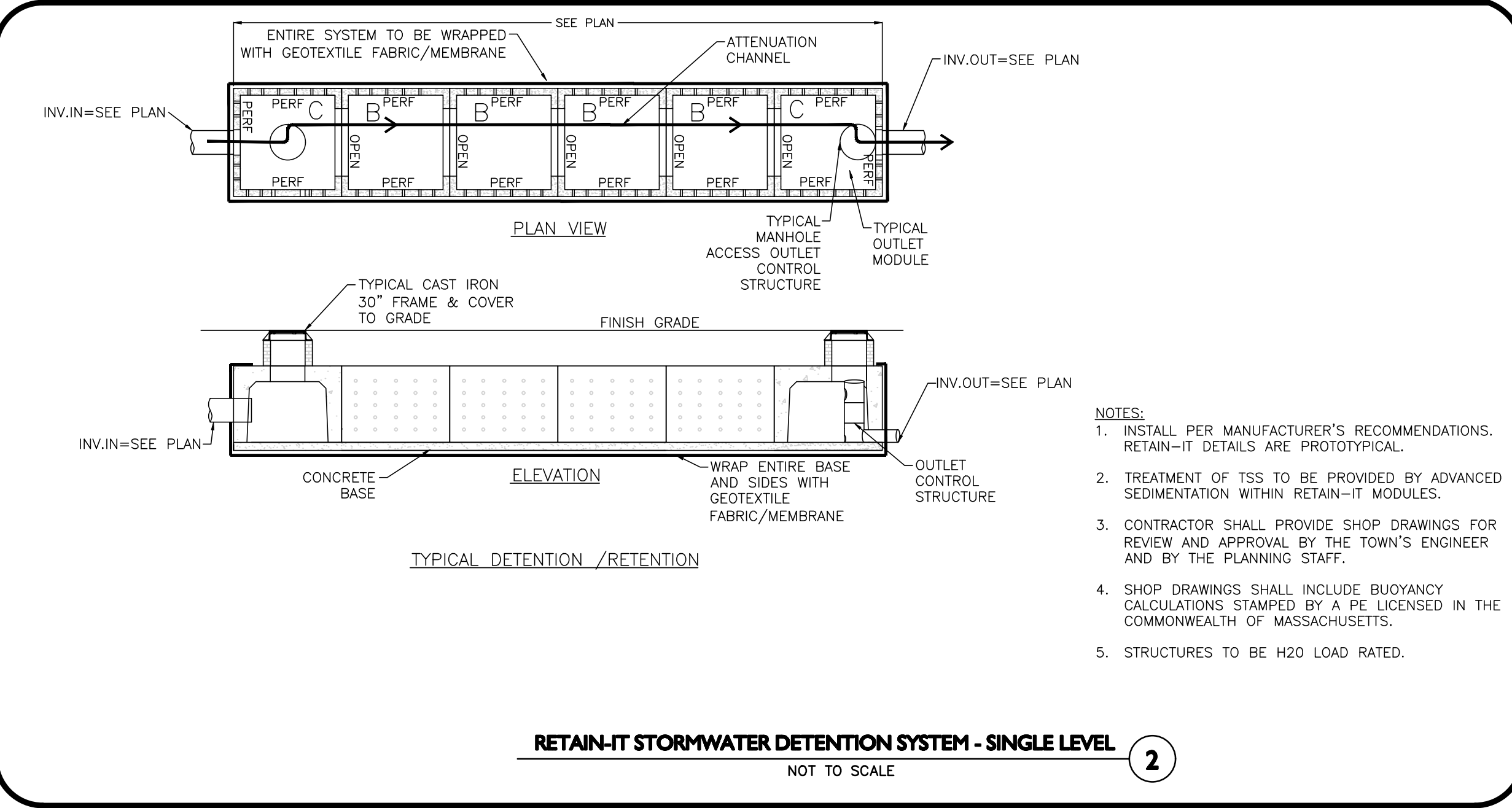
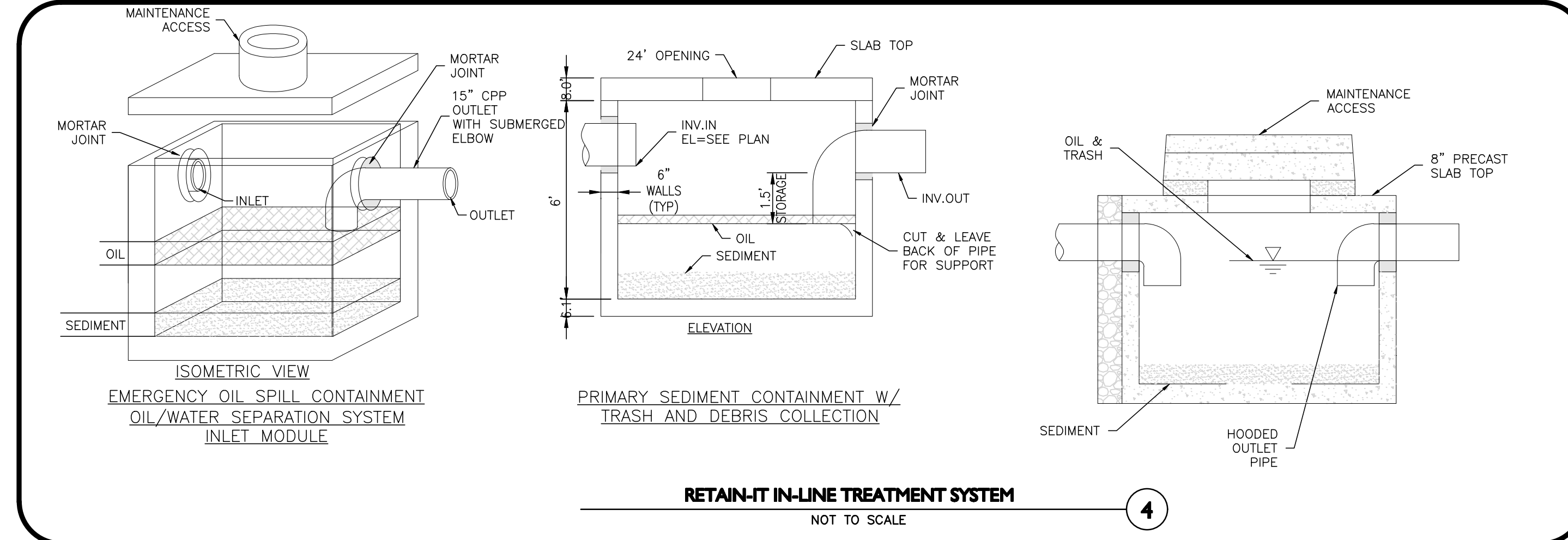
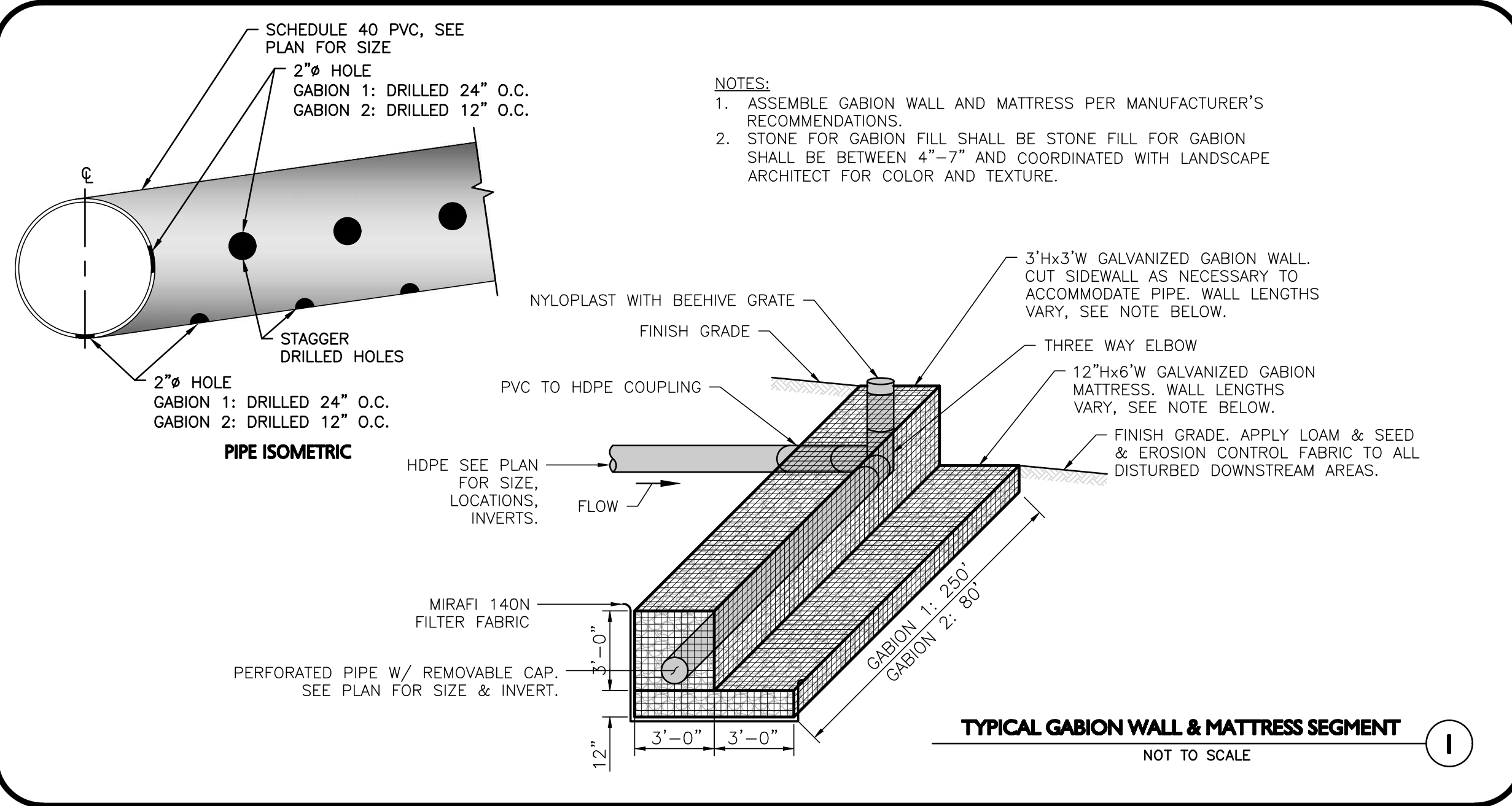
SHEET No.
C-202

Copyright © 2022 Allen & Major Associates, Inc. All Rights Reserved.
24 OF 31

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD
I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Digitally signed by Michael A. Malynowski
Date: 2023.01.10 09:36:24 -05'00'

REV	DATE	DESCRIPTION
2	01-09-23	MISC. REVS. PER TOWN COMMENTS
1	12-05-22	MISC. REVISIONS TO REDUCE DENSITY

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-01-2022

SCALE: AS SHOWN DWG.: C-2889-01_Details

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: **DETAILS** SHEET No. **C-504**

R:\PROJECTS\2889-01\CIVIL DRAWINGS\CURRENT\C-2889-01_DETAILS.DWG