

LOCUS MAP
NOT TO SCALE

DEFINITIVE SITE PLANS FOR SKYVIEW ESTATES MAIN STREET LEICESTER, MA 01611

FOR REGISTRY USE ONLY

AGENT:
RE/MAX PATRIOT REALTY
55 MEAD STREET
LEOMINSTER, MA 01453

APPLICANT
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

OWNER
651 MAIN STREET, LLC
55 MEAD STREET
LEOMINSTER, MA 01453

CIVIL ENGINEER / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801

ENVIRONMENTAL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR BLDG 2 UNIT H
EXETER NH 03833-7507

LEICESTER PLANNING BOARD WAIVERS REQUESTED

SECTION V.A.1.f – MINIMUM CENTER LINE RADII, 200' MIN. REQUIRED TO ALLOW CENTER LINE RADIUS OF 120' AND 135'

SECTION V.A.3.a – MAXIMUM STREET GRADE 10% TO ALLOW FOR A STREET GRADE OF NO MORE THAN 12%

SECTION V.I.B.1A – REINFORCED CONCRETE STORM DRAINAGE PIPING REQUIRED A WAIVER IS REQUESTED TO UTILIZE HIGH DENSITY POLYPROPYLENE (HDPE) DRAINAGE LINES OR APPROVED EQUAL WITHIN THE DRAINAGE SYSTEM OF THE SUBDIVISION.

SECTION V.I.C.4 – VELOCITIES SHALL BE BETWEEN 2 AND 10 FEET PER SECOND A WAIVER IS REQUESTED TO ALLOW WATER VELOCITY WITHIN THE CLOSED STORMWATER SYSTEM FROM 11.92 FPS TO 14.0 FPS WHICH IS LESS THAN THE MANUFACTURER'S RECOMMENDATION FOR SCOUR WITHIN THE PIPING NETWORK.

SECTION V.I.E.3 – STREET LIGHTING REQUIRED TO ALLOW STREET LIGHTING TO BE INSTALLED AS PRIVATE DRIVEWAY LIGHT

SECTION V.I.L STREET TREES SHALL BE INSTALLED ON BOTH SIDES OF THE ROADWAY TO ALLOW FOR STREET TREE PLANTINGS TO BE INSTALLED ON ONE SIDE ONLY

SECTION V.I.G.1 – SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN A SUBDIVISION A WAIVER IS REQUESTED TO INSTALL SIDEWALKS ON ONLY 1 SIDE OF THE ROADWAY DUE TO THE STEEP TERRAIN OF THE PROPOSED SUBDIVISION AND LACK OF CONNECTION TO A MUNICIPAL SIDEWALK ALONG MAIN STREET (AKA ROUTE 9)

GENERAL NOTES

- THE OWNER OF RECORD:
LOT 21-B5.1
651 MAIN STREET, LLC
55 MEAD STREET
LEOMINSTER, MA 01453
BOOK 66895, PAGE 224
- ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST
LOT SIZE: 22,500 SF
LOT FRONTAGE: 100 FT.
FRONT SETBACK: 25 FT.
SIDE SETBACK: 15 FT.
REAR SETBACK: 25 FT.
- EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.

LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
COVER	C	09/17/21	04/28/22
EXISTING CONDITIONS	V-101	03/08/21	-
TYPICAL BUILDING KEY PLANS	C-001	02/07/22	04/28/22
VEGETATION MANAGEMENT PLAN	C-002	02/07/22	04/28/22
SITE PREPARATION PLAN - PHASE 1A	C-100	09/17/21	04/28/22
SITE PREPARATION PLAN - PHASE 1B	C-100A	02/07/22	04/28/22
SITE PREPARATION PLAN - PHASE 1C	C-100B	02/07/22	04/28/22
SITE PREPARATION PLAN - PHASE 2	C-100C	02/07/22	04/28/22
OVERALL SITE LAYOUT KEY PLAN	C-101	09/17/21	04/28/22
ENLARGED SITE LAYOUT PLAN	C-101A	09/17/21	04/28/22
ENLARGED SITE LAYOUT PLAN	C-101B	09/17/21	04/28/22
ENLARGED SITE LAYOUT PLAN	C-101C	09/17/21	04/28/22
OVERALL GRADING & DRAINAGE PLAN	C-102	09/17/21	04/28/22
GRADING & DRAINAGE PLAN	C-102A	09/17/21	04/28/22
GRADING & DRAINAGE PLAN	C-102B	09/17/21	04/28/22
GRADING & DRAINAGE PLAN	C-102C	09/17/21	04/28/22
EARTH MOVING SUMMARY PLAN	C-102D	02/07/22	04/28/22
TEST PIT SUMMARY PLAN	C-102E	03/29/22	04/28/22
OVERALL UTILITIES PLAN	C-103	09/17/21	04/28/22
UTILITIES PLAN	C-103A	09/17/21	04/28/22
UTILITIES PLAN	C-103B	09/17/21	04/28/22
UTILITIES PLAN	C-103C	09/17/21	04/28/22
ROADWAY PROFILE - SKYVIEW DRIVE	C-201	09/17/21	04/28/22
ROADWAY PROFILES - KETTLE LANE & EMERGENCY ACCESS	C-202	09/17/21	04/28/22
DETAILS	C-501	09/17/21	04/28/22
DETAILS	C-502	09/17/21	04/28/22
DETAILS	C-503	09/17/21	04/28/22
DETAILS	C-504	09/17/21	04/28/22
DETAILS	C-505	10/05/21	04/28/22
DETAILS	C-506	10/05/21	04/28/22
DETAILS	C-507	12/14/21	04/28/22

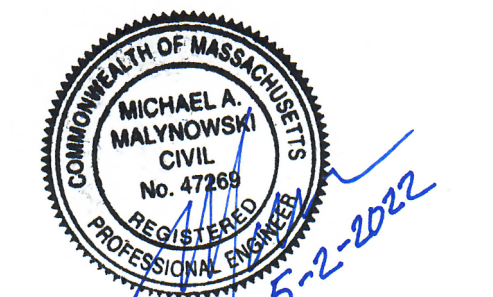
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
8	04-28-22	MISC. REVISIONS PER TOWN COMMENTS
7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: NONE DWG.: C-2889-01_Cover

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

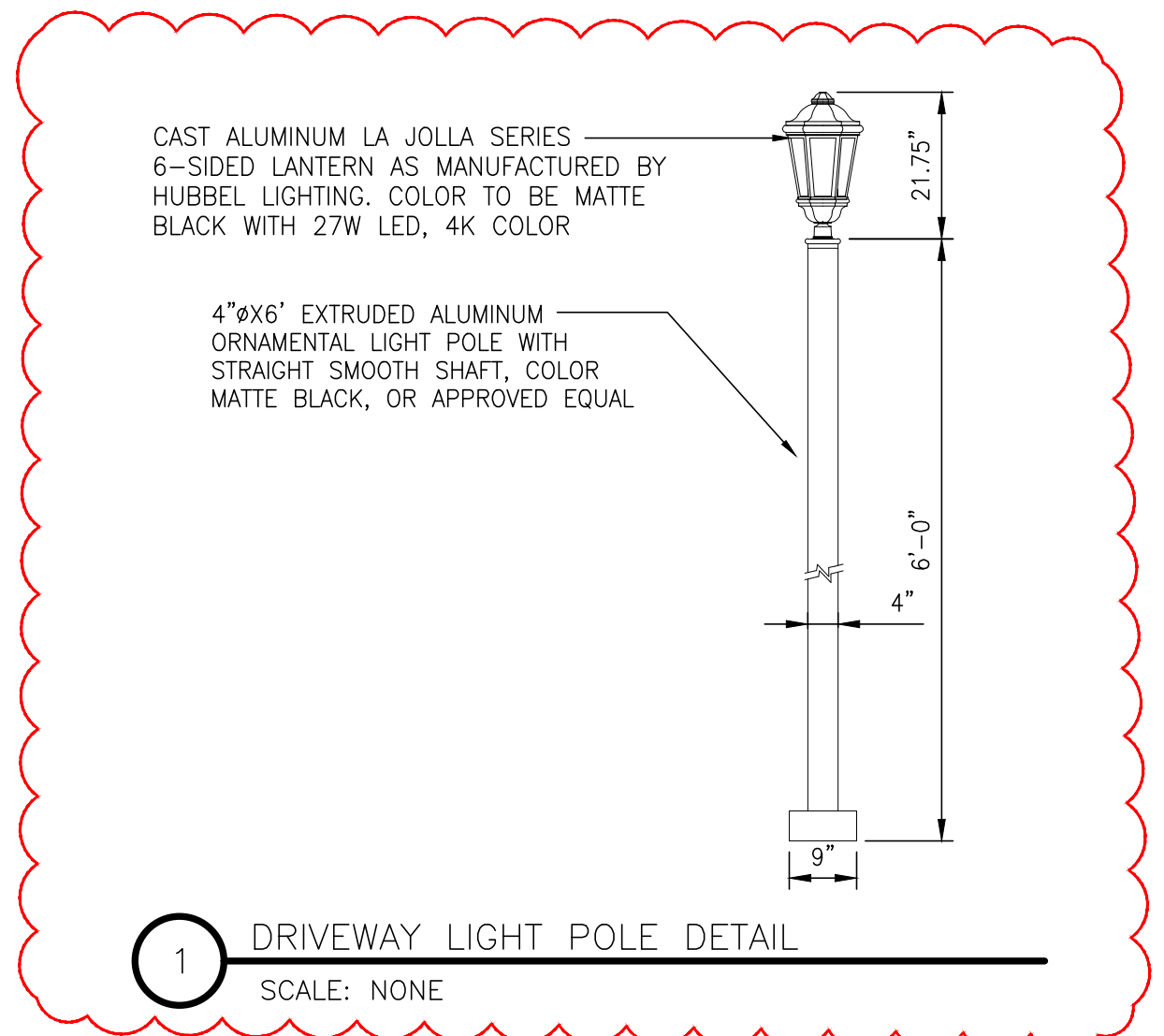
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DRAWING TITLE: COVER	SHEET No. C
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UPDATES PER TOWN COMMENTS: FEB. 07, 2022
UPDATES PER TOWN COMMENTS: MARCH 10, 2022
UPDATES PER TOWN COMMENTS: MARCH 29, 2022
UPDATES PER TOWN COMMENTS: APRIL 14, 2022
UPDATES PER TOWN COMMENTS: APRIL 28, 2022

LANDSCAPE NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/TOWN OF LEICESTER, MA.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. EVERGREEN AND DECIDUOUS SHRUBS ARE TYPICAL AND SHOWN WITH SYMBOLS. IT IS UP TO THE CONTRACTOR TO SELECT PLANT STOCK FOR THE SITE CONDITIONS, SHADE, SUN, AND MICROCLIMATE AS WELL AS WHAT IS AVAILABLE AT THE NURSERY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL IN WRITING NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
4. NO INVASIVE SPECIES OR PLANTS THAT COULD BECOME INVASIVE ARE TO BE PLANTED (NO BURNING BUSH OR GIANT MISCANTHUS, OR JAPANESE BARBERRY - REFER TO THE MASS. PROHIBITED PLANT LIST). NATIVE AND ORNAMENTAL PLANTINGS THAT AREA APPROPRIATE FOR LOCATING NEXT TO A HOME ARE TO BE SELECTED. PLANT SIZES TO BE PERENNIALS - 1 GAL. SHRUBS 3-5 GAL AND LARGE DECIDUOUS SHRUB TO BE 3-4' HT. B&B.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (LATEST EDITION). PLANTINGS TO HAVE 18" MIN TOPSOIL AROUND ROOTBALLS. 3" MIN PINE PARK MULCH SHALL BE PLACED ON LANDSCAPE BEDS.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE
10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
22. A MINIMUM 18" WIDE BARRIER OF PEASTONE SHALL BE INSTALLED IN ALL PLANT BED WHICH ABUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF BUILDINGS WITH FLAMMABLE MATERIALS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00).



GENERAL NOTES

1. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
4. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
5. PARKING REQUIREMENTS SHALL BE MET THROUGH THE CONSTRUCTION OF AN ATTACHED TWO CAR GARAGE FOR EACH RESIDENTIAL UNIT AND A MINIMUM OF TWO CARS WITHIN DRIVEWAY AREA FOR A TOTAL OF FOUR SPACES FOR EACH DWELLING UNIT.

LEGEND	
BUILDING	
CAPE COD BERM	
BITUMINOUS SIDEWALK	
DRAIN LINE	
SEWER LINE	
WATER LINE	
DOMESTIC WATER LINE	
ELEC/CABLE CONDUIT	
GAS LINE	

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD
 I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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APPLICANT:
 MKEP 770 LLC
 265 SUNRISE HIGHWAY, SUITE 1368
 ROCKVILLE CENTER, NY 11570

PROJECT:
 SKYVIEW ESTATES
 RESIDENTIAL DEVELOPMENT
 MAIN STREET
 LEICESTER, MA

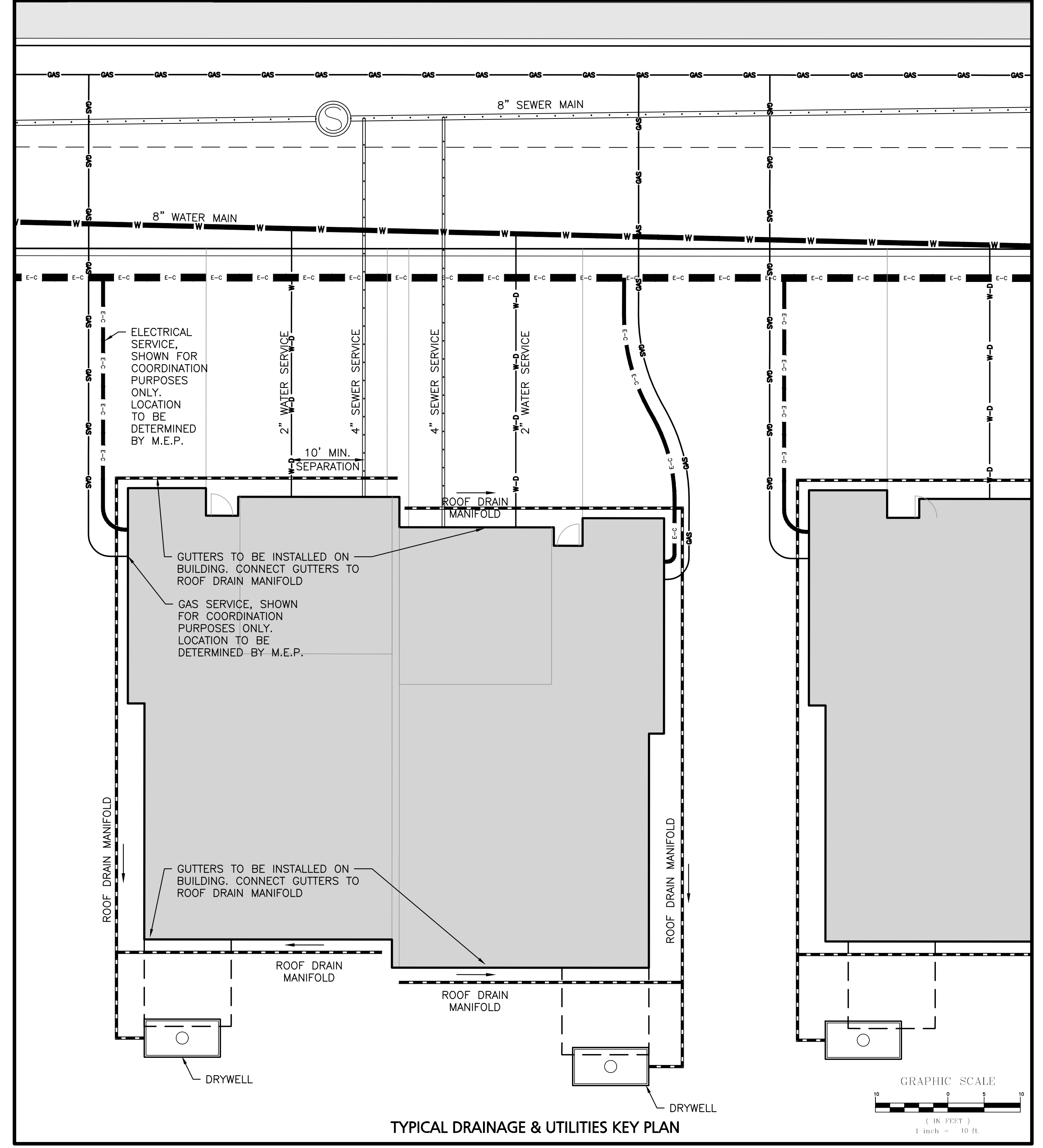
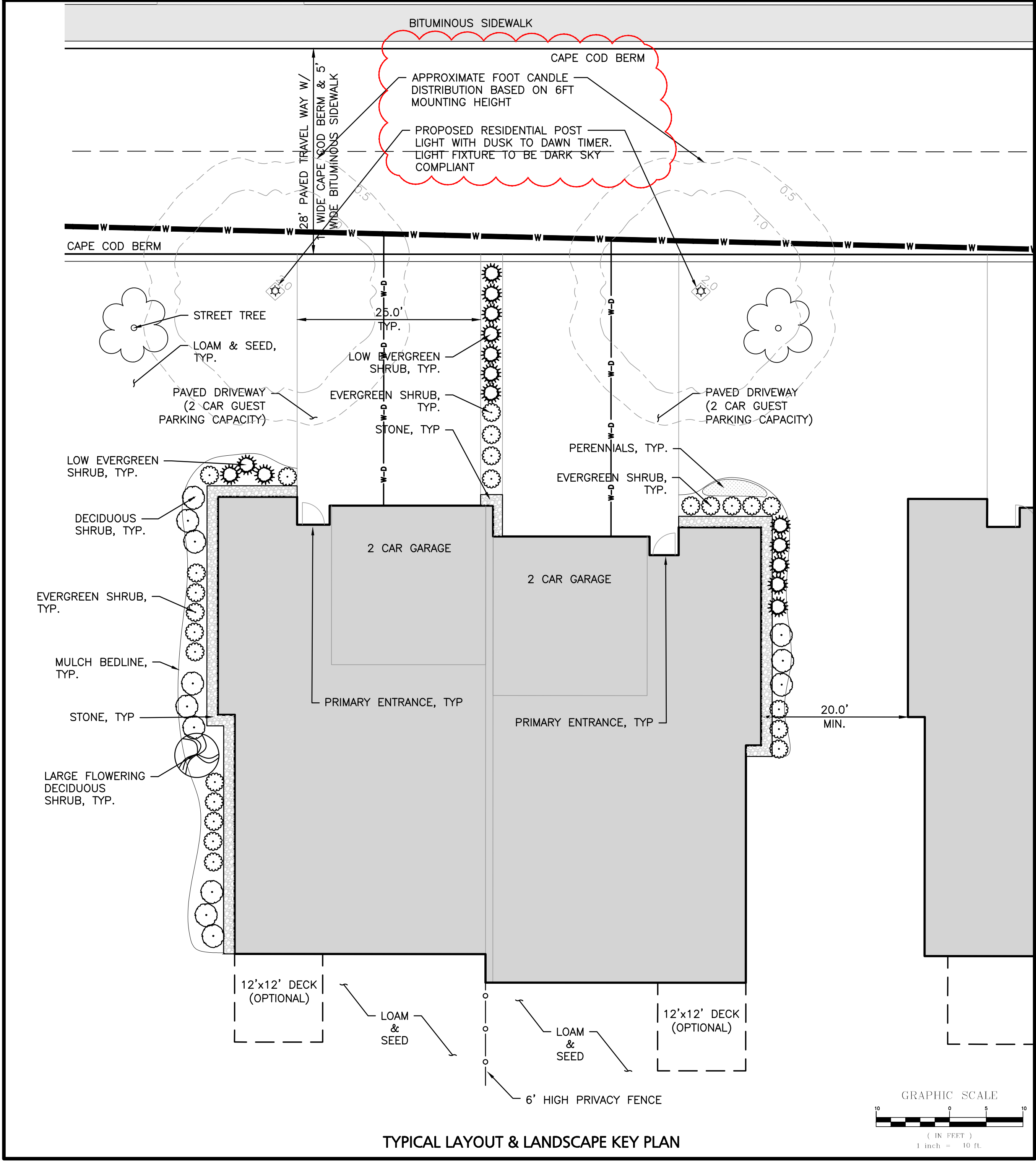
PROJECT NO. 2889-01 DATE: 09-17-21
 SCALE: 1" = 8' DWG.: C-2889-01_Building Keys
 DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN MA 01801
 TEL: (781) 935-6889
 FAX: (781) 935-2896

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DRAWING TITLE: TYPICAL BUILDING KEY PLANS SHEET No. C-001
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R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_BUILDING_KEYS.DWG

LOAM AND SEEDING NOTES (GENERAL LAWN MIX):

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

GENERAL LAWN MIX

Table with columns: SCIENTIFIC NAME, COMMON NAME, PROPORTION, PERCENT BY WEIGHT, PERCENT PURITY, GERMINATION. Lists plants like FESTUCA RUBRA, PAO PRAENTENSIS, LOLIUM PERENNE, etc.

- 1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
2. ALL SEEDING (INCLUDING NEW ENGLAND WETLAND MIX SEEDS) TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS...
3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY...
4. LAWN AREAS TO BE SEED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

SEEDING OF SLOPE AREAS:

- 1. SEEDING SHALL OCCUR IN THE DRY & AFTER SLOPES ARE COMPACTED. IT IS IMPORTANT THAT THE SLOPES ARE SEED AT THE BEGINNING OF THE PROJECT...
2. ALL SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS...
3. AFTER SEEDING, ALL AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTRACTOR RESPONSIBLE TO KEEP WATERED EVERY DAY UNTIL SEED IS ESTABLISHED & APPROVED BY A&M LANDSCAPE ARCHITECT (USE NO HAY) SO THAT SEED IS KEPT MOIST.

SURFACE TREATMENT KEY

Color-coded key for surface treatments: LAWN GRASS-PERENNIAL RYE, ESCUE/KENTUCKY BLUEGRASS MIX; EROSION CONTROL GRASS; EROSION CONTROL GRASS (NEW ENGLAND); STONE RIPRAP; GRAVEL ACCESS; IMPERVIOUS COVER; EXISTING TREELINE; PROPOSED TREELINE.

SEED MIX SPECIFICATIONS FOR SLOPES AREAS

WWW.NEWP.COM OR Ph: (413) 548-8000 | Fax: (413) 549-4000 | info@newp.com New England Wetland Plants, Inc. 820 West Street Amherst, MA 01002

NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES:

- 1. UPLAND BENTGRASS
2. ROUGH BENTGRASS/TICKLEGRASS
3. BLUE GRAMA
4. CANADA WILD RYE
5. CREEPING RED FESCUE
6. ANNUAL RYEGRASS (NATURALIZED)
7. PERENNIAL RYEGRASS (NATURALIZED)
8. LITTLE BLUESTEM
9. INDIAN GRASS
AGROSTIS PERENNANS
AGROSTIS SCABRA
BOULELOUA GRACILIS
ELYMUS CANADENSIS
FESTUCA RUBRA
LOLIUM MULTIFLORUM
LOLIUM PERENNE
SCHIZACHYRIUM SCOPARIUM
SORGHASTRUM NUTANS

(BY NEW ENGLAND WETLAND PLANTS INC) EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES:

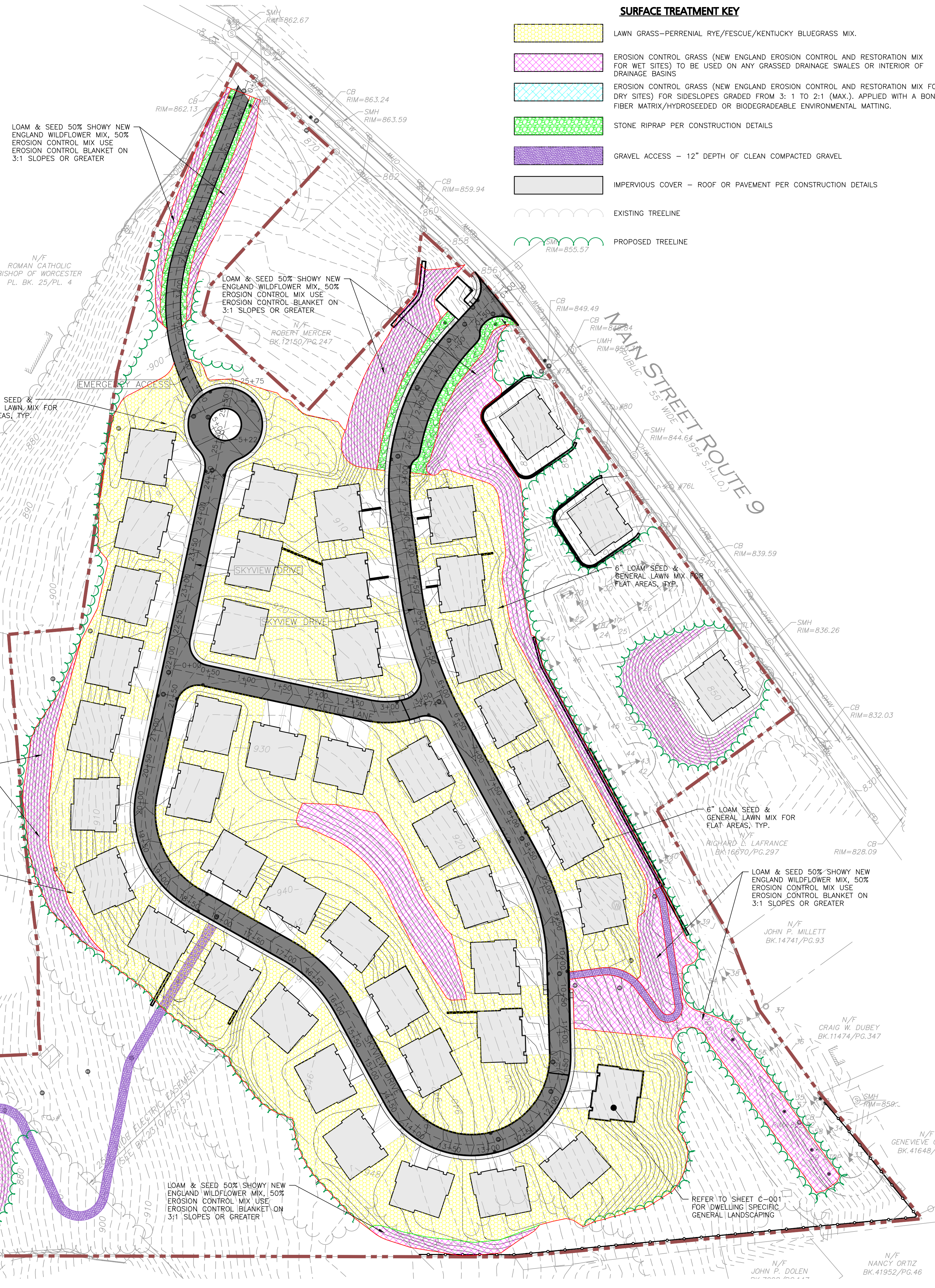
- A. ELYMUS VIRGINICUS
B. FESTUCA RUBRA
C. SCHIZACHYRIUM SCOPARIUM
D. ANDROPOGON GERARDII
E. PANICUM VIRGATUM
F. VERBENA HASTATA
G. AGROSTIS SCABRA
H. ASTER NOVAE-ANGLIAE
I. EUPATORIUM MACULATUM
J. EUPATORIUM PERFOLIATUM
K. JUNCUS EFFUSUS
L. SCIRPUS CYPERINUS
VIRGINIA WILD RYE
CREEPING RED FESCUE
LITTLE BLUESTEM
BIG BLUESTEM
SWITCH GRASS
BLUE VERVAIN
ROUGH BENTGRASS
NEW ENGLAND ASTER
SPOTTED JOE PYE WEED
BONESET
SOFT RUSH
WOOL GRASS

SHOWY NEW ENGLAND WILDFLOWER MIX

- SCHIZACHYRIUM SCOPARIUM
CHAMAECRISTA FASCICULATA
SORGHASTRUM NUTANS
FESTUCA RUBRA
ELYMUS CANADENSIS
ELYMUS RIPARIUS
HELIOPSIS HELIANTHOIDES
COREOPSIS LANCEOLATA
RUDBECKIA HIRTA
Liatris spicata
LITTLE BLUESTEM
PARTRIDGE PEA
INDIAN GRASS
RED FESCUE
CANADA WILD RYE
RIVERBANK WILD RYE
OX EYE SUNFLOWER
LANCE LEAVED COREOPSIS
BLACK EYED SUSAN
SPIKED GAYFEATHER/MARSH BLAZING STAR
COMMON MILKWEED
NEW YORK IRONWEED
NOVAE-ANGLIA NEW ENGLAND ASTER F
PURPLE JOE PYE WEED
BUTTERFLY MILKWEED
EARLY GOLDENROD
BONESET

LANDSCAPE NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF LEICESTER, MA.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION...
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA...
5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
7. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
8. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS...
9. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
10. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
11. TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
12. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
13. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7" OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
14. ALL TREE STAKES SHALL BE STAINED DARK BROWN.
15. CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
16. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 18" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
17. SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
18. AN MINIMUM 18" WIDE BARRIER OF 1-1/2" GRAY OR TAN PEASTONE SHALL BE INSTALLED IN ALL PLANT BEDS WHICH DIRECTLY ADJUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00). INSTALL 6" DEEP OF PEASTONE WITH MIRAFI WEED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTONE AND ADJACENT MULCH BED. PROVIDE SHOP DRAWINGS TO A&M FOR APPROVAL PRIOR TO PURCHASE OF PEASTONE, MIRAFI WEED FABRIC & STEEL EDGING.

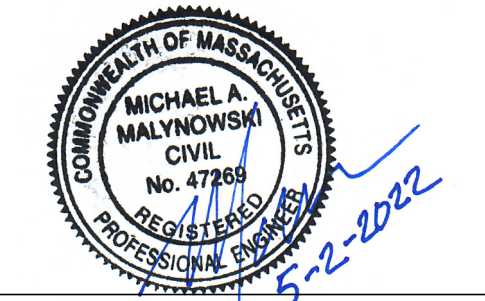


APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

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I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Revision table with columns: REV, DATE, DESCRIPTION. Lists revisions from 02-07-22 to 04-28-22.

CLIENT: MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C-2889-01_Site-Prep

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

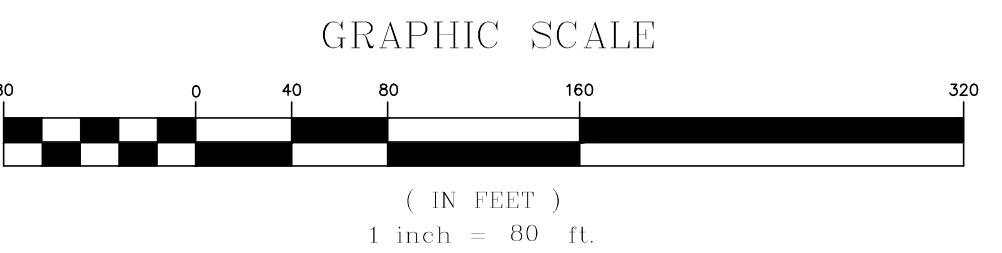
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DRAWING TITLE: VEGETATION MANAGEMENT PLAN SHEET No. C-002
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GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 1+14.50

- 1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERING, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, AND ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1B - SKYVIEW DRIVE STA. 1+14.50 TO 2+40+00 & SKYVIEW TERRACE

- 1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
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10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1C - SKYVIEW DRIVE STA. 2+40+00 TO 2+50+00 & EMERGENCY ACCESS

- 1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES
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10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 2 - LOT DEVELOPMENT AND HOME-BUILDING

- 1. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
2. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES
3. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON.
4. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
5. CONSTRUCT BUILDING FOUNDATIONS
6. STABILIZE DISTURBED AREAS

LEGEND

- LIMIT OF DISTURBANCE
LIMIT OF 'CLEAR AND GRUB'
TEMPORARY FENCE
TUBULAR BARRIER
CATCH BASIN FILTER
STABILIZED ENTRANCE
STOCKPILE/STAGING AREA

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STUMP REMOVAL NOTES:

- 1. THE PROJECT AREA SHALL BE CLEARED OF EXISTING TREES AS NEEDED FOR PHASED ROADWAY, DRAINAGE, AND DWELLING CONSTRUCTION. ALL STUMPS SHALL BE GROUND AND USED FOR MULCH ON SITE OR SHALL BE REMOVED FROM THE SITE. NO STUMPS SHALL BE BURIED OR USED AS FILL ANYWHERE ON THE PROJECT SITE.
2. TREE BRANCHES AND TRUNKS SHALL BE EITHER GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE.
3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

TEMPORARY BASIN NOTES:

- 1. AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON SITE. PROVIDE 3600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.

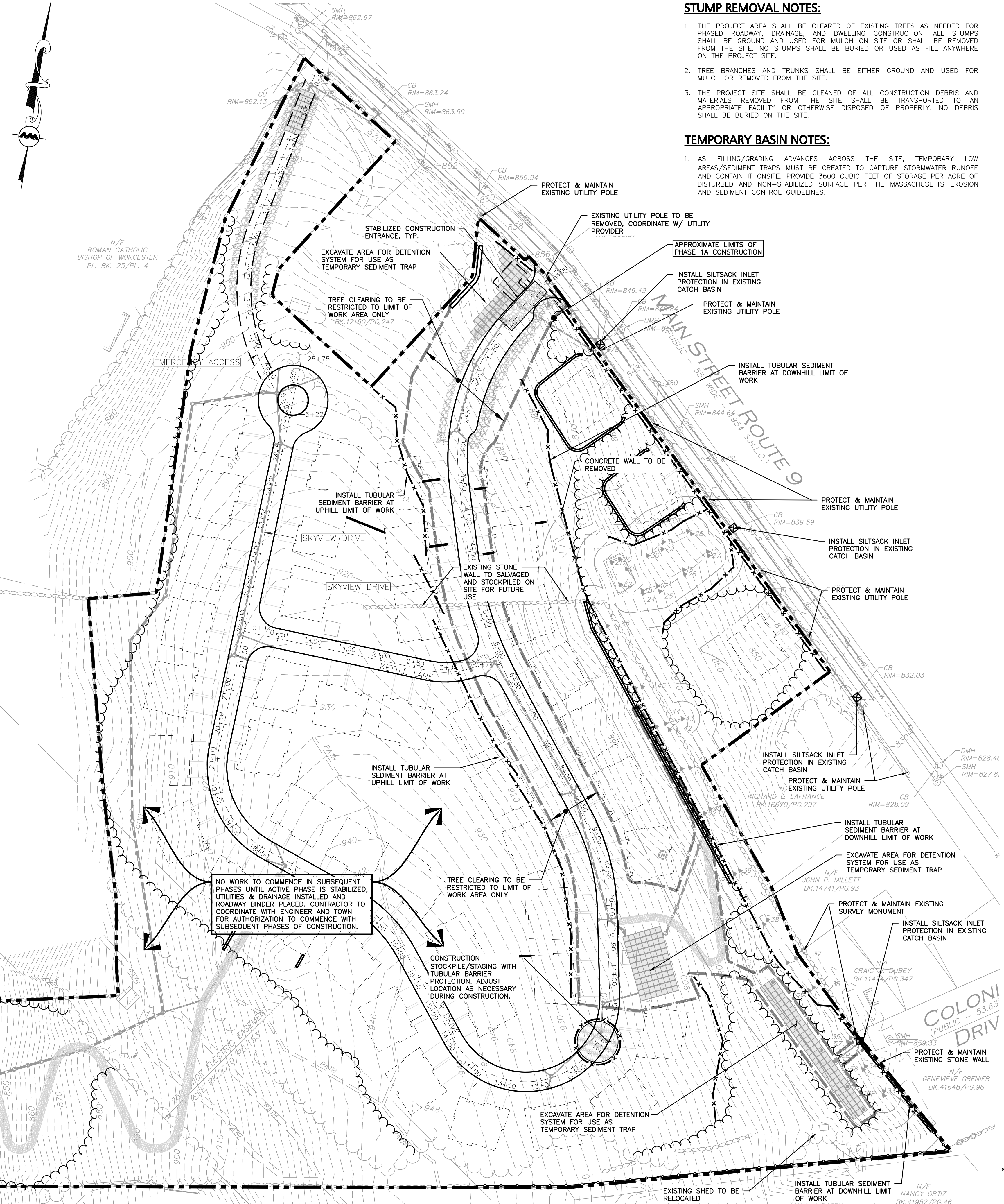
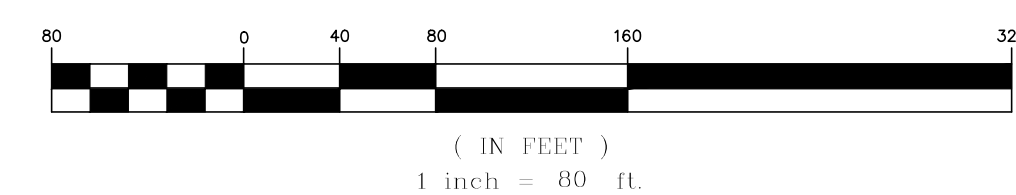
EROSION CONTROL NOTES:

- 1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT 'ORDER OF CONDITIONS' AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RUNOFF THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE. AREAS ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEMATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL NOTES:

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND 'DISSAFE' AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD
I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Table with 3 columns: REV, DATE, DESCRIPTION. Lists revisions 04-28-22, 04-14-22, 03-29-22, 03-10-22, 02-07-22.

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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

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RESIDENTIAL DEVELOPMENT
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PREPARED BY:

Allen & Major Associates, Inc. logo and contact information including website, address, and phone numbers.

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GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 1+50

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERS, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, AND ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
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10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1B - SKYVIEW DRIVE STA. 1+50 TO 2+40 & SKYVIEW TERRACE

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
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PHASE 1C - SKYVIEW DRIVE STA. 2+40 TO 2+50 & EMERGENCY ACCESS

1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
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PHASE 2 - LOT DEVELOPMENT AND HOME-BUILDING

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6. STABILIZE DISTURBED AREAS.

LEGEND

LIMIT OF DISTURBANCE	- - - - -
LIMIT OF 'CLEAR AND GRUB'	— — — — —
TEMPORARY FENCE	x x x x
TUBULAR BARRIER	x x x x
CATCH BASIN FILTER	⊠
STABILIZED ENTRANCE	▨
STOCKPILE/STAGING AREA	▨

NO WORK TO COMMENCE IN SUBSEQUENT PHASES UNTIL ACTIVE PHASE IS STABILIZED, UTILITIES & DRAINAGE INSTALLED AND ROADWAY BINDER PLACED. CONTRACTOR TO COORDINATE WITH ENGINEER AND TOWN FOR AUTHORIZATION TO COMMENCE WITH SUBSEQUENT PHASES OF CONSTRUCTION.

CONSTRUCTION STOCKPILE/STAGING WITH TUBULAR BARRIER PROTECTION. ADJUST LOCATION AS NECESSARY DURING CONSTRUCTION.

NO DWELLING UNIT WORK TO COMMENCE IN PREVIOUS PHASES UNTIL ALL PHASES OF INFRASTRUCTURE WORK IS COMPLETED. CONTRACTOR TO COORDINATE WITH ENGINEER AND TOWN FOR AUTHORIZATION TO COMMENCE WITH SUBSEQUENT PHASES OF CONSTRUCTION.

APPROX. LIMITS OF DWELLING UNITS TO BE CONSTRUCTED AS PART OF PHASE 2 WORK

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STUMP REMOVAL NOTES:

1. THE PROJECT AREA SHALL BE CLEARED OF EXISTING TREES AS NEEDED FOR PHASED ROADWAY, DRAINAGE, AND DWELLING CONSTRUCTION. ALL STUMPS SHALL BE GROUND AND USED FOR MULCH ON SITE OR SHALL BE REMOVED FROM THE SITE. NO STUMPS SHALL BE BURIED OR USED AS FILL ANYWHERE ON THE PROJECT SITE.
2. TREE BRANCHES AND TRUNKS SHALL BE EITHER GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE.
3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

TEMPORARY BASIN NOTES:

1. AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON-SITE. PROVIDE 3600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.

EROSION CONTROL NOTES:

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT 'ORDER OF CONDITIONS' AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RUNOFF THROUGH CATCH BASINS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DENATURING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND 'DISSAFE' AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
8	04-28-22	MISC. REVISIONS PER TOWN COMMENTS
7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C-2889-01_Site-Prep

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBRUN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBRUN, MA • LAKEVILLE, MA • MANCHESTER, NH

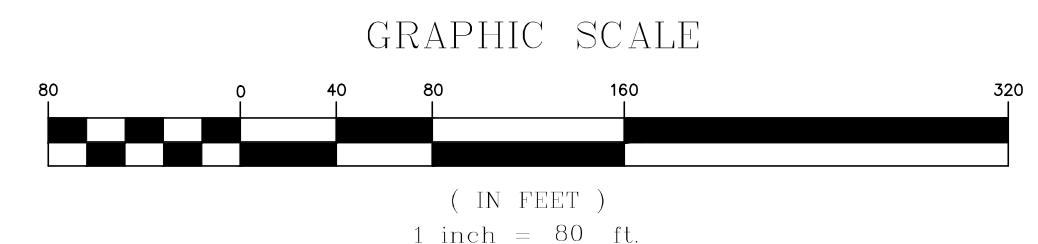
THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER'S REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: PHASE 1B
SITE PREPARATION PLAN

SHEET No. C-100A
06 OF 31

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GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

- PHASE 1A – SKYVIEW DRIVE STA. 0+00 TO 11+50**
1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
 2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
 4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERING, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, AND ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
 5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
 6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
 7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
 8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
 9. MASS GRADING – PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
 10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

- PHASE 1B – SKYVIEW DRIVE STA. 11+50 TO 24+00 & SKYVIEW TERRACE**
1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
 2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
 4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
 5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
 6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
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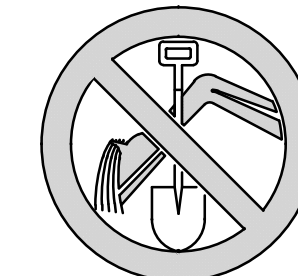
- PHASE 1C – SKYVIEW DRIVE STA. 24+00 TO 25+50 & EMERGENCY ACCESS**
1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
 2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
 4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
 5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
 6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
 7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
 8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
 9. MASS GRADING – PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
 10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

- PHASE 2 – LOT DEVELOPMENT AND HOME-BUILDING**
1. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 2. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
 3. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON.
 4. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
 5. CONSTRUCT BUILDING FOUNDATIONS.
 6. STABILIZE DISTURBED AREAS.

LEGEND

LIMIT OF DISTURBANCE	---
LIMIT OF 'CLEAR AND GRUB'	---
TEMPORARY FENCE	---x---
TUBULAR BARRIER	---x---
CATCH BASIN FILTER	☒
STABILIZED ENTRANCE	▨
STOCKPILE/STAGING AREA	▨

DIG SAFE



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CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

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3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

TEMPORARY BASIN NOTES:

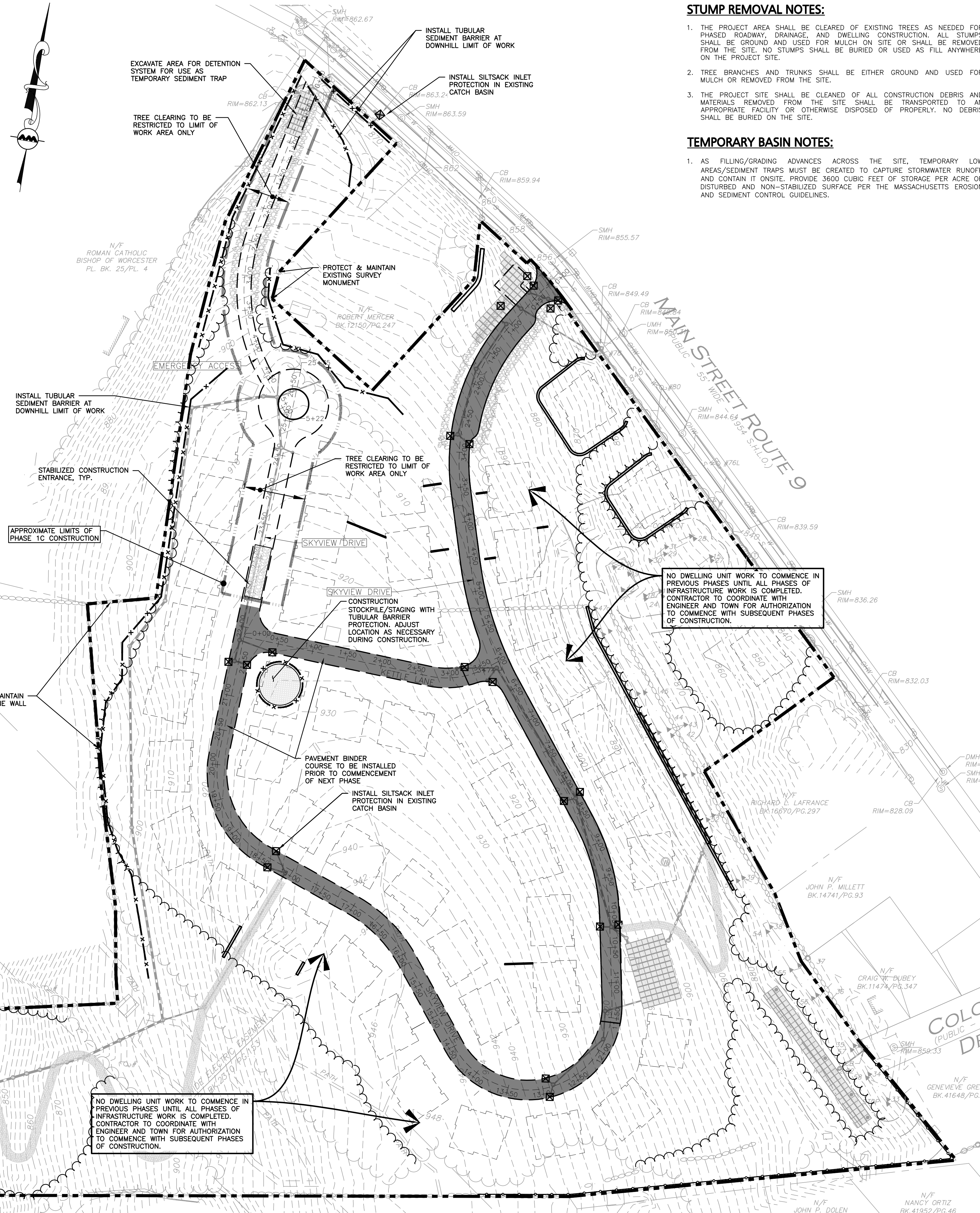
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3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
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5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RANFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
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1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISAFSE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
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5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



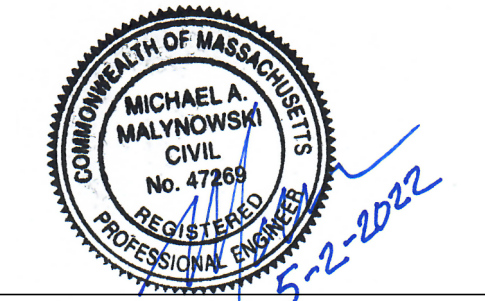
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
8	04-28-22	MISC. REVISIONS PER TOWN COMMENTS
7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21
SCALE: 1" = 80' DWG.: C-2889-01_Site-Prep
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 933-6889
FAX: (781) 933-2896

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GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 11+50

- 1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERING, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, AND ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1B - SKYVIEW DRIVE STA. 11+50 TO 24+00 & SKYVIEW TERRACE

- 1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 1C - SKYVIEW DRIVE STA. 24+00 TO 25+50 & EMERGENCY ACCESS

- 1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
5. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

PHASE 2 - LOT DEVELOPMENT AND HOME-BUILDING

- 1. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
2. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
3. CUT TREES AND REMOVE STUMPS PER THE STUMP REMOVAL NOTES SHOWN HEREON.
4. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
5. CONSTRUCT BUILDING FOUNDATIONS.
6. STABILIZE DISTURBED AREAS.

LEGEND

Table with 2 columns: Description and Symbol. Includes: LIMIT OF DISTURBANCE, LIMIT OF 'CLEAR AND GRUB', TEMPORARY FENCE, TUBULAR BARRIER, CATCH BASIN FILTER, STABILIZED ENTRANCE, STOCKPILE/STAGING AREA.

PROTECT & MAINTAIN EXISTING STONE WALL

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R:\PROJECTS\2889-01\CIVIL DRAWINGS\CURRENT\1C-2889-01_SITE-PREF.DWG

STUMP REMOVAL NOTES:

- 1. THE PROJECT AREA SHALL BE CLEARED OF EXISTING TREES AS NEEDED FOR PHASED ROADWAY, DRAINAGE, AND DWELLING CONSTRUCTION. ALL STUMPS SHALL BE GROUND AND USED FOR MULCH ON SITE OR SHALL BE REMOVED FROM THE SITE. NO STUMPS SHALL BE BURIED OR USED AS FILL ANYWHERE ON THE PROJECT SITE.
2. TREE BRANCHES AND TRUNKS SHALL BE EITHER GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE.
3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

TEMPORARY BASIN NOTES:

- 1. AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON SITE. PROVIDE 3600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.

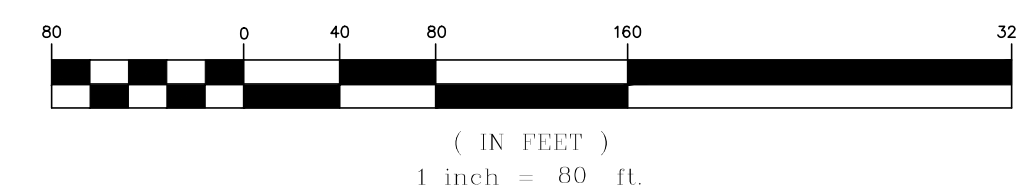
EROSION CONTROL NOTES:

- 1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT 'ORDER OF CONDITIONS' AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULCHES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEMATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

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GRAPHIC SCALE



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD
I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Table with 3 columns: REV, DATE, DESCRIPTION. Lists revision dates from 02-07-22 to 04-28-22.

PROJECT: MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C-2889-01_Site-Pref

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

Logo for ALLEN & MAJOR ASSOCIATES, INC. with contact information: 100 COMMERCE WAY, SUITE 5, WOBURN MA 01801, TEL: (781) 935-6889, FAX: (781) 935-2896.

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DRAWING TITLE: PHASE 2 SITE PREPARATION PLAN SHEET No. C-100C
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LEGEND

PROP. PROPERTY LINE
CURB
SIDEWALK
ADA ACCESSIBLE RAMP
BASELINE
SIGN
GRAVEL ACCESS
ZONING DISTRICT LINE

UNIT DENSITY CALCULATION

BUSINESS (B)		Acres	SF	Net Area Reduction		
Lot Area	29.74	1,295,474	Net Area Reduction Ratio	Net Area Reduction	Net Area Reduction	Net Area Reduction
Wetland Buffer	140,808	0.0%	0	140,808		
Electrical Easement	127,766	0.0%	0	127,766		
slopes of 20% or greater	262,318	0.0%	0	262,318		
subdivision roads and infrastructure			20.0%	152,916		
Net Acreage	1,295,474	- 530,893	- 152,916	=	611,665	
Unit 1	Unit 2	Unit 3	Unit 4	Unit 5		
15,000	+ 7,500	+ 7,500	+ 7,500	+ 7,500	=	45,000
Net Acreage	611,665	- 45,000	=	566,665		
Required Area per Unit over 6	2,000	SF	Allowable Density	288		



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

SHEET A

R:\PROJECTS\2889-01\CIVIL DRAWINGS\CURRENT\C-2889-01_LAYOUT & MATERIALS.DWG

TYPICAL EMERGENCY ACCESS SECTION
20' WIDE PAVED TRAVEL WAY

APPLICANT SHALL PROVIDED CONSTRUCTION DRAWINGS FOR DWELLING UNIT SPECIFIC LANDSCAPING WITH APPLICATION FOR BUILDING PERMIT.

TYPICAL LEICESTER STREET CROSS SECTION
28' WIDE PAVED TRAVEL WAY W/
1' WIDE CAPE COD BERM & 5' WIDE BITUMINOUS SIDEWALK

EXISTING WETLAND LIMITS. SEE NOTE 6.

PROP. DRYWELL, TYP. SEE SHEET C-001 FOR ADDITIONAL INFORMATION

SHEET C

ZONING TABLE - BUSINESS (B)

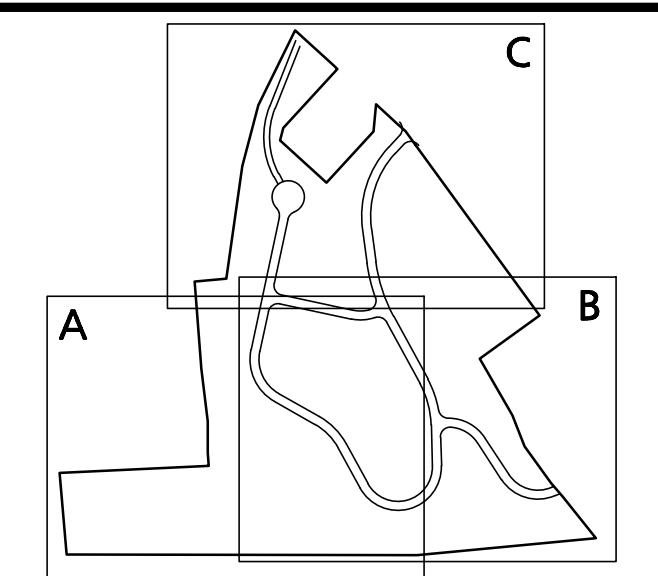
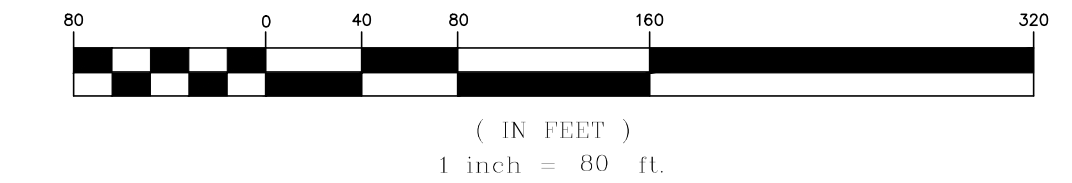
	ALLOWED/REQUIRED	PROPOSED (LOT 1)	PROPOSED (LOT 2)	PROPOSED (LOT 3)	PROPOSED (LOT 4)	PROPOSED (LOT 5)
LOT AREA (SF)	22,500	34,848	22,651	32,670	44,431	1,160,003
FRONTAGE (FT)	100	176.73	182.00	200.00	219.35	175.40
FRONT YARD (FT)	25	N/A	25	27.1	26.8	279.3
REAR YARD (FT)	25	N/A	> 25	> 25	> 25	> 25
SIDE YARD (FT)	15	N/A	> 15	> 15	> 15	> 15
BUILDING HEIGHT (FT)	35	N/A	< 35	< 35	< 35	< 35
NO. OF STORES	2.5	N/A	2	2	2	2
MAX BUILDING COVERAGE (%)	33	N/A	19.3%	13.4%	9.8%	17.4%

GENERAL NOTES

- THE OWNER OF RECORD:
LOT 21-B5.1
651 MAIN STREET, LLC
55 MEAD STREET
LEWINSTER, MA 01453
BOOK 66895, PAGE 224
- ZONING DISTRICT: BUSINESS (B)
LOT SIZE: 22,500 SF
LOT FRONTAGE: 100 FT.
FRONT SETBACK: 25 FT.
SIDE SETBACK: 15 FT.
REAR SETBACK: 25 FT.
- EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #2502700782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
- AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTORS EXPENSE.
- IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
- A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND AROUND THE EXISTING PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE TOWN AND APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- PARKING REQUIREMENTS SHALL BE MET THROUGH THE CONSTRUCTION OF AN ATTACHED TWO CAR GARAGE FOR EACH RESIDENTIAL UNIT AND A MINIMUM OF TWO CARS WITHIN DRIVEWAY AREA FOR A TOTAL OF FOUR SPACES FOR EACH DWELLING UNIT.

SHEET B

GRAPHIC SCALE



KEY MAP
NOT TO SCALE

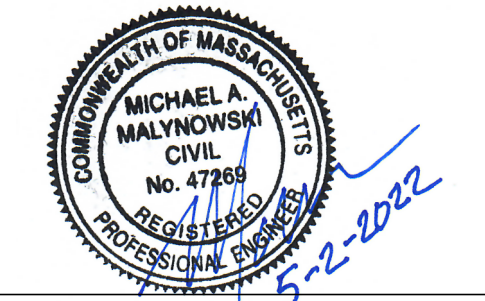
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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DRAWING TITLE: SHEET NO.

OVERALL SITE LAYOUT
KEY PLAN
C-101

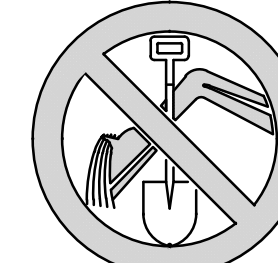
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LEGEND

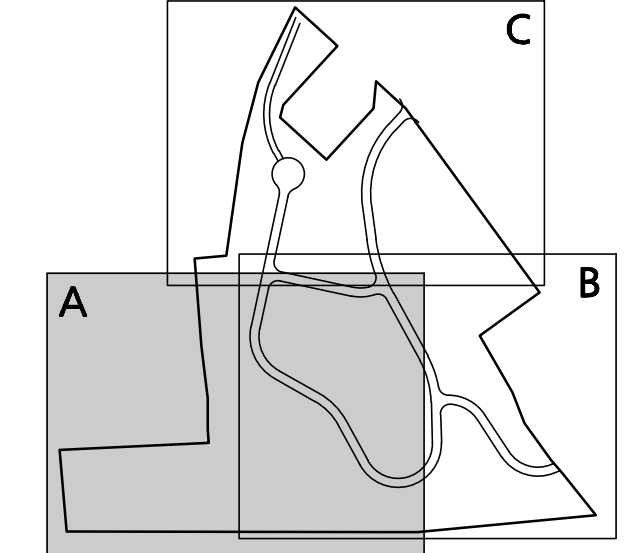
PROP. PROPERTY LINE	---
CURB	—
SIDEWALK	▬
ADA ACCESSIBLE RAMP	▬
BASELINE	---
SIGN	+
GRAVEL ACCESS	▬
ZONING DISTRICT LINE	---



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KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
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BE RECORDED HERewith.

DATE: _____

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TOWN CLERK - TOWN OF LEICESTER



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APPLICANT:
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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

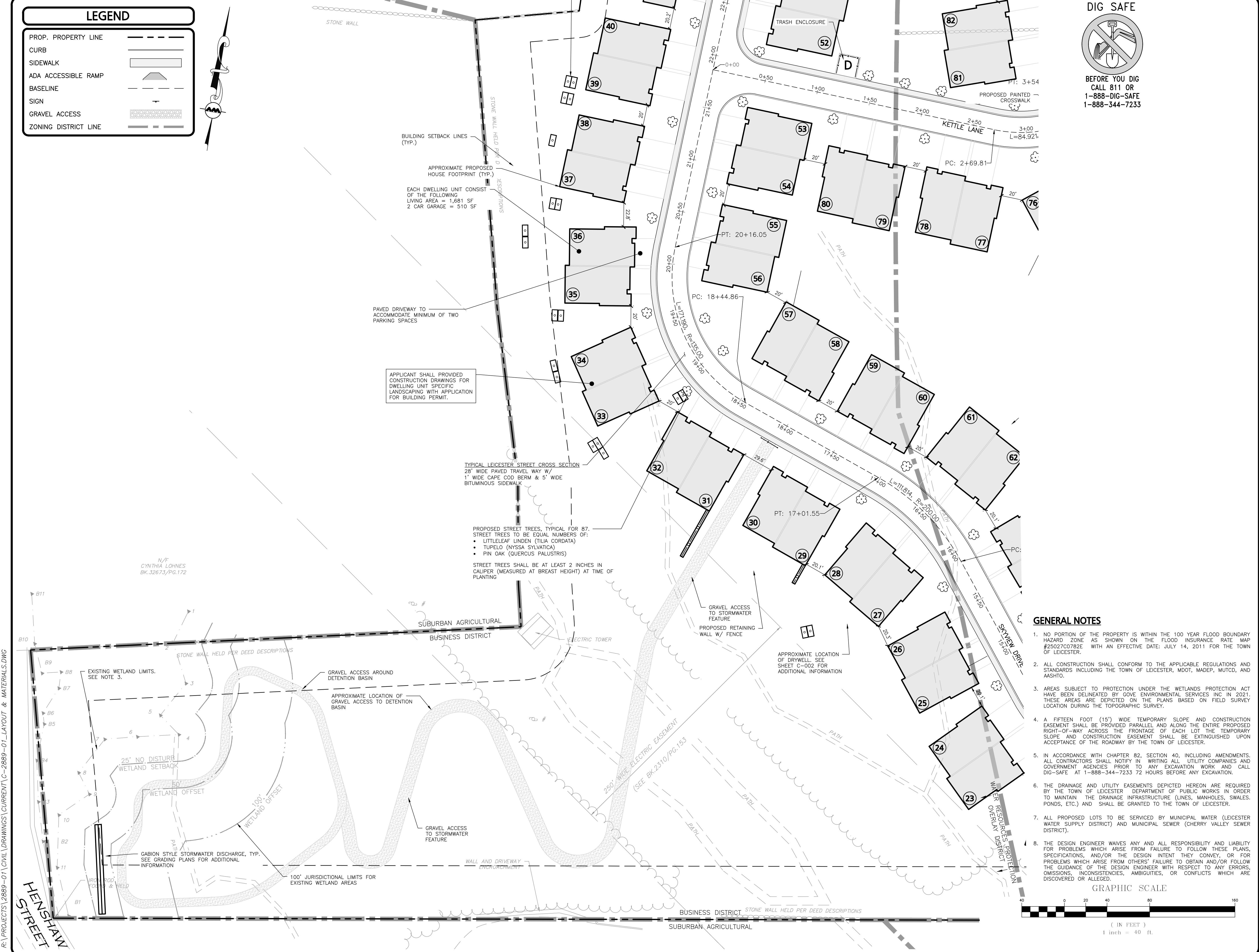
PREPARED BY:

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civil engineering • landscape architecture
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100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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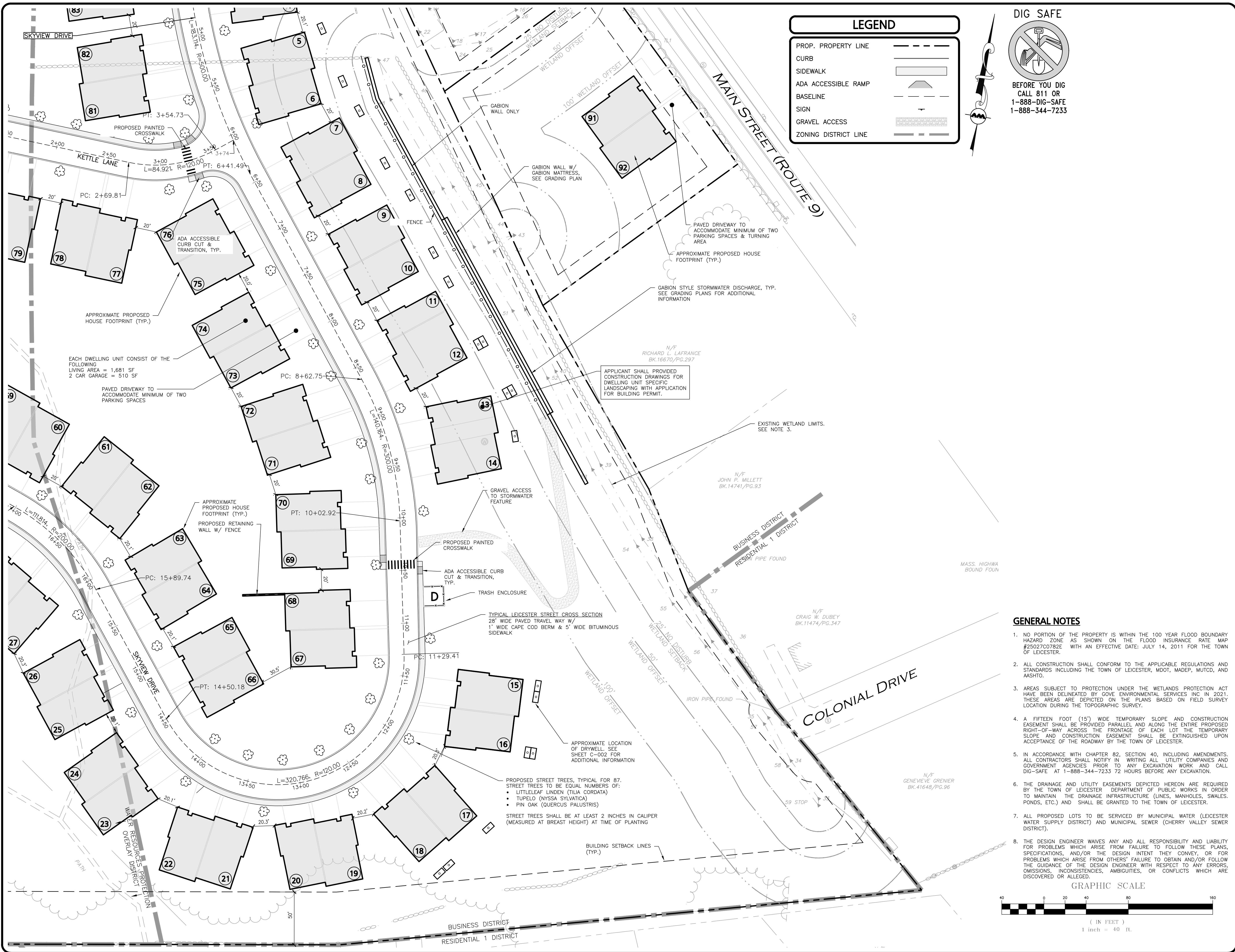
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DRAWING TITLE: **ENLARGED SITE LAYOUT PLAN** SHEET No. **C-101A**
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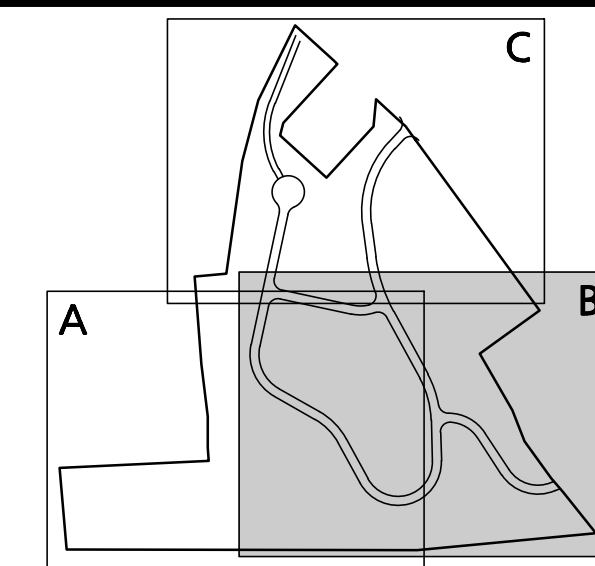
LEGEND

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KEY MAP
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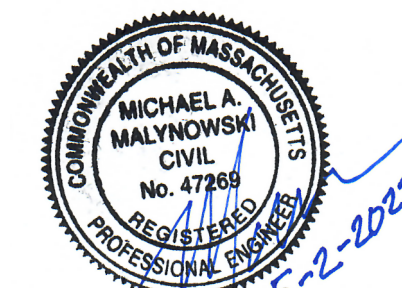
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TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR
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LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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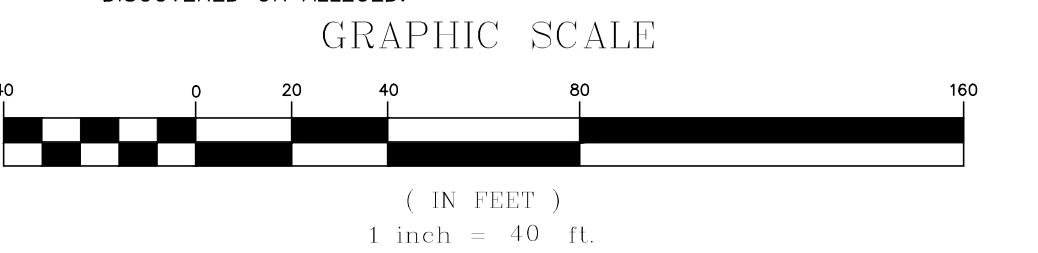
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DRAWING TITLE: **ENLARGED SITE LAYOUT PLAN** SHEET NO. **C-101B**
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GENERAL NOTES

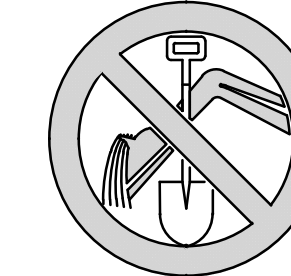
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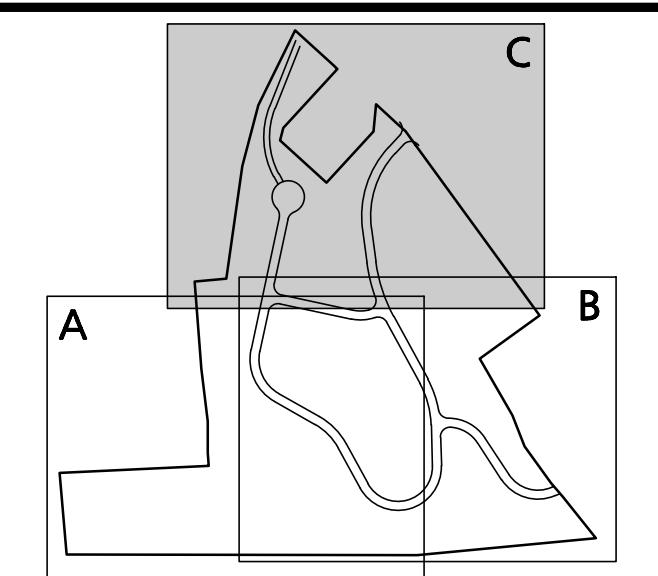
LEGEND

PROP. PROPERTY LINE	---
CURB	—
SIDEWALK	—
ADA ACCESSIBLE RAMP	—
BASELINE	---
SIGN	—
GRAVEL ACCESS	—
ZONING DISTRICT LINE	---

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KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
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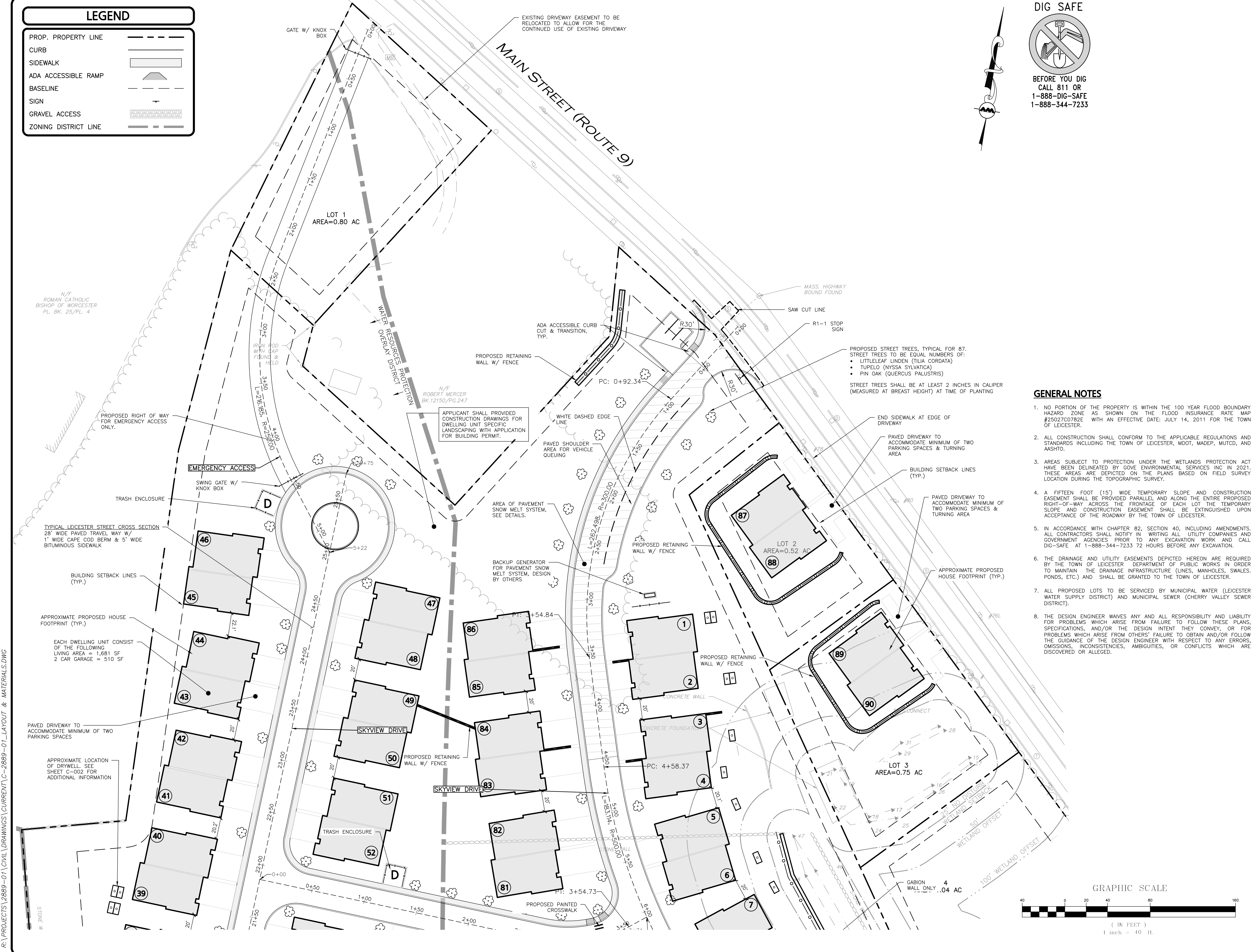
TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 **DATE:** 09-17-21
SCALE: 1" = 40' **DWG. :** C2889-01_Layout & Materials
DESIGNED BY: SM **CHECKED BY:** MAM

PREPARED BY:

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DRAWING TITLE: ENLARGED SITE LAYOUT PLAN
SHEET No.: C-101C
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R:\PROJECTS\2889-01\CIVIL DRAWINGS\CURRENT\C-2889-01_LAYOUT & MATERIALS.DWG

EROSION CONTROL NOTES:

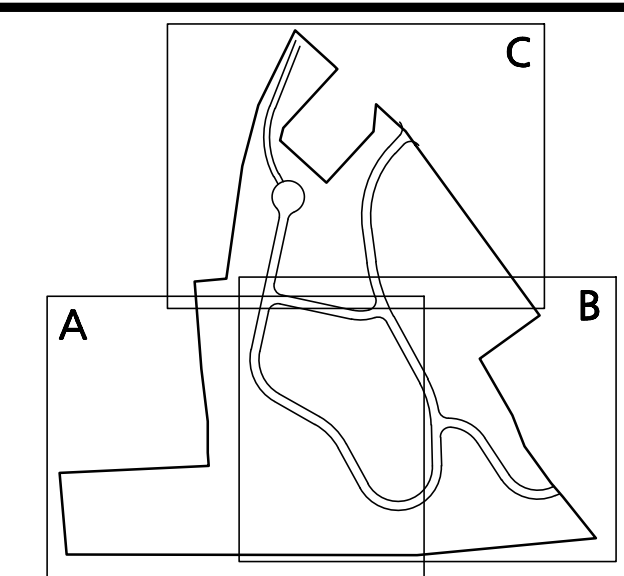
- AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT "ORDER OF CONDITIONS" AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
- THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
- PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
- AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
- TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
- THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
- PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
- THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
- THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
- AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SAG CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
- ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHIEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
- ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
- DEWATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
- ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
- THE APPLICANT JS TO NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS. THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.

SHEET A

SHEET C

GRADING & DRAINAGE NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. AT NO TIME SHALL CUT OF FILL SLOPES EXCEED 2:1.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT
- ROOF DRAINS SHALL CONNECT TO NEAREST DRAIN STRUCTURE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- ALL DRAINAGE SHALL CONFORM TO LOCAL AND MADEP REQUIREMENTS.
- PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



KEY MAP
NOT TO SCALE

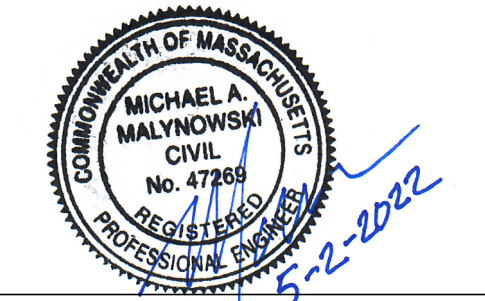
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
8	04-28-22	MISC. REVISIONS PER TOWN COMMENTS
7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • landscape architecture
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: **OVERALL GRADING & DRAINAGE PLAN**

SHEET No. **C-102**

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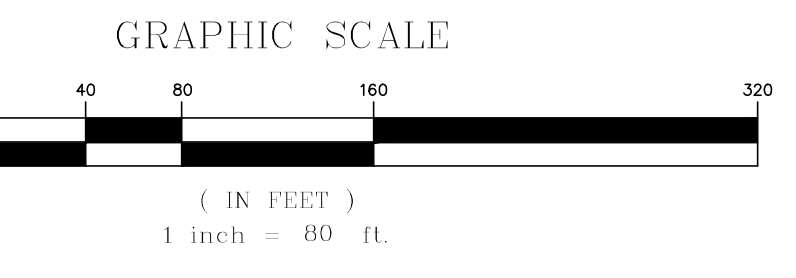


LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- FLARED END SECTION
- RIPRAP OUTFALL
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- DETENTION CHAMBER
- UNDERDRAIN
- FLOW DIRECTION

SOIL TESTING NOTES:

- ADDITIONAL TEST PITS SHALL BE DUG WITHIN THE FOOTPRINT OF EACH DRYWELL USED FOR STORMWATER INFILTRATION. A MINIMUM OF 2 VERTICAL FEET BELOW THE BOTTOM OF STONE ELEVATION. DURING EXCAVATION, DEPTHS TO BEDROCK AND/OR SEASONAL HIGH WATER SHALL BE OBSERVED AND RECORDED IF ENCOUNTERED. IF LEDGE, BEDROCK OR SIMILAR SUBSURFACE MATERIAL IS DISCOVERED WITHIN 2 VERTICAL FEET FROM THE DESIGNED BOTTOM STONE ELEVATION OF THE INFILTRATION SYSTEM, THE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH CRUSHED STONE OF EQUAL DIAMETER THAT WILL BE USED TO CONSTRUCT THE INFILTRATION SYSTEM.
- IN THE EVENT THE ON-SITE CONDITIONS ARE NOT CONSISTENT WITH THE MODELED INFILTRATION RATE, MODIFICATIONS TO THE SYSTEM MUST BE REVIEWED AND APPROVED BY THE TOWN'S ENGINEER AND BY THE PLANNING STAFF.



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LEGEND

- DRAIN MANHOLE
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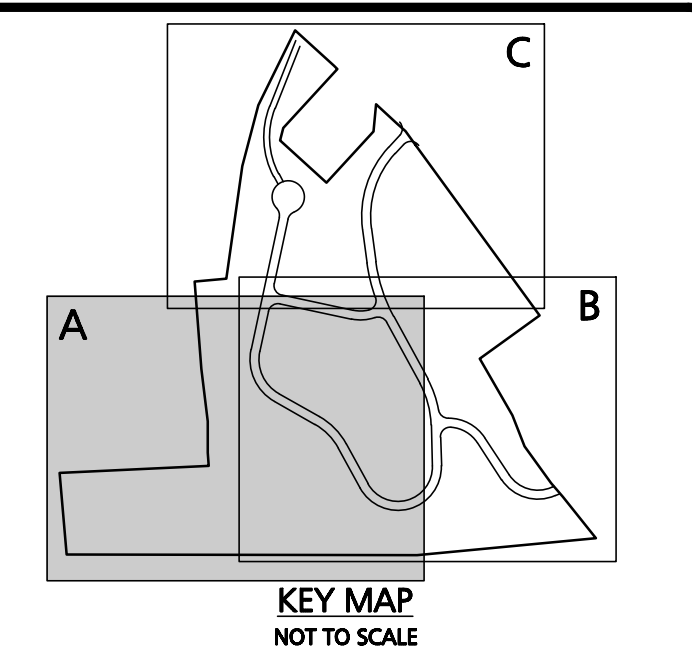
TYP. DRYWELL. DETERMINE FINAL LOCATION IN THE FIELD. SEE SOIL TESTING NOTES ON SHEET C-102.

APPROXIMATE HOUSE FOOTPRINT. TYP. ROOF RUNOFF SHALL BE DIRECTED TO A DRYWELL WHICH SHALL BE INSTALLED FOR EACH STRUCTURE. DETERMINE FINAL LOCATION IN THE FIELD. SEE SOIL TESTING NOTES ON SHEET C-102.

STRUCTURE	STRUCTURE DETAILS
CB-20	RIM=906.70 INV.OUT=902.64 (DMH-20) 57LF, 12"HDPPE, S=1.00%
CB-21	RIM=906.38 INV.OUT=902.30 (DMH-20) 23LF, 12"HDPPE, S=1.00%
CB-22	RIM=904.73 INV.OUT=900.63 (DMH-21) 19LF, 12"HDPPE, S=1.00%
CB-23	RIM=904.73 INV.OUT=900.63 (DMH-21) 19LF, 12"HDPPE, S=1.00%
CB-26	RIM=931.03 INV.OUT=926.91 (DMH-25) 13LF, 12"HDPPE, S=3.93%
CB-27	RIM=931.08 INV.OUT=926.98 (DMH-25) 18LF, 12"HDPPE, S=3.07%
CB-50	RIM=933.97 INV.OUT=929.86 (DMH-50 (CDS)) 26LF, 12"HDPPE, S=4.26%
CB-51	RIM=933.93 INV.OUT=929.83 (DMH-50 (CDS)) 33LF, 12"HDPPE, S=3.25%
CB-52	RIM=921.29 INV.OUT=917.19 (DMH-53) 8LF, 12"HDPPE, S=1.00%
CB-53	RIM=921.27 INV.OUT=917.16 (DMH-53) 19LF, 12"HDPPE, S=1.00%
CB-54	RIM=920.60 INV.OUT=916.28 (DMH-54) 49LF, 12"HDPPE, S=1.00%

STRUCTURE	STRUCTURE DETAILS
DMH-20	RIM=906.80 INV.IN=902.07 (CB-20) INV.IN=902.07 (CB-21) INV.OUT=901.57 (DMH-21) 217LF, 18"HDPPE, S=3.30%
DMH-21	RIM=905.01 INV.IN=900.53 (CB-23) INV.IN=900.44 (CB-22) INV.IN=899.94 (DMH-20) INV.OUT=899.44 (DMH-23) 190LF, 24"HDPPE, S=0.94%
DMH-25	RIM=936.20 INV.IN=928.74 (CB-50) INV.IN=928.76 (CB-51) INV.OUT=927.65 (DMH-51) 102LF, 15"HDPPE, S=8.00%
DMH-50 (CDS)	RIM=927.30 INV.IN=919.50 (DMH-50 (CDS)) INV.OUT=919.40 (DMH-52) 122LF, 15"HDPPE, S=8.13%
DMH-51	RIM=914.00 INV.IN=909.50 (DMH-51) INV.OUT=892.52 (DMH-62) 62LF, 15"HDPPE, S=8.00%
DMH-52	RIM=921.47 INV.IN=916.96 (CB-53) INV.IN=917.11 (CB-52) INV.OUT=916.83 (DMH-54) 31LF, 18"HDPPE, S=4.72%
DMH-53	RIM=921.11 INV.IN=915.39 (DMH-53) INV.OUT=915.79 (CB-54) INV.OUT=915.29 (DMH-55) 280LF, 18"HDPPE, S=4.34%
DMH-59	RIM=908.95 INV.IN=893.35 (DMH-58) INV.OUT=893.25 (DMH-60) 82LF, 30"HDPPE, S=0.91%
DMH-60	RIM=901.96 INV.IN=892.50 (DMH-59) INV.OUT=892.40 (DMH-61) 258LF, 30"HDPPE, S=1.15%
DMH-61	RIM=908.45 INV.IN=889.43 (DMH-60) INV.OUT=889.33 (DMH-62) 278LF, 30"HDPPE, S=1.00%

STRUCTURE	STRUCTURE DETAILS
DMH-62	RIM=902.00 INV.IN=886.55 (DMH-61) INV.IN=902.07 (DMH-52) INV.OUT=886.45 (DMH-70) 68LF, 30"HDPPE, S=3.30%
DMH-63	RIM=879.92 INV.IN=874.62 (DMH-70) INV.IN=865.12 (DMH-64) 25LF, 30"HDPPE, S=3.41%
DMH-64	RIM=870.00 INV.IN=864.26 (DMH-63) INV.OUT=854.88 (DMH-65) 20LF, 30"HDPPE, S=3.41%
DMH-65	RIM=860.01 INV.IN=854.20 (DMH-64) INV.OUT=844.88 (DMH-66) 20LF, 30"HDPPE, S=3.41%
DMH-66	RIM=850.00 INV.IN=844.20 (DMH-65) INV.OUT=835.09 (DMH-67) 20LF, 30"HDPPE, S=3.41%
DMH-67	RIM=840.15 INV.IN=834.42 (DMH-66) INV.OUT=824.82 (DMH-68) 20LF, 30"HDPPE, S=3.41%
DMH-68	RIM=830.00 INV.IN=824.13 (DMH-67) INV.OUT=813.03 (DMH-69) 24LF, 30"HDPPE, S=3.41%
DMH-69	RIM=818.02 INV.IN=812.21 (DMH-68) INV.OUT=812.48 (FES-01) 29LF, 30"HDPPE, S=3.40%
DMH-70	RIM=890.07 INV.IN=884.20 (DMH-62) INV.OUT=876.53 (DMH-63) 56LF, 30"HDPPE, S=3.41%
GABION-02-C/O	RIM=813.00 INV.IN=810.30 (OCS-04) INV.OUT=810.30 () 45LF, 18"HDPPE, S=0.00%
OCS-04	RIM=814.00 INV.OUT=811.00 (GABION-02-C/O) 32LF, 18"HDPPE, S=2.21%



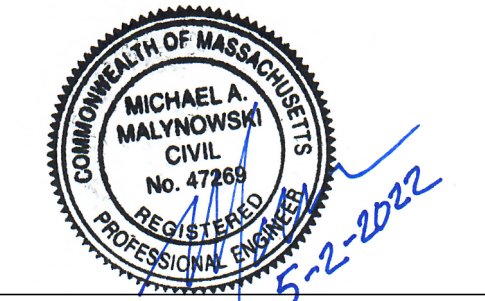
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
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4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21
SCALE: 1" = 40' DWG. : c2889-01_grading & drainage
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

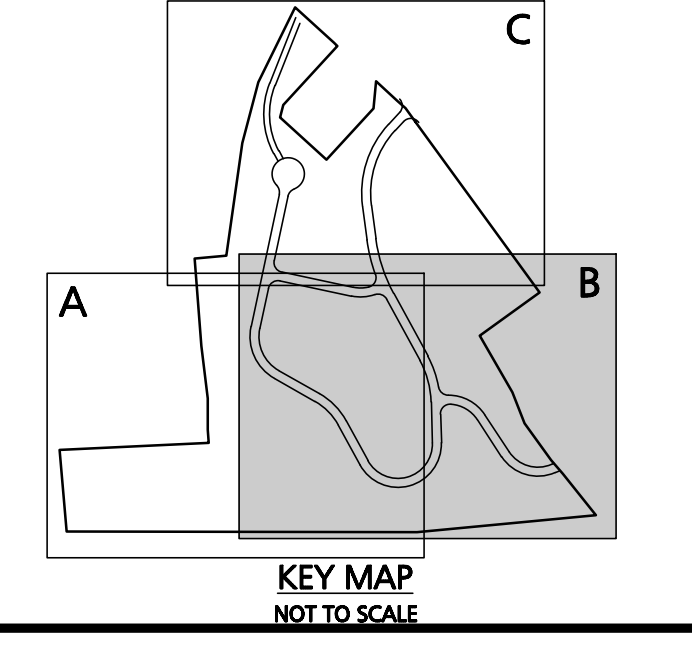
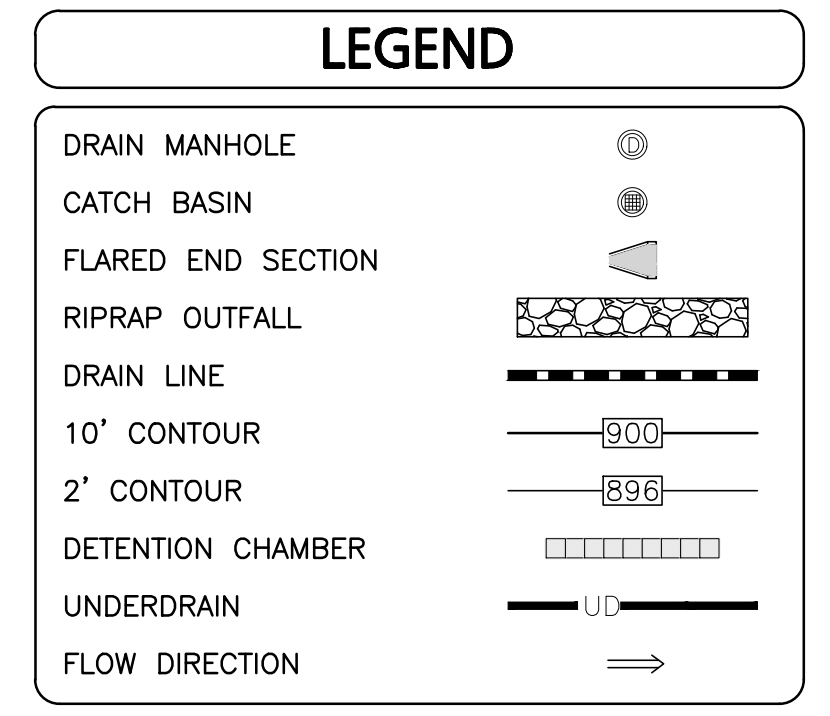
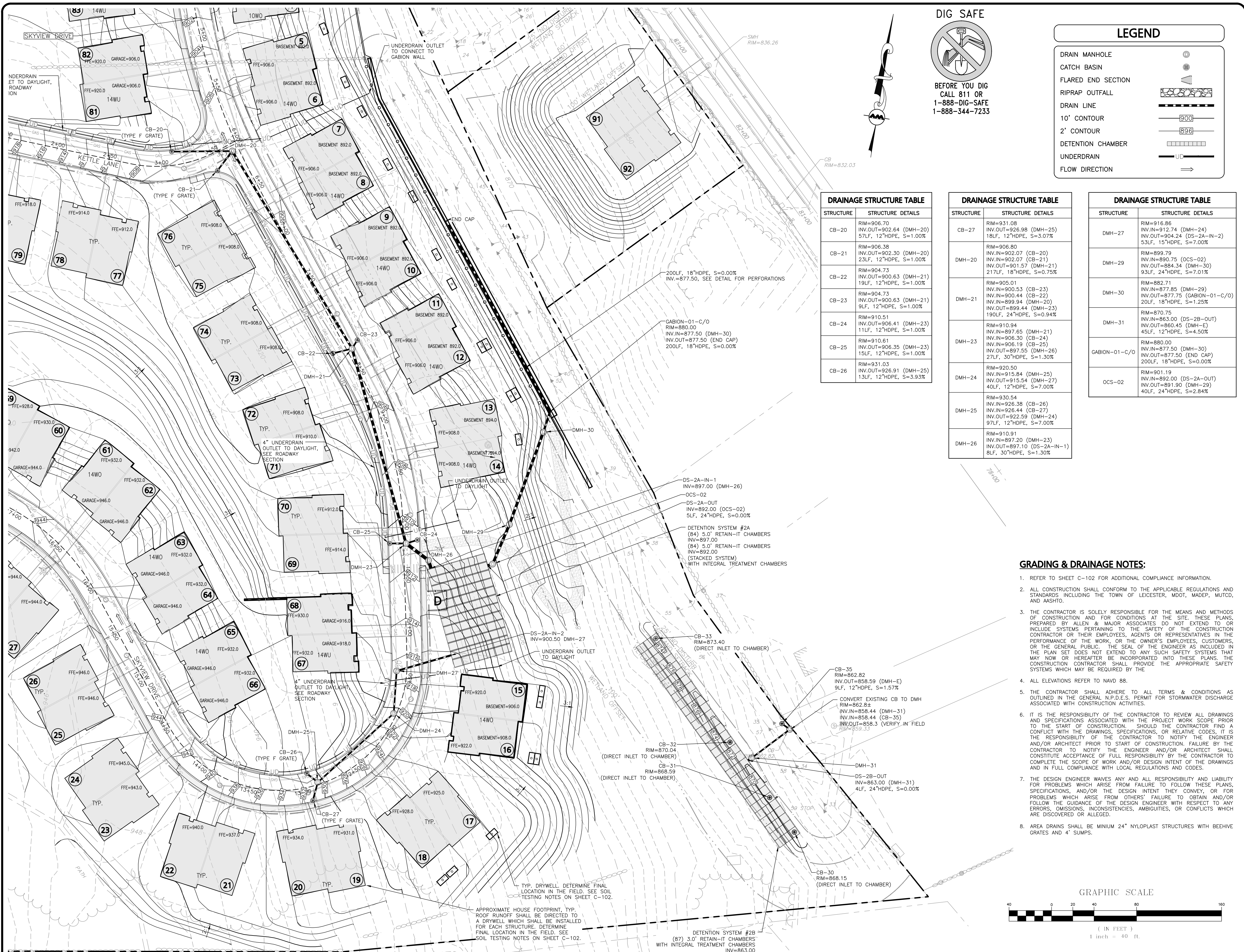
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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET No. C-102A
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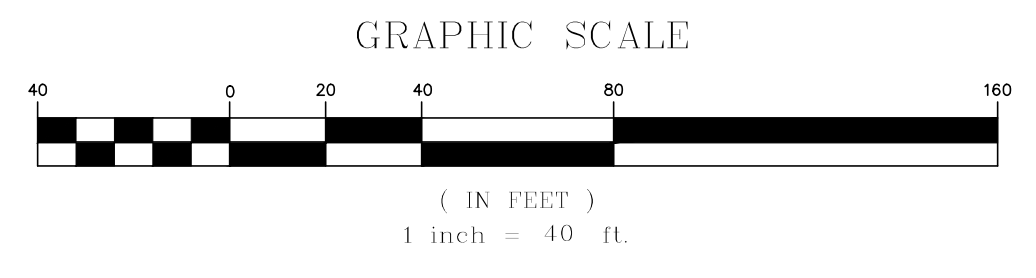


STRUCTURE	STRUCTURE DETAILS
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CB-21	RIM=906.38 INV.OUT=902.30 (DMH-20) 23LF, 12"HDPE, S=1.00%
CB-22	RIM=904.73 INV.OUT=900.63 (DMH-21) 19LF, 12"HDPE, S=1.00%
CB-23	RIM=904.73 INV.OUT=900.63 (DMH-21) 9LF, 12"HDPE, S=1.00%
CB-24	RIM=910.51 INV.OUT=906.41 (DMH-23) 11LF, 12"HDPE, S=1.00%
CB-25	RIM=910.61 INV.OUT=906.35 (DMH-23) 19LF, 12"HDPE, S=1.00%
CB-26	RIM=931.03 INV.OUT=926.91 (DMH-25) 13LF, 12"HDPE, S=3.93%

STRUCTURE	STRUCTURE DETAILS
CB-27	RIM=931.08 INV.OUT=926.98 (DMH-25) 18LF, 12"HDPE, S=3.07%
DMH-20	RIM=906.80 INV.IN=902.07 (CB-20) INV.IN=902.07 (CB-21) INV.OUT=901.57 (DMH-21) 217LF, 18"HDPE, S=0.75%
DMH-21	RIM=905.01 INV.IN=900.53 (CB-23) INV.IN=900.44 (CB-22) INV.IN=899.94 (DMH-20) INV.OUT=899.44 (DMH-23) 190LF, 24"HDPE, S=0.94%
DMH-23	RIM=910.94 INV.IN=897.65 (DMH-21) INV.IN=906.30 (CB-24) INV.IN=906.19 (CB-25) INV.OUT=897.55 (DMH-26) 27LF, 30"HDPE, S=1.30%
DMH-24	RIM=920.50 INV.IN=915.84 (DMH-25) INV.OUT=915.54 (DMH-27) 40LF, 12"HDPE, S=7.00%
DMH-25	RIM=930.54 INV.IN=926.38 (CB-26) INV.IN=926.44 (CB-27) INV.OUT=922.59 (DMH-24) 97LF, 12"HDPE, S=7.00%
DMH-26	RIM=910.91 INV.IN=897.20 (DMH-23) INV.OUT=897.10 (DS-2A-IN-1) 8LF, 30"HDPE, S=1.30%

STRUCTURE	STRUCTURE DETAILS
DMH-27	RIM=916.86 INV.IN=912.74 (DMH-24) INV.OUT=904.24 (DS-2A-IN-2) 53LF, 15"HDPE, S=7.00%
DMH-29	RIM=899.79 INV.IN=890.75 (OCS-02) INV.OUT=884.34 (DMH-30) 93LF, 24"HDPE, S=7.01%
DMH-30	RIM=882.71 INV.IN=877.85 (DMH-29) INV.OUT=877.75 (GABION-01-C/O) 20LF, 18"HDPE, S=1.25%
DMH-31	RIM=870.75 INV.IN=863.00 (DS-2B-OUT) INV.OUT=860.45 (DMH-E) 45LF, 12"HDPE, S=4.50%
GABION-01-C/O	RIM=880.00 INV.IN=877.50 (DMH-30) INV.OUT=877.50 (END CAP) 200LF, 18"HDPE, S=0.00%
OCS-02	RIM=901.19 INV.IN=892.00 (DS-2A-OUT) INV.OUT=891.90 (DMH-29) 40LF, 24"HDPE, S=2.84%

- GRADING & DRAINAGE NOTES:**
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 - ALL ELEVATIONS REFER TO NAVD 88.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
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 - AREA DRAINS SHALL BE MINIMUM 24" NYLOPLAST STRUCTURES WITH BEEHIVE GRATES AND 4" SUMPS.

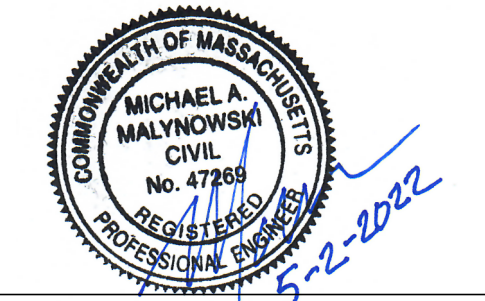


APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD
I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
8	08-08-22	MISC. REVISIONS PER TOWN COMMENTS
7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21
SCALE: 1" = 40' DWG.: c2889-01_grading & drainage
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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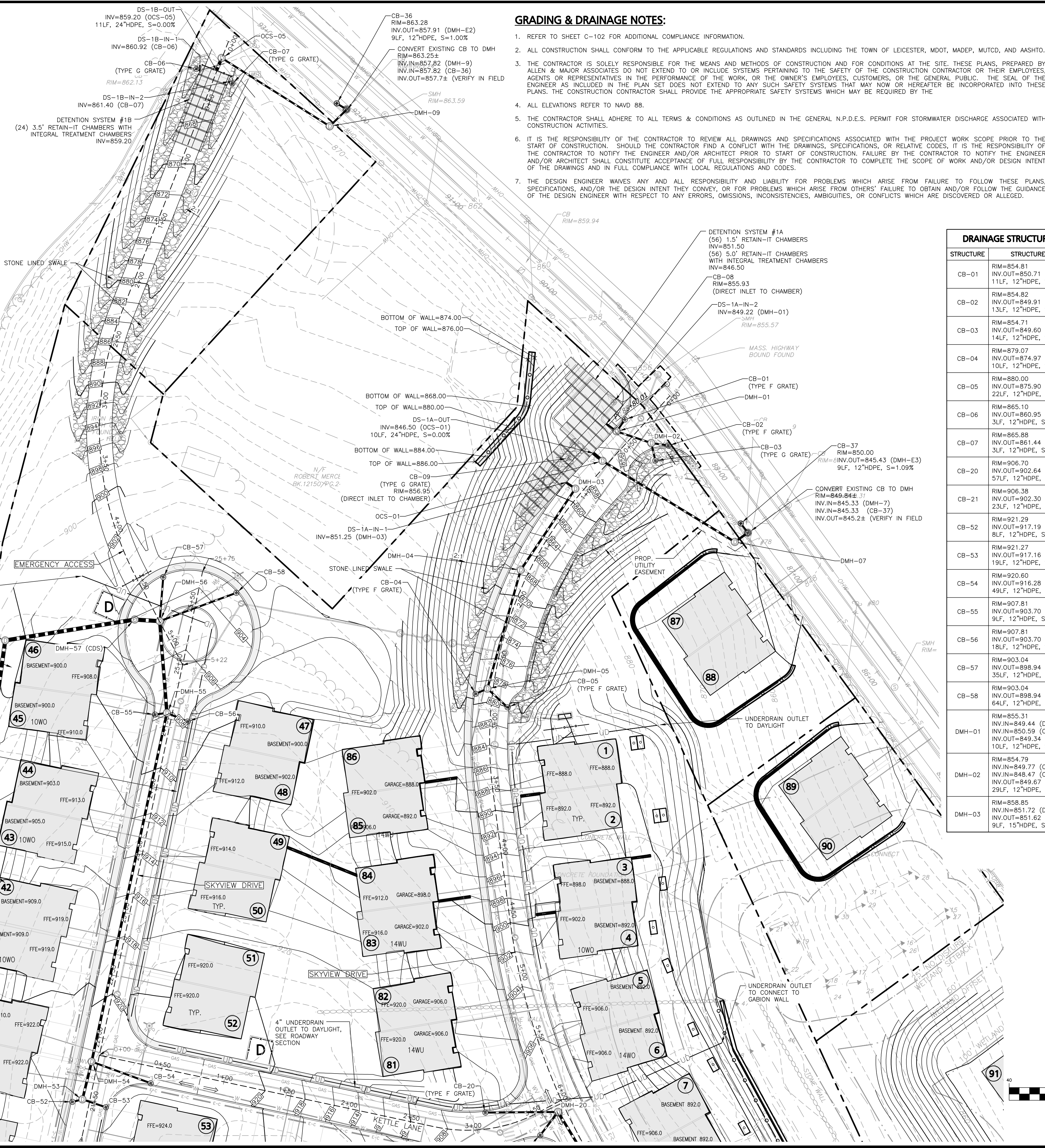
DRAWING TITLE: **GRADING & DRAINAGE PLAN** SHEET No. **C-102B**
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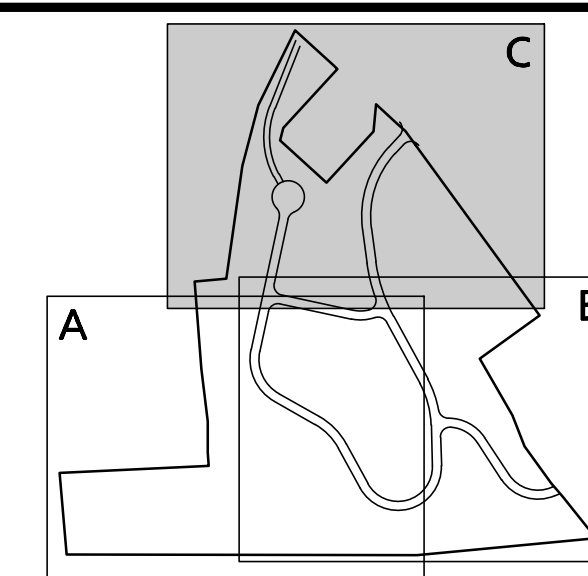
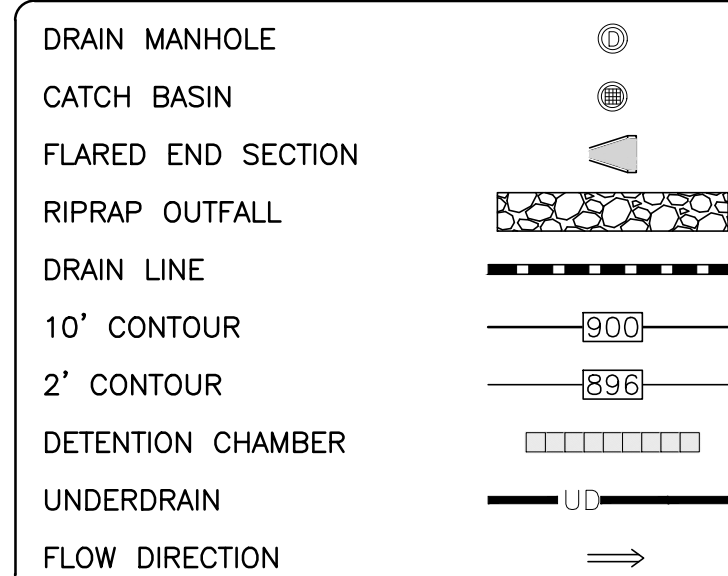
N/T
ROMAN CATHOLIC
BISHOP OF WORCESTER
PL. BK. 25/PL. 4



GRADING & DRAINAGE NOTES:

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LEGEND



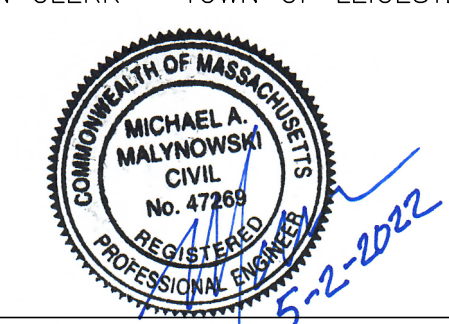
KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

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LEICESTER PLANNING BOARD
I CERTIFY THAT NO NOTICE OF APPEAL
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RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Table with 3 columns: REV, DATE, DESCRIPTION. Lists revision dates from 04-28-22 to 02-07-22.

PROJECT: MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

Table with 4 columns: PROJECT NO., DATE, SCALE, DWG. Lists project number 2889-01, date 09-17-21, scale 1" = 40', and drawing title c:2889-01_grading & drainage.

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

Logo for ALLEN & MAJOR ASSOCIATES, INC. with contact information: 100 COMMERCE WAY, SUITE 5, WOBURN MA 01801, TEL: (781) 935-6889, FAX: (781) 935-2896.

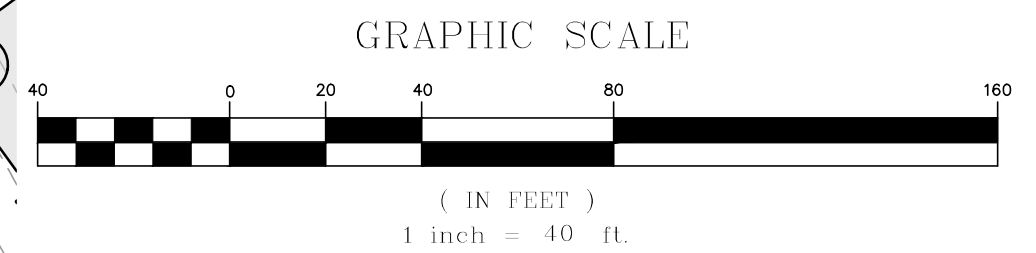
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DRAINAGE STRUCTURE TABLE

Table with 2 columns: STRUCTURE, STRUCTURE DETAILS. Lists structures CB-01 to CB-58 and DMH-01 to DMH-60 with their respective dimensions and slopes.

DRAINAGE STRUCTURE TABLE

Table with 2 columns: STRUCTURE, STRUCTURE DETAILS. Lists structures DMH-04 to DMH-60 with their respective dimensions and slopes.



R:\PROJECTS\2889-01\CIVIL DRAWINGS\CURRENT\C-2889-01_GRADING & DRAINAGE.DWG

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\2889-01_GRADING & DRAINAGE.DWG



SOIL EXCAVATION LEGEND:

- APPROXIMATE AREAS OF SOIL EXCAVATION (CUT)
- APPROXIMATE AREA OF SOIL PLACEMENT (FILL)

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- FLARED END SECTION
- RIPRAP OUTFALL
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- DETENTION CHAMBER
- UNDERDRAIN
- FLOW DIRECTION

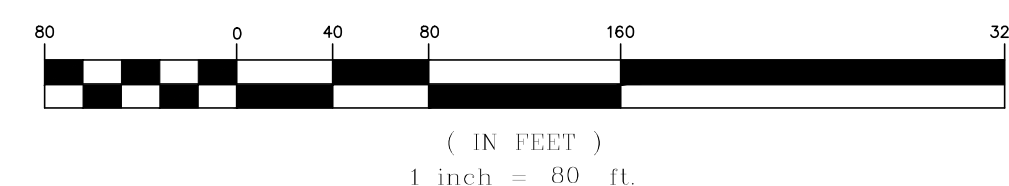
SOIL TESTING NOTES:

- ADDITIONAL TEST PITS SHALL BE DUG WITHIN THE FOOTPRINT OF EACH DRYWELL USED FOR STORMWATER INFILTRATION. A MINIMUM OF 2 VERTICAL FEET BELOW THE BOTTOM OF STONE ELEVATION. DURING EXCAVATION, DEPTHS TO BEDROCK AND/OR SEASONAL HIGH WATER SHALL BE OBSERVED AND RECORDED IF ENCOUNTERED. IF LEDGE, BEDROCK OR SIMILAR SUBSURFACE MATERIAL IS DISCOVERED WITHIN 2 VERTICAL FEET FROM THE DESIGNED BOTTOM STONE ELEVATION OF THE INFILTRATION SYSTEM, THE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH CRUSHED STONE OF EQUAL DIAMETER THAT WILL BE USED TO CONSTRUCT THE INFILTRATION SYSTEM.
- IN THE EVENT THE ON-SITE CONDITIONS ARE NOT CONSISTENT WITH THE MODELLED INFILTRATION RATE, MODIFICATIONS TO THE SYSTEM MUST BE REVIEWED AND APPROVED BY THE TOWN'S ENGINEER AND BY THE PLANNING STAFF.

SOIL EXCAVATION NOTE:

- PER LEICESTER PLANNING BOARD SITE PLAN REVIEW REGULATIONS, SECTION 11.9: PROPOSED GRADING SHOWN REQUIRES APPROXIMATELY 92,170± CUBIC YARDS OF MATERIAL TO BE MOVED.

GRAPHIC SCALE



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TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
8	04-28-22	MISC. REVISIONS PER TOWN COMMENTS
7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG. : C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: **EARTH MOVING SUMMARY PLAN** SHEET No. **C-102D**
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TP-1 Date: 3/23/2022 Pit elevation: 904.4
Witnessed by Shelley E. Hultgren - Quinn Engineering

903.57	Ap	0 - 10	Top Soil	-	Many fine roots
903.07	B ₁	10 - 16	Fine Sandy Loam	10YR 4/4	
898.40	B ₂	16 - 72	Very Fine Sandy Loam	2.5Y 4/3	
888.40	C	72 - 192	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 192" 888.40 Mottles: 25" <5% 902.32
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 18" 903.07
Seepage: 18" 902.90

TP-2 Date: 3/23/2022 Pit elevation: 920.57
Witnessed by Shelley E. Hultgren - Quinn Engineering

919.74	Ap	0 - 10	Top Soil	-	Many fine roots
918.15	B ₁	10 - 29	Fine Sandy Loam	10YR 4/4	
915.07	B ₂	29 - 66	Very Fine Sandy Loam	2.5Y 5/2	
906.90	C	66 - 164	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 164" 906.90 Mottles: 44" <5% 916.90
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 29" 918.15
Seepage: 29" 918.15

TP-3 Date: 3/23/2022 Pit elevation: 907.14
Witnessed by Shelley E. Hultgren - Quinn Engineering

906.33	Ap	0 - 10	Top Soil	-	Many fine roots
905.14	B ₁	10 - 24	Fine Sandy Loam	10YR 4/4	
901.47	B ₂	24 - 68	Very Fine Sandy Loam	2.5Y 4/3	
895.14	C	68 - 144	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 144" 895.14 Mottles: 43" <5% 903.56
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 24" 905.14
Seepage: 44" 903.47

TP-4 Date: 3/23/2022 Pit elevation: 915.5
Witnessed by Shelley E. Hultgren - Quinn Engineering

914.50	Ap	0 - 12	Top Soil	-	Many fine roots
913.67	B ₁	12 - 22	Fine Sandy Loam	10YR 4/3	
909.75	B ₂	22 - 69	Very Fine Sandy Loam	2.5Y 4/3	
903.90	C	69 - 139	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 139" 903.92 Mottles: 37" <5% 912.42
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 22" 913.67
Seepage: 37" 912.42

TP-5 Date: 3/23/2022 Pit elevation: 941.03
Witnessed by Shelley E. Hultgren - Quinn Engineering

940.03	Ap	0 - 12	Top Soil	-	Many fine roots
939.03	B ₁	12 - 24	Fine Sandy Loam	10YR 5/4	
935.03	B ₂	24 - 72	Very Fine Sandy Loam	2.5Y 4/3	
930.70	C	72 - 124	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 124" 930.70 Mottles: 26" <5% 938.86
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 24" 939.03
Seepage: 34" 938.20

TP-6 Date: 3/23/2022 Pit elevation: 946.36
Witnessed by Shelley E. Hultgren - Quinn Engineering

945.36	Ap	0 - 12	Top Soil	-	Many fine roots
944.53	B ₁	12 - 22	Fine Sandy Loam	10YR 5/4	
939.36	B ₂	22 - 84	Very Fine Sandy Loam	2.5Y 4/3	
936.36	C	84 - 120	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 120" 936.36 Mottles: 22" <5% 944.53
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 22" 944.53
Seepage: 30" 943.86

TP-8 Date: 3/23/2022 Pit elevation: 923.18
Witnessed by Shelley E. Hultgren - Quinn Engineering

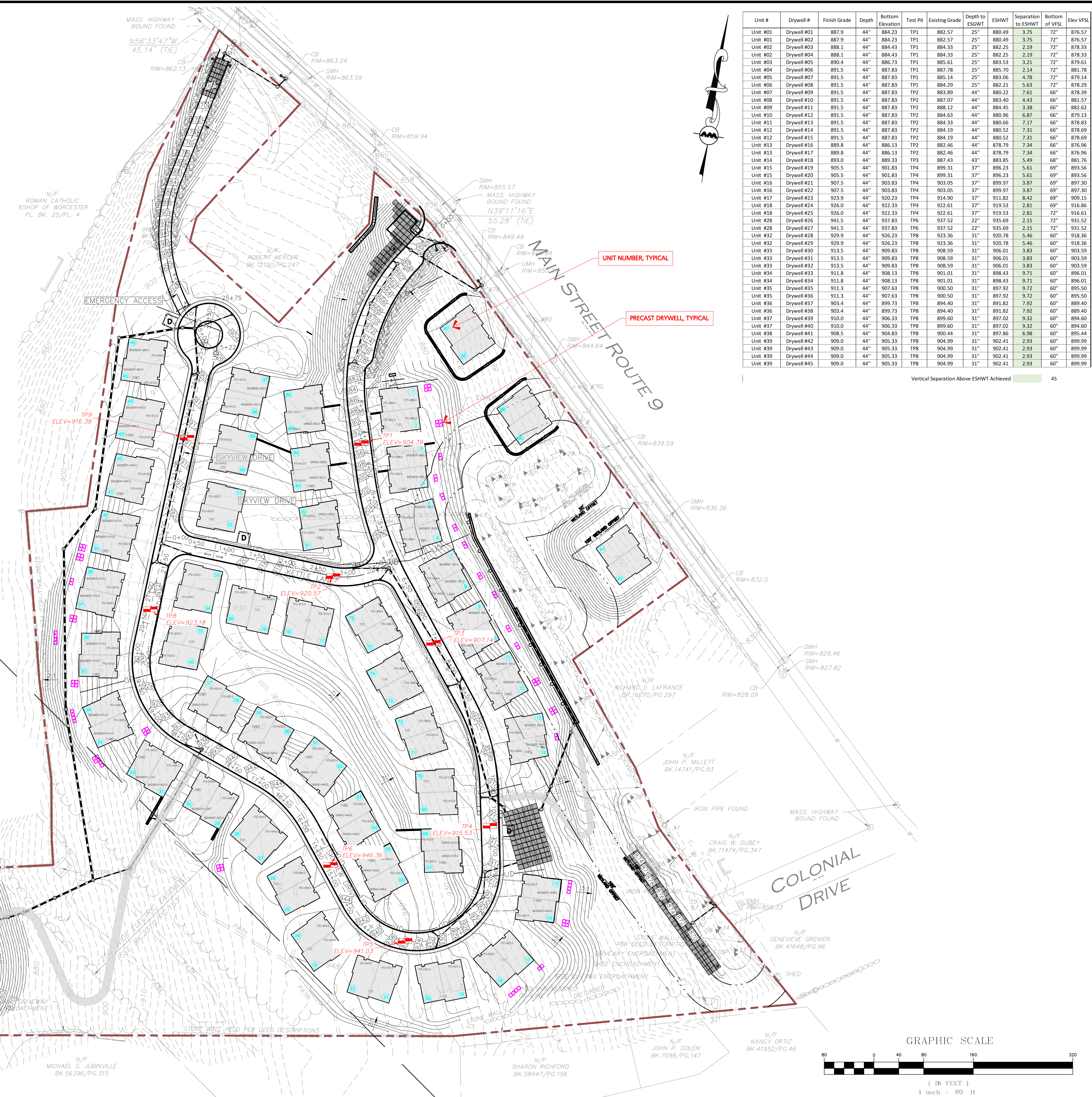
922.26	Ap	0 - 11	Top Soil	-	Many fine roots
920.35	B ₁	11 - 34	Fine Sandy Loam	10YR 5/4	
918.18	B ₂	34 - 60	Very Fine Sandy Loam	2.5Y 4/3	
911.60	C	60 - 139	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 139" 911.60 Mottles: 31" <5% 920.60
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 34" 920.35
Seepage: 21" 921.43

TP-9 Date: 3/23/2022 Pit elevation: 916.38
Witnessed by Shelley E. Hultgren - Quinn Engineering

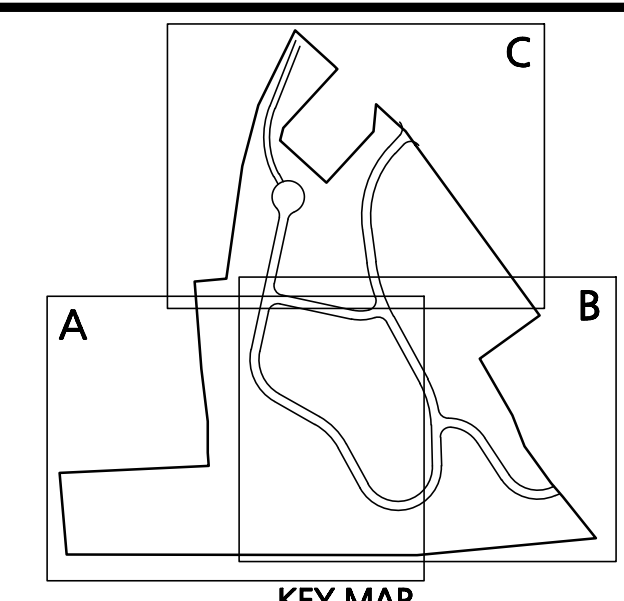
915.55	Ap	0 - 10	Top Soil	-	Many fine roots
914.38	B ₁	10 - 24	Fine Sandy Loam	10YR 5/4	
912.05	B ₂	24 - 52	Very Fine Sandy Loam	2.5Y 4/3	
903.63	C	52 - 153	Fine Sandy Loam	10YR 3/3	

Pit Bottom: 153" 903.63 Mottles: 21" <5% 914.63
Observed Water: n/a Some glaying: n/a
Restrictive Layer: 24" 914.38
Seepage: 22" 914.55



Unit #	Drywell #	Finish Grade	Depth	Bottom Elevation	Test Pit	Existing Grade	Depth to ESGWT	ESHW	Separation to ESHWT	Bottom of VFSL	Elev VFSL
Unit #01	Drywell #01	887.9	44"	884.23	TP1	882.57	25"	880.49	3.75	72"	876.57
Unit #02	Drywell #02	887.9	44"	884.23	TP1	882.57	25"	880.49	3.75	72"	876.57
Unit #02	Drywell #03	888.1	44"	884.43	TP1	884.33	25"	882.25	2.19	72"	878.33
Unit #02	Drywell #04	888.1	44"	884.43	TP1	884.33	25"	882.25	2.19	72"	878.33
Unit #03	Drywell #05	890.4	44"	886.73	TP1	885.61	25"	883.53	3.21	72"	879.61
Unit #04	Drywell #06	891.5	44"	887.83	TP1	887.78	25"	885.70	2.14	72"	881.78
Unit #05	Drywell #07	891.5	44"	887.83	TP1	885.14	25"	883.06	4.78	72"	879.14
Unit #06	Drywell #08	891.5	44"	887.83	TP2	884.29	25"	882.21	5.63	72"	879.29
Unit #07	Drywell #09	891.5	44"	887.83	TP2	883.89	44"	880.22	7.61	66"	878.39
Unit #08	Drywell #10	891.5	44"	887.83	TP2	887.07	44"	883.40	4.43	66"	881.57
Unit #09	Drywell #11	891.5	44"	887.83	TP2	888.12	44"	884.45	3.38	66"	882.62
Unit #10	Drywell #12	891.5	44"	887.83	TP2	884.63	44"	880.96	6.87	66"	879.13
Unit #11	Drywell #13	891.5	44"	887.83	TP2	884.33	44"	880.66	7.17	66"	878.83
Unit #12	Drywell #14	891.5	44"	887.83	TP2	884.19	44"	880.52	7.31	66"	878.69
Unit #12	Drywell #15	891.5	44"	887.83	TP2	884.19	44"	880.52	7.31	66"	878.69
Unit #13	Drywell #16	889.8	44"	886.13	TP2	882.46	44"	878.79	7.34	66"	876.96
Unit #13	Drywell #17	889.8	44"	886.13	TP2	882.46	44"	878.79	7.34	66"	876.96
Unit #14	Drywell #18	893.0	44"	889.33	TP3	887.43	43"	883.85	5.49	66"	881.76
Unit #15	Drywell #19	905.5	44"	901.83	TP4	899.31	37"	896.23	5.61	69"	893.56
Unit #15	Drywell #20	905.5	44"	901.83	TP4	899.31	37"	896.23	5.61	69"	893.56
Unit #16	Drywell #21	907.5	44"	903.83	TP4	903.05	37"	899.97	3.87	69"	897.30
Unit #16	Drywell #22	907.5	44"	903.83	TP4	903.05	37"	899.97	3.87	69"	897.30
Unit #17	Drywell #23	923.9	44"	920.23	TP4	914.90	37"	911.82	8.42	69"	909.15
Unit #18	Drywell #24	926.0	44"	922.33	TP4	922.61	37"	919.53	2.81	72"	916.61
Unit #18	Drywell #25	926.0	44"	922.33	TP4	922.61	37"	919.53	2.81	72"	916.61
Unit #28	Drywell #27	941.5	44"	937.83	TP6	937.52	22"	935.69	2.15	72"	931.52
Unit #28	Drywell #28	929.9	44"	926.23	TP6	923.36	31"	920.78	5.46	60"	918.36
Unit #28	Drywell #29	929.9	44"	926.23	TP6	923.36	31"	920.78	5.46	60"	918.36
Unit #33	Drywell #30	913.5	44"	909.83	TP8	908.59	31"	906.01	3.83	60"	903.59
Unit #33	Drywell #31	913.5	44"	909.83	TP8	908.59	31"	906.01	3.83	60"	903.59
Unit #33	Drywell #32	913.5	44"	909.83	TP8	908.59	31"	906.01	3.83	60"	903.59
Unit #34	Drywell #33	911.8	44"	908.13	TP8	901.01	31"	898.43	9.71	60"	896.01
Unit #34	Drywell #34	911.8	44"	908.13	TP8	901.01	31"	898.43	9.71	60"	896.01
Unit #35	Drywell #35	911.3	44"	907.63	TP8	900.50	31"	897.92	9.72	60"	895.50
Unit #35	Drywell #36	911.3	44"	907.63	TP8	900.50	31"	897.92	9.72	60"	895.50
Unit #36	Drywell #37	903.4	44"	899.73	TP8	894.40	31"	891.82	7.92	60"	889.40
Unit #36	Drywell #38	903.4	44"	899.73	TP8	894.40	31"	891.82	7.92	60"	889.40
Unit #37	Drywell #39	910.0	44"	906.33	TP8	899.60	31"	897.02	9.32	60"	894.60
Unit #37	Drywell #40	910.0	44"	906.33	TP8	899.60	31"	897.02	9.32	60"	894.60
Unit #38	Drywell #41	908.5	44"	904.83	TP8	900.44	31"	897.86	6.98	60"	895.44
Unit #39	Drywell #42	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99
Unit #39	Drywell #43	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99
Unit #39	Drywell #44	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99
Unit #39	Drywell #45	909.0	44"	905.33	TP8	904.99	31"	902.41	2.93	60"	899.99

Vertical Separation Above ESHWT Achieved 45



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	04-29-22	MISC. UPDATE PER TOWN COMMENTS
1	04-13-22	MISC. UPDATE PER TOWN COMMENTS

PROJECT: SKYVIEW ESTATES RESIDENTIAL DEVELOPMENT MAIN STREET LEICESTER, MA

PROJECT NO. 2889-01 DATE: 03-29-22

SCALE: 1" = 80' DWG.: C2889-01_Test Pit Layout

DESIGNED BY: SM CHECKED BY: MAM

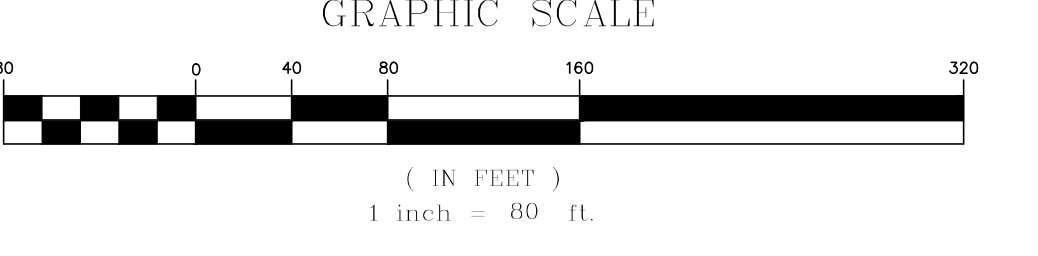
PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC.

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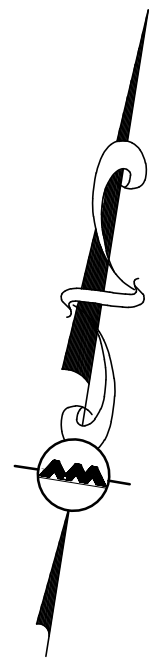
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LEGEND

SEWER MANHOLE	
SEWER LINE	
WATER LINE	
WATER VALVE	
ELEC/CABLE CONDUIT	
GAS LINE	
HYDRANT	
UTILITY POLE	



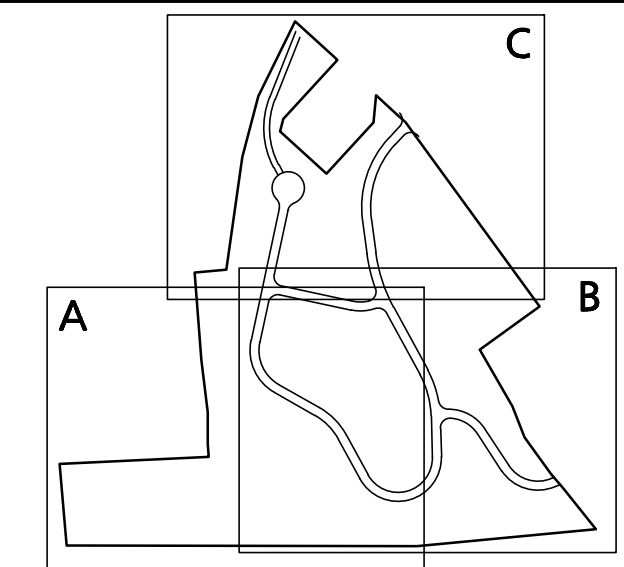
SHEET C

UTILITY NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MADOT, MADEP, MUTCO, AND AASHTO.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE CITY OF DOVER REGULATIONS AND ELECTRIC COMPANY.
- LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

STREET/LOT LIGHTING NOTES:

- EACH GROUPING OF HOMES SHALL BE PROVIDED WITH A STANDARD LAMP POST LIGHT ON THE LOT NEAR THE INTERSECTION OF THE DRIVEWAY WITH THE STREET RIGHT-OF-WAY LINE. THE TYPE AND INSTALLATION SHALL BE AS DIRECTED BY THE TOWN OF LEICESTER PLANNING BOARD AND IN ACCORDANCE WITH THE STATE ELECTRICAL CODES.
- EACH HOUSE LIGHT SHALL BE PLACED ON A DUSK TO DAWN TIMER AND SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER AND MAINTAINED IN PERPETUITY AS STATED IN THE RECORDED COVENANTS.



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

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TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
8	04-28-22	MISC. REVISIONS PER TOWN COMMENTS
7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C-2889-01_Utilities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
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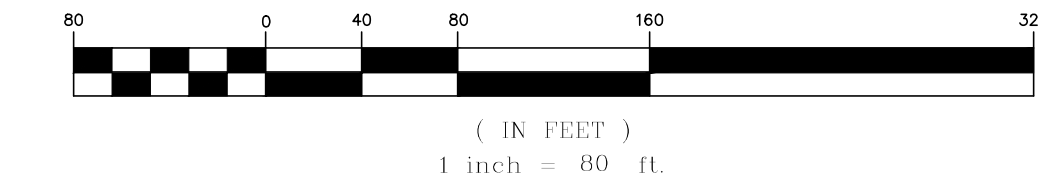
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SHEET A



SHEET B

GRAPHIC SCALE



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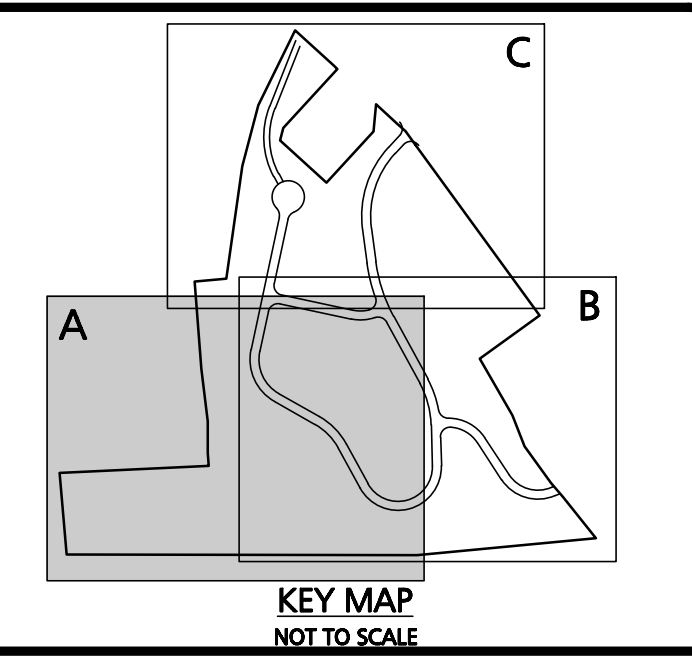


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LEGEND

SEWER MANHOLE	⊙
SEWER LINE	—
WATER LINE	W
WATER VALVE	WV
ELEC/CABLE CONDUIT	E-C
GAS LINE	GAS
HYDRANT	⊕
UTILITY POLE	⊙

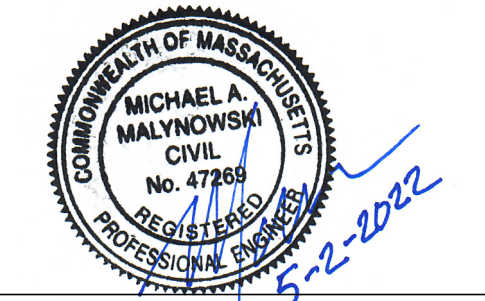


APPROVAL UNDER SITE PLAN APPROVAL
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DATE: _____

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TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21
SCALE: 1" = 40' DWG.: C-2889-01_Utilities
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

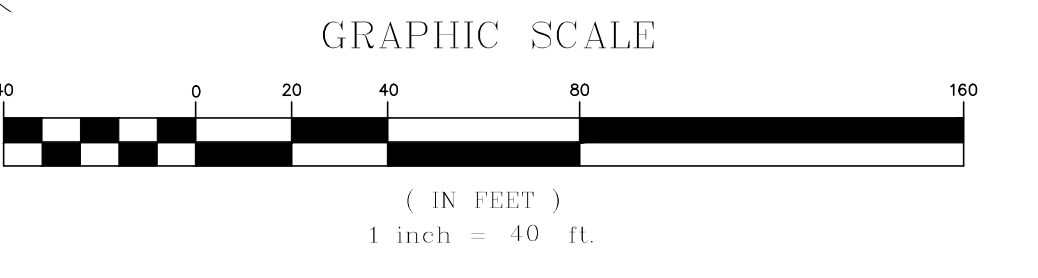
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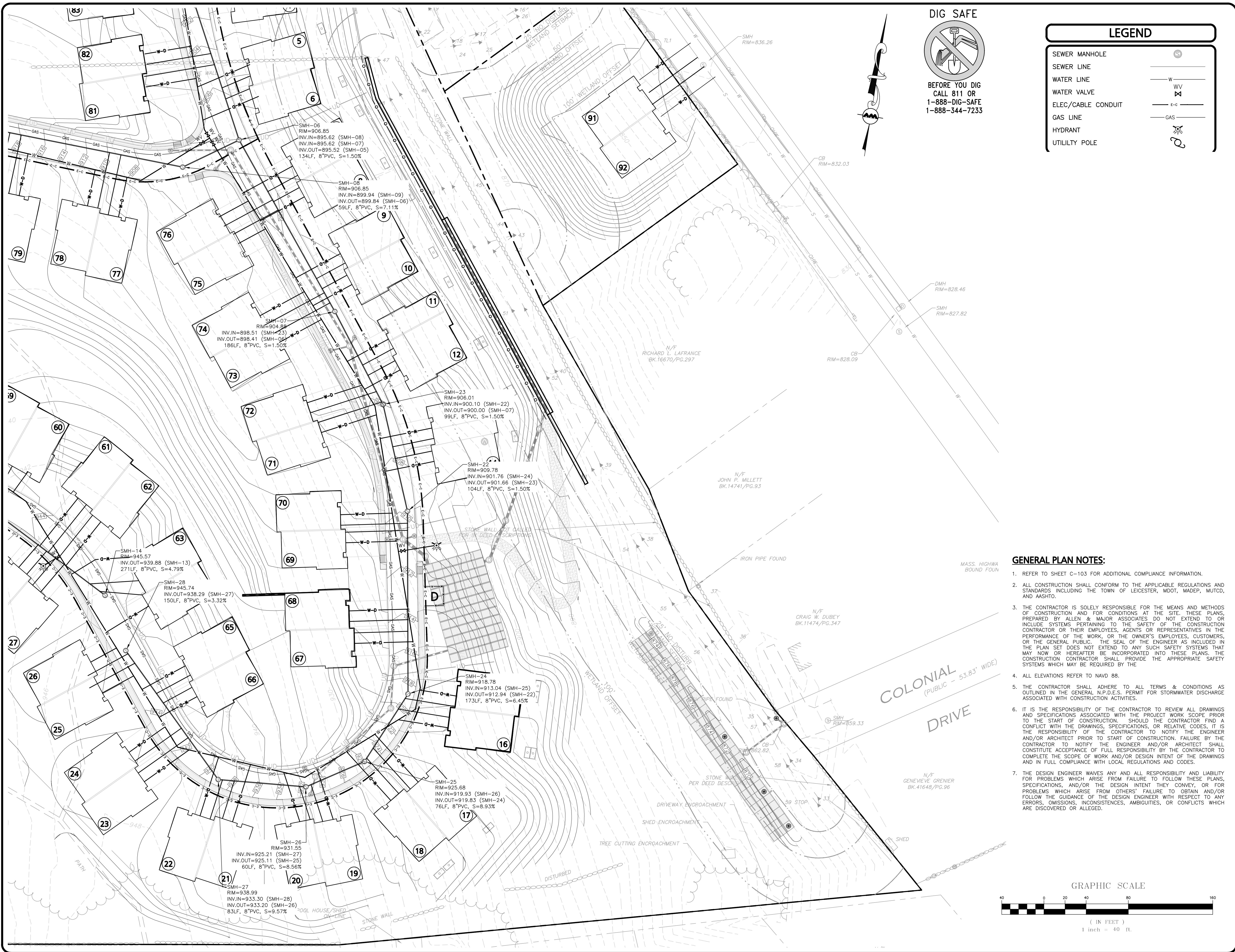
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- ALL ELEVATIONS REFER TO NAVD 88.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
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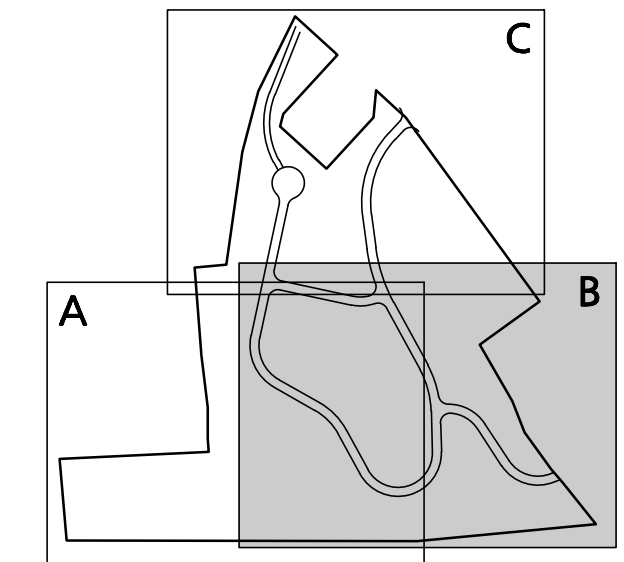
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SEWER LINE	
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GAS LINE	
HYDRANT	
UTILITY POLE	



KEY MAP
NOT TO SCALE

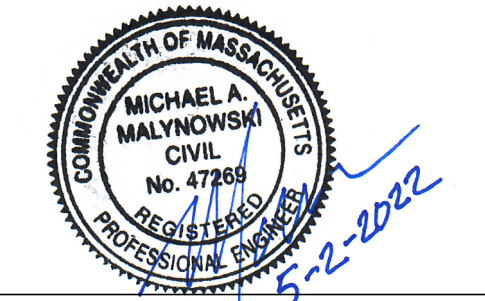
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TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO.	2889-01	DATE:	09-17-21
SCALE:	1" = 40'	DWG. :	C-2889-01_Utilities
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

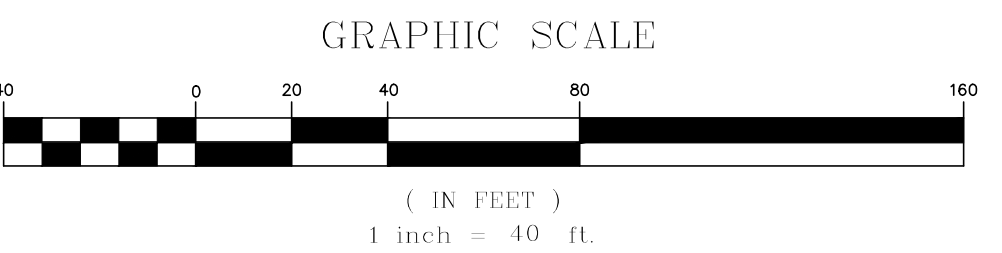
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 - ALL ELEVATIONS REFER TO NAVD 88.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.F.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
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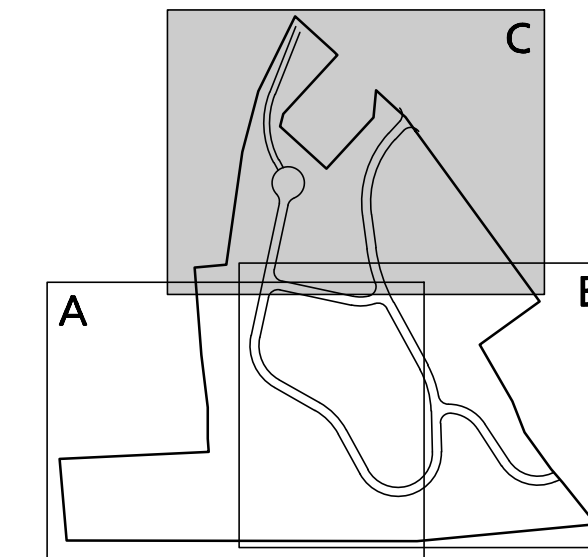


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LEGEND

- SEWER MANHOLE
- SEWER LINE
- WATER LINE
- WATER VALVE
- ELEC/CABLE CONDUIT
- GAS LINE
- HYDRANT
- UTILITY POLE



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
6	03-29-22	MISC. REVISIONS PER TOWN COMMENTS
5	03-10-22	MISC. REVISIONS PER TOWN COMMENTS
4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
 265 SUNRISE HIGHWAY, SUITE 1368
 ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
 RESIDENTIAL DEVELOPMENT
 MAIN STREET
 LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C-2889-01_Utillities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com
 100 COMMERCE WAY, SUITE 5
 WOBURN MA 01801
 TEL: (781) 935-6889
 FAX: (781) 935-2896

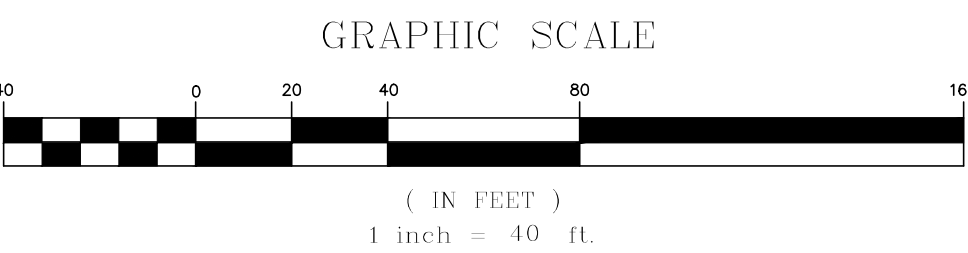
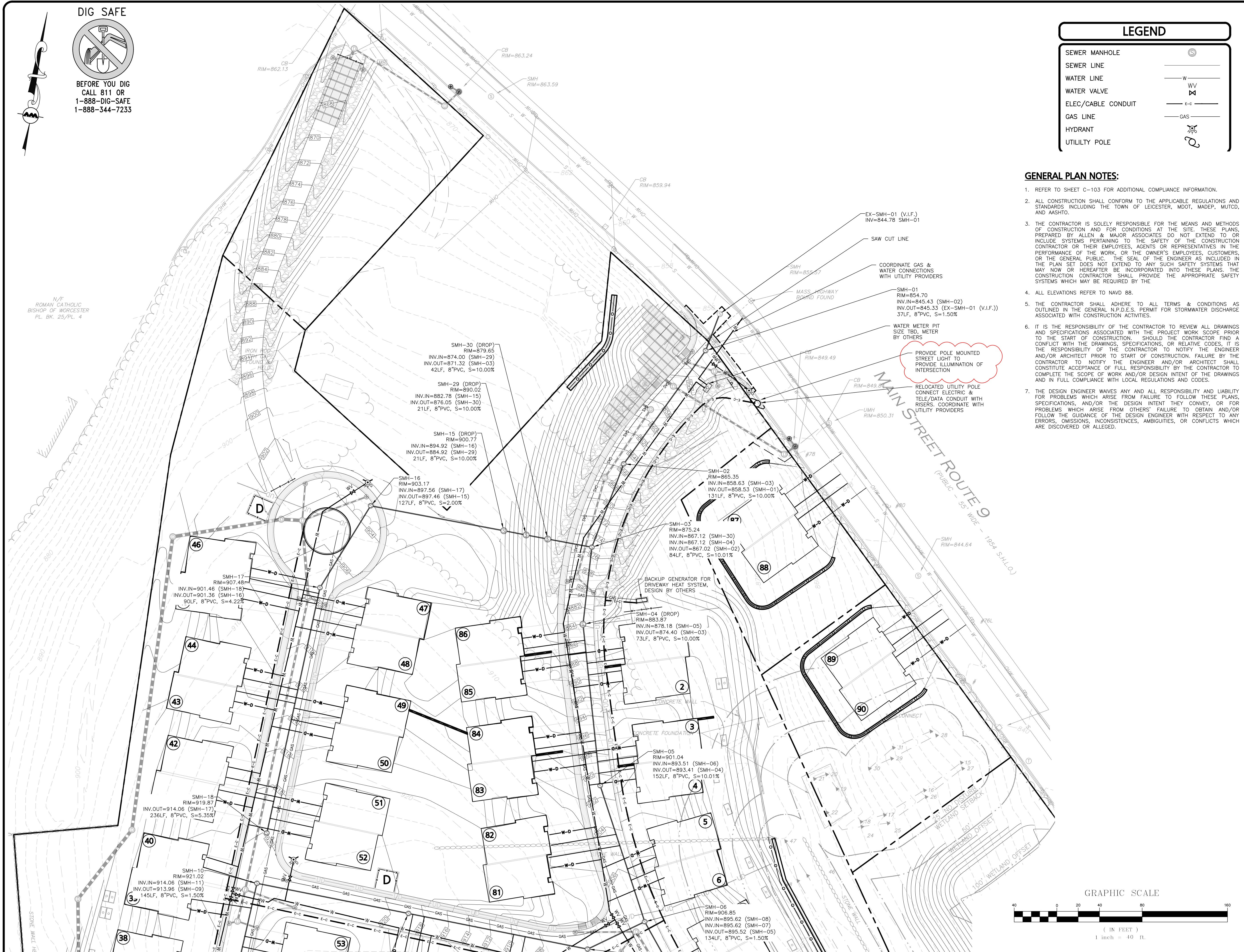
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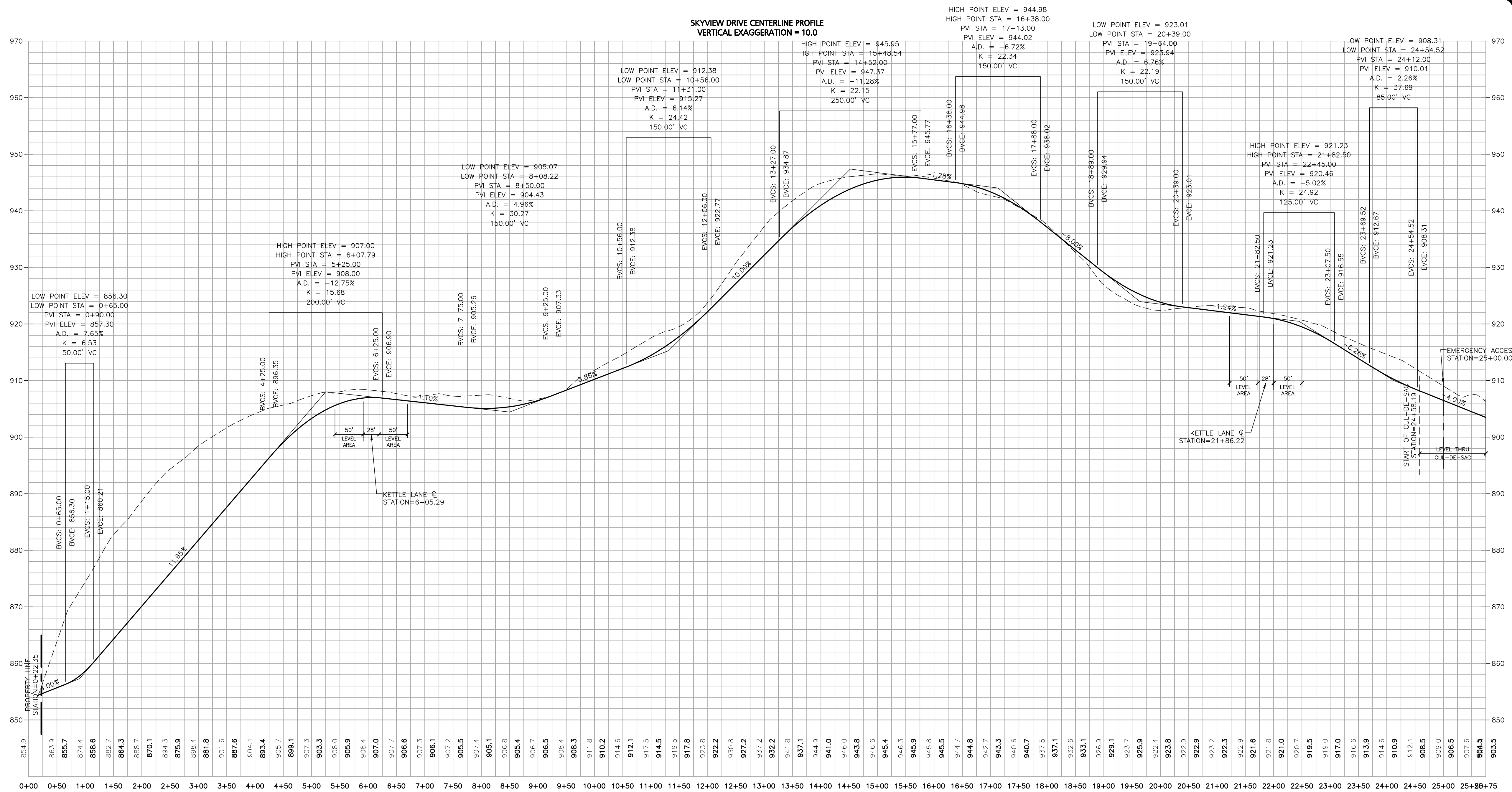
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DRAWING TITLE: UTILITY PLAN SHEET No. C-103C

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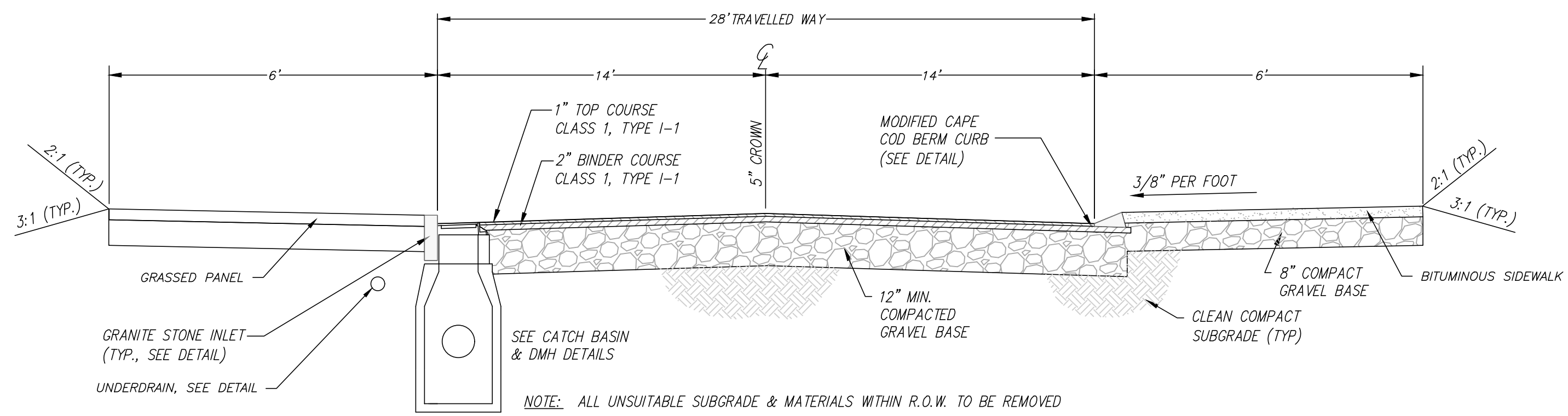
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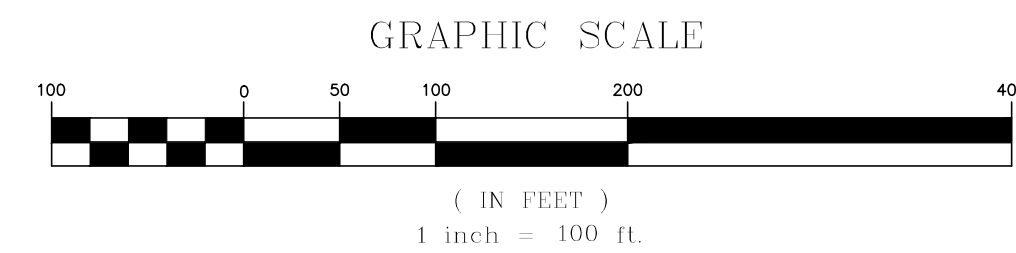


GENERAL NOTES

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STANDARD ROADWAY CROSS - SECTION
NOT TO SCALE



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

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TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 100' DWG.: C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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DRAWING TITLE: ROADWAY PROFILE SKYVIEW DRIVE

SHEET NO. C-201

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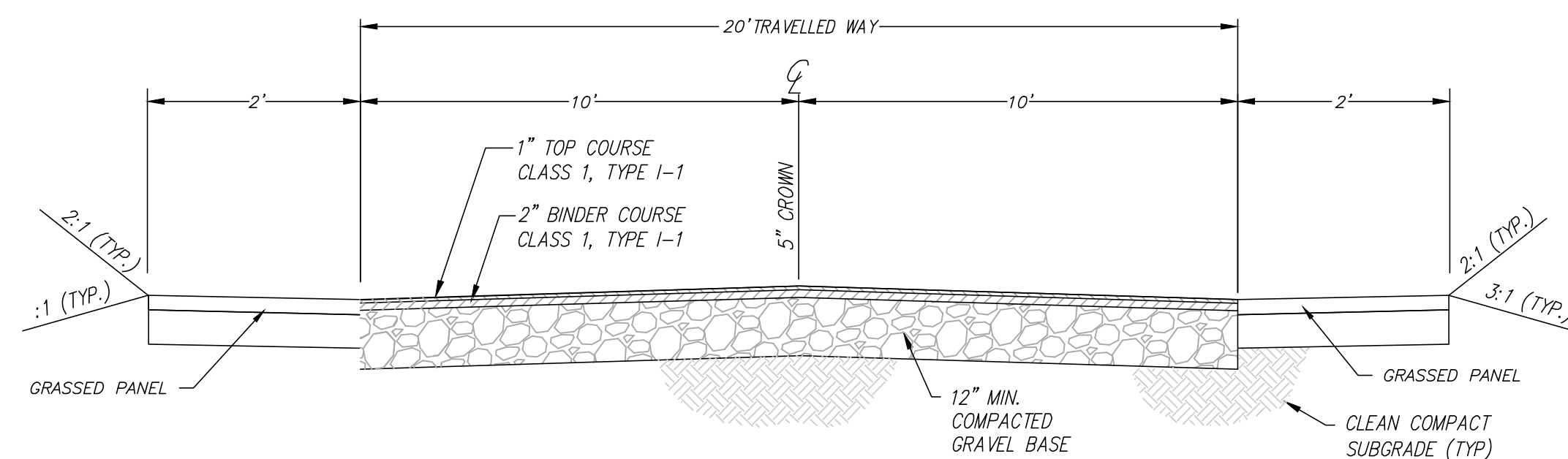
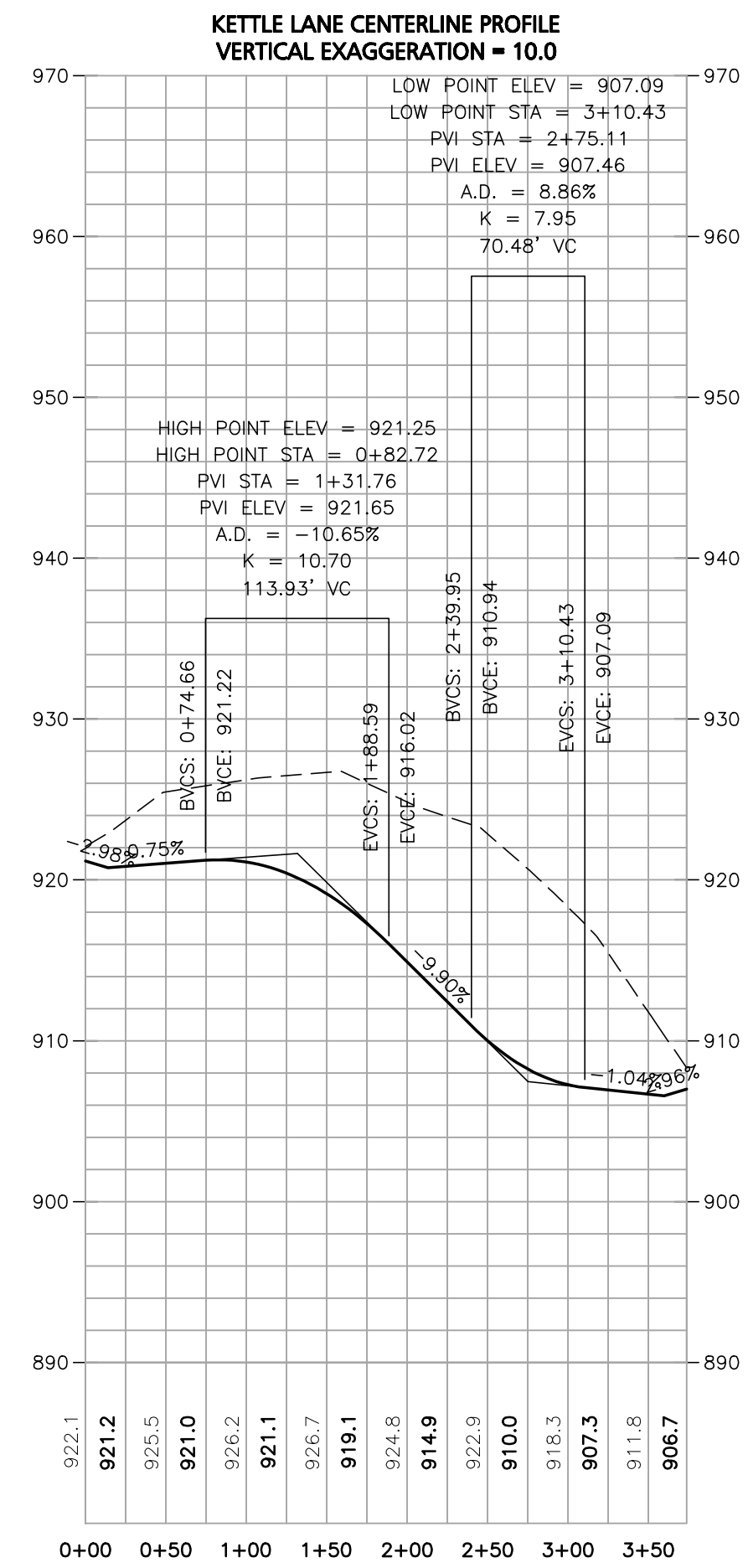
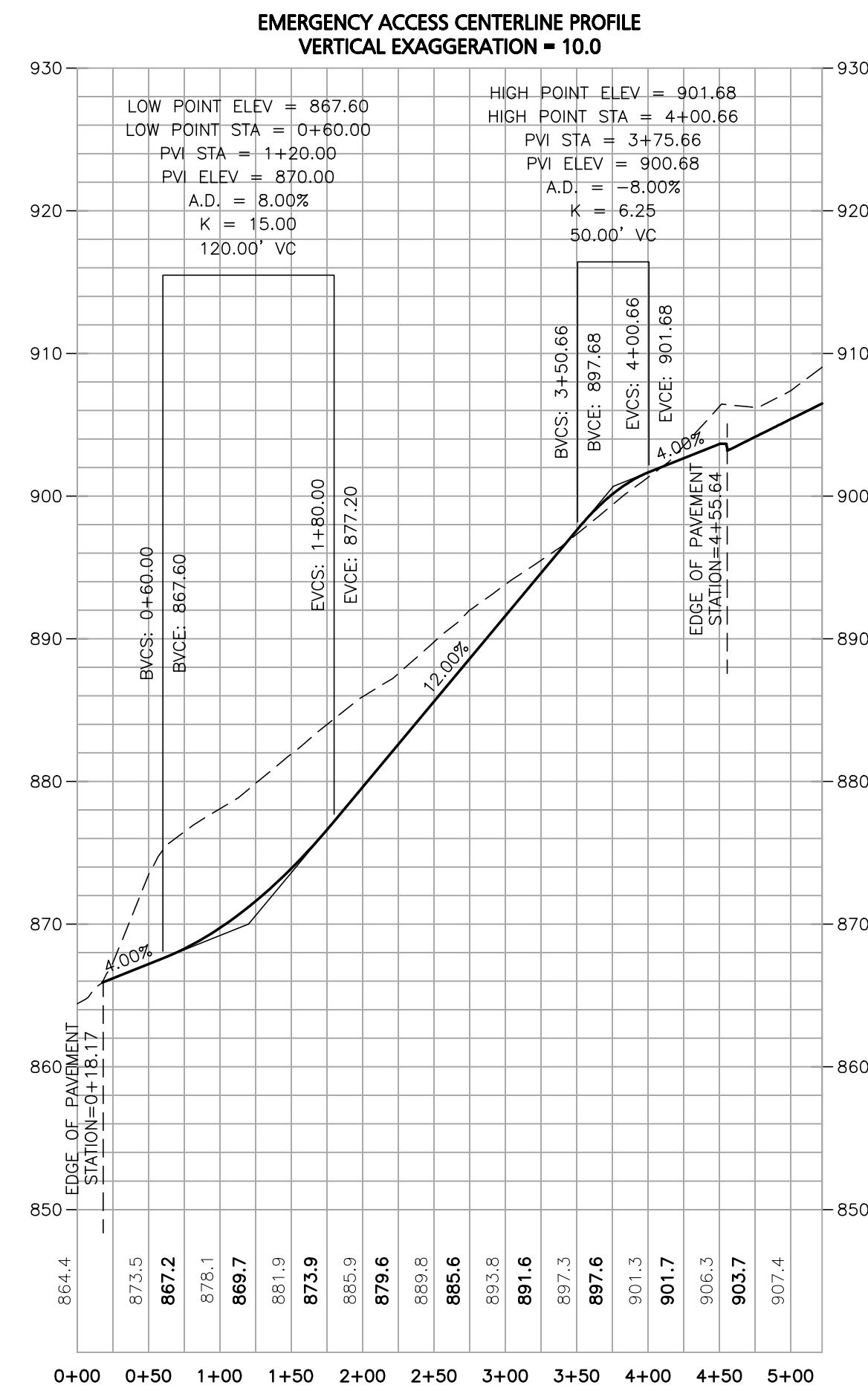
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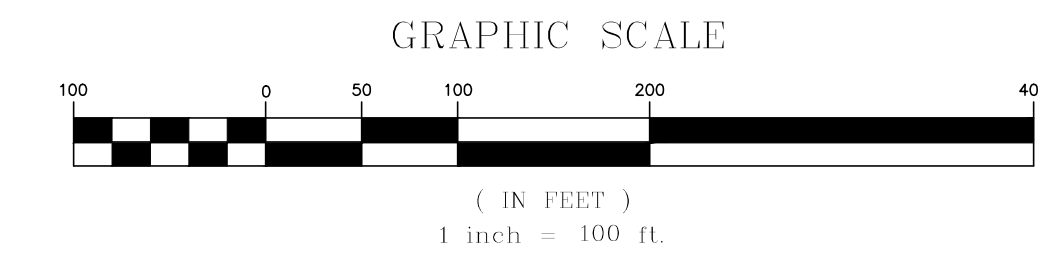
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NOTE: ALL UNSUITABLE SUBGRADE & MATERIALS WITHIN R.O.W. TO BE REMOVED



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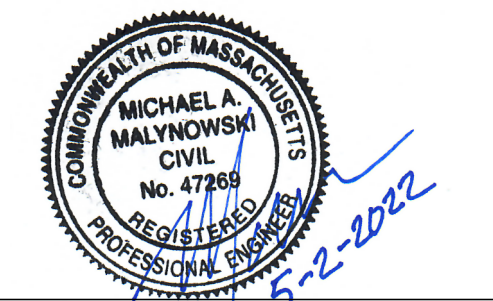
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TOWN CLERK - TOWN OF LEICESTER



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APPLICANT:
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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
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MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21
SCALE: 1" = 100' DWG.: C2889-01_Grading & Drainage
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

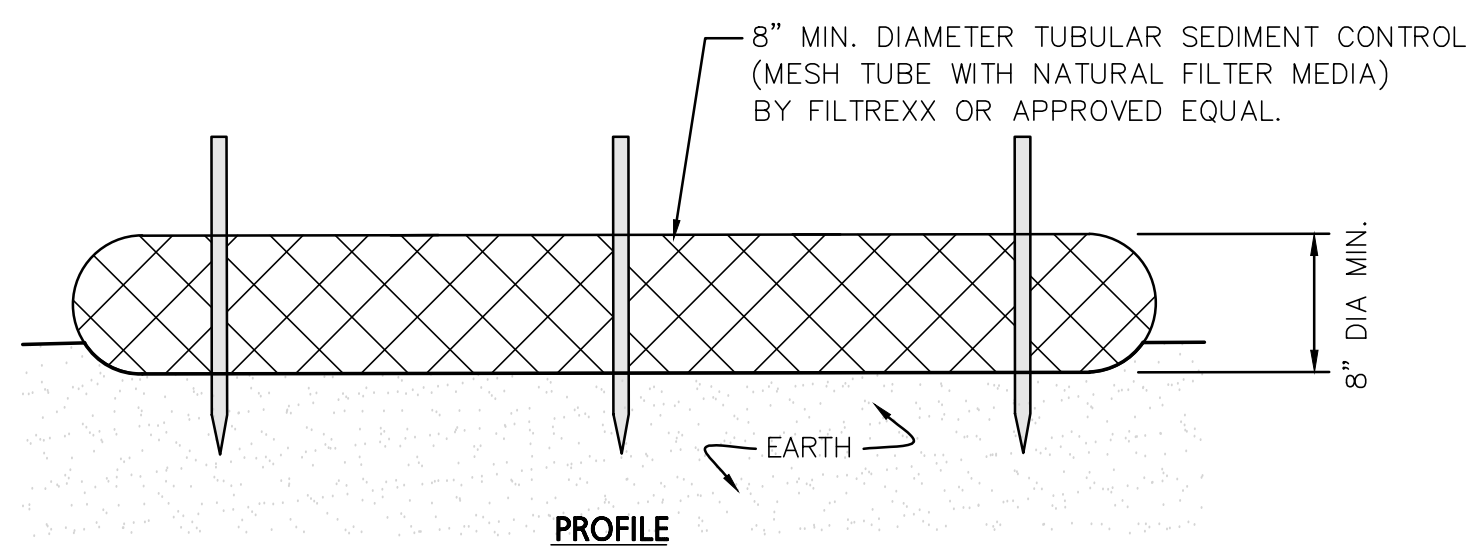
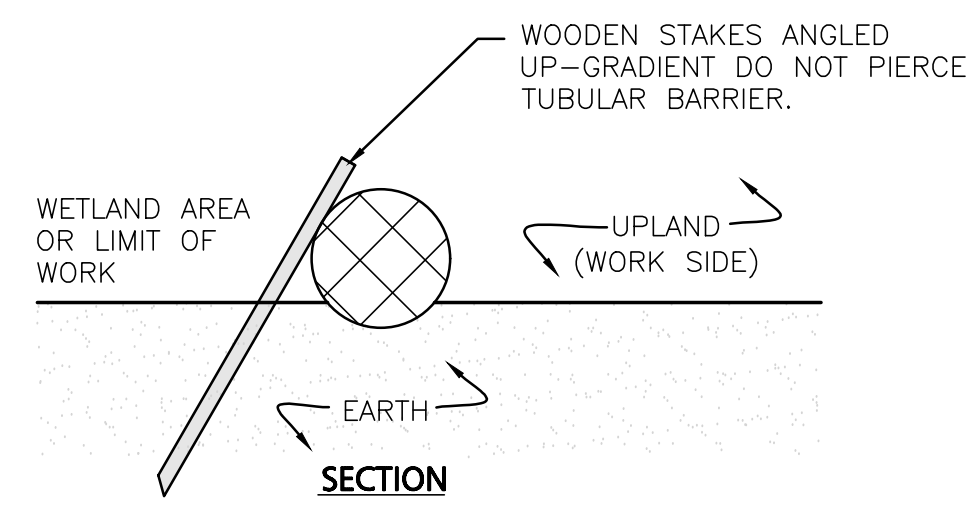
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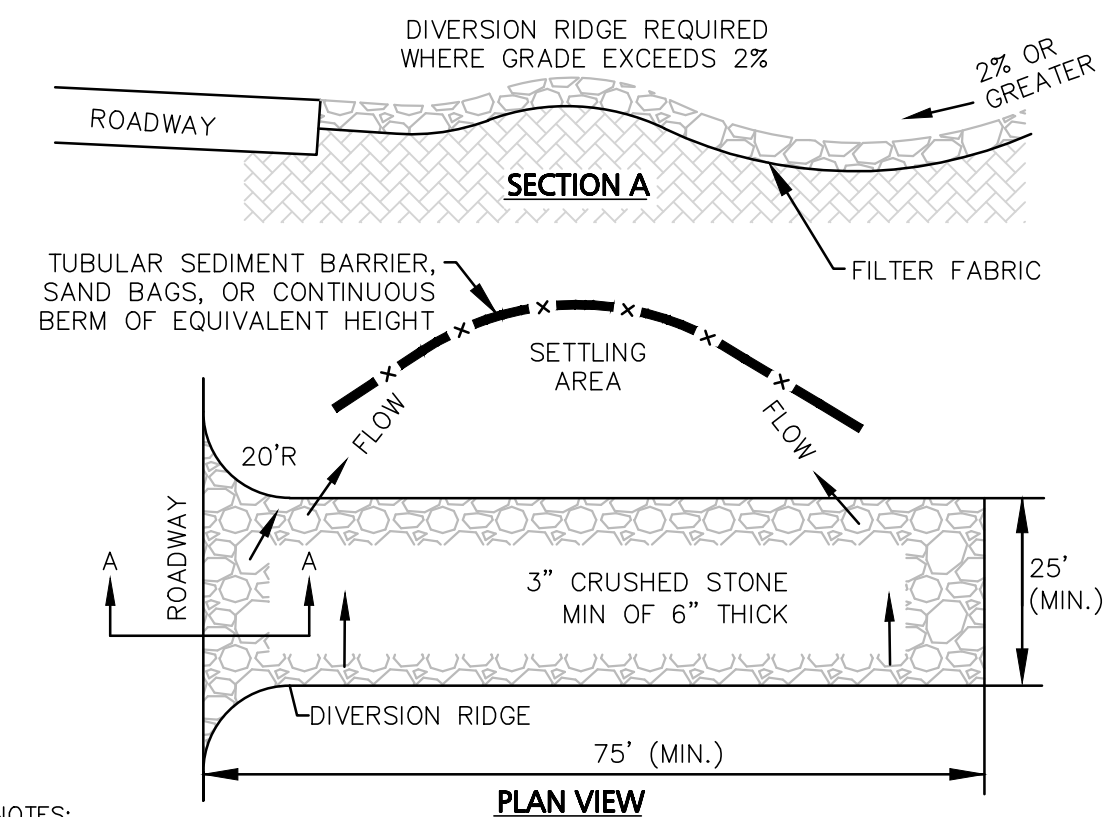
DRAWING TITLE:
ROADWAY PROFILES
KETTLE LANE &
EMERGENCY ACCESS

SHEET No.
C-202
24 OF 31



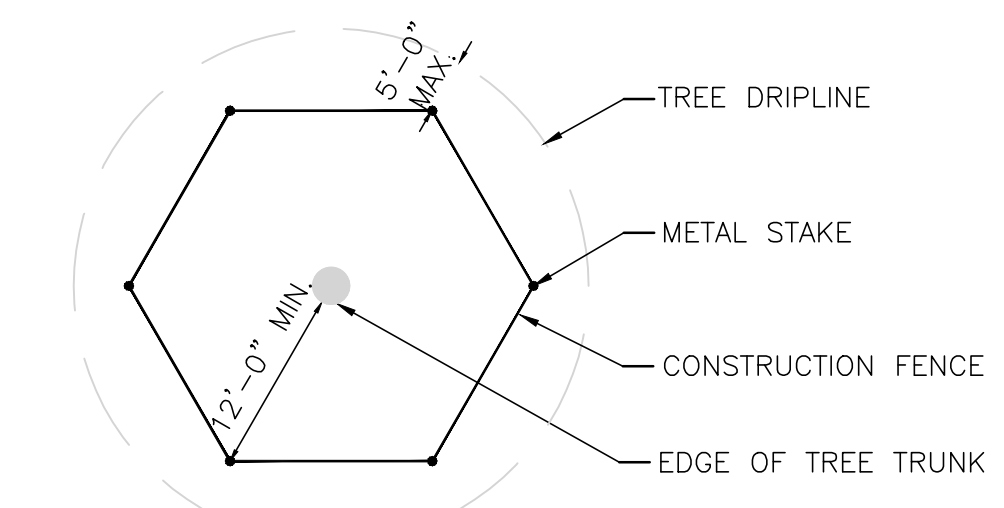
- NOTES:
- TUBULAR SEDIMENT CONTROL SHALL BE 8" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 - ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 - INSTALL WOODEN STAKES ANGLED UP-GRADE EVERY 8' ON CENTER.
 - OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 - THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 - WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 - AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE

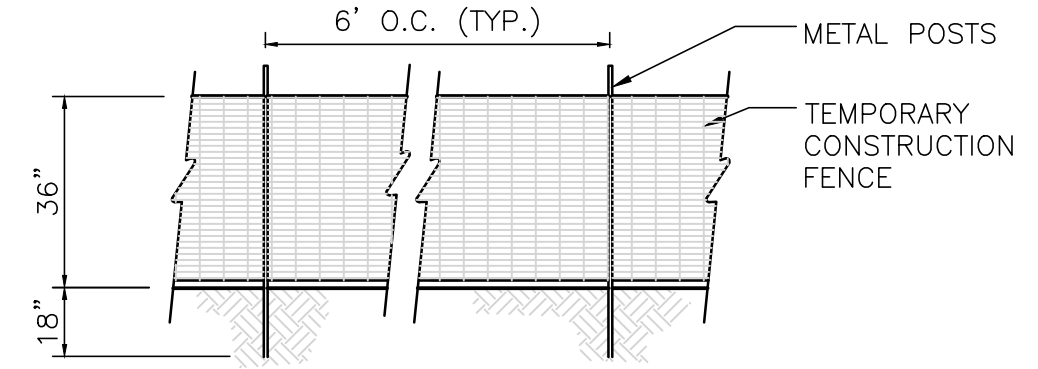


- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

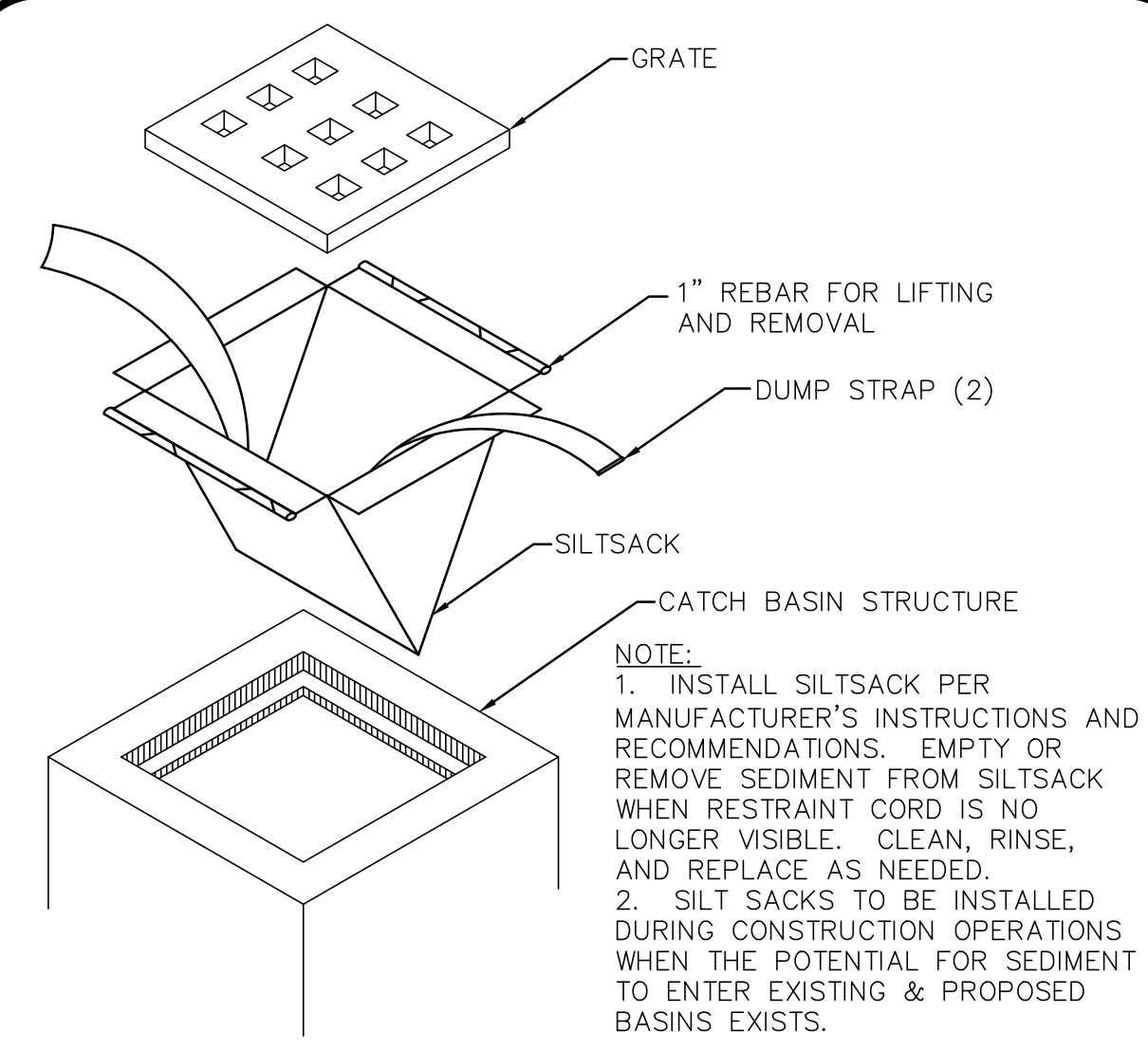
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



- NOTE:
- CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFI, CHARLOTTE, N.C. OR APPROVED EQUAL.
 - IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE TRUNKS AND DRIPLINE.

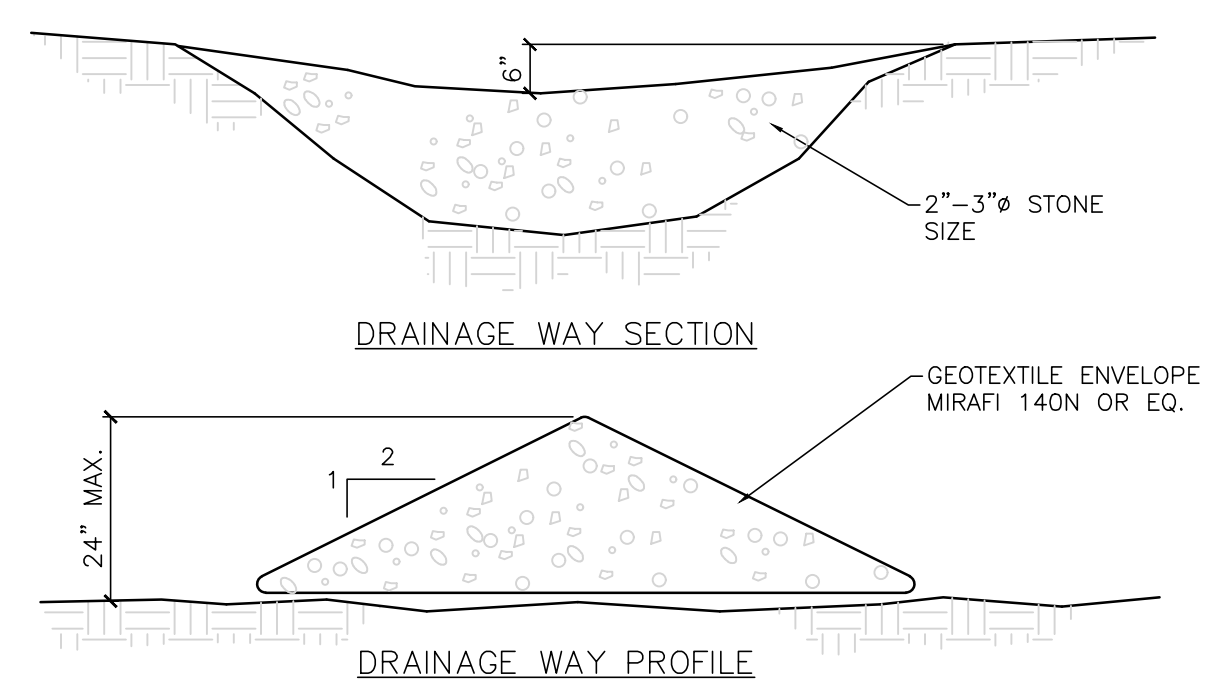


TEMP. CONST. FENCE/TREE PROTECTION
NOT TO SCALE

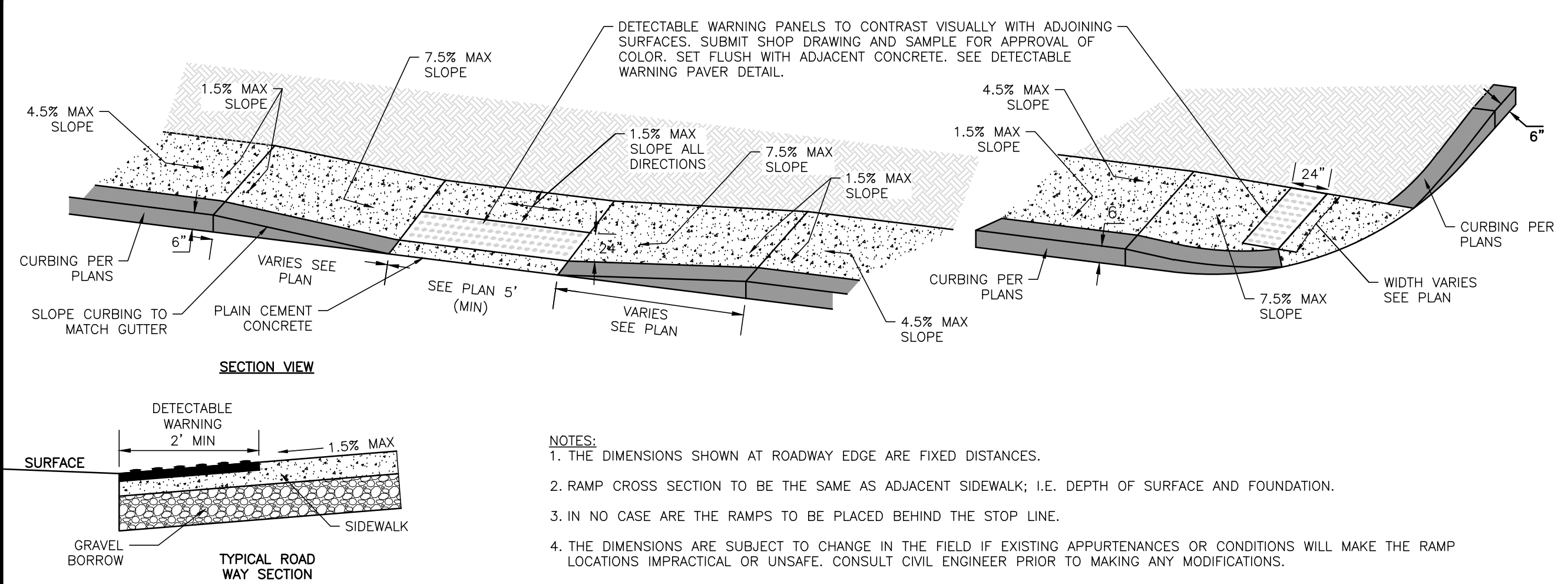


- NOTE:
- INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
 - SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

CATCH BASIN INLET PROTECTION
NOT TO SCALE

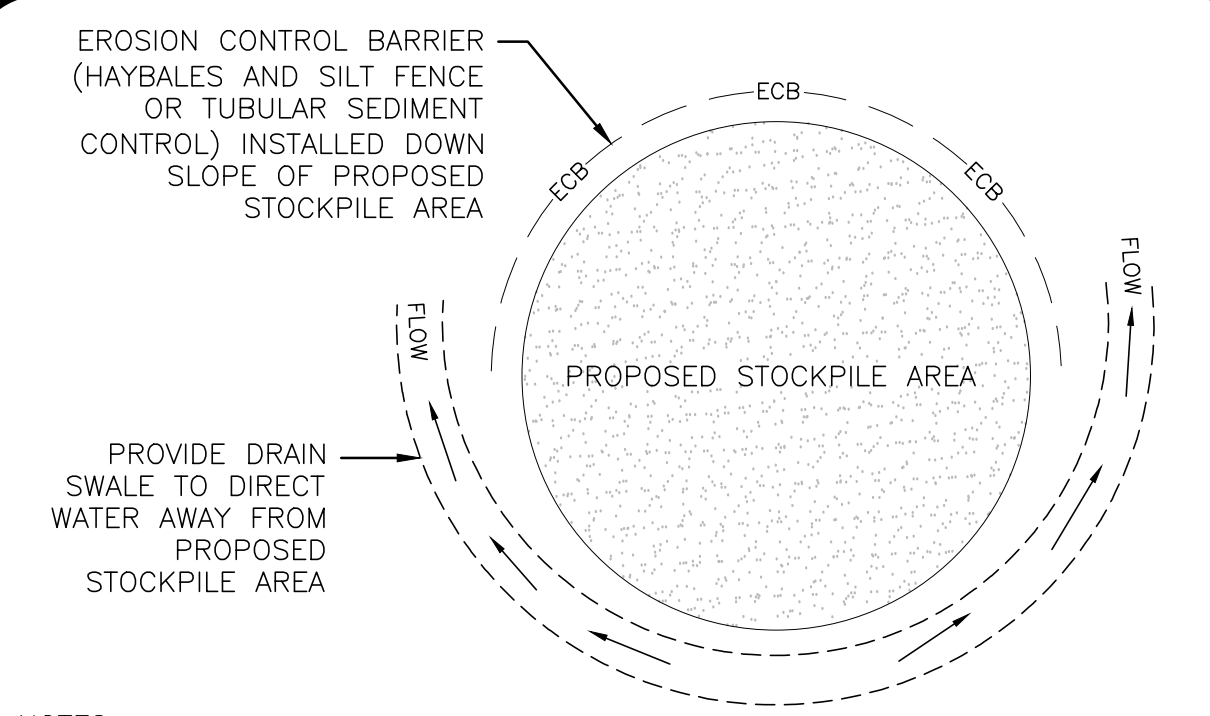


STONE CHECK DAMS
NOT TO SCALE



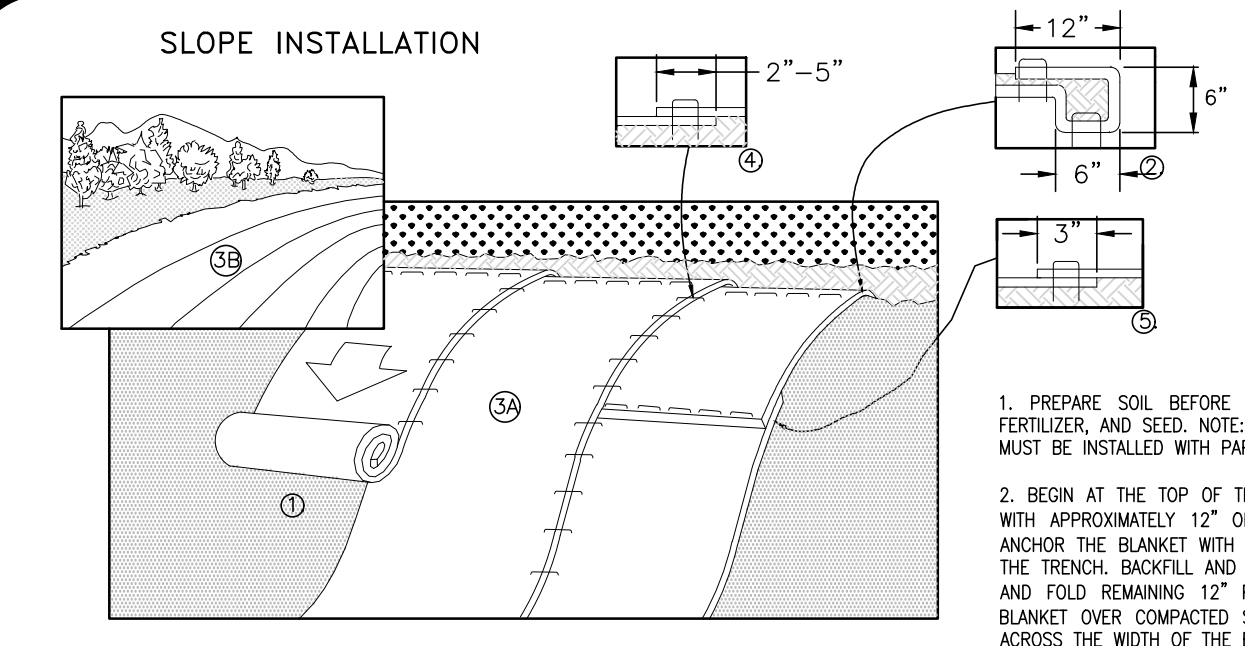
- NOTES:
- THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
 - RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
 - IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
 - THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.

ADA ACCESSIBLE CURB CUT AND TRANSITION
NOT TO SCALE



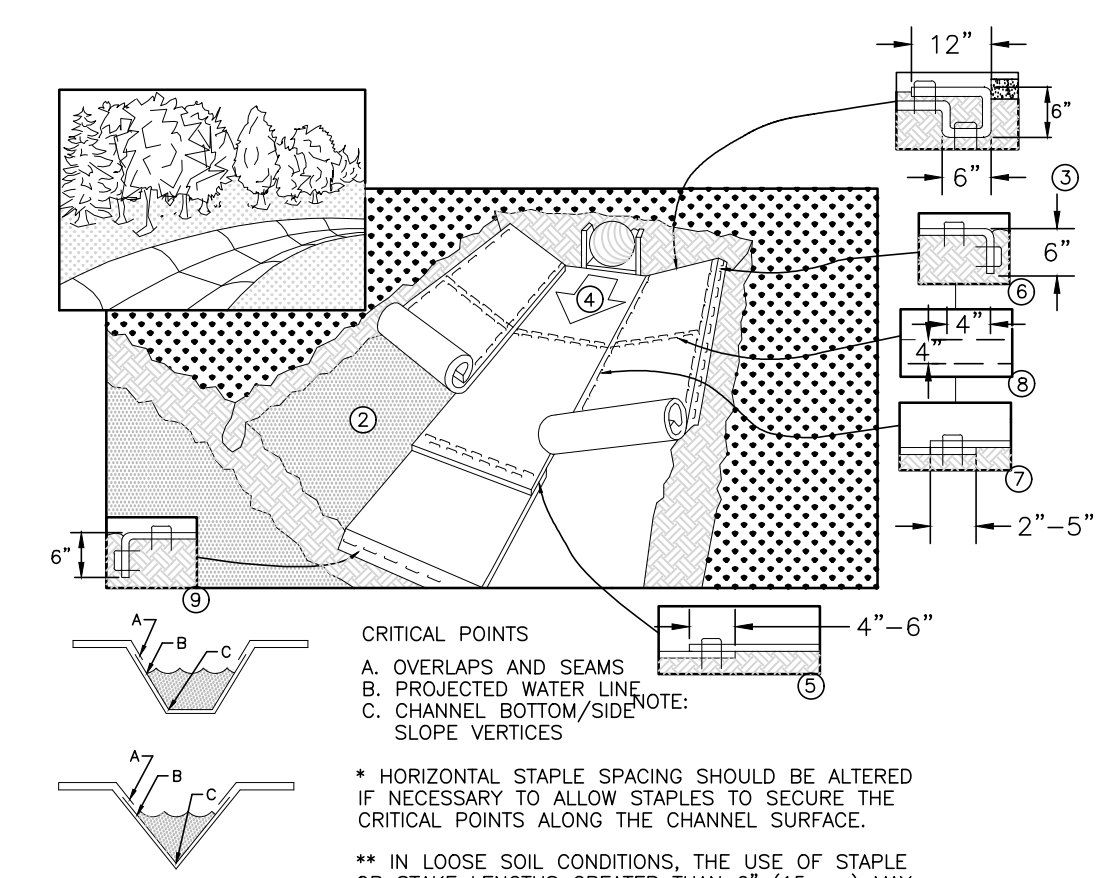
- NOTES:
- SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 - SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION
NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

SLOPE PROTECTION EROSION CONTROL MATTING
NOT TO SCALE



- CHANNEL INSTALLATION SPECIFICATIONS
- Install product in accordance with manufacturer's specifications.
 - Prepare soil before installing blankets, including any necessary application of lime, fertilizer, and seed. Note: when using cell-o-seed, do not seed prepared area. Cell-o-seed must be installed with the paper side down.
 - Begin at the top of the channel by anchoring the blanket in a 6" deep x 6" wide trench with approximately 12" of blanket extended beyond the up-slope portion of the trench. Anchor the blanket with a row of staples/stakes approximately 12" apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" portion of blanket over seed and compacted soil. Secure blanket over compacted soil with a row of staples/stakes spaced approximately 12" apart across the width of the blanket.
 - Roll center blanket in direction of water flow in bottom of channel. Blankets will unroll with appropriate side against the soil surface. All blankets must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using optional dot system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
 - Place consecutive blankets end over end (shingle style) with a 4"-6" overlap. Use a double row of staples staggered 4" apart and 4"(10") on center to secure blankets.
 - Full-length edge of blankets at top of side slopes must be anchored with a row of staples/stakes approximately 12" apart in a 6" deep x 6" wide trench. Backfill and compact the trench after stapling.
 - Adjacent blankets must be overlapped approximately 2"-5" (depending on blanket type) and stapled to ensure proper seam alignment, place the edge of the overlapping blanket (blanket being installed on top) even with the colored seam stitch on the blanket being overlapped.
 - In high flow channel applications, a stone check slot is recommended at 30' to 40' intervals. Use a double row of staples staggered 4" apart and 4" on center over entire width of channel.
- CRITICAL POINTS
- A. OVERLAPS AND SEAMS
 - B. PROJECTED WATER LINE
 - C. CHANNEL BOTTOM/SIDE SLOPE VERTICES
- * HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- ** IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

ROLLED EROSION CONTROL MATTING
NOT TO SCALE

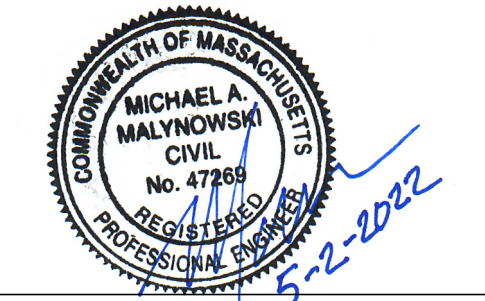
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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7	04-14-22	MISC. REVISIONS PER TOWN COMMENTS
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4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21
SCALE: AS SHOWN DWG.: C-2889-01_Details
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

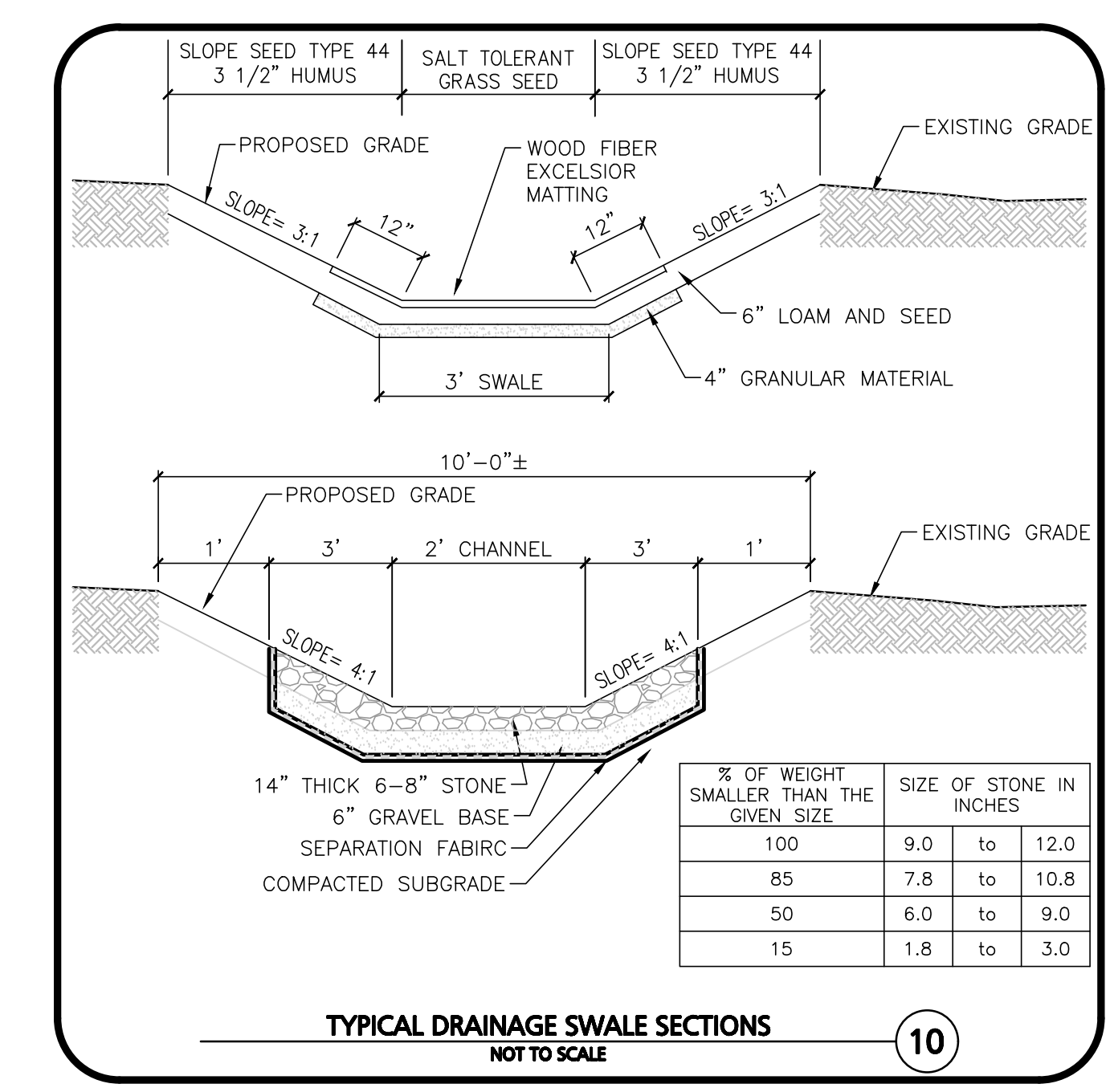
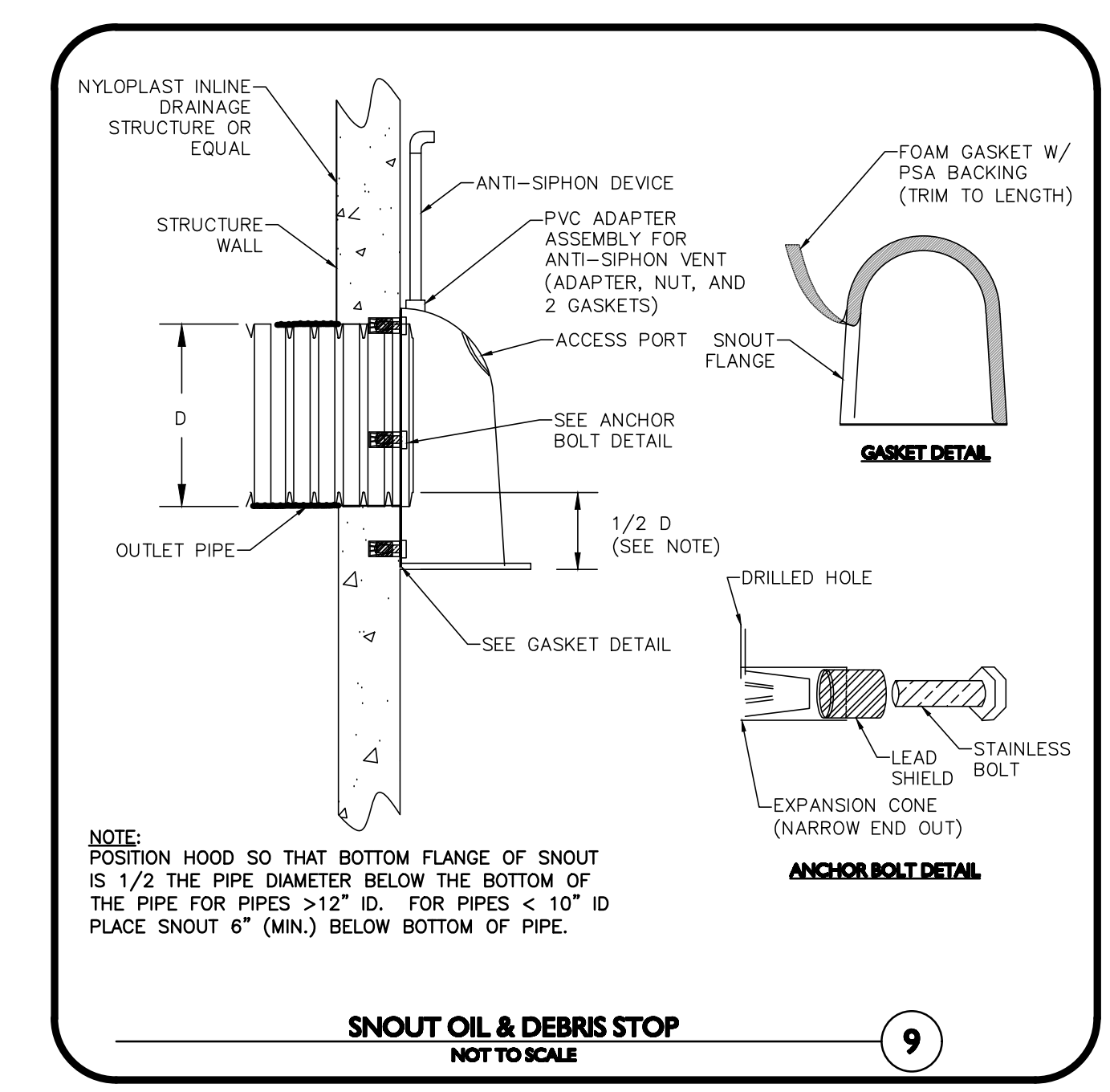
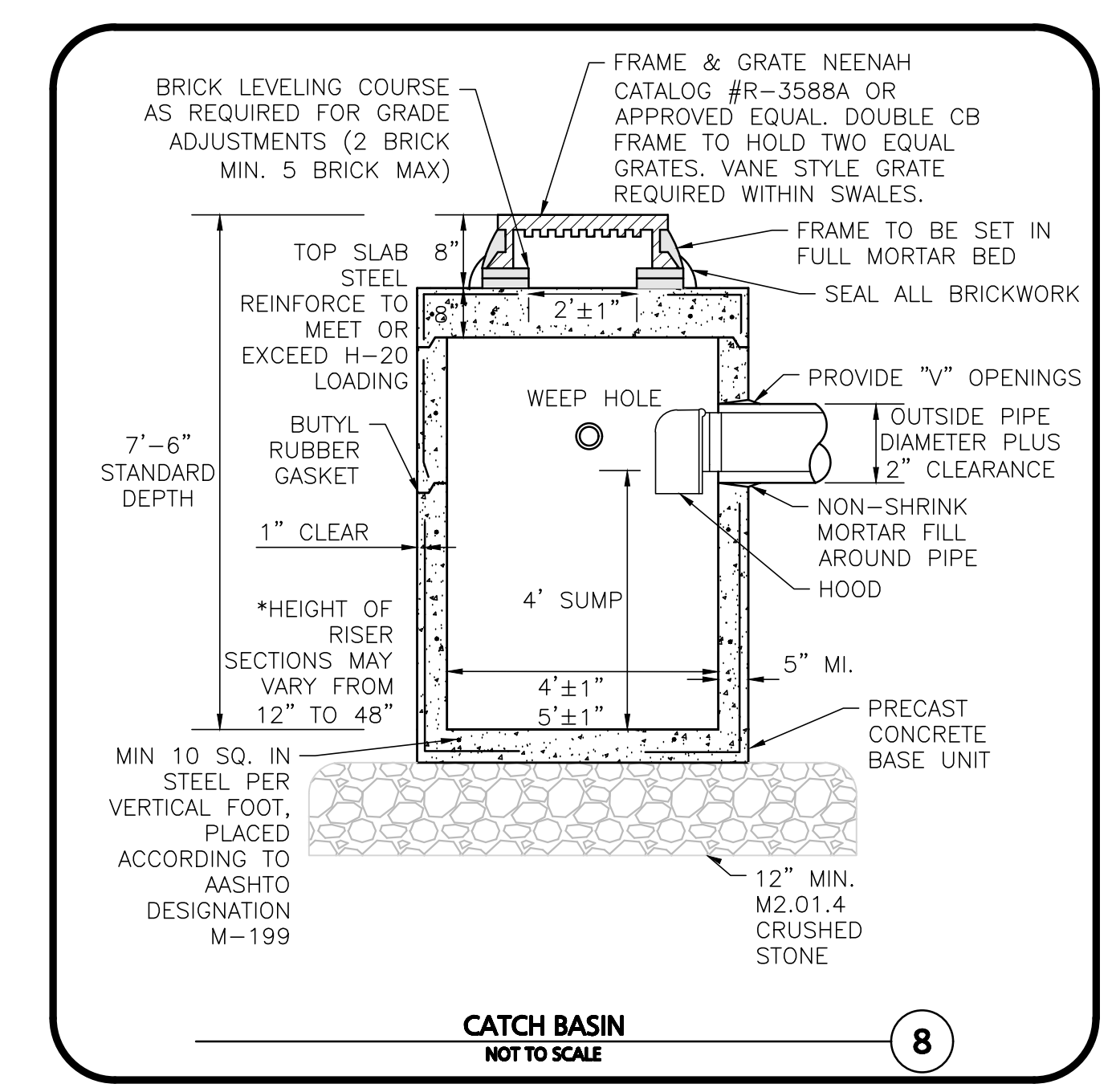
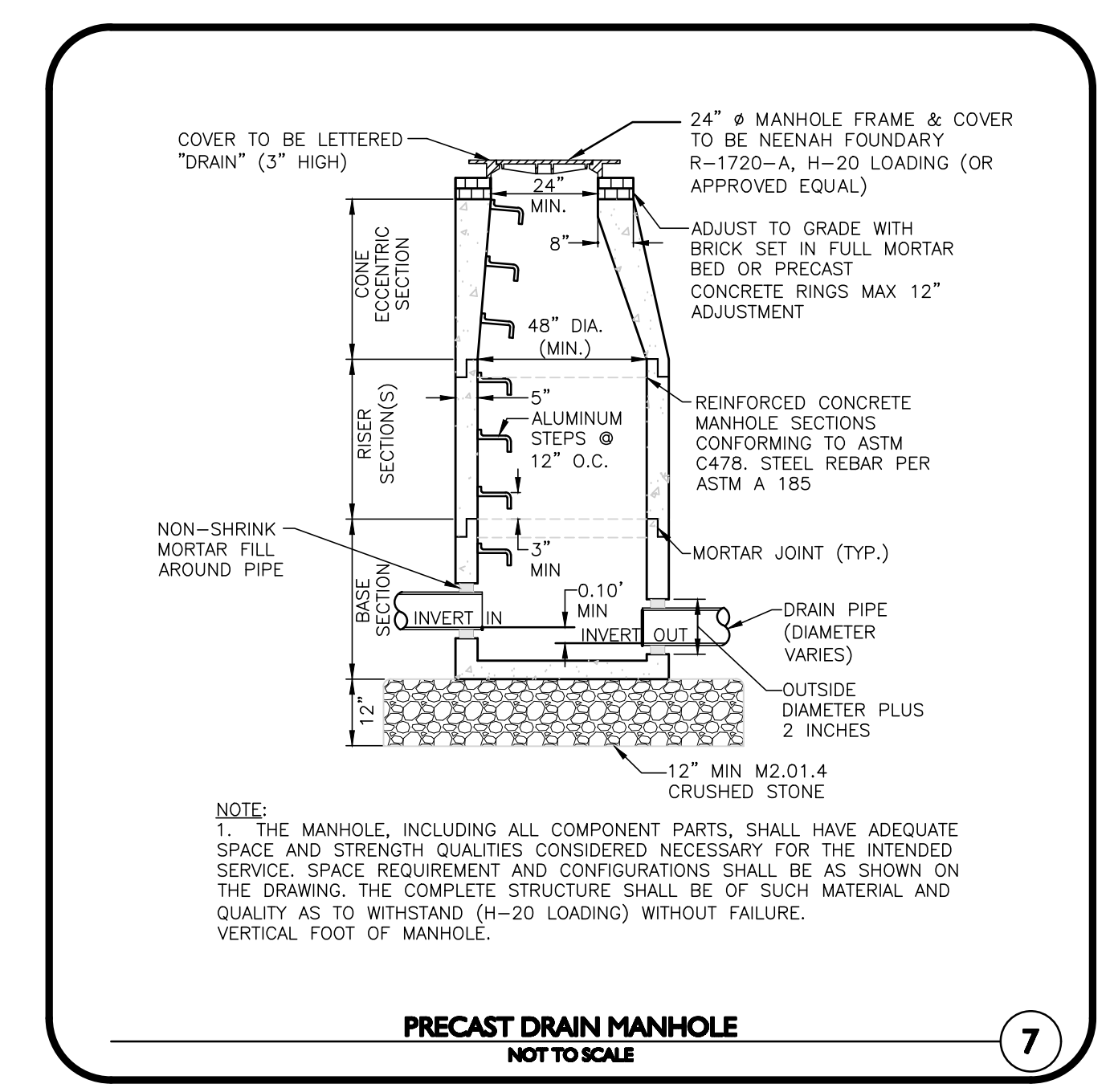
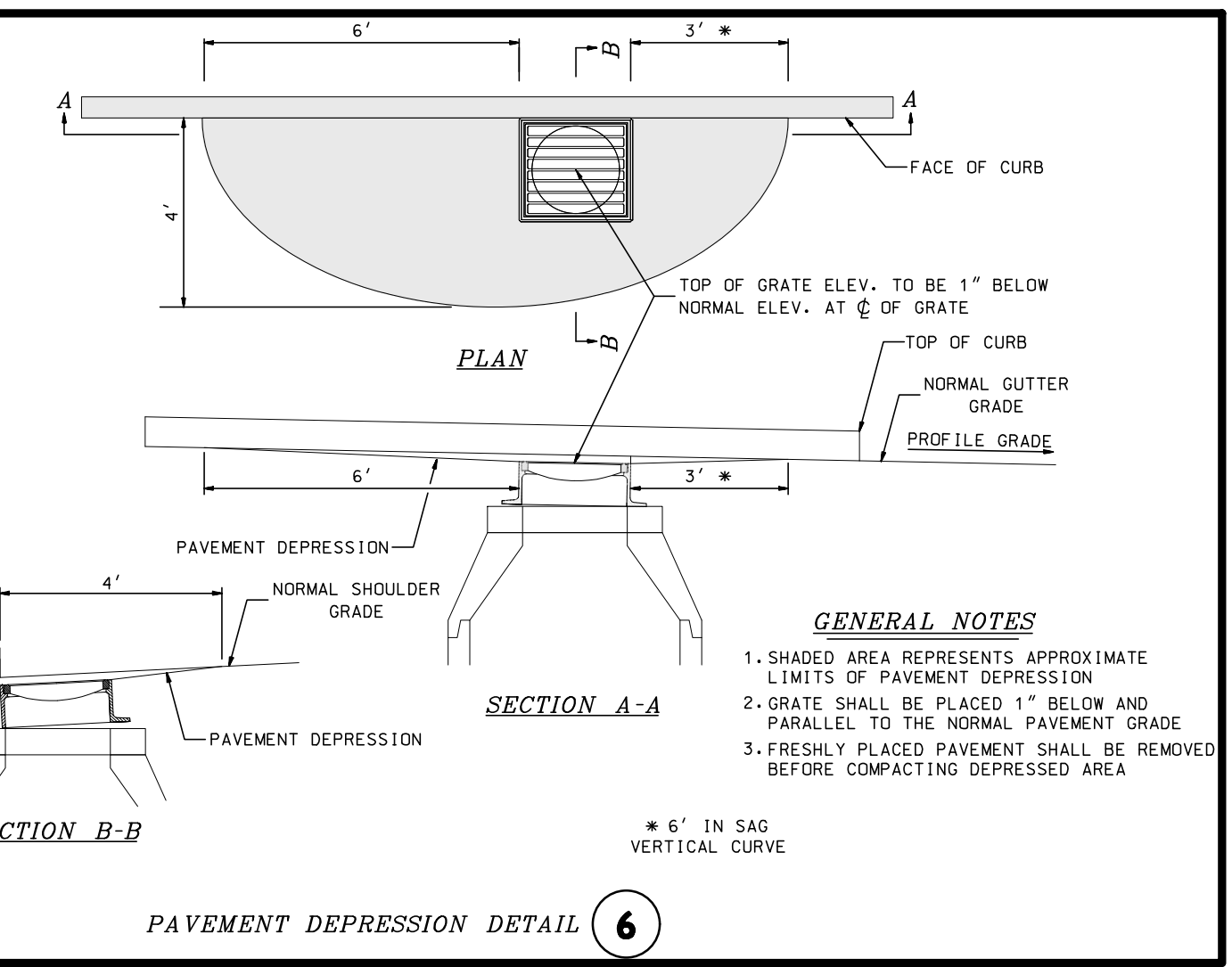
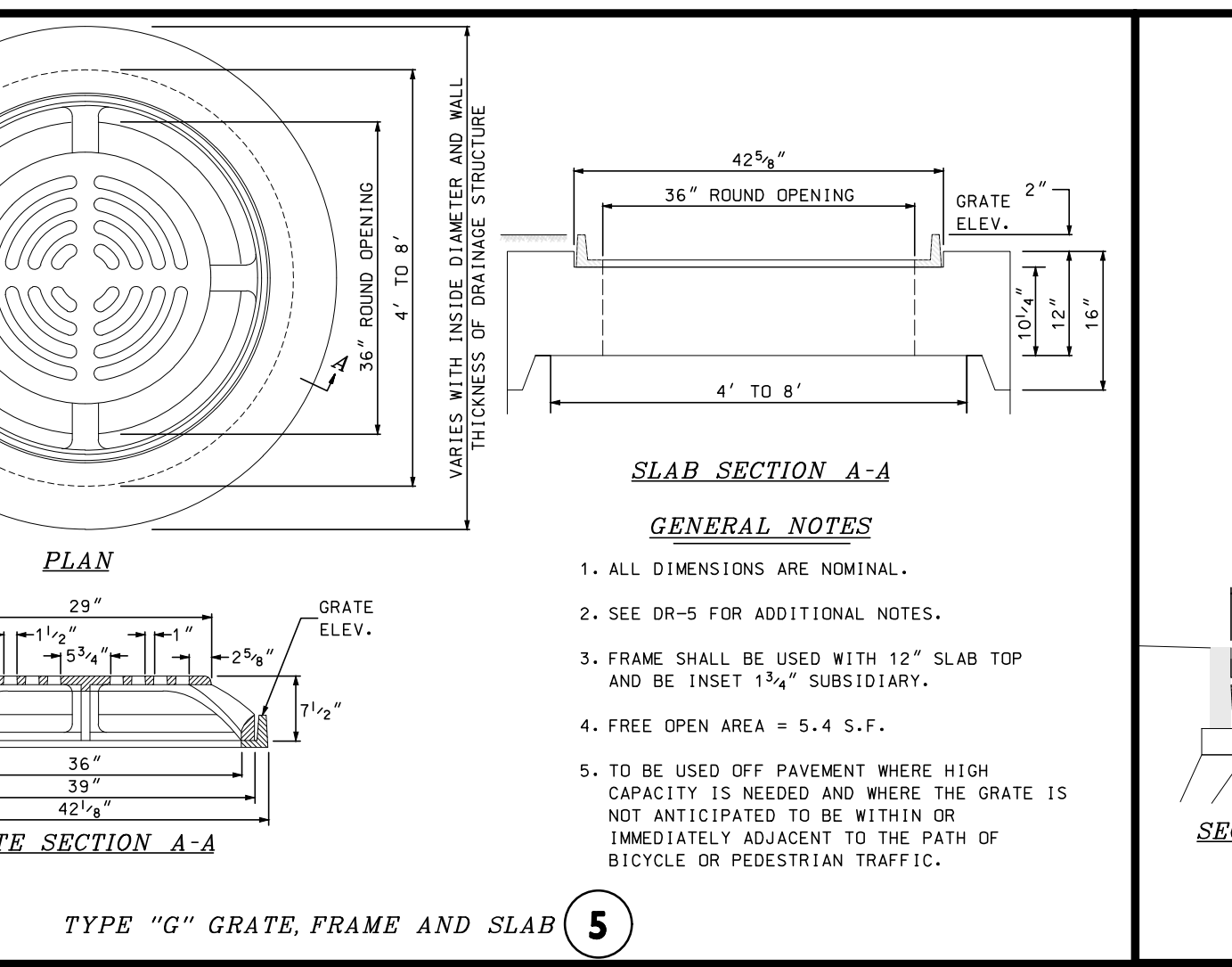
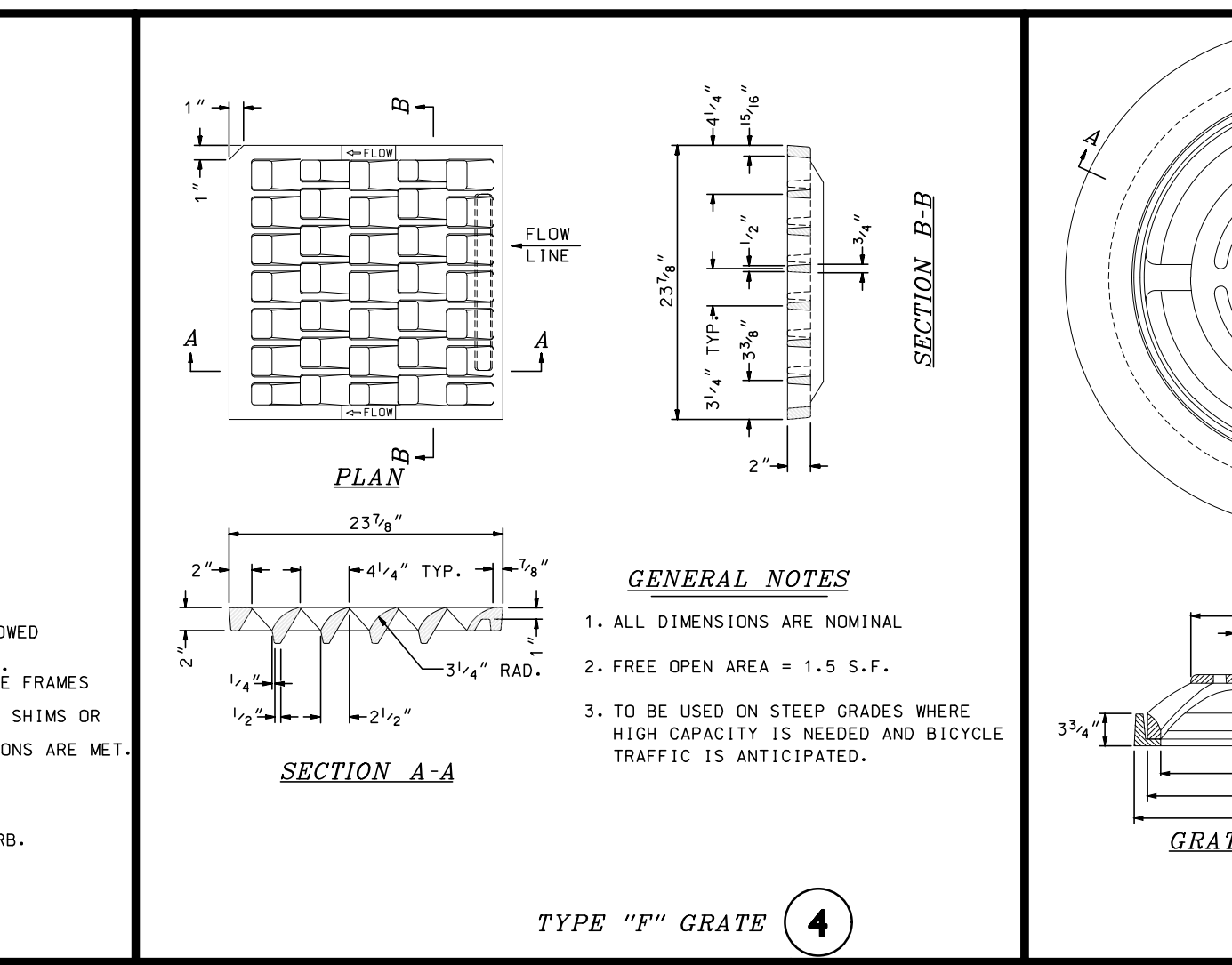
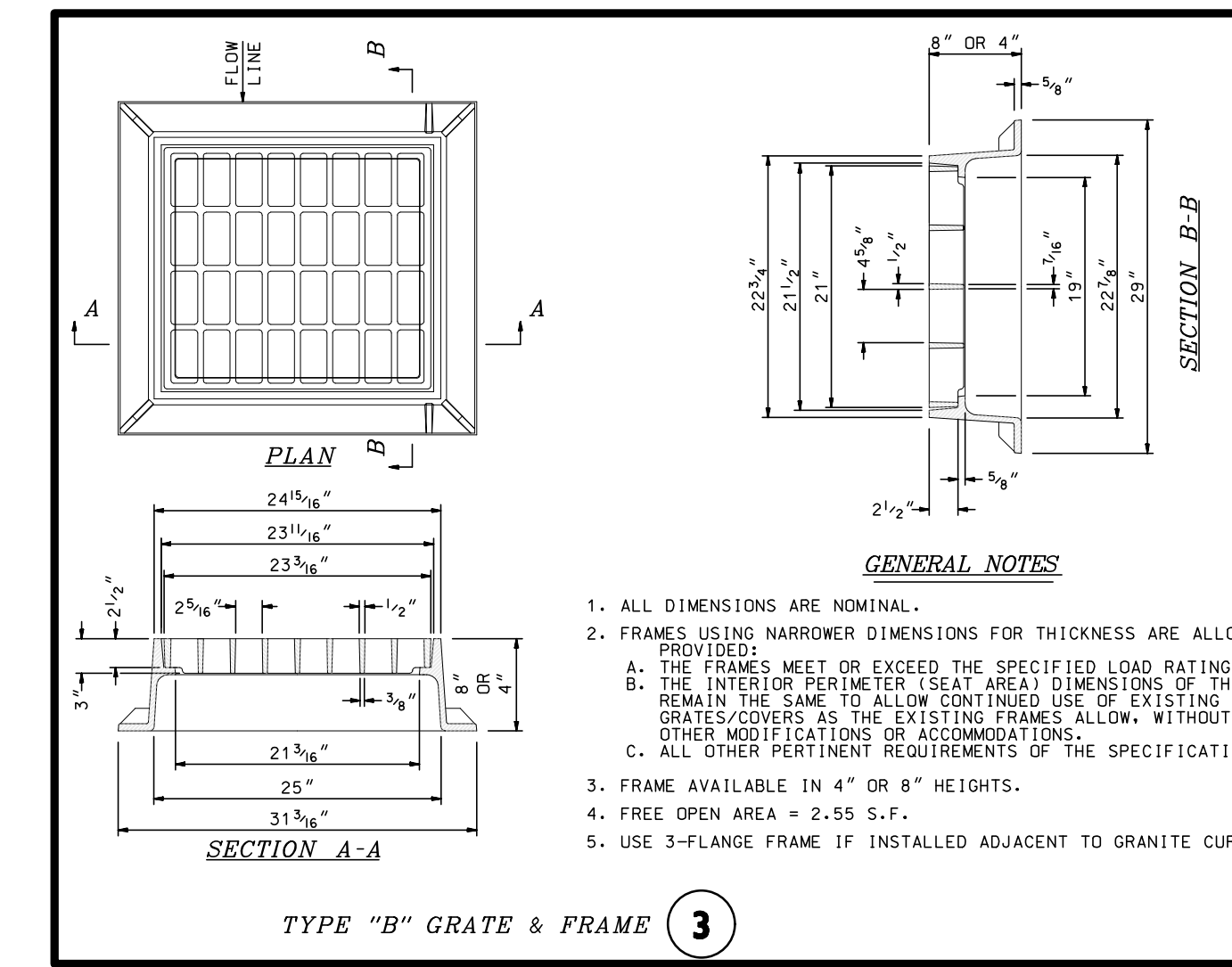
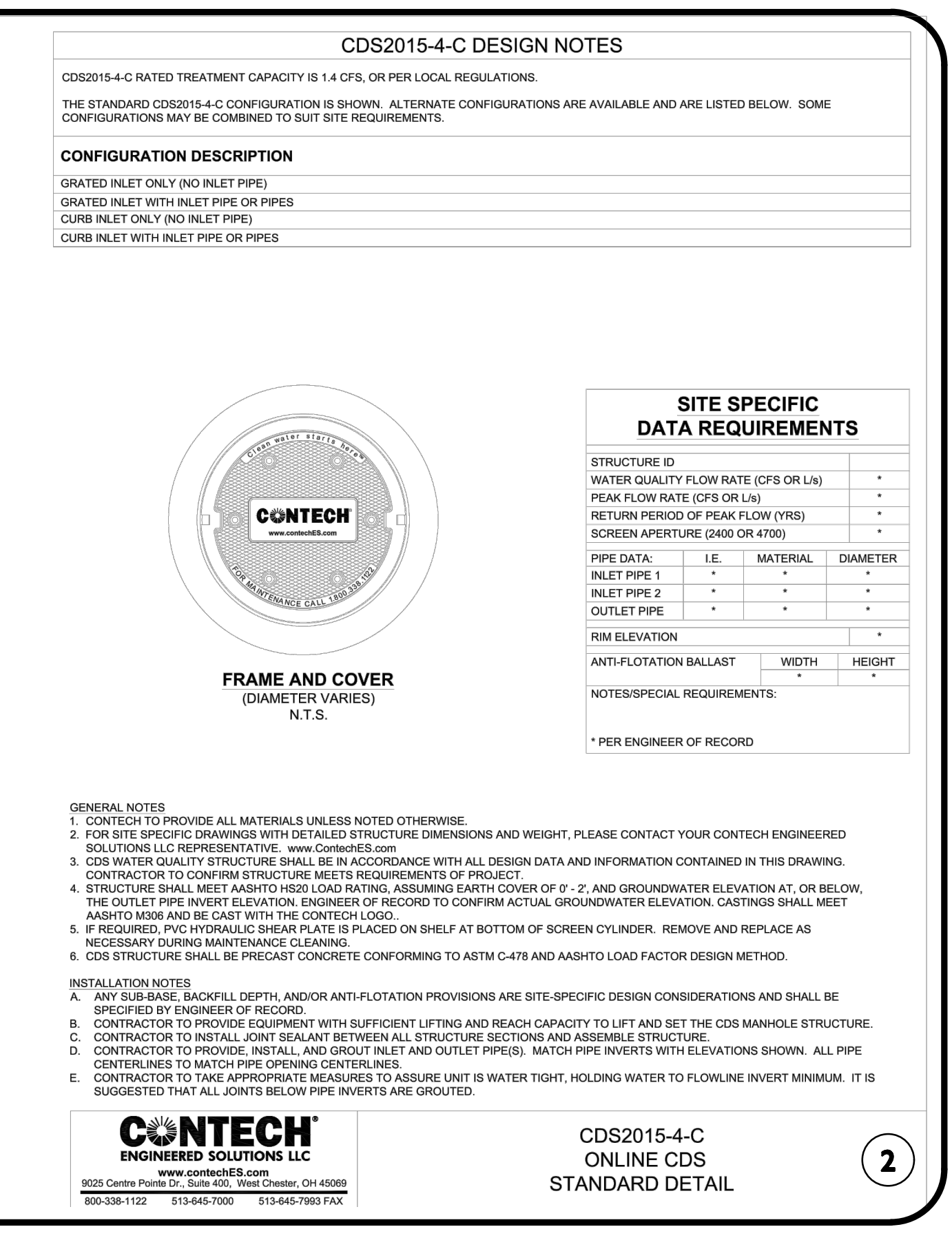
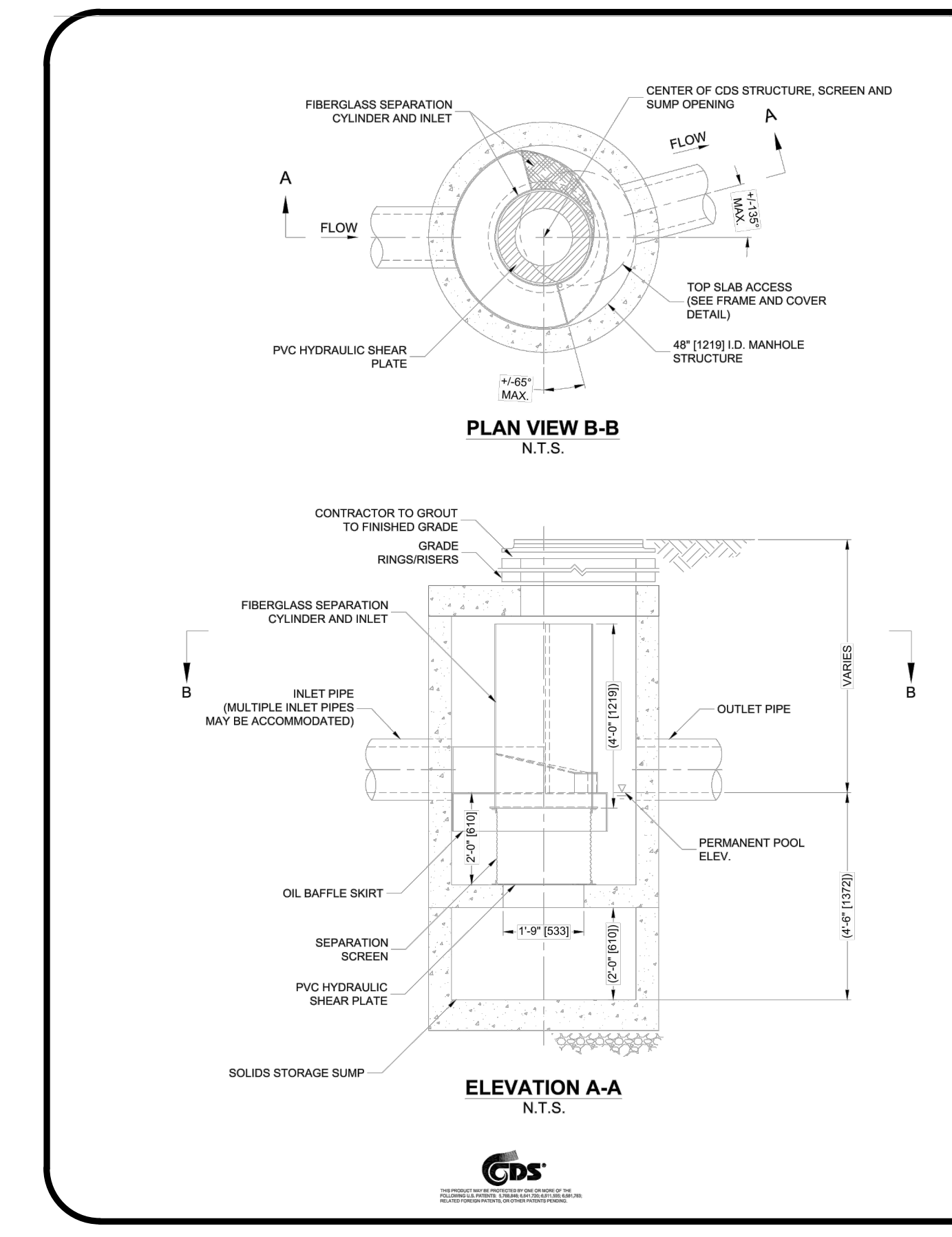
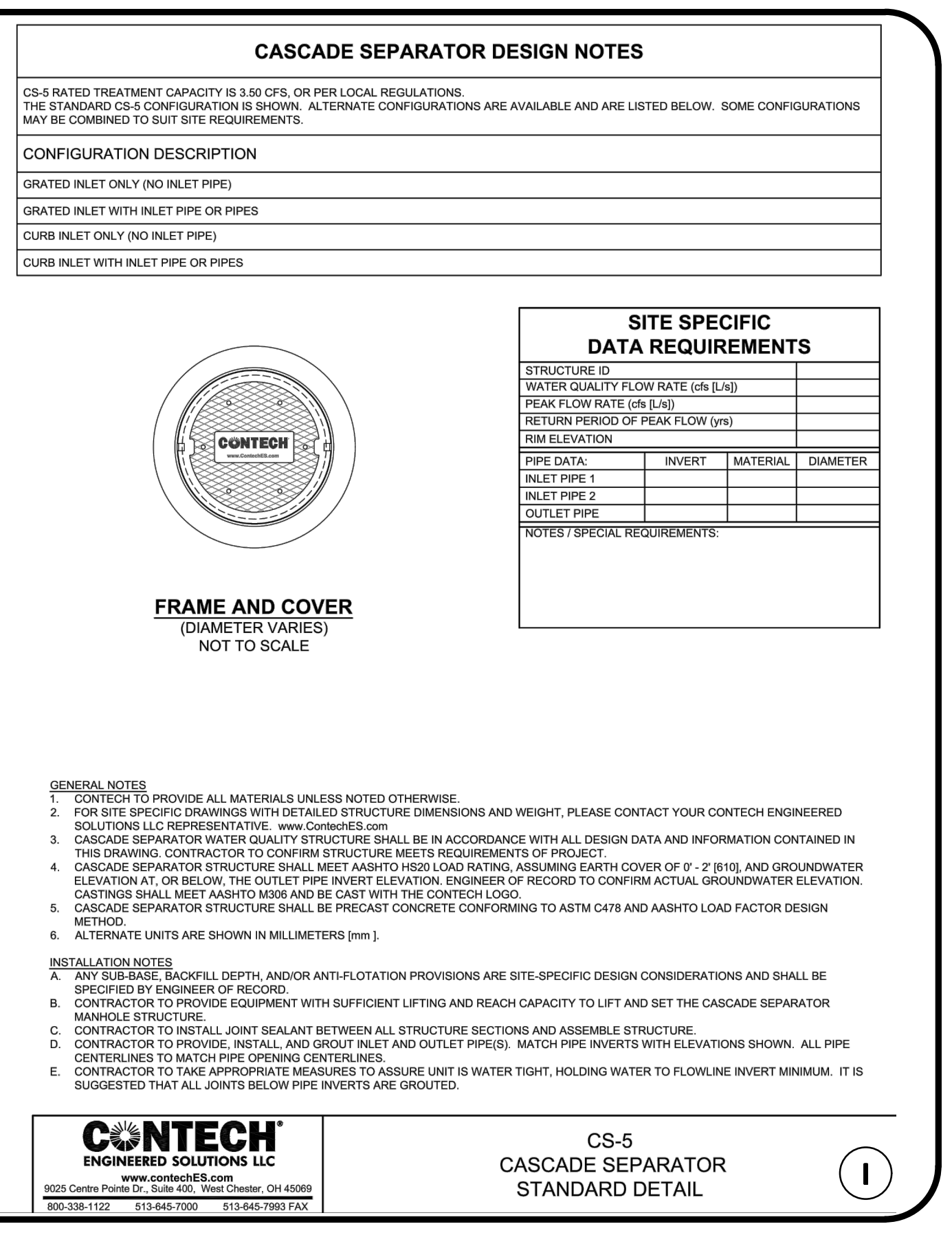
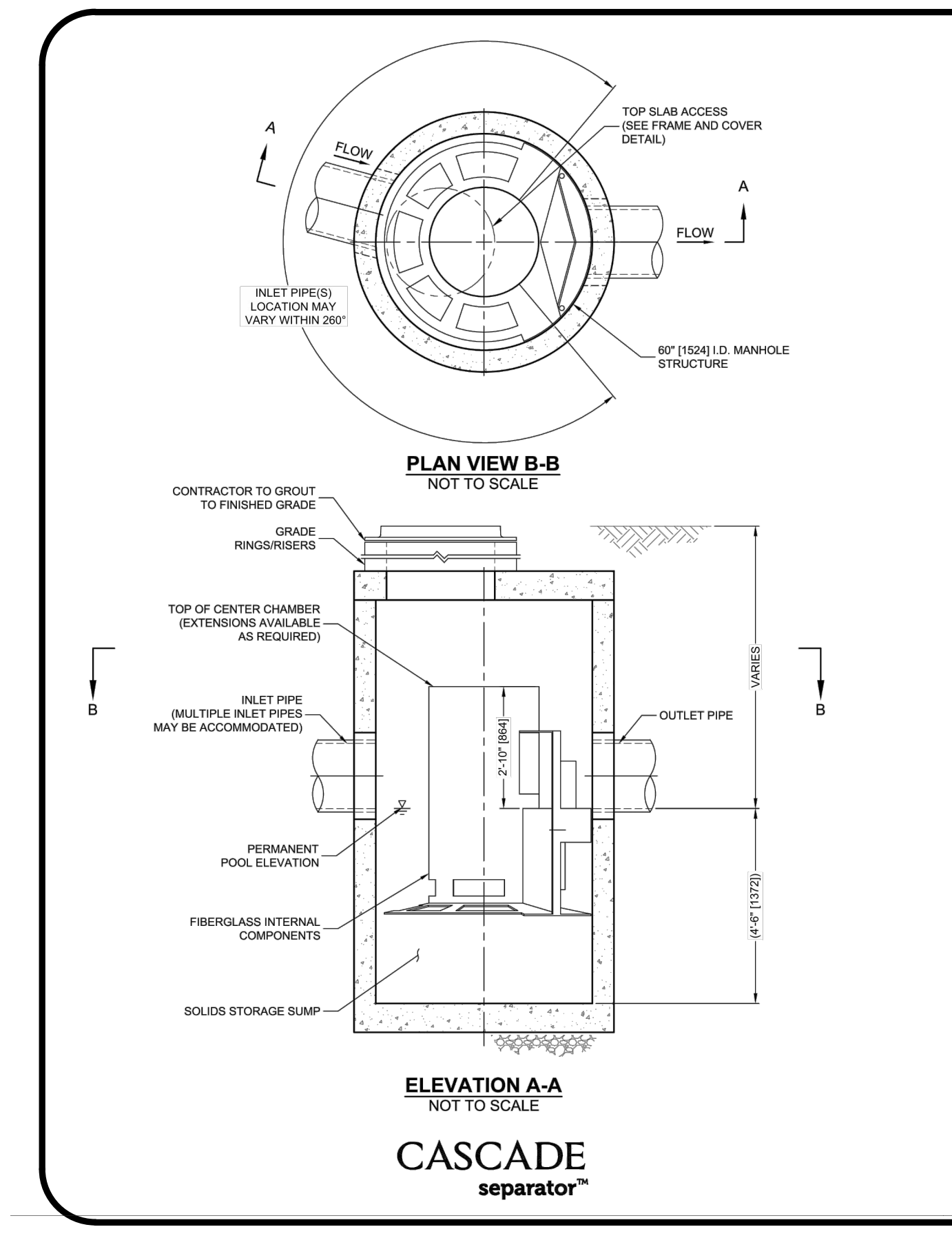
ALLEN & MAJOR ASSOCIATES, INC.
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environmental consulting & landscape architecture
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TEL: (781) 935-6889
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TOWN CLERK - TOWN OF LEICESTER

CONTECH ENGINEERED SOLUTIONS LLC
 9025 Centre Plains Dr., Suite 400, West Chester, OH 45389
 930-338-1122 930-645-7700 930-645-7993 FAX

CDS2015-4-C ONLINE CDS STANDARD DETAIL

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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 ROCKVILLE CENTER, NY 11570

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SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
 MAIN STREET
 LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21
 SCALE: AS SHOWN DWG.: C-2889-01_Details

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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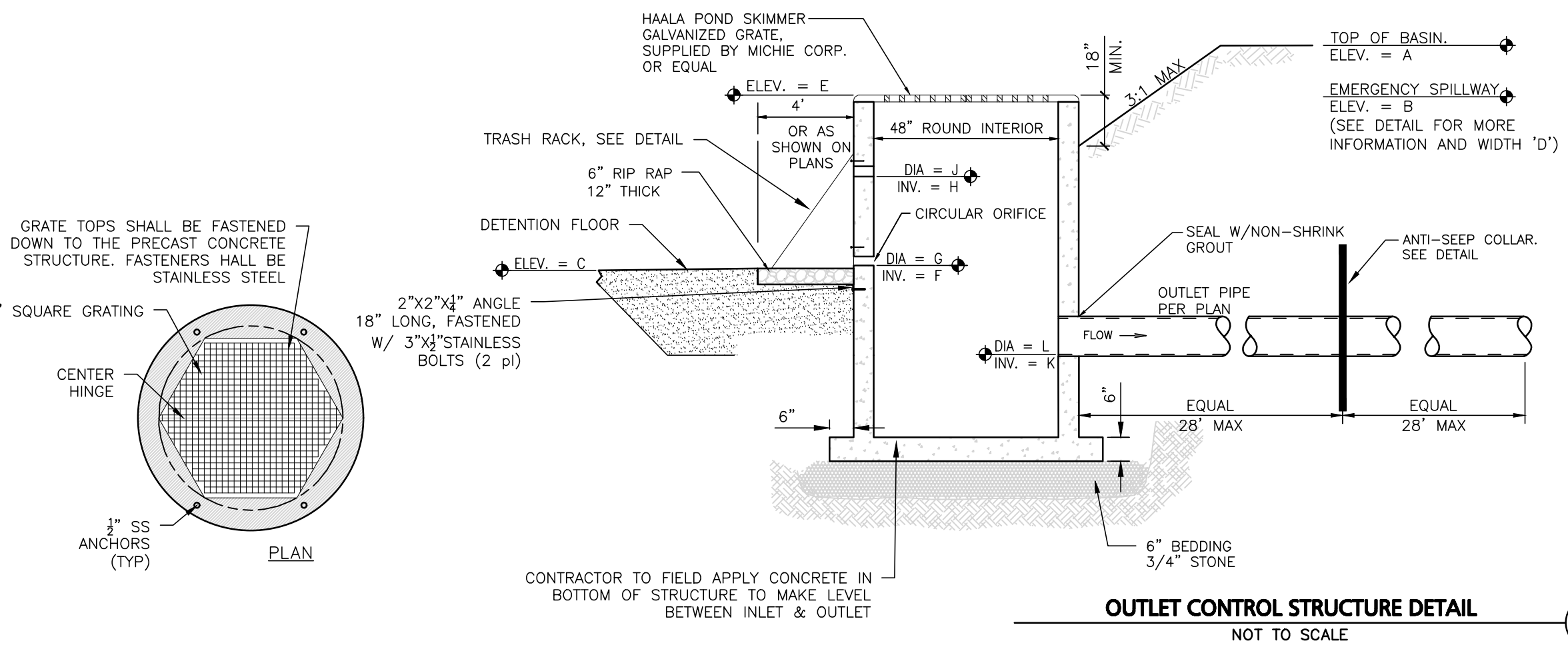
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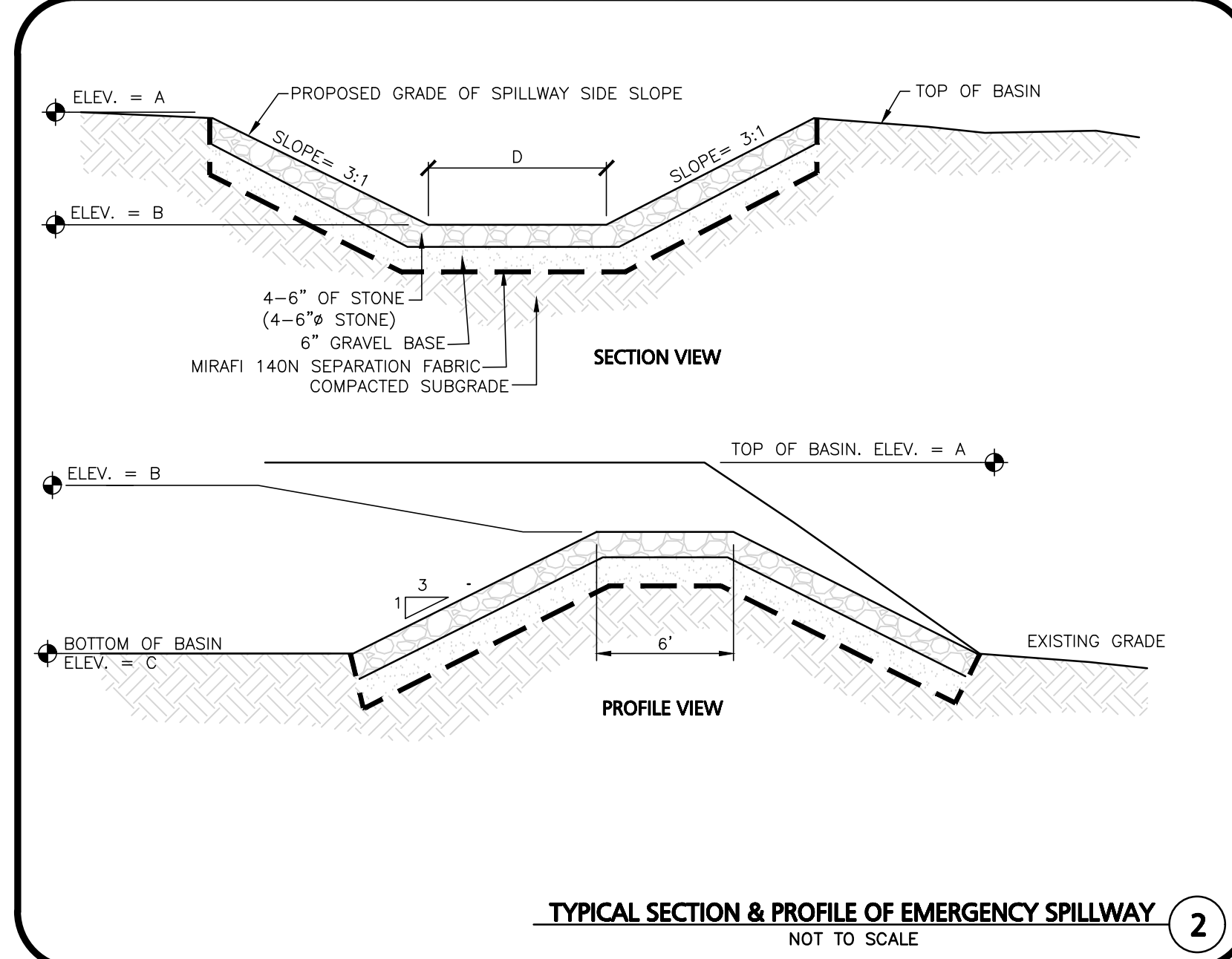
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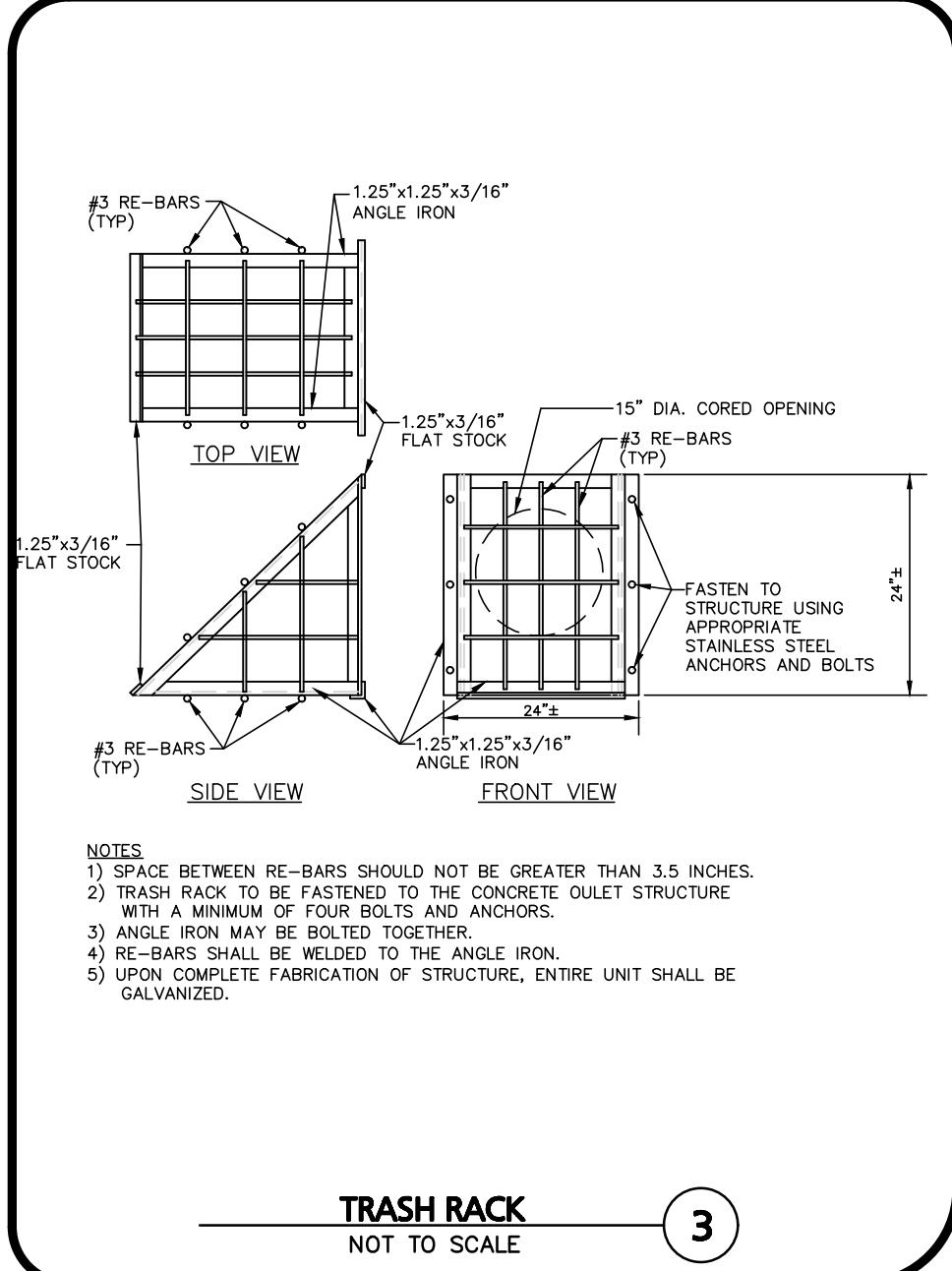
	A	B	C	D	E	F	G	H	J	K	L
	(Elev.)	(Elev.)	(Elev.)	(feet)	(Elev.)	(Elev.)	(Dia)	(Elev.)	(Dia)	(Elev.)	(Dia)
OCS-04 (DB1)	816.00	814.40	811.00	8.0	813.20	811.00	8" x2	811.90	12" x2	811.00	18"



OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE



TYPICAL SECTION & PROFILE OF EMERGENCY SPILLWAY
NOT TO SCALE



TRASH RACK
NOT TO SCALE

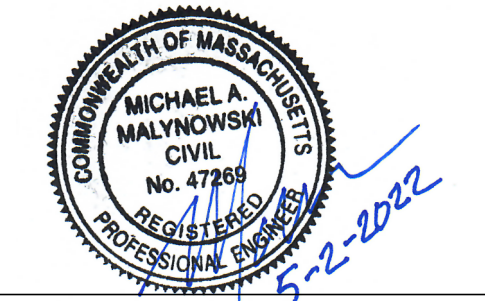
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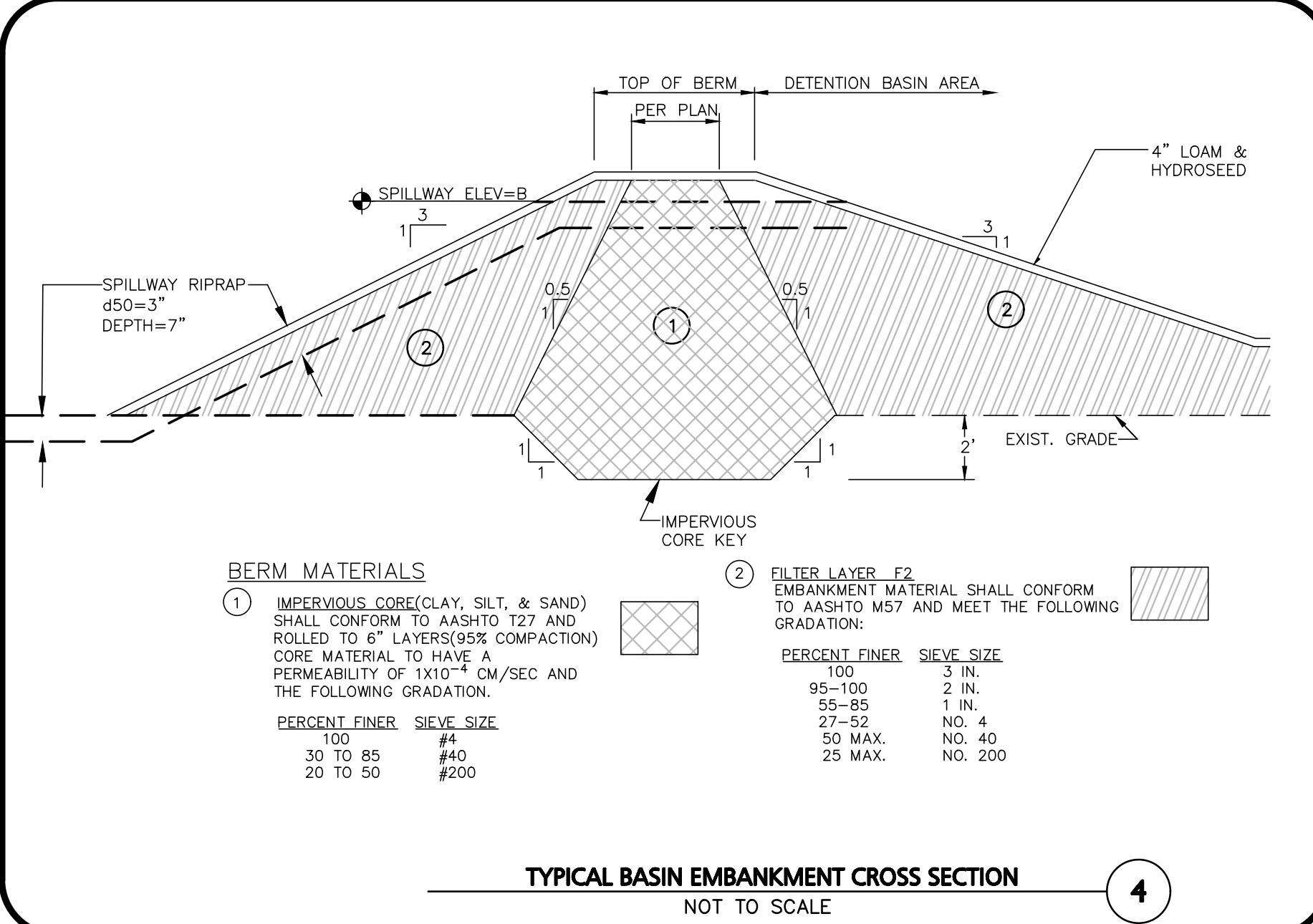
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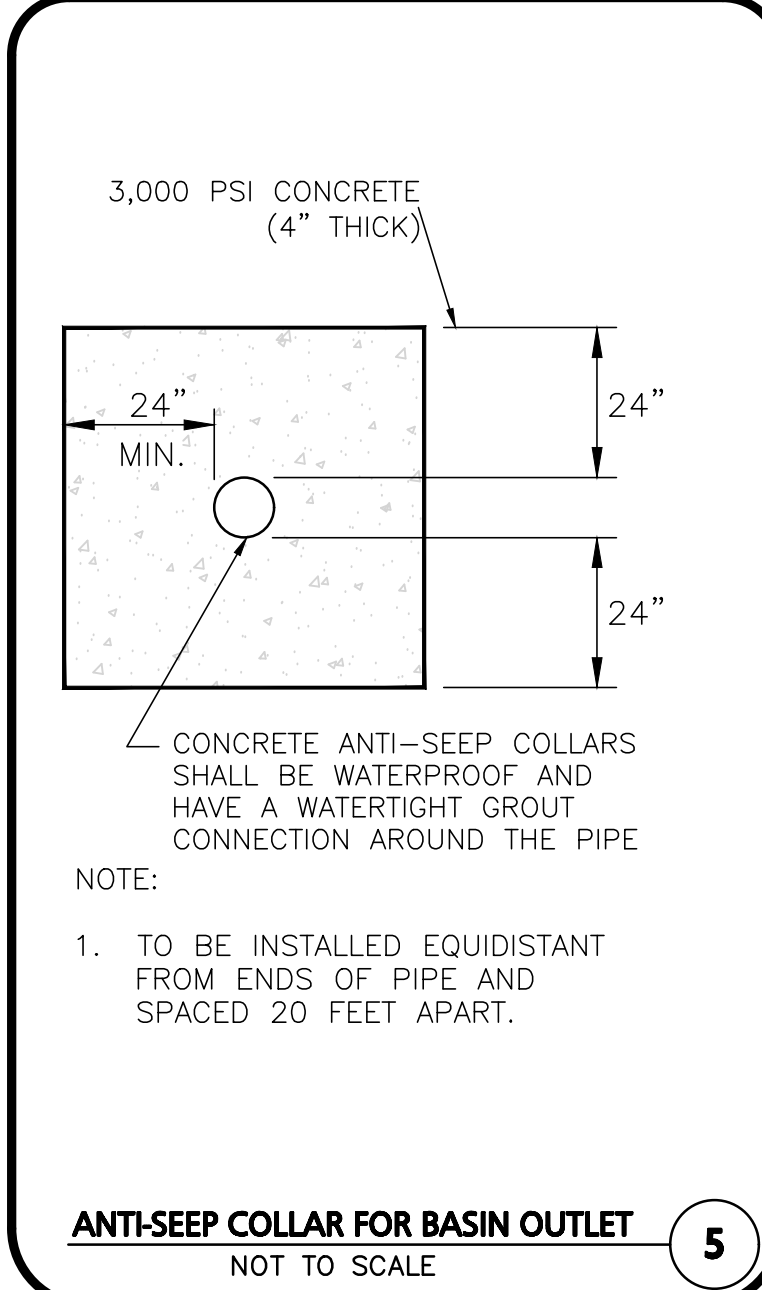
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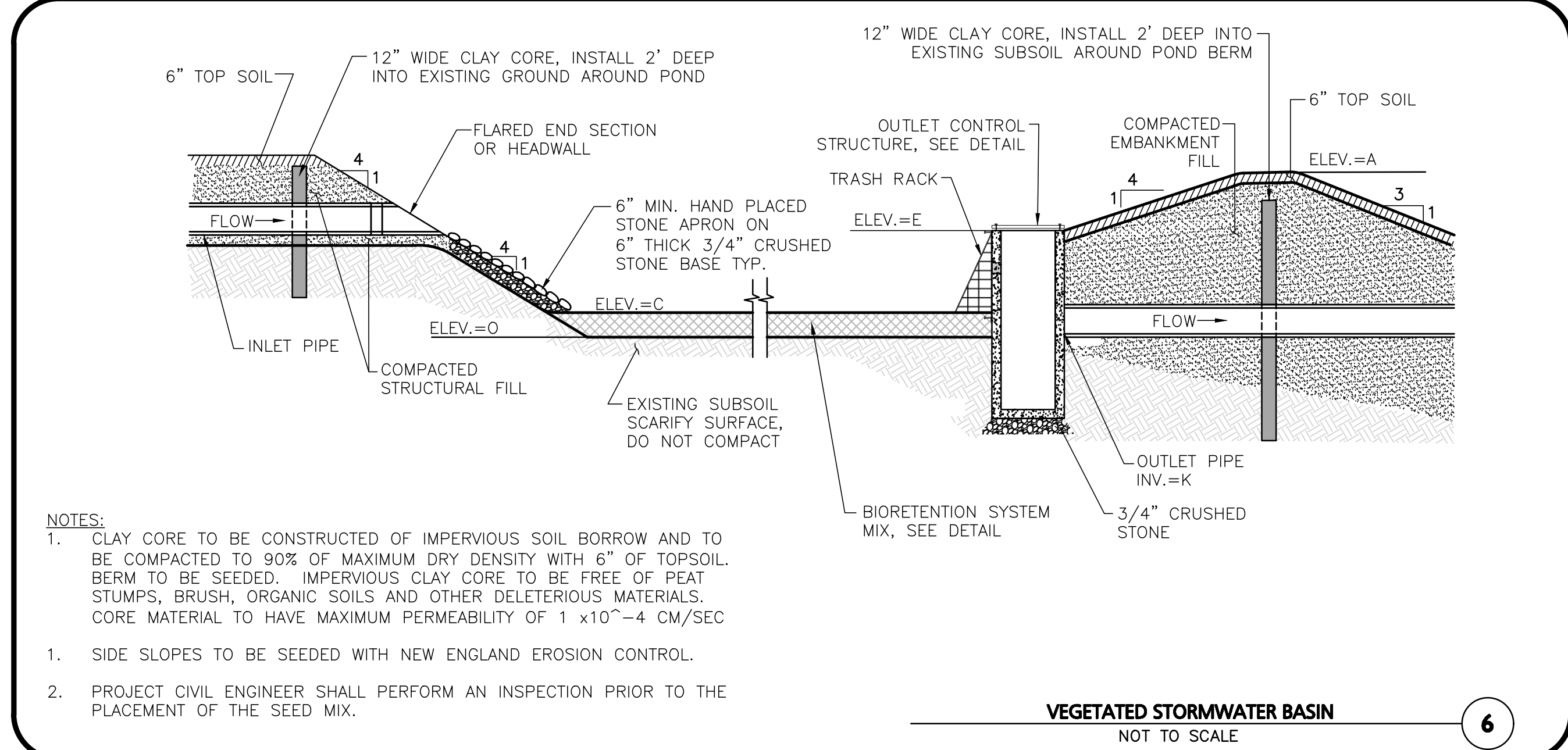
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TYPICAL BASIN EMBANKMENT CROSS SECTION
NOT TO SCALE



ANTI-SEEP COLLAR FOR BASIN OUTLET
NOT TO SCALE



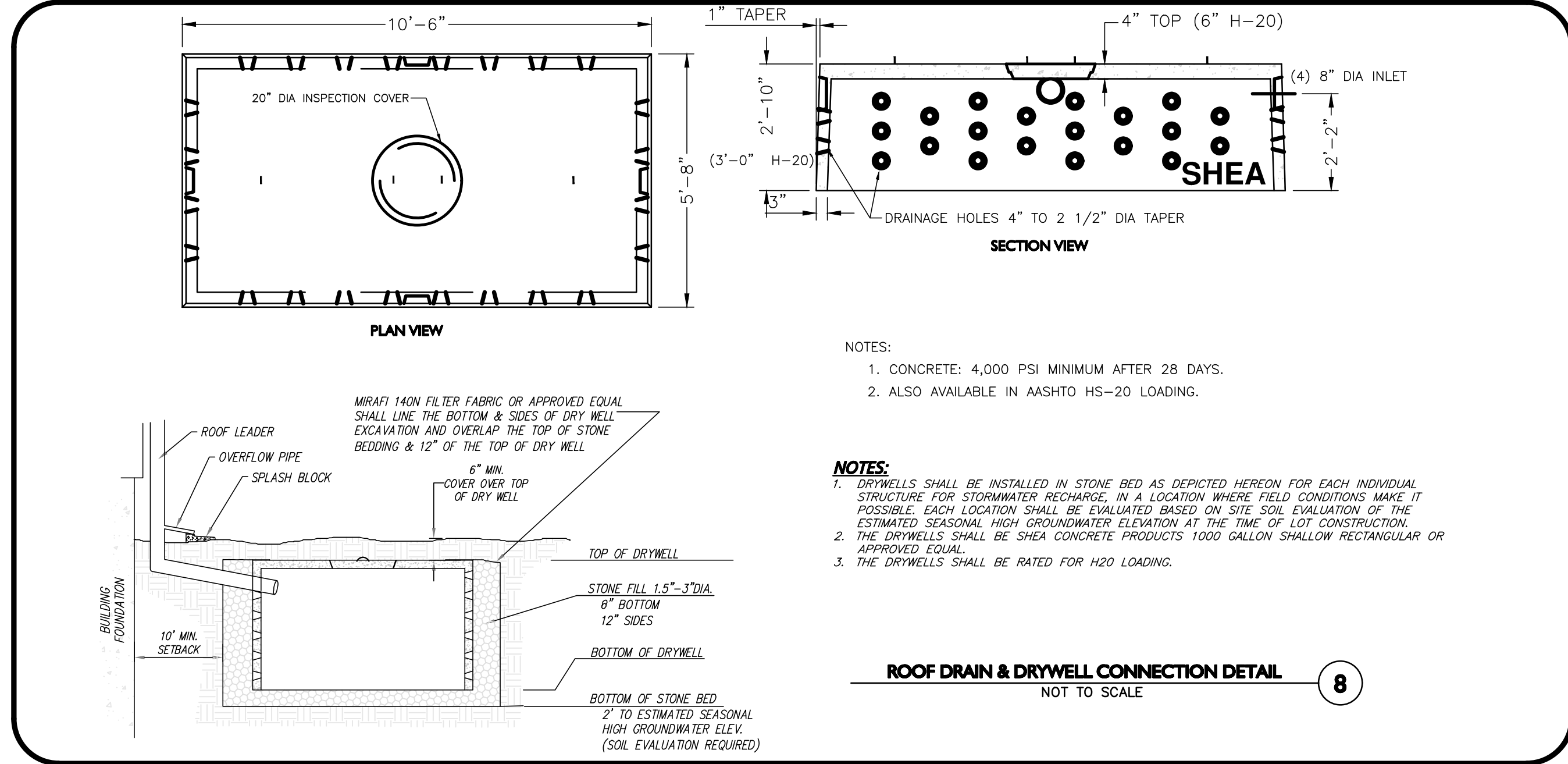
VEGETATED STORMWATER BASIN
NOT TO SCALE

OUTLET CONTROL STRUCTURE TABLE

STRUCTURE	IDENTIFIER	ORIFICE		INLET		OUTLET	
		DIAMETER	ELEV.	DIAMETER	INVERT ELEV.	DIAMETER	INVERT ELEV.
OCS-1 (DS-1A)	A	2" X 2	846.40	24"	846.50	15"	846.40
	B	6" X 2	848.10				
	C	5" X 2	849.40				
	D	5" X 2	850.70				
	WEIR	N/A	852.80				
OCS-2 (DS-2A)	A	4" X 2	892.00	24"	892.00	24"	892.00
	B	8"	895.40				
	C	8"	898.20				
	D	4"	899.90				
	WEIR	N/A	901.60				
OCS-5 (DS-1B)	A	4"	859.20	24"	859.20	12"	859.20
	WEIR	N/A	862.50				

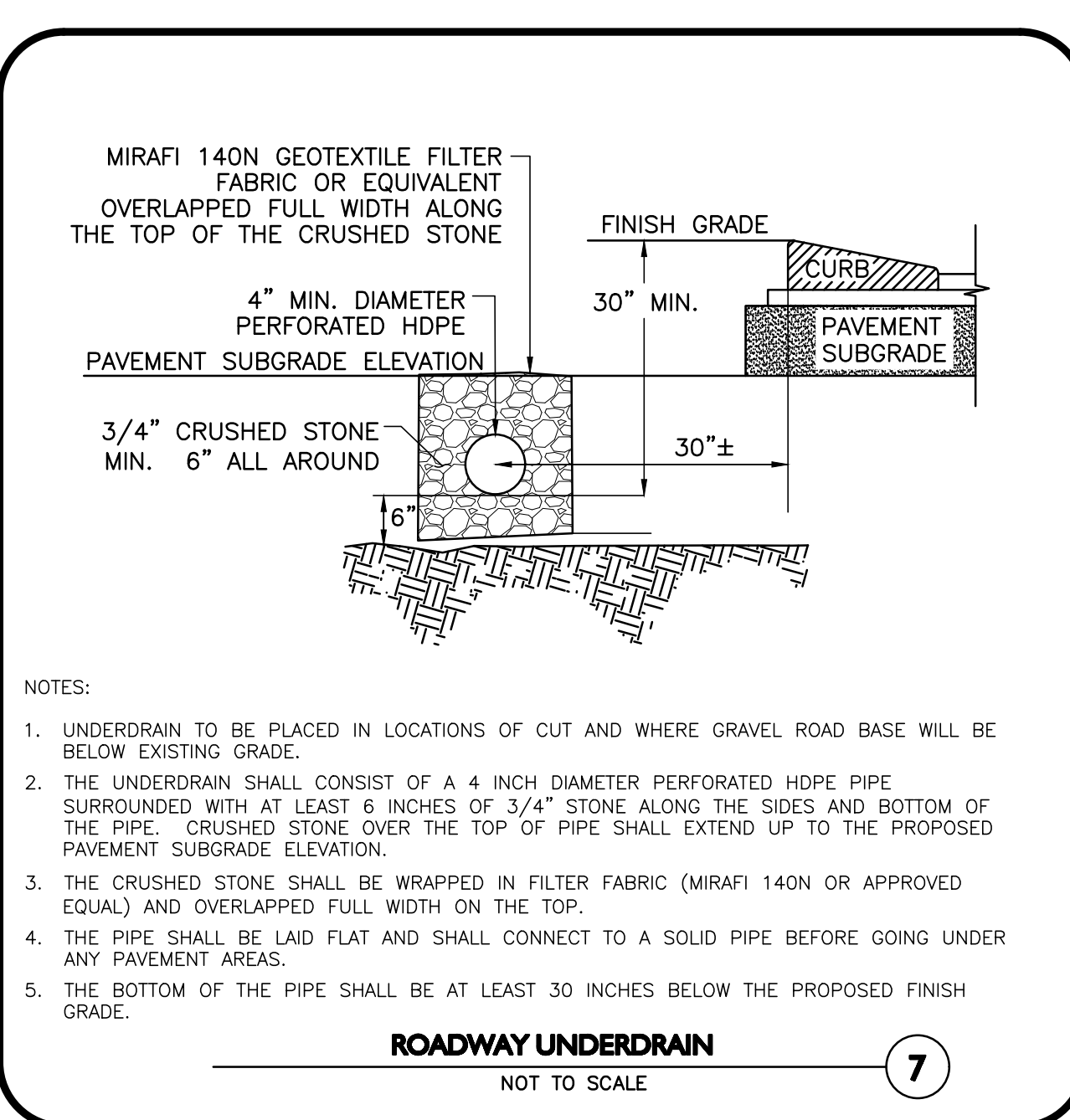
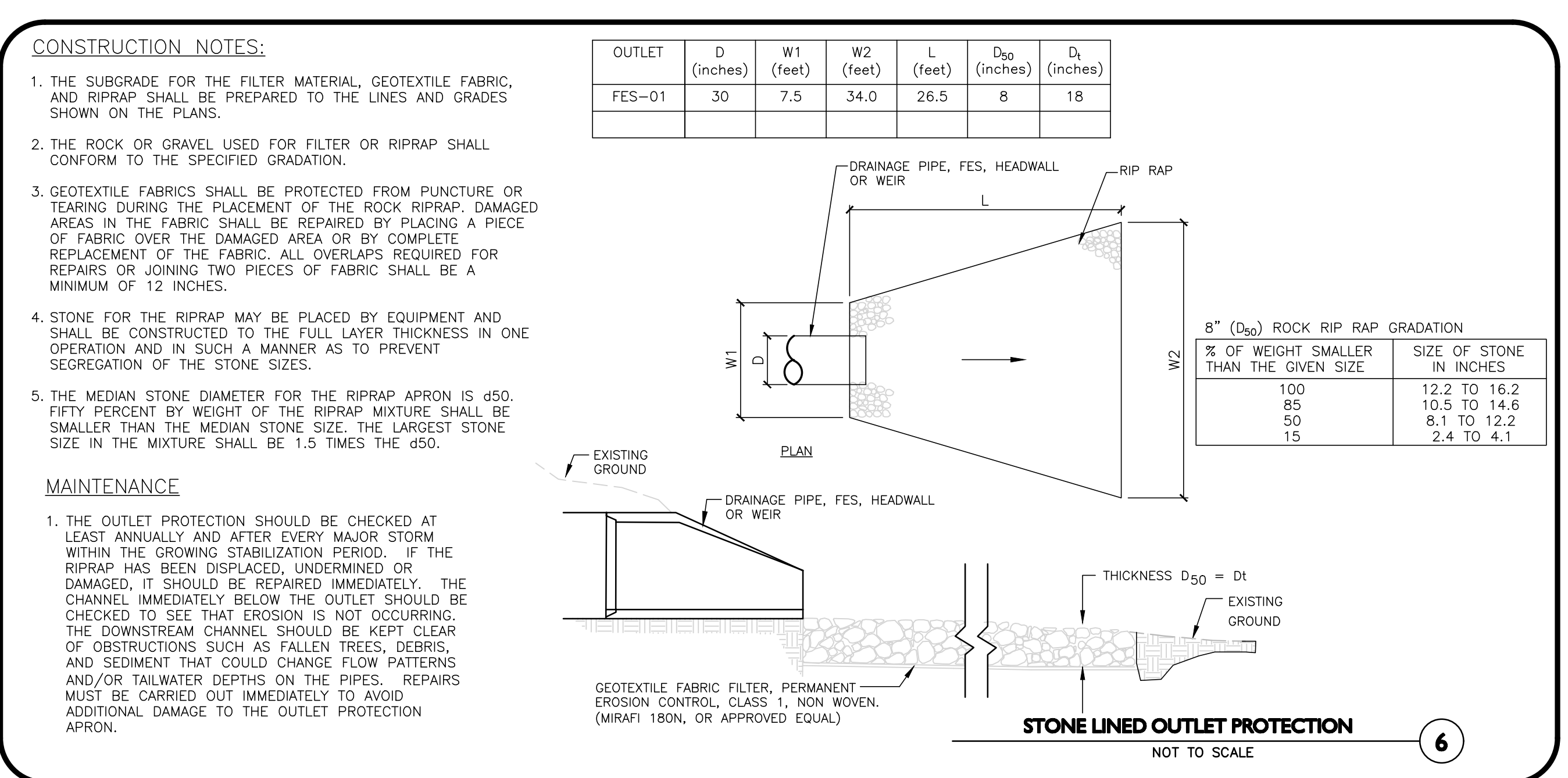
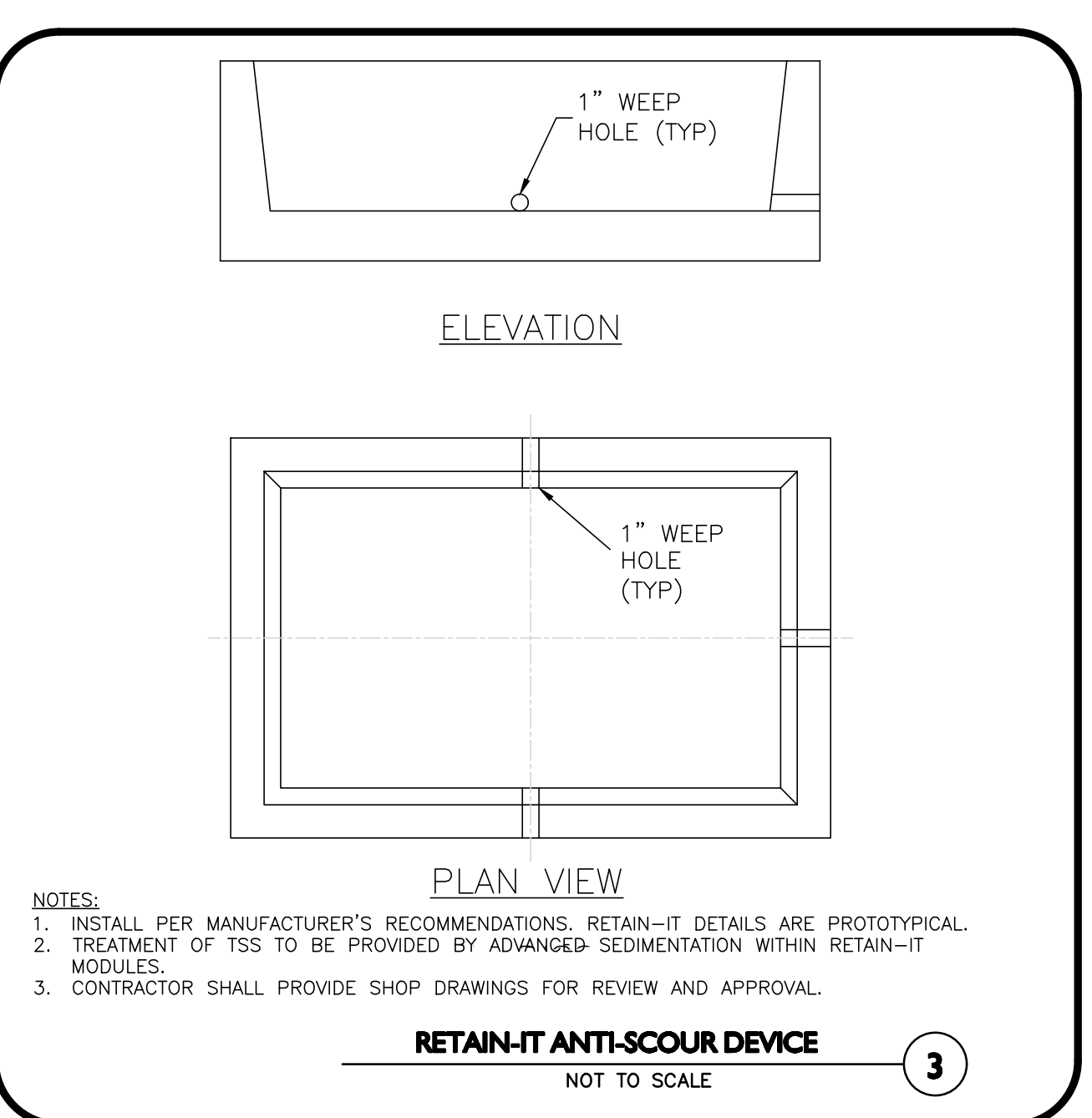
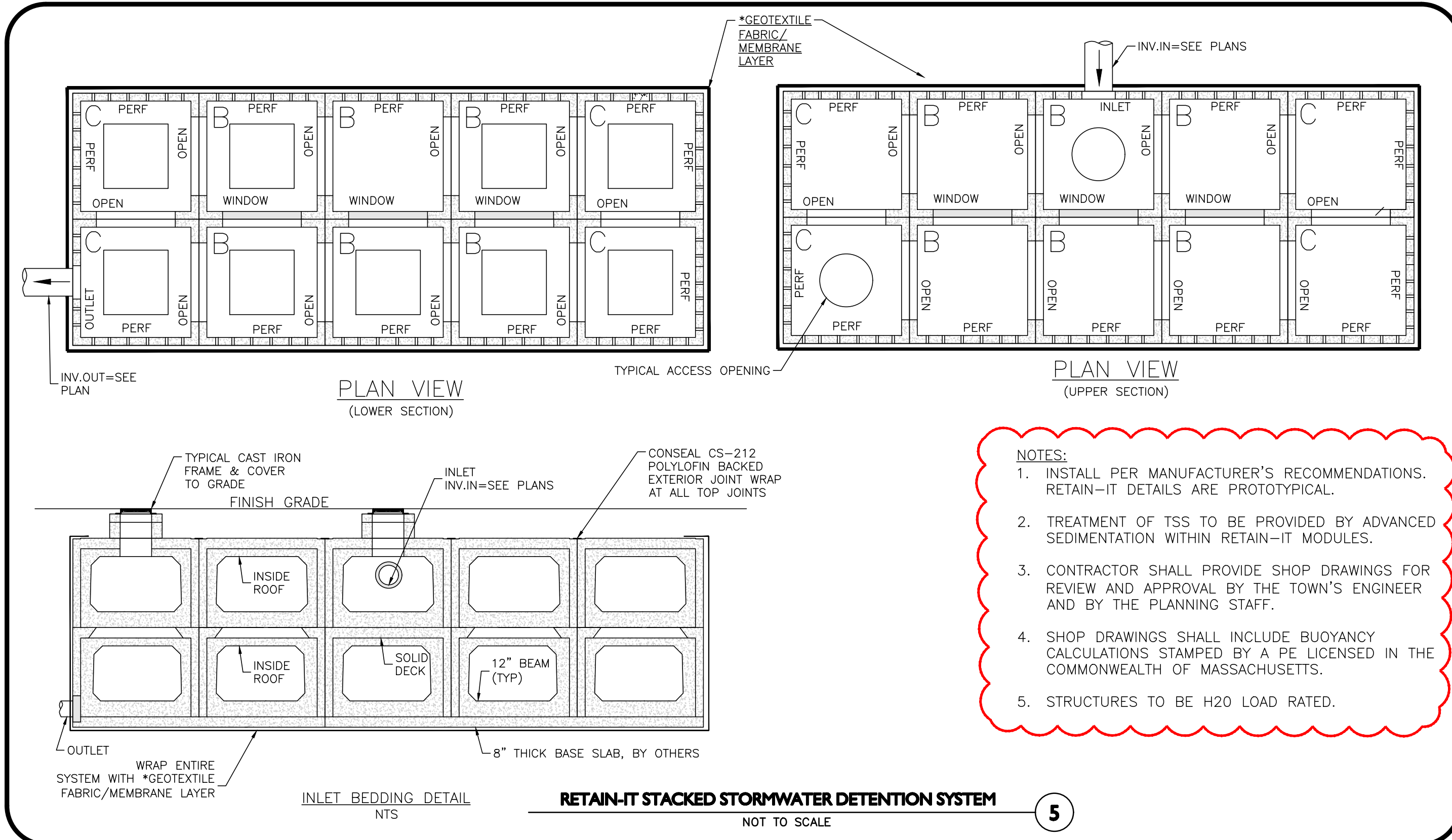
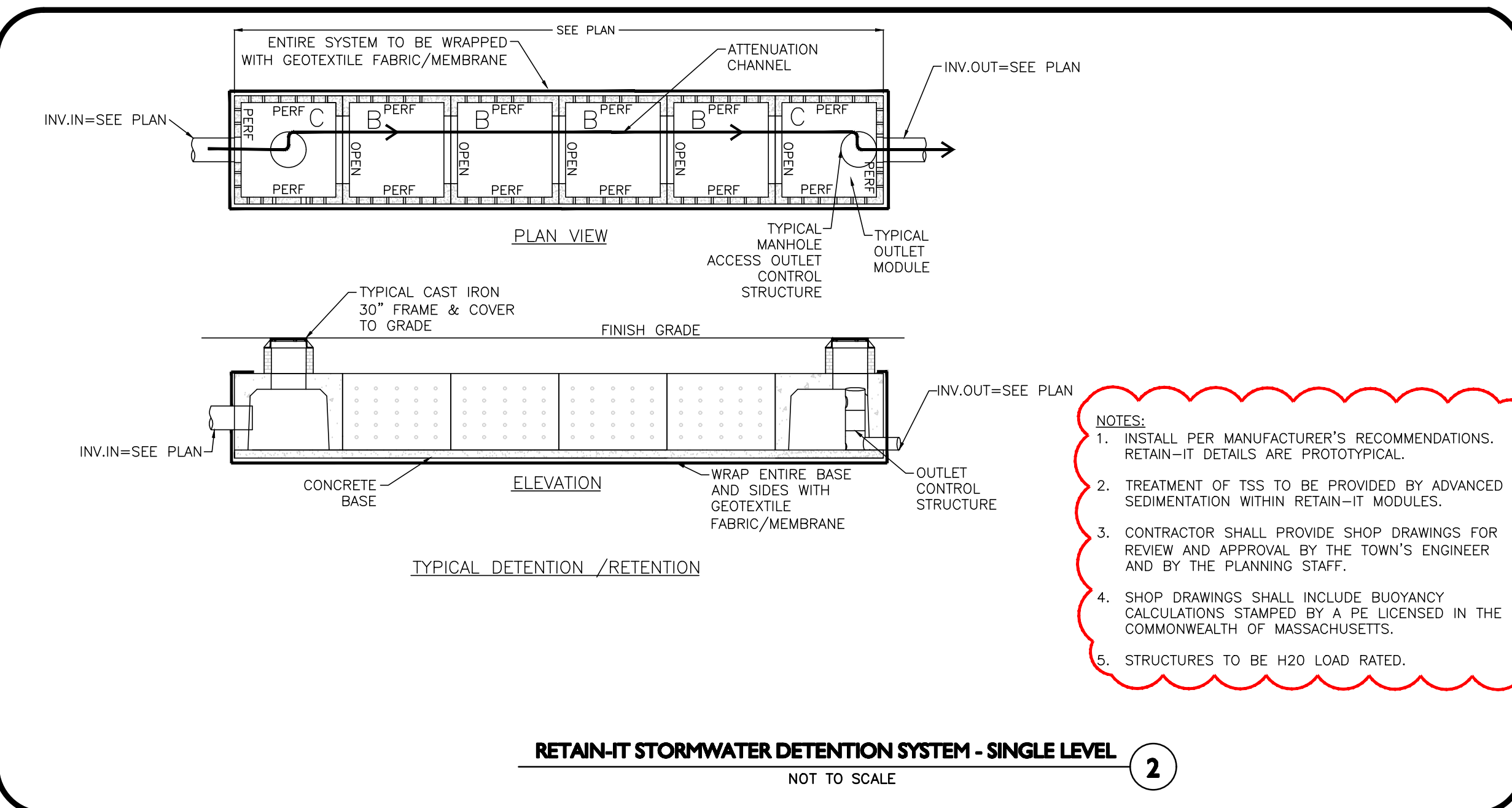
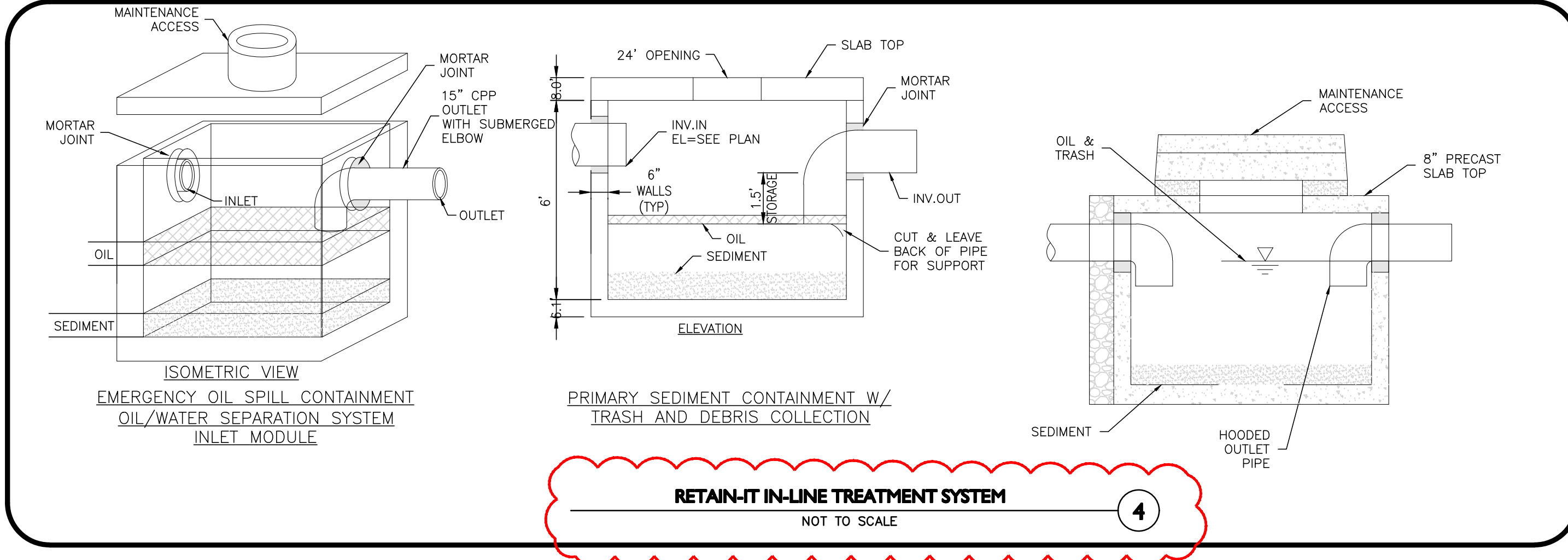
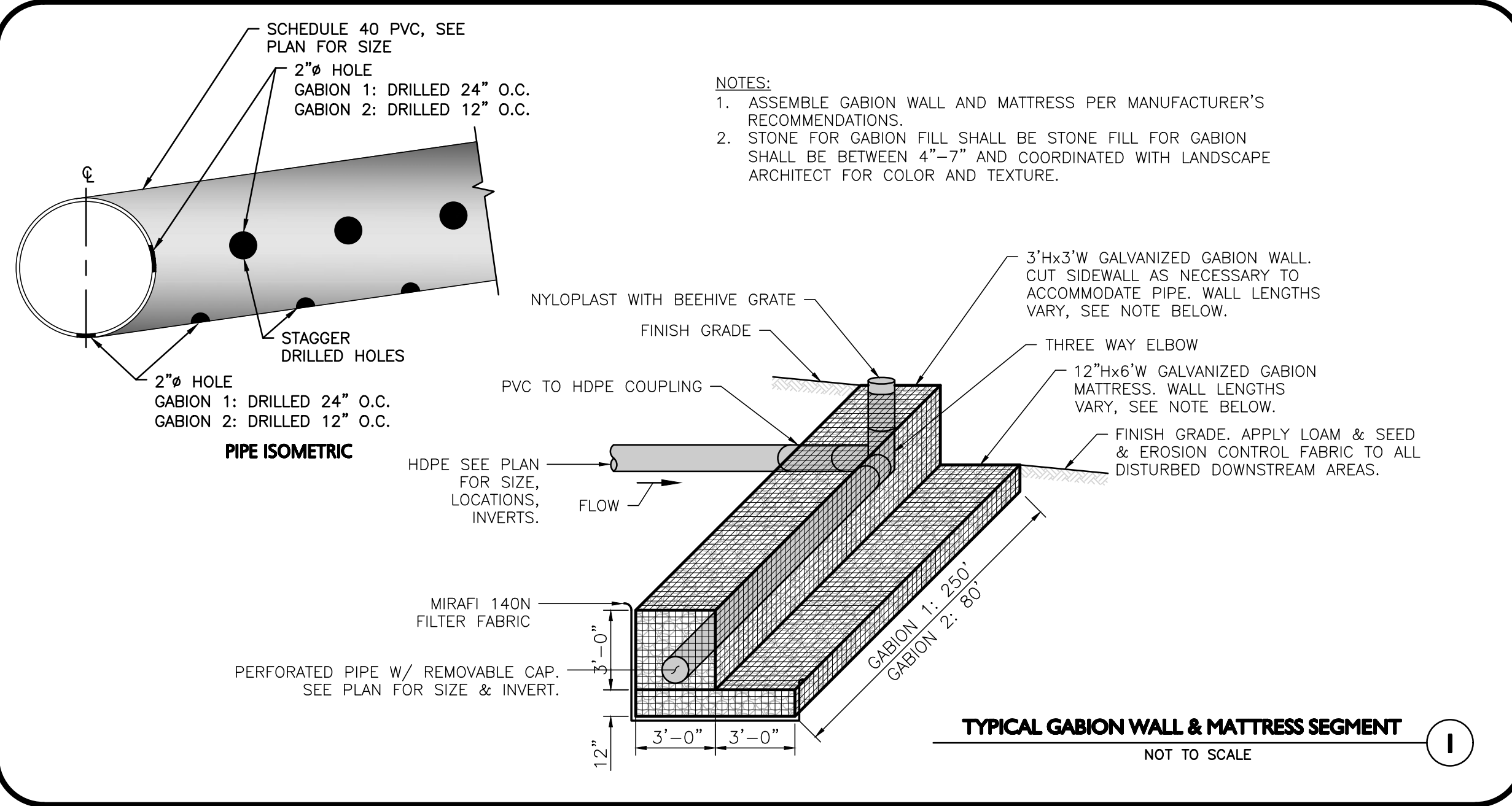
NOTE:
1. MANHOLE TO MATCH LOCAL DPW STANDARDS

OUTLET CONTROL STRUCTURE
NOT TO SCALE



ROOF DRAIN & DRYWELL CONNECTION DETAIL
NOT TO SCALE

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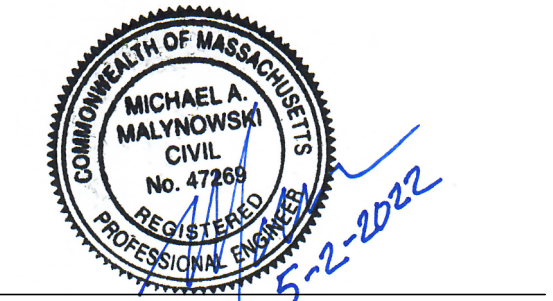
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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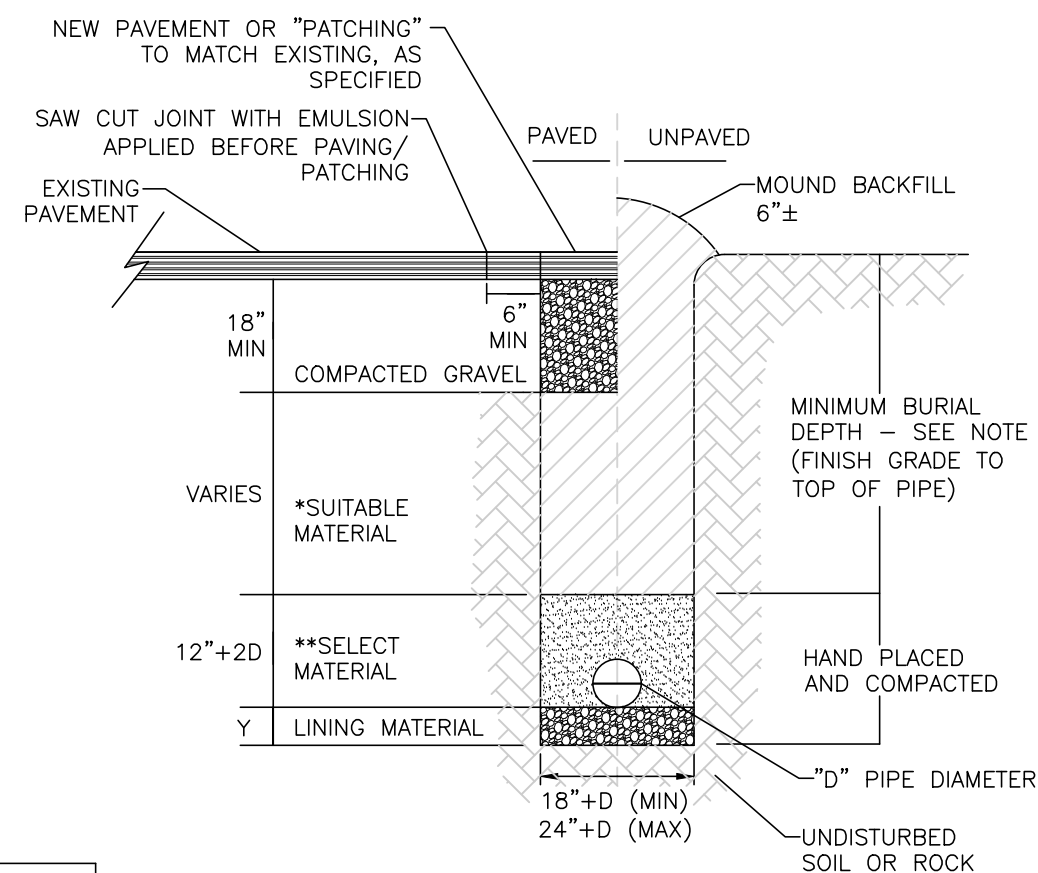
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- NOTES:**
- MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)
GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE
PRESSURE PIPE UNDER PAVING - 4'
PRESSURE PIPE BENEATH UNPAVED - 3'
WATER PIPE - 5'
 - WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, ASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 - TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
 - WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED. THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).



CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

* SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 3" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 12" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.

**TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.

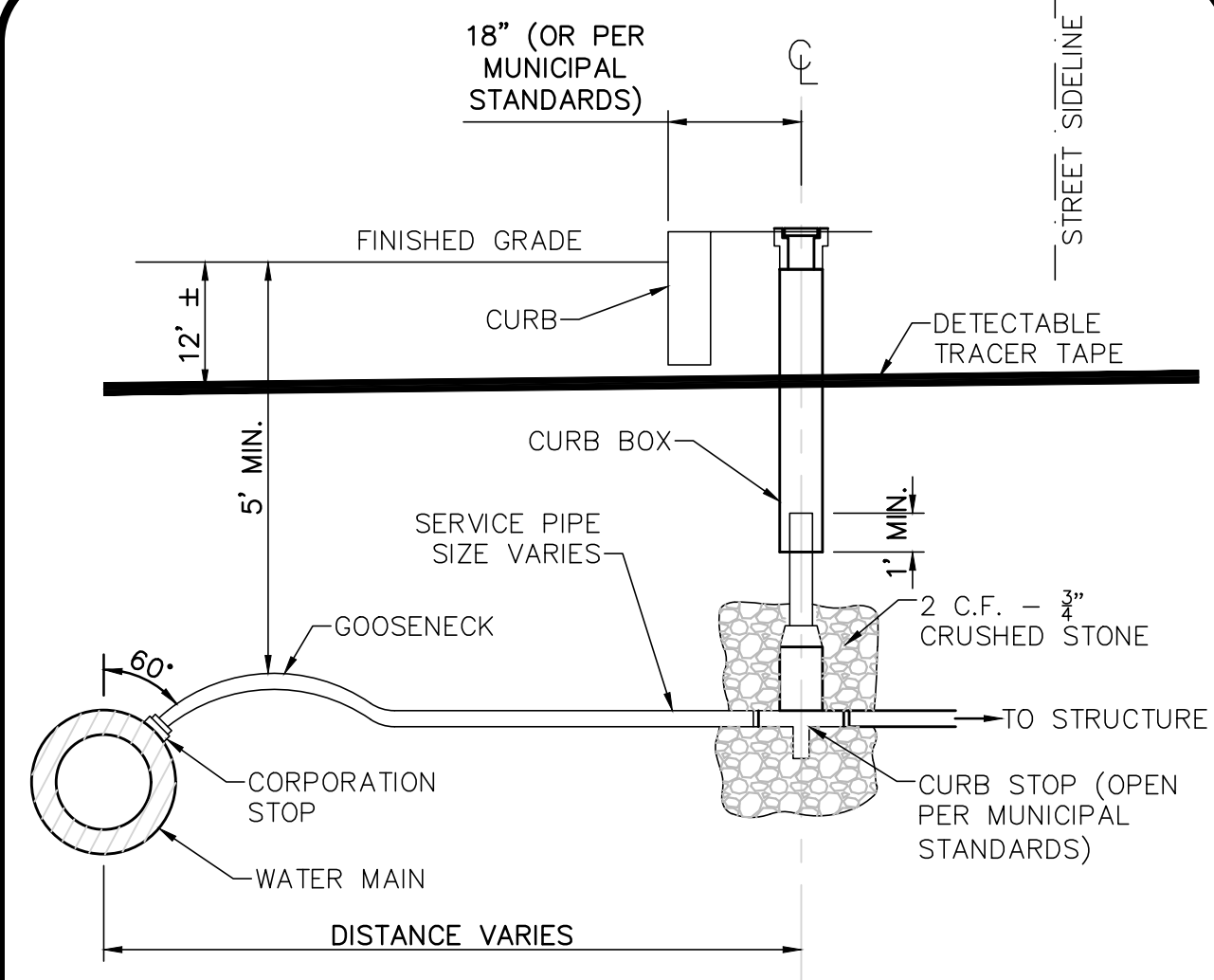
**TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A 3/4" SQUARE OPENING, AND NOT MORE THAN 5% PASSING A 1/2" SQUARE OPENING.

**TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 3/4" SQUARE OPENING.

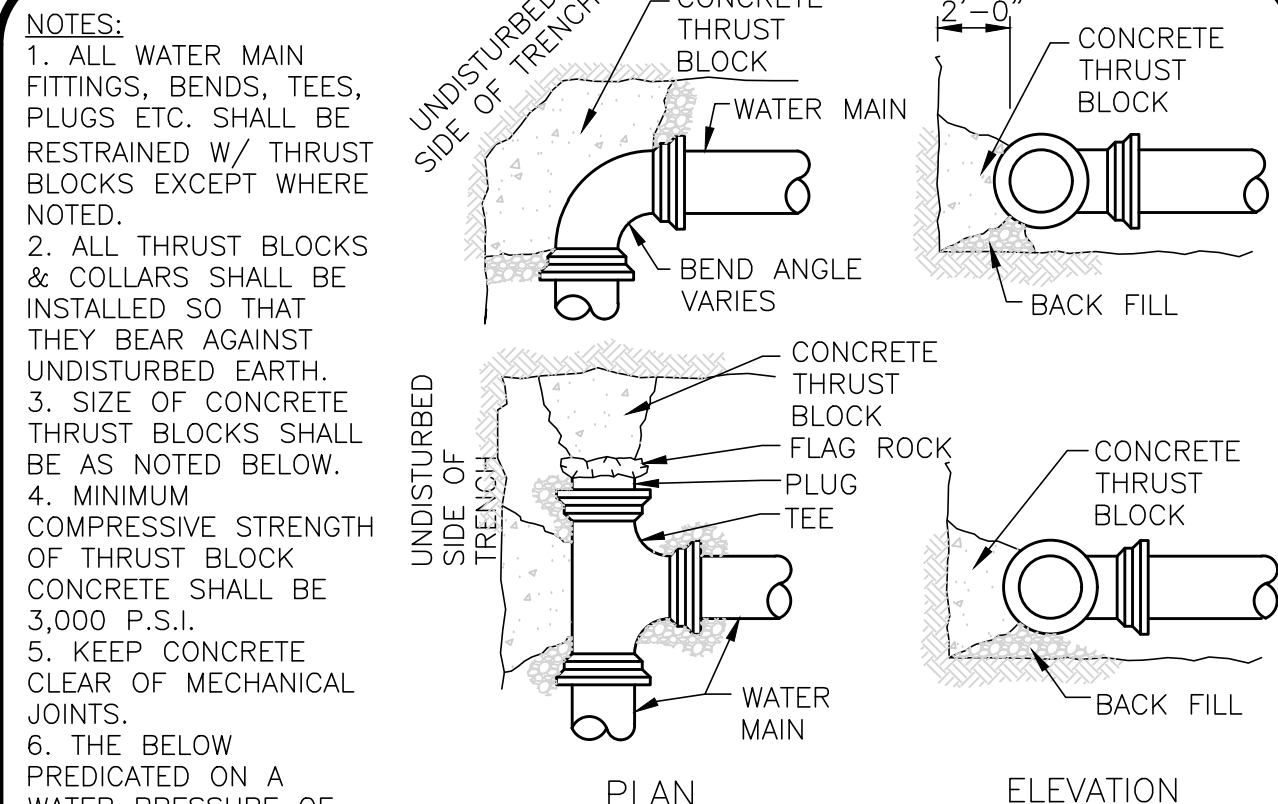
FILTER FABRIC USE

	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED

TRENCH DETAIL
NOT TO SCALE



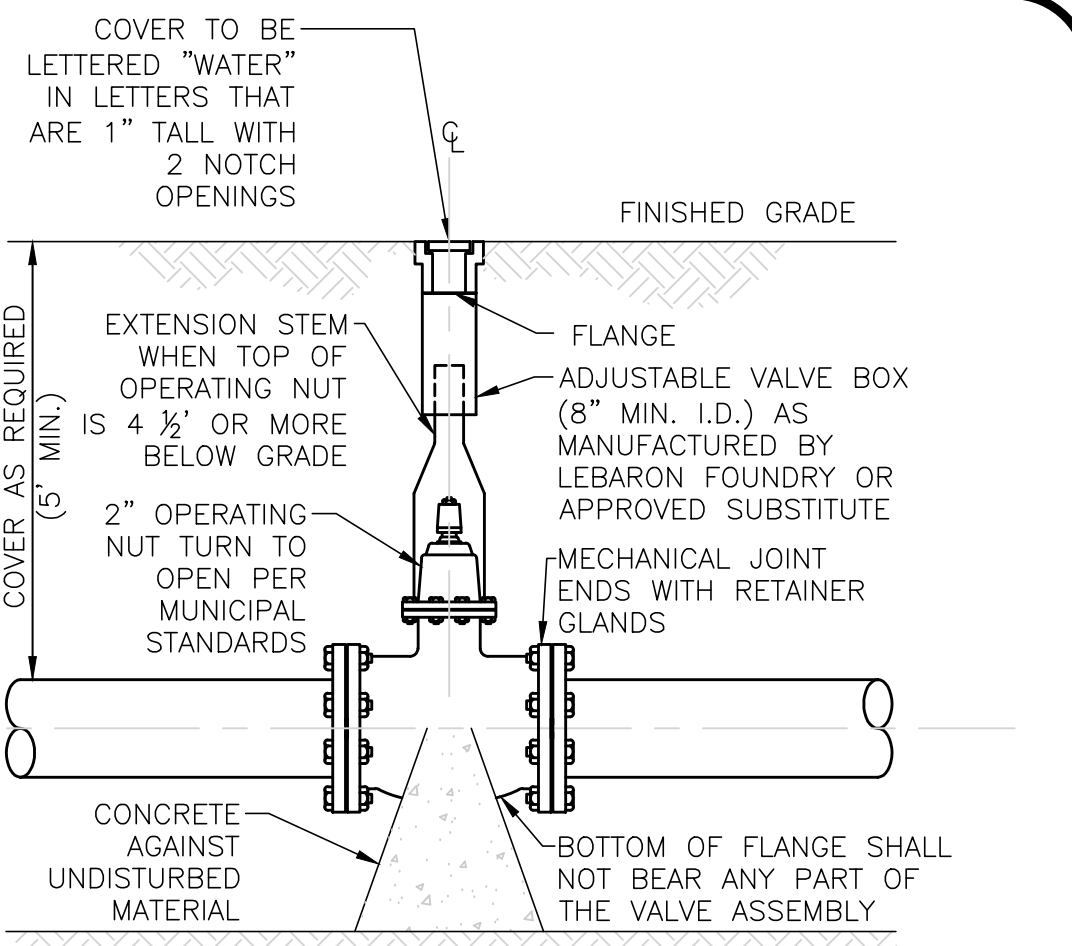
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



MINIMUM THRUST BLOCK BEARING AREAS

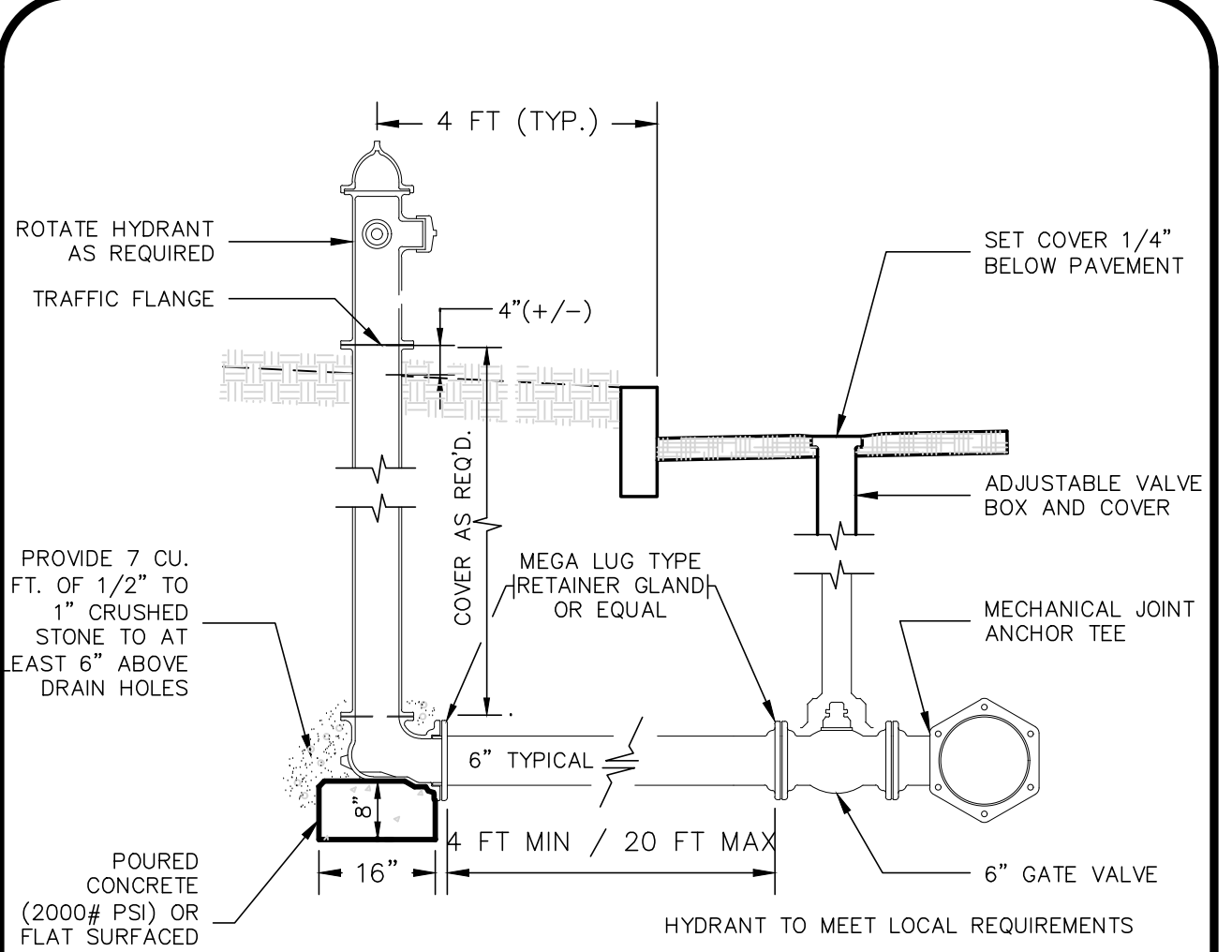
PIPE Ø	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYD. (SQ. FT.)
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16

THRUST BLOCK DETAILS
NOT TO SCALE

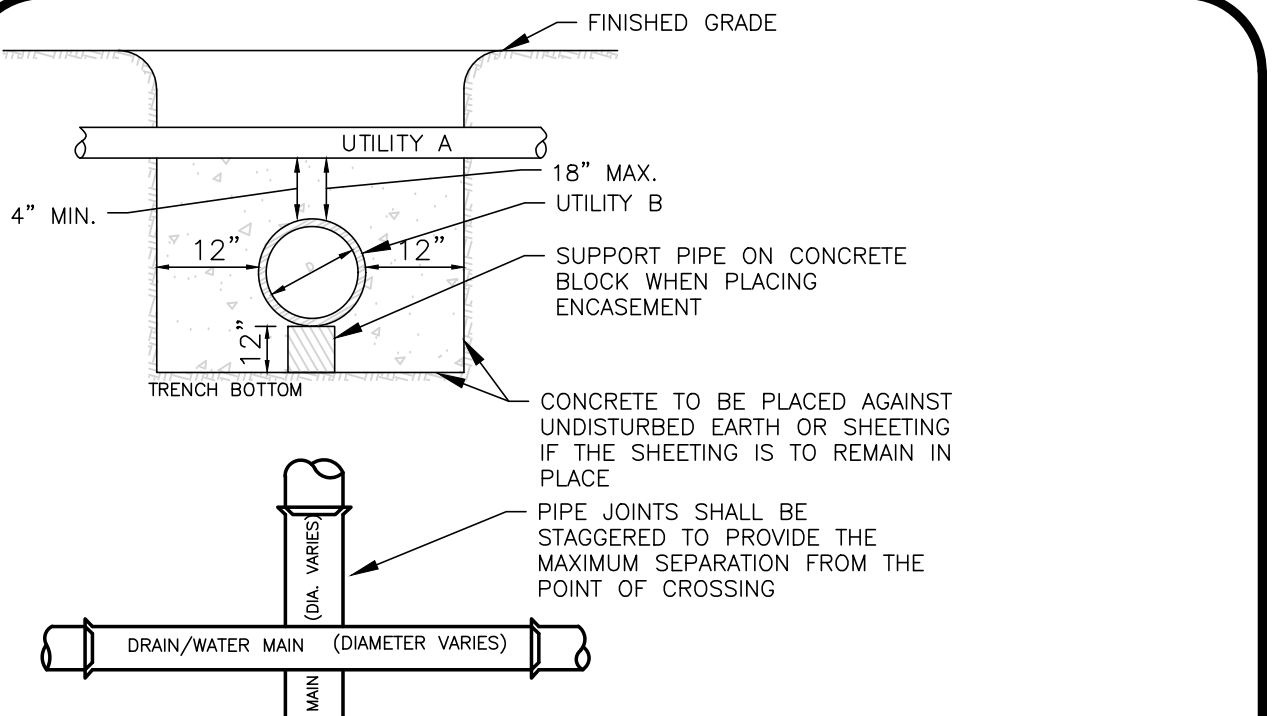


- NOTES:**
- CONTRACTOR MAY USE ANCHOR TEES AT HIS OPTION.
 - HYDRANTS AND VALVES TO OPERATE PER MUNICIPAL STANDARDS

GATE VALVE DETAIL
NOT TO SCALE

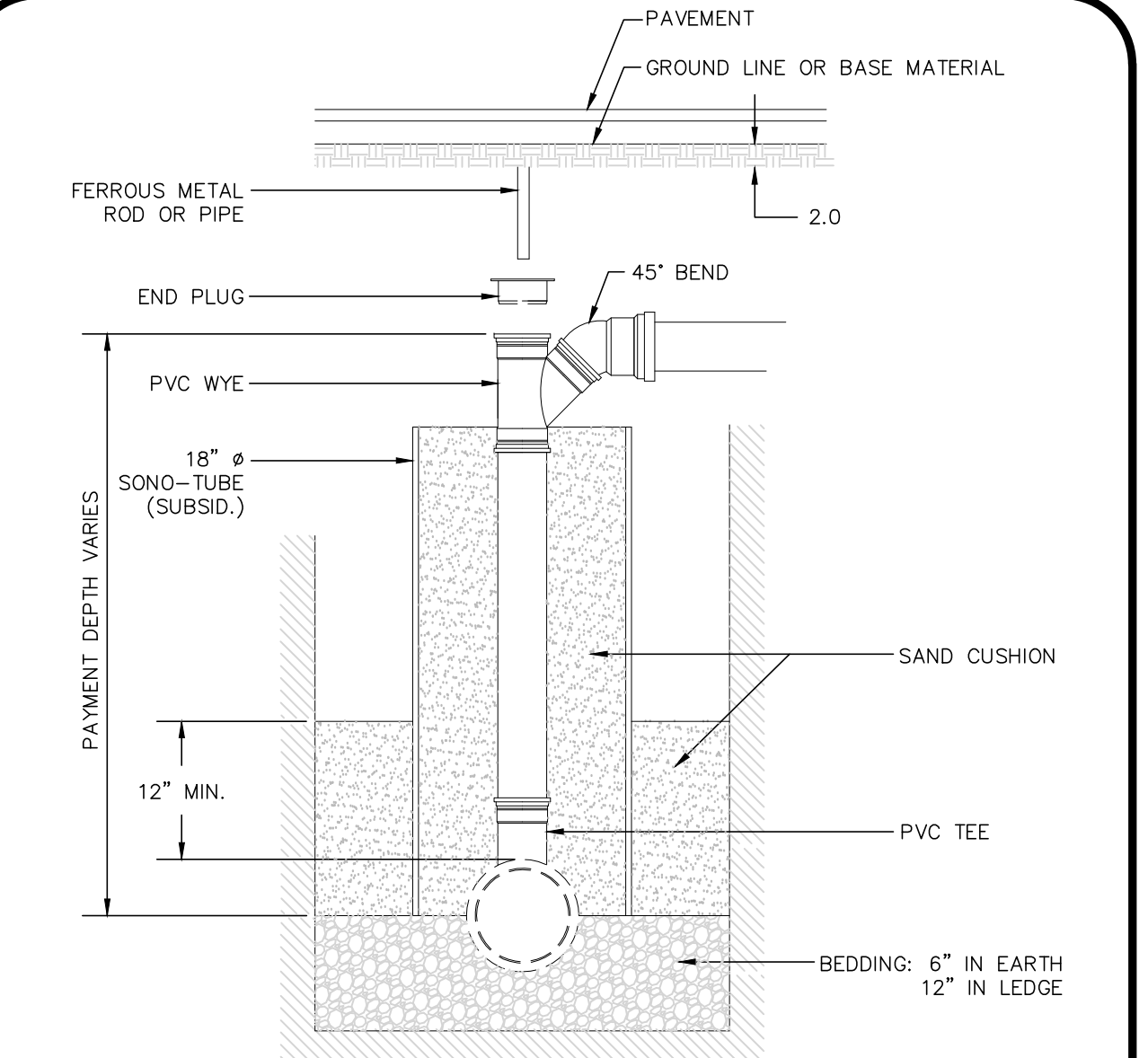


HYDRANT SETTING DETAIL
NOT TO SCALE

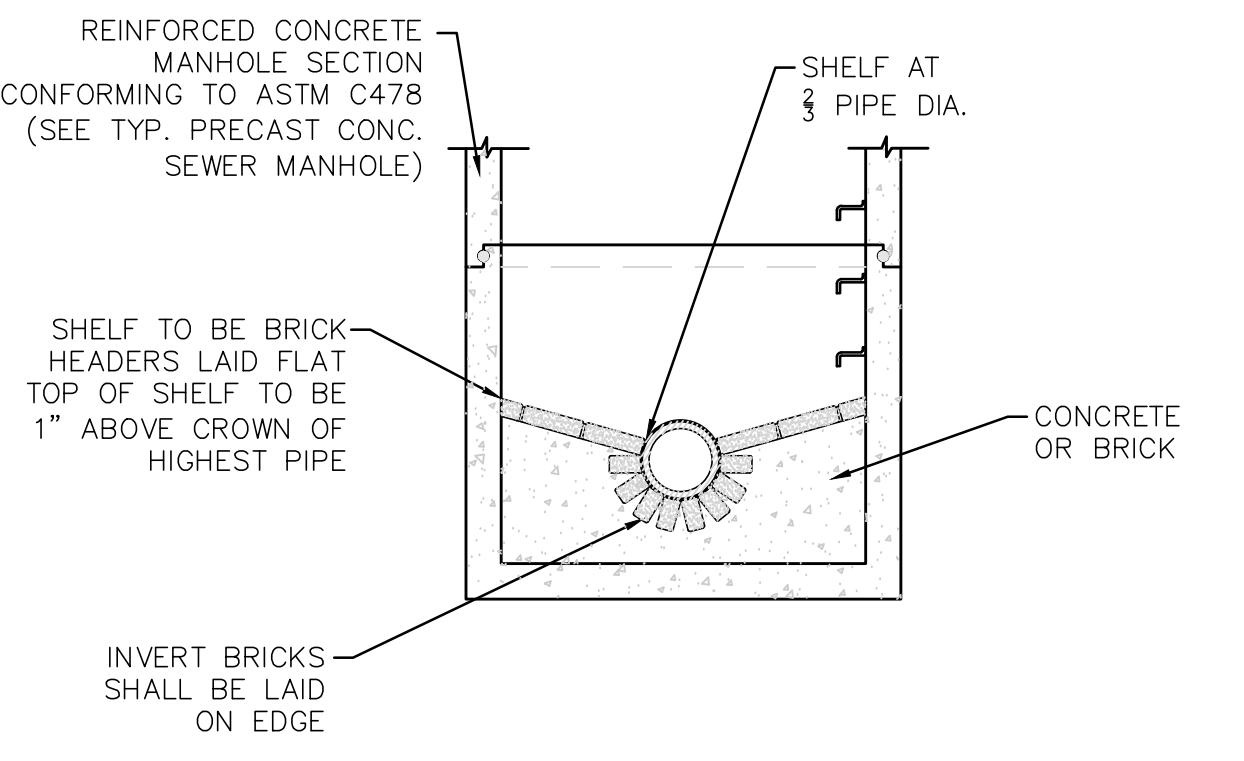


- NOTES:**
- WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/DRAIN MAIN:
 - THE WATER/DRAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/DRAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
 - THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
 - THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
 - THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
 - UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
 - WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
 - ENCASUREMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
 - PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.

SEWER, WATER/DRAIN CROSSING DETAIL
NOT TO SCALE

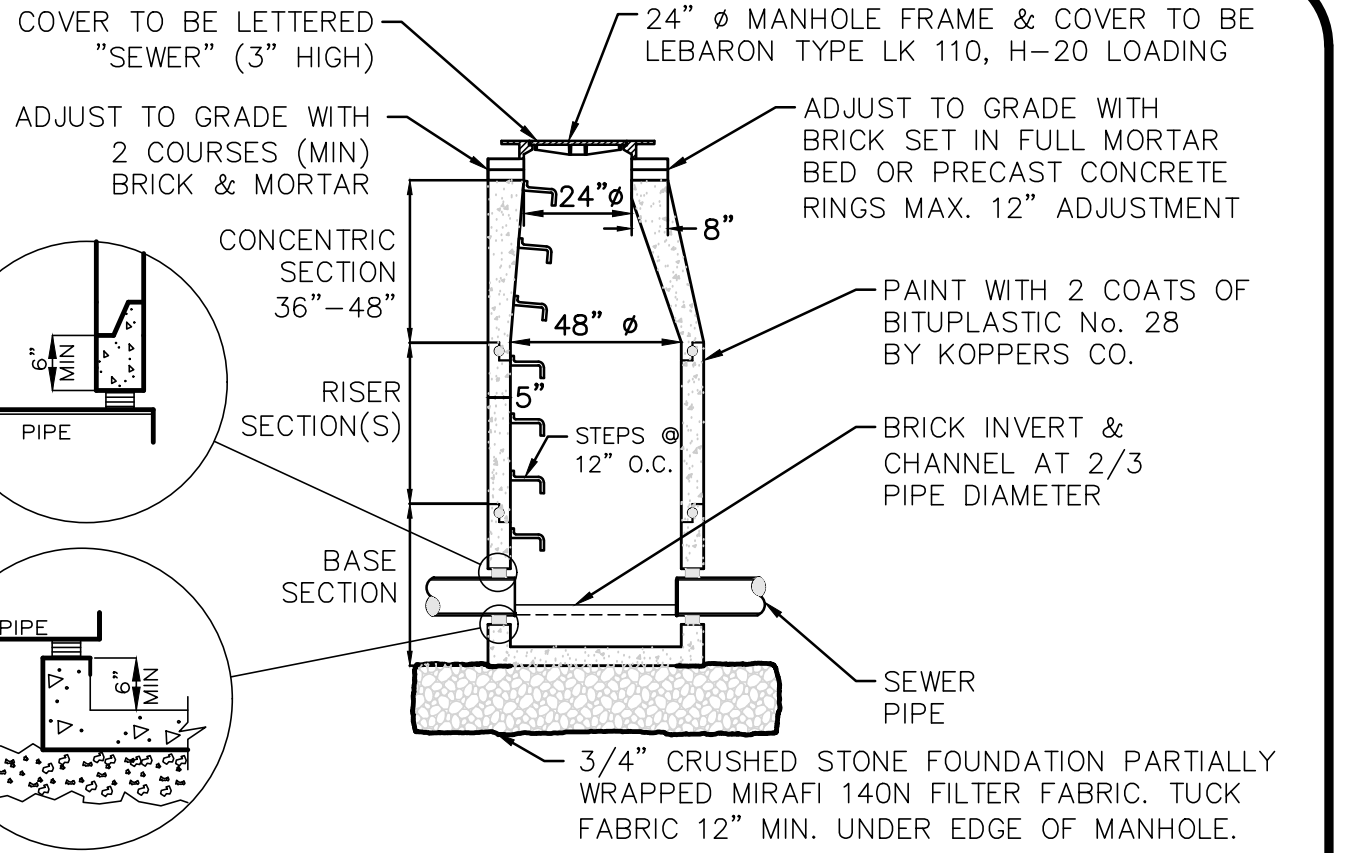


SERVICE CHIMNEY FOR PVC PIPE
NOT TO SCALE



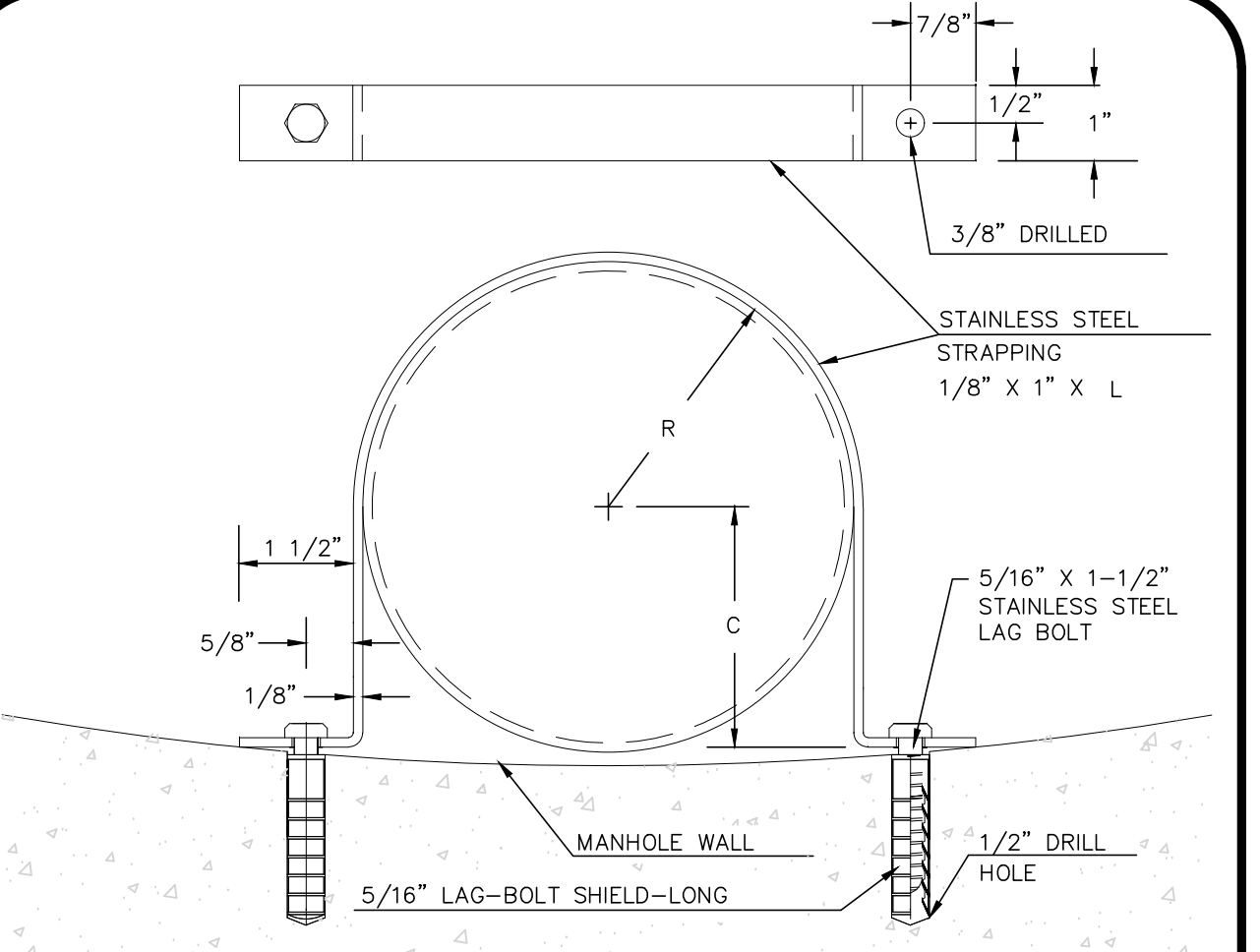
- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
 - MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF CEMENT CONCRETE OR BRICK IN MORTAR.

PRECAST CONCRETE SEWER MANHOLE (SMH)
NOT TO SCALE



NOTE: THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENT AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OR PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT, IN ANY APPROVED MANHOLE. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE.

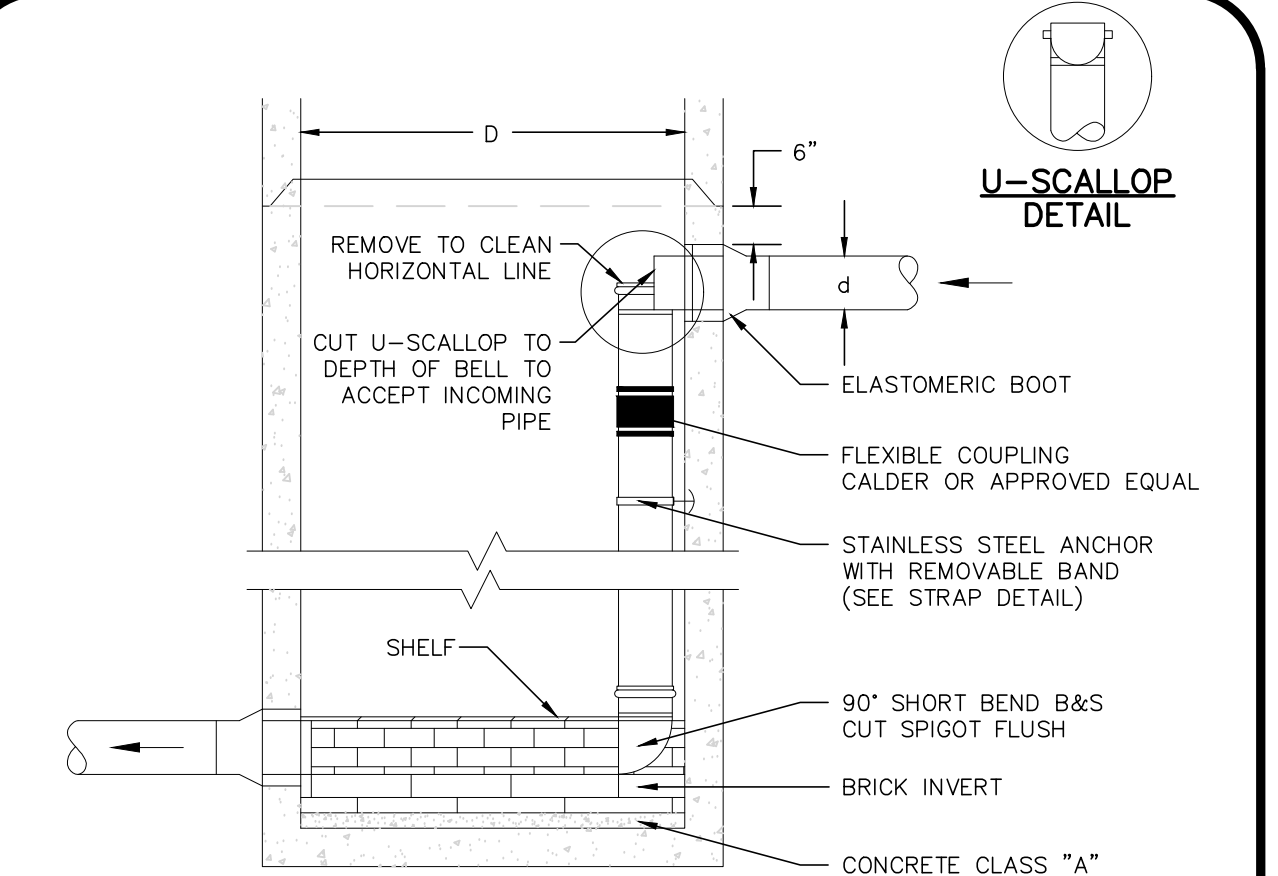
8



PIPE SIZE	L	R	C
4"	14.176"	2.125"	2.063"
6"	19.638"	3.188"	3.125"
8"	25.102"	4.250"	4.188"

STRAP DETAIL FOR INSIDE DROP CONNECTION
NOT TO SCALE

9



# OF DROPS	d	D
1	8"	4"
2	8" OR 10"	5"
1	12"	5"
1	15"	5"

INSIDE DROP CONNECTION FOR PVC PIPE
NOT TO SCALE

10

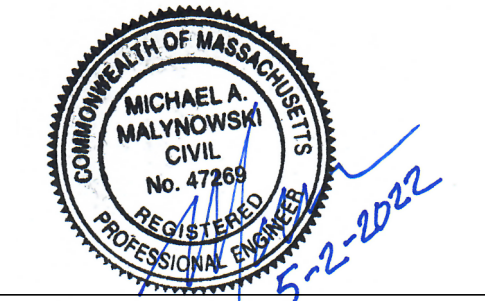
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

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TOWN CLERK - TOWN OF LEICESTER



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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4	02-07-22	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 **DATE:** 09-17-21
SCALE: AS SHOWN **DWG.:** C-2889-01_Details
DESIGNED BY: SM **CHECKED BY:** MAM

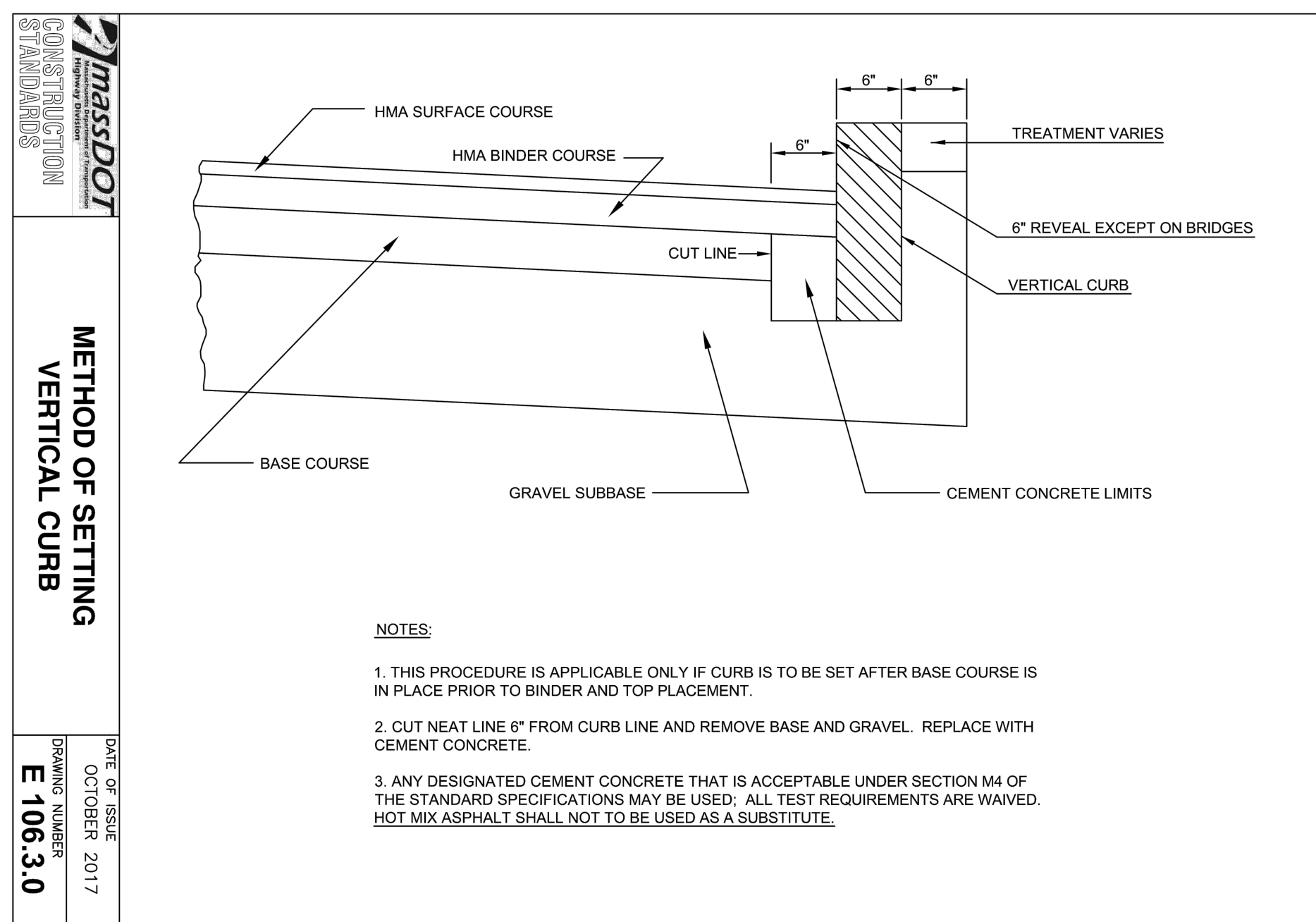
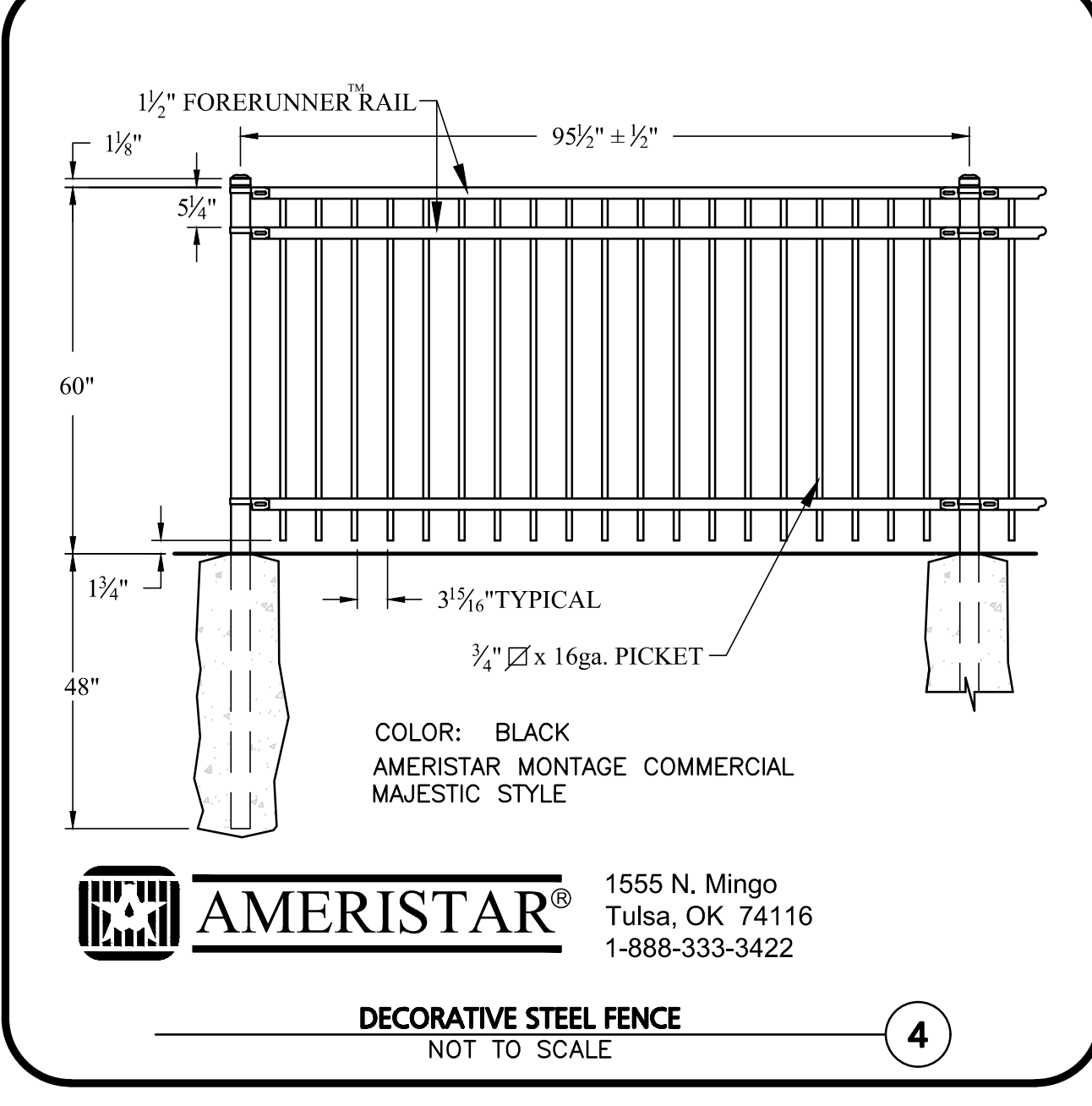
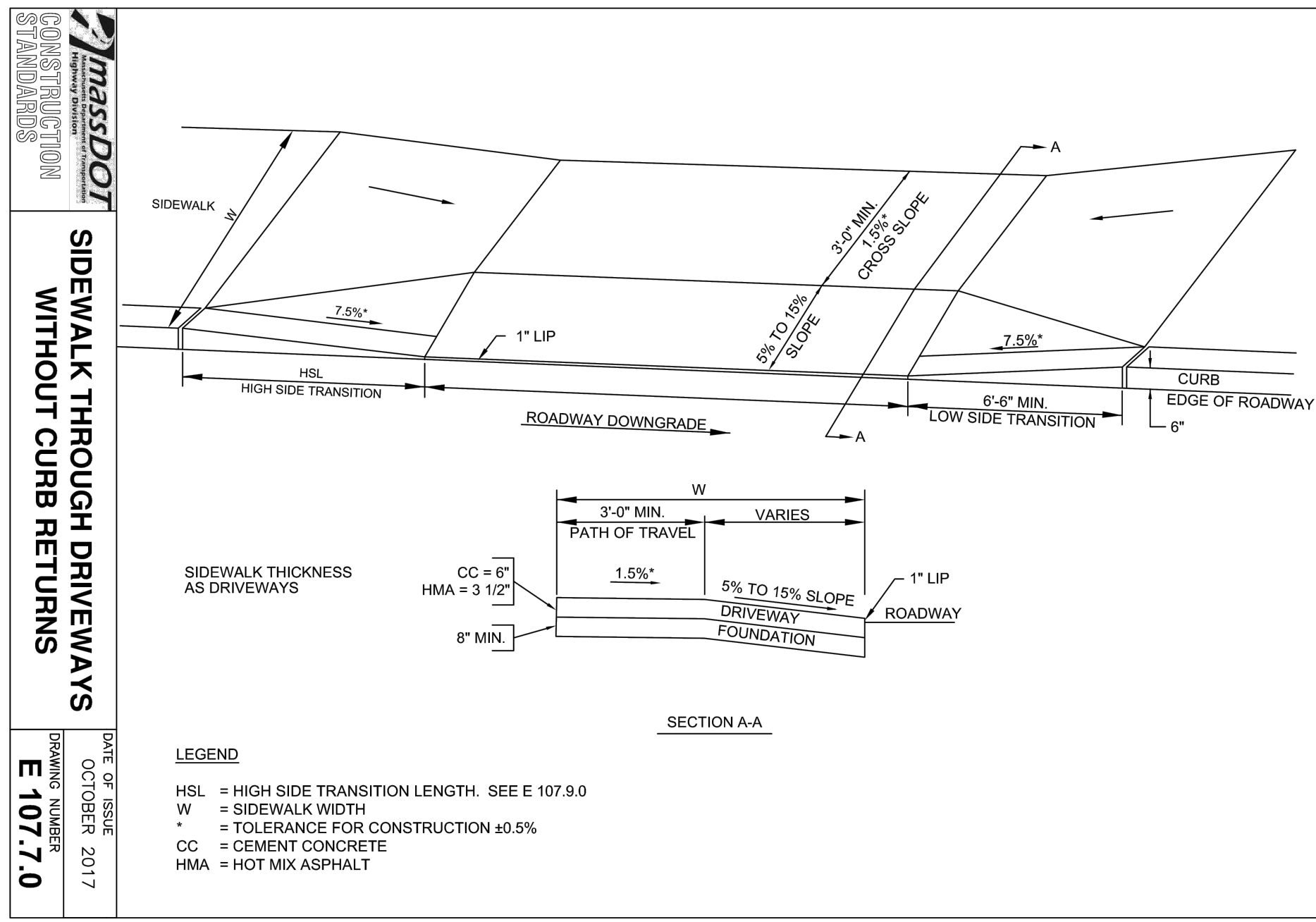
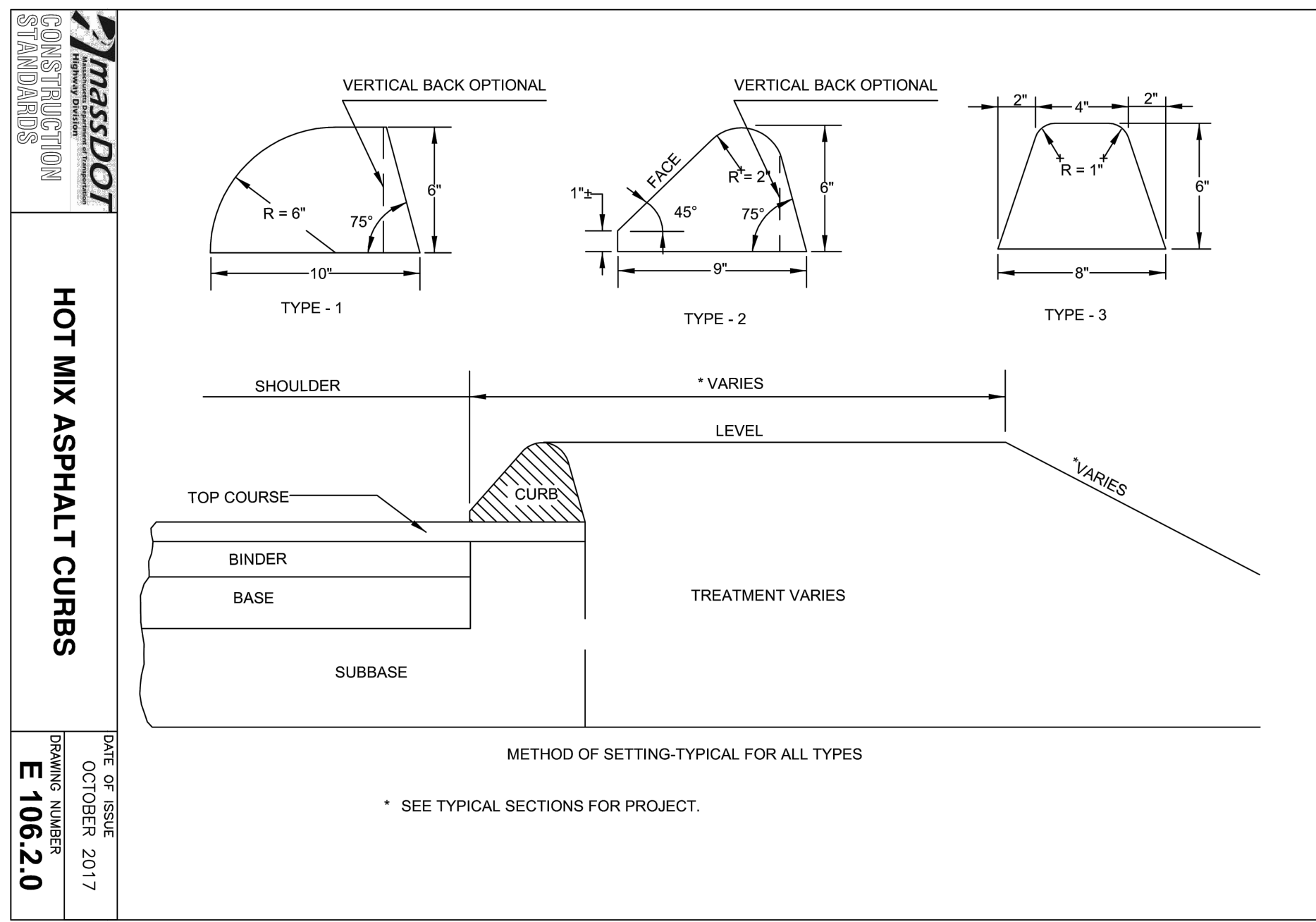
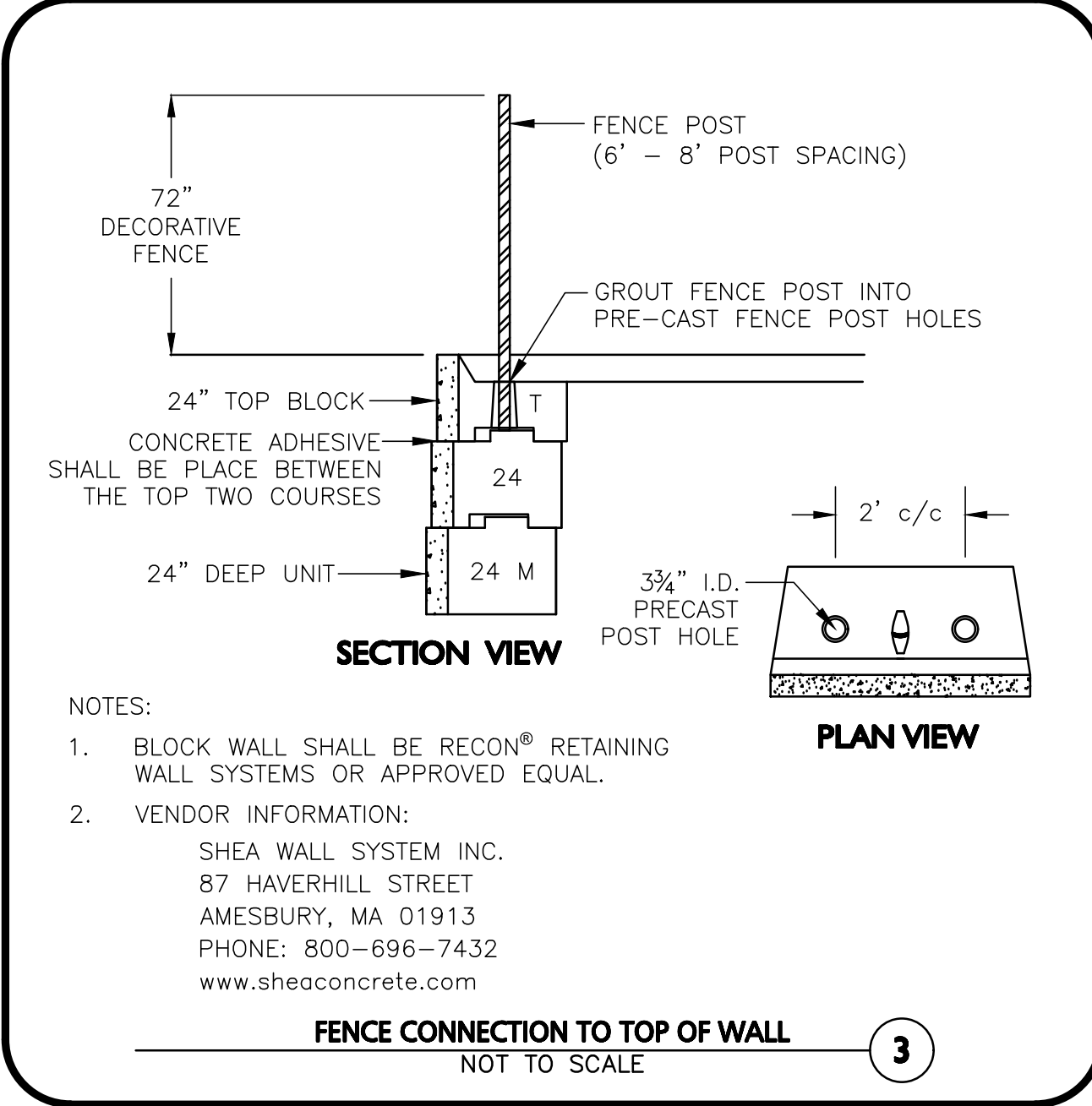
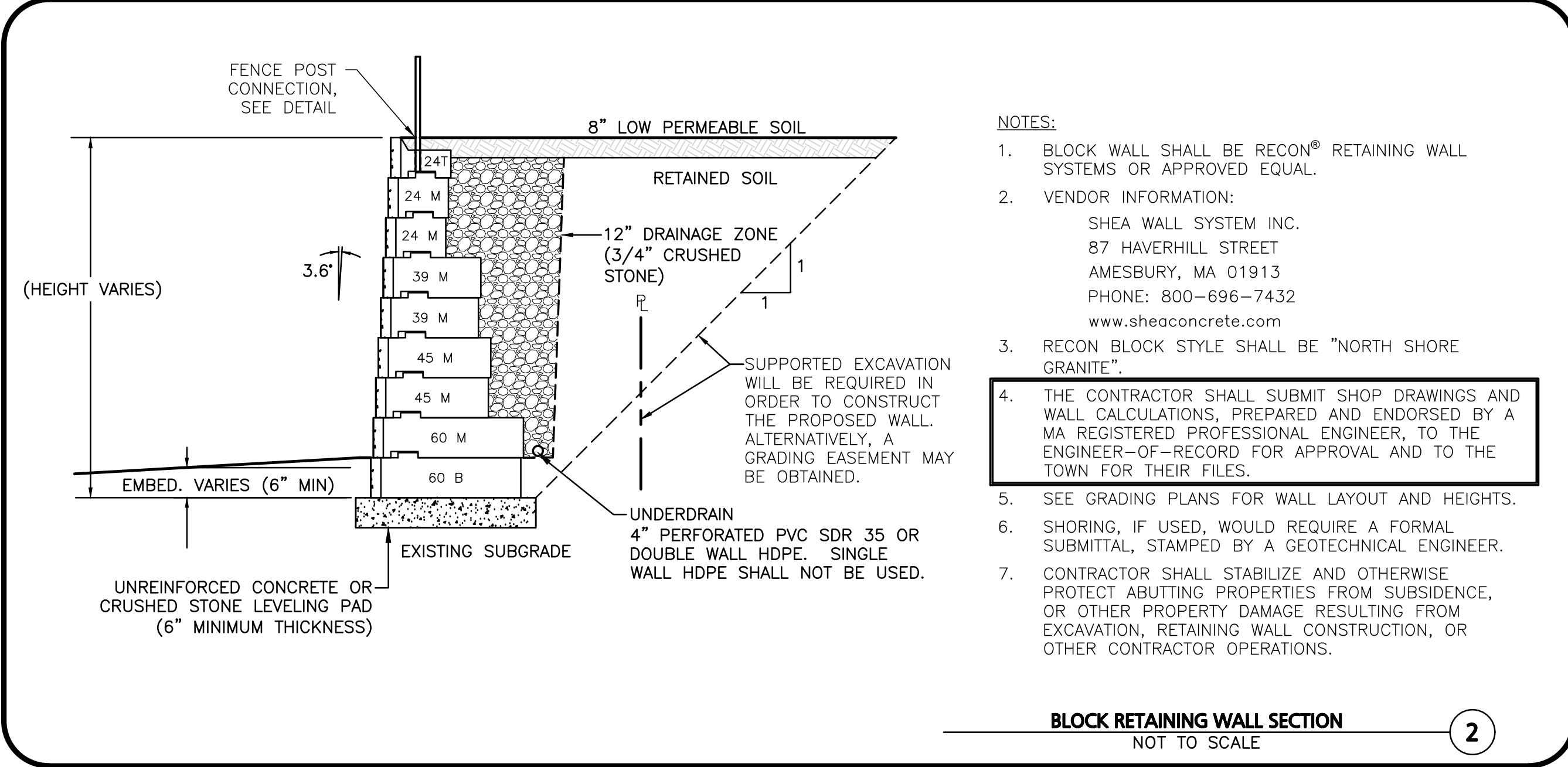
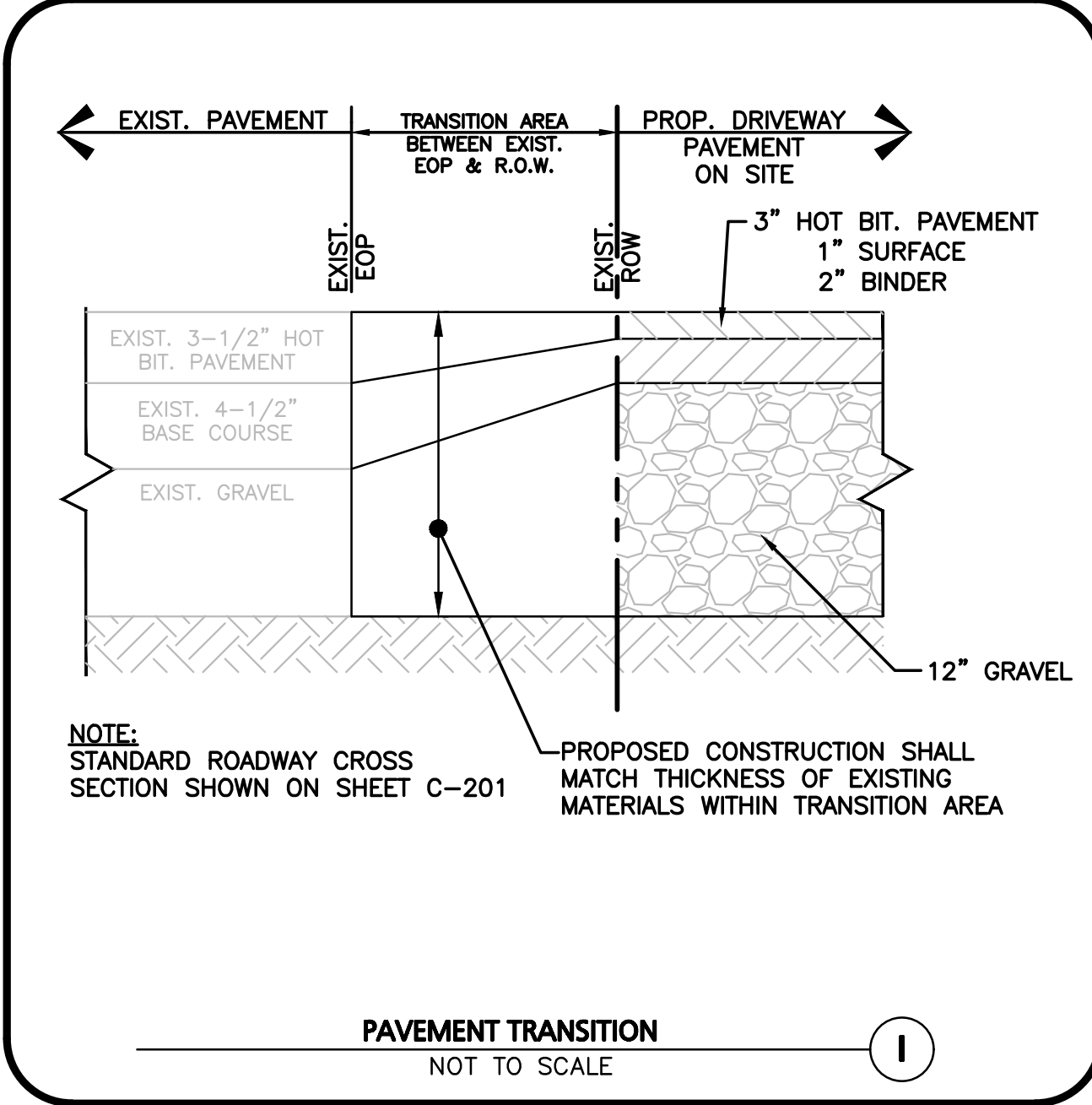
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 933-6889
FAX: (781) 933-2896

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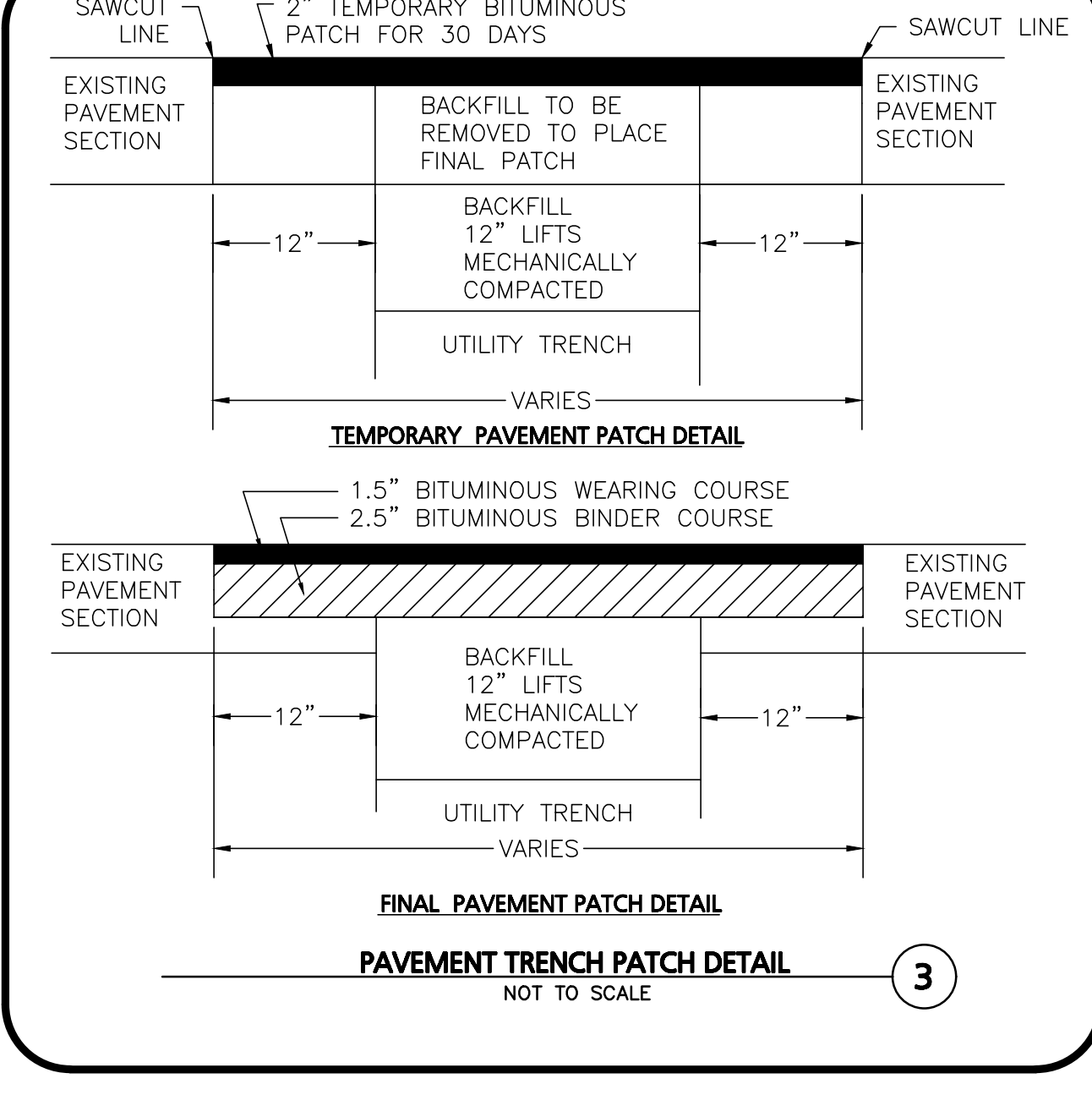
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CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS

ROADWAY PROFILE GRADE	* HIGH SIDE TRANSITION LENGTH
%	ENGLISH UNITS
=0%	6'-6"
>0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" Max

NOTE:
* BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HERewith.

DATE: _____

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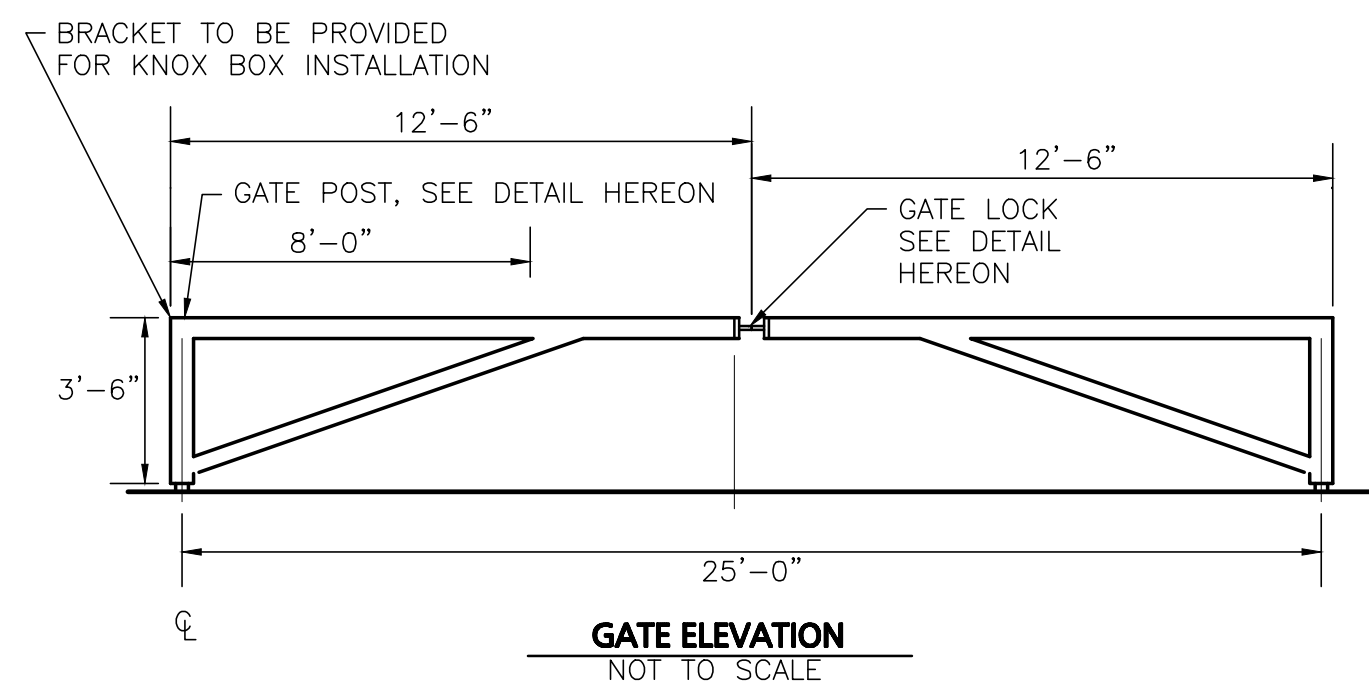
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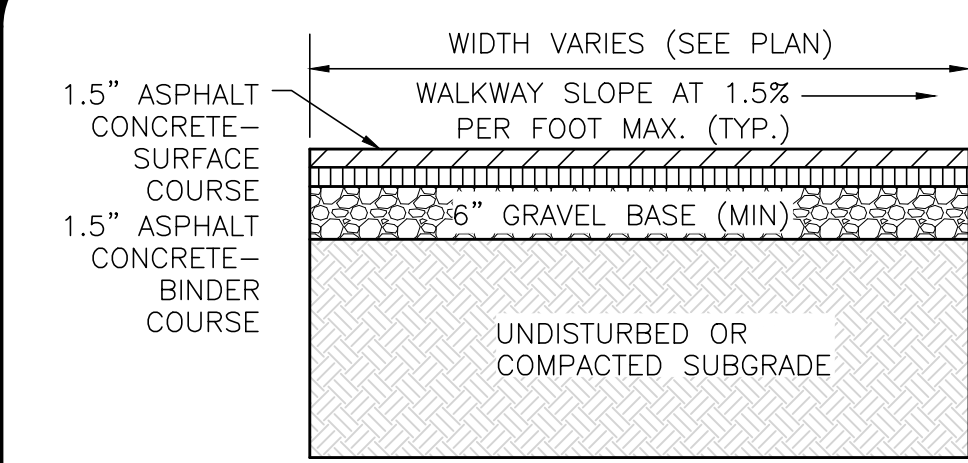
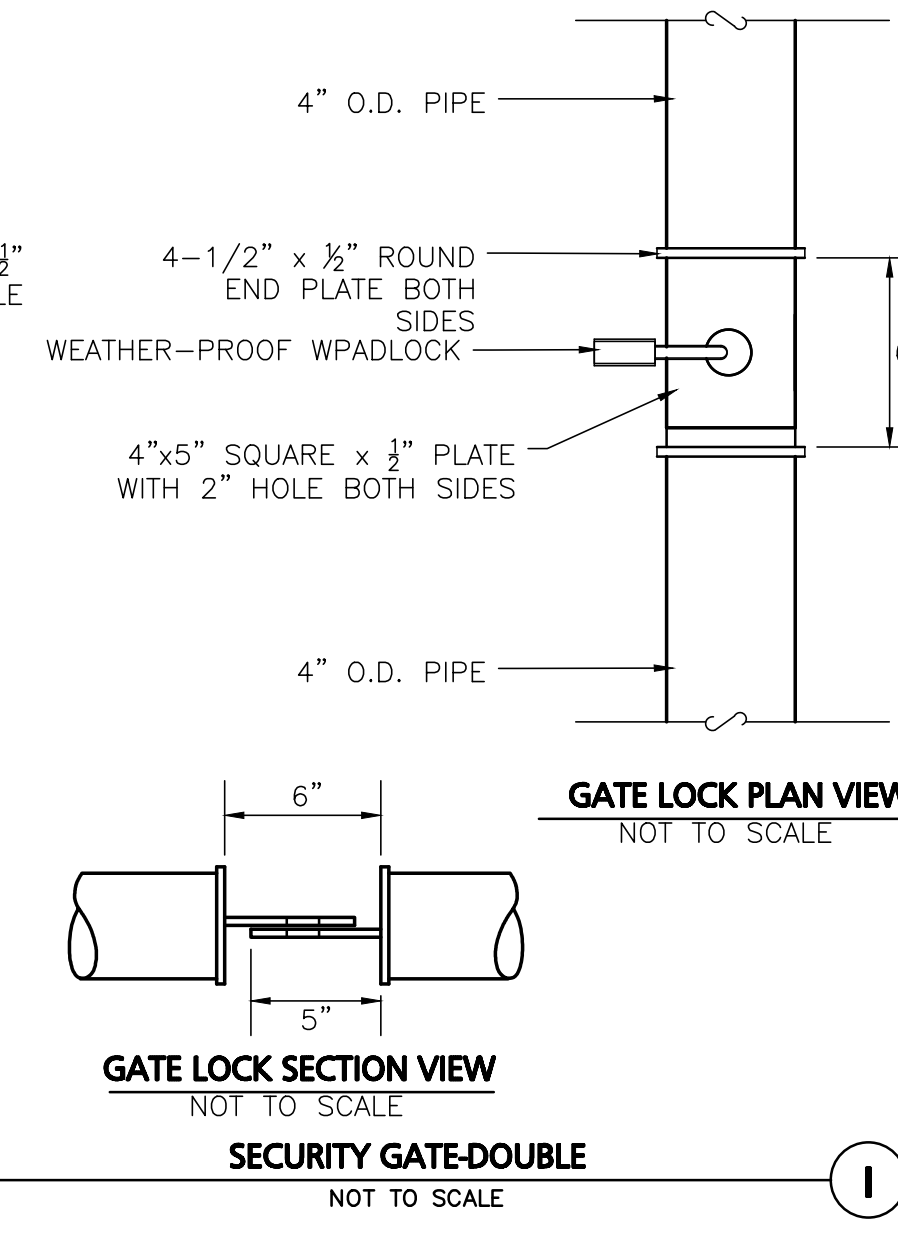
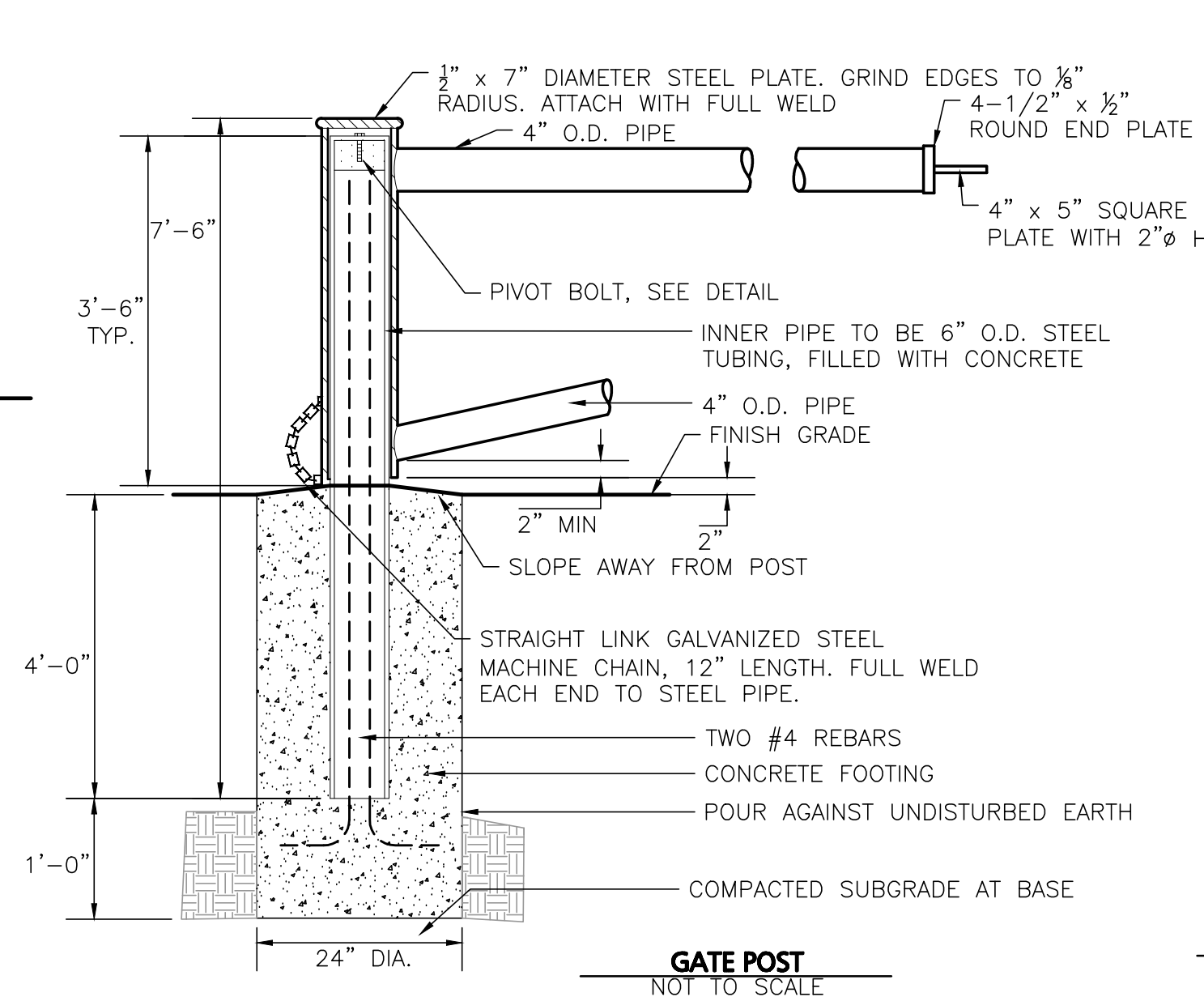
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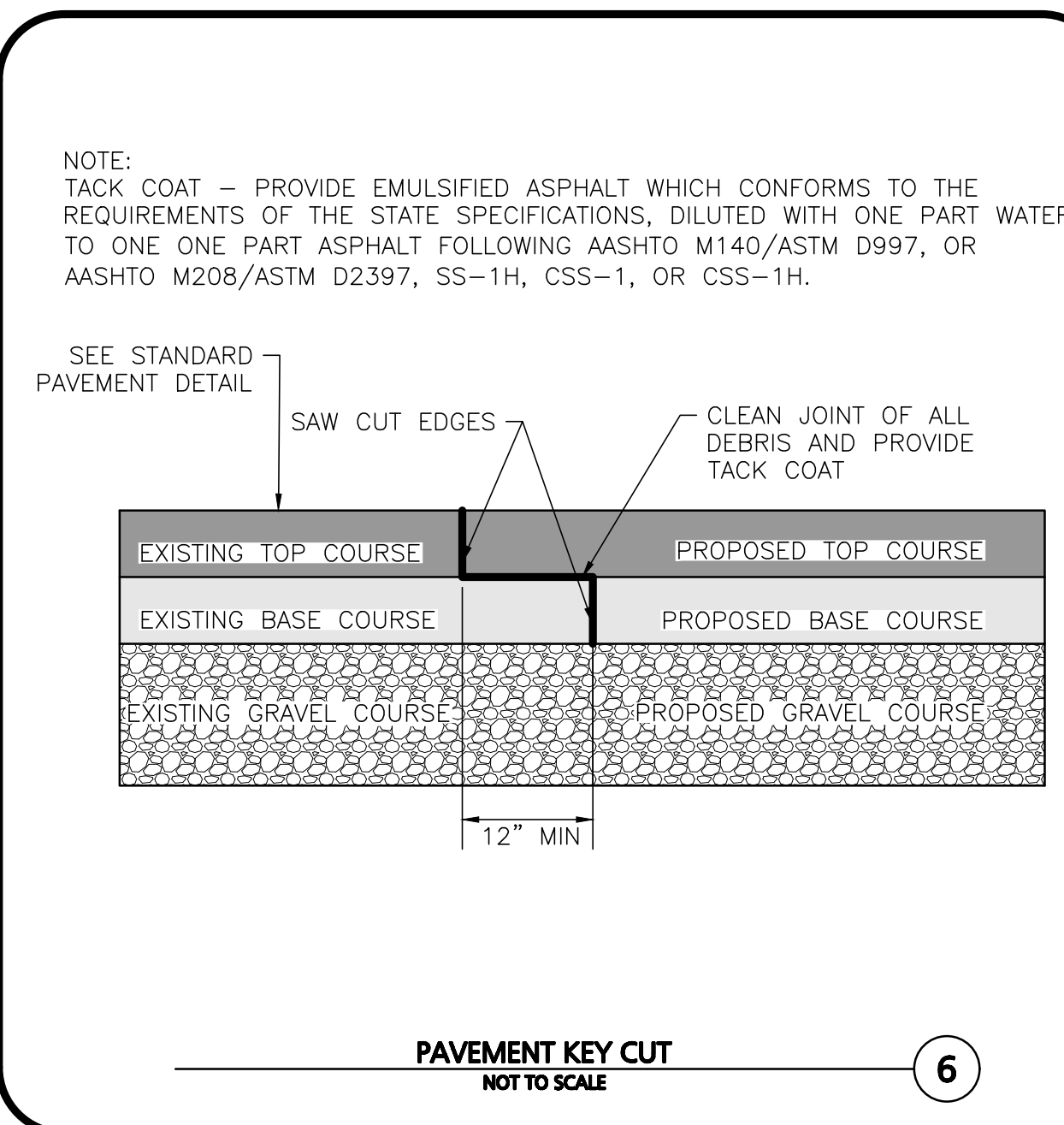
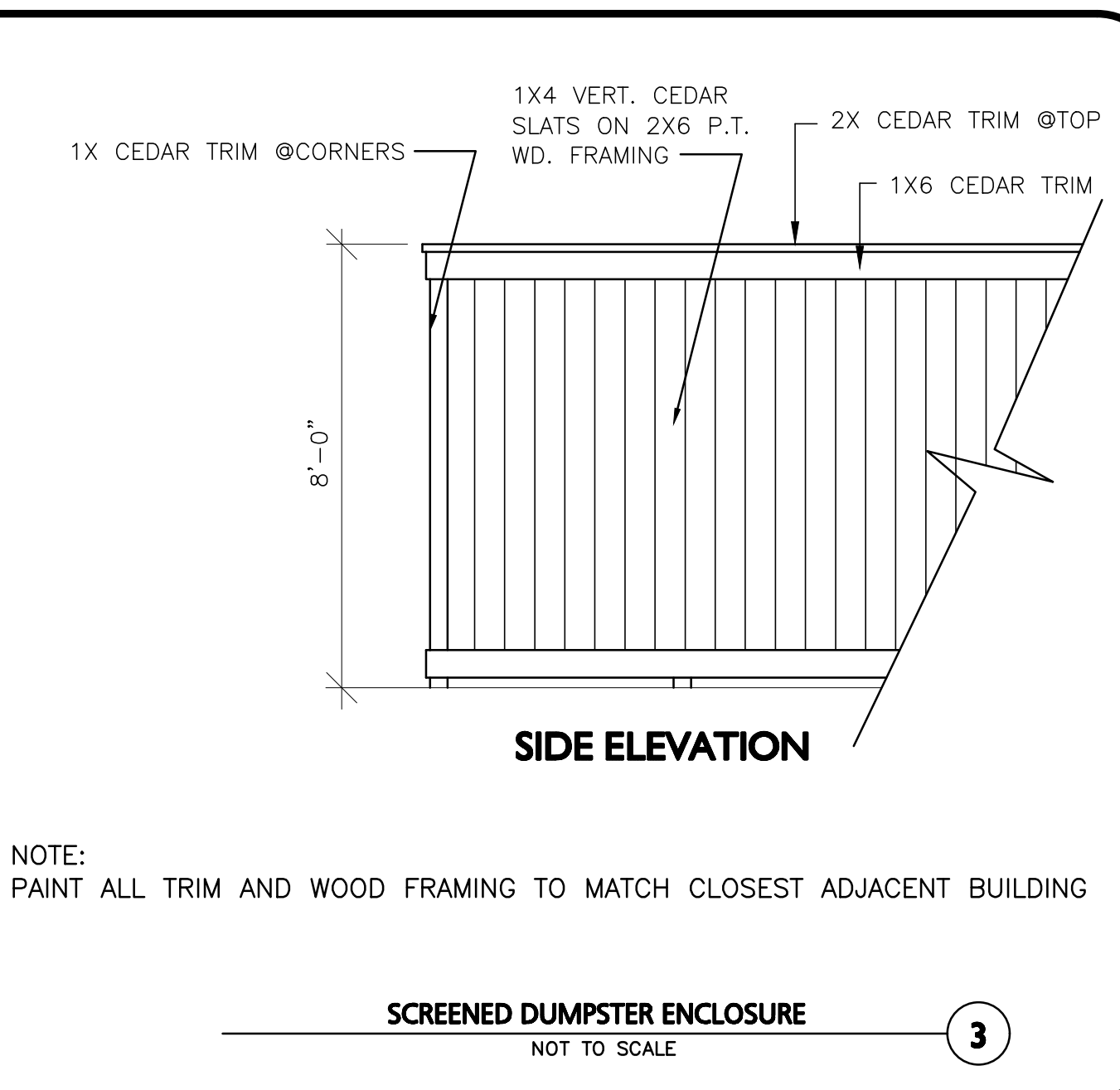
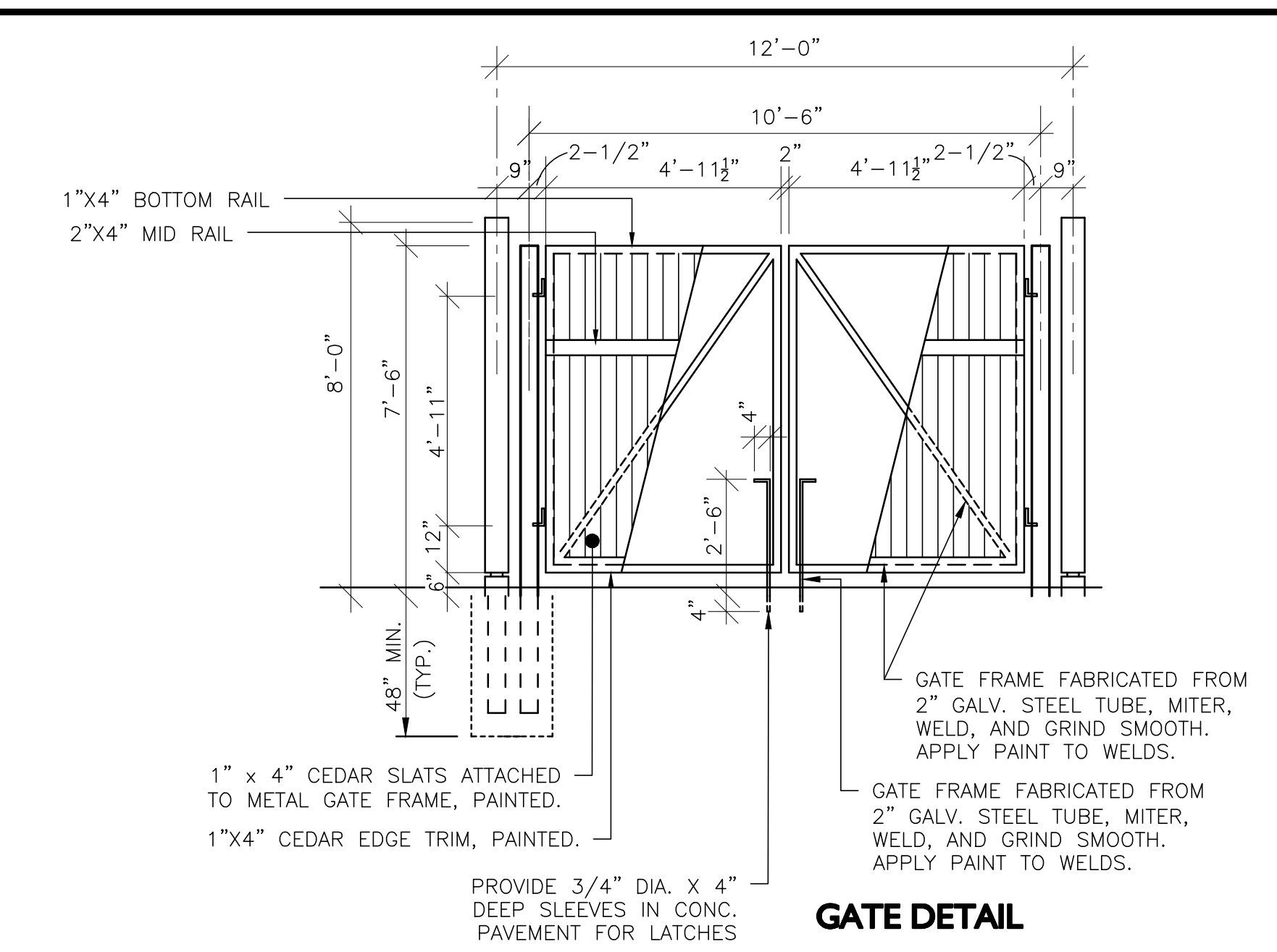
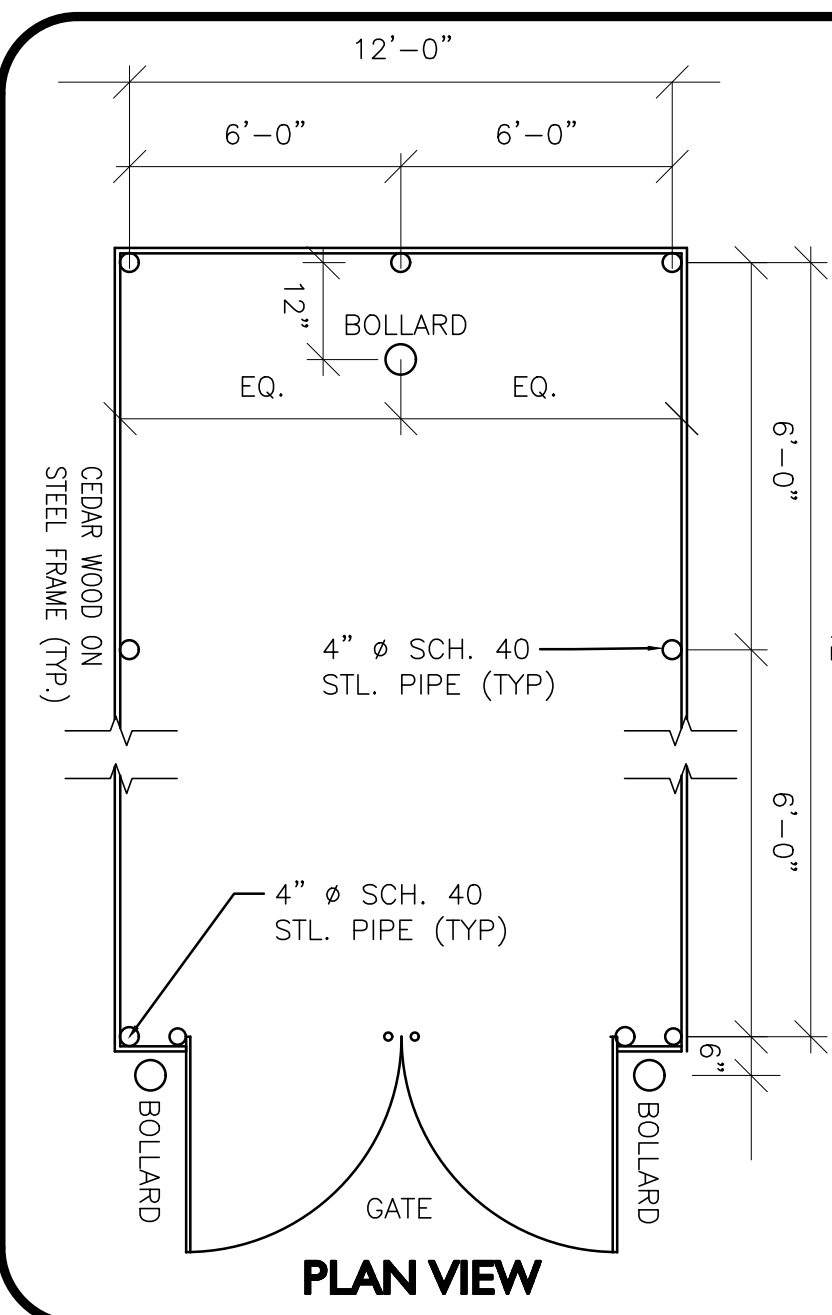
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- NOTES:
1. ALL STEEL TUBING TO BE SCHEDULE 80 GALVANIZED STEEL.
 2. PROVIDE FULL WELD ON ALL JOINTS.
 3. ALL WELDS SHALL BE PAINTED WITH A GRAY COLOR TO MATCH THE GALVANIZED STEEL.
 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER/ENGINEER FOR REVIEW PRIOR TO FABRICATION.



- NOTES:
1. REFERENCE PLANS FOR ELEVATIONS.
 2. COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95% OF ASTM D 1557 LABORATORY DENSITY.
 3. PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING, EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
 4. CONTRACTOR SHALL COORDINATE SURFACE, BINDER, AND BASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
 5. BASE COURSE SHALL EXTEND 6 INCHES BEYOND WALKWAY EDGE WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.
 6. WALKWAY EDGES SHALL BE TAMPED WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.

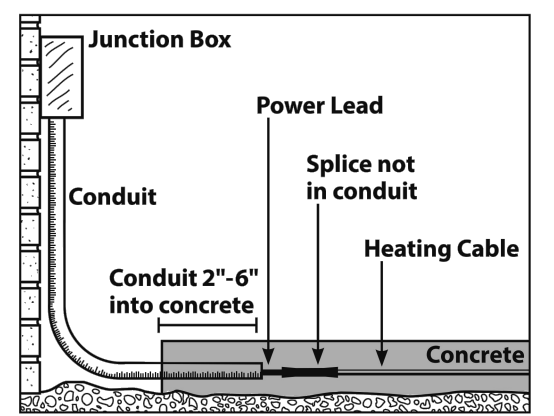


BASIC INSTALLATION

STEP 3.1
 Determine a time to install the mat/cable when equipment, heavy tools, and site traffic will be minimal to keep from possibly damaging the product. Be prepared to apply the surfacing courses over the mat/cable the same day so it will be protected from damage.

If installing mat/cable in the upper layer of a two-stage concrete slab or the upper layer of an asphalt application, the mat or cable should be completely ready for the second stage. There is limited time between stages, as the slab should not be allowed to fully cure or the asphalt to completely cool. Therefore, if using ProMelt Cable, you may want to lay it out and tie it to rewire that can be quickly lifted into place after the first stage is laid. This might also be preferable for a mat installation, although if mats are pre-cut and shaped to the area, they generally can be rolled into place fairly quickly.

- If a slab sensor is installed in this second layer, plan ahead so this does not cause the first layer to cure or cool too much.
- Inspect the area and remove any sharp objects.



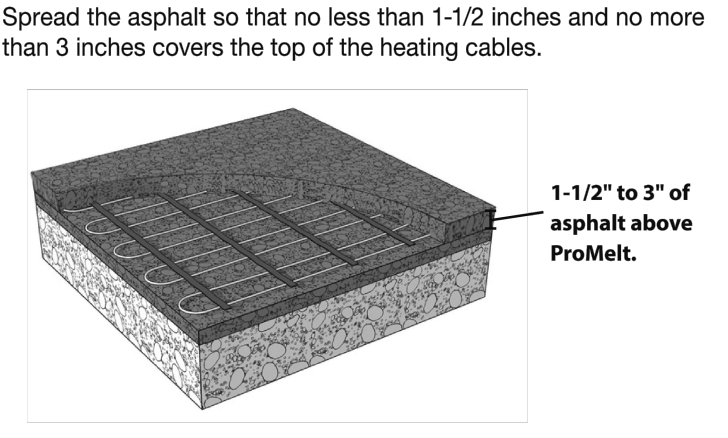
NOTICE
 Install in temperatures at least 40°F (4.5°C).

Asphalt Application
 If required, apply a prime coat to the first course or untreated base over the top of the cable.
 Use 1/2" aggregate or smaller. Larger aggregate can cut or pinch the cable.

NOTICE
 Before applying, ensure the asphalt temperature is not greater than 285°F (140°C).

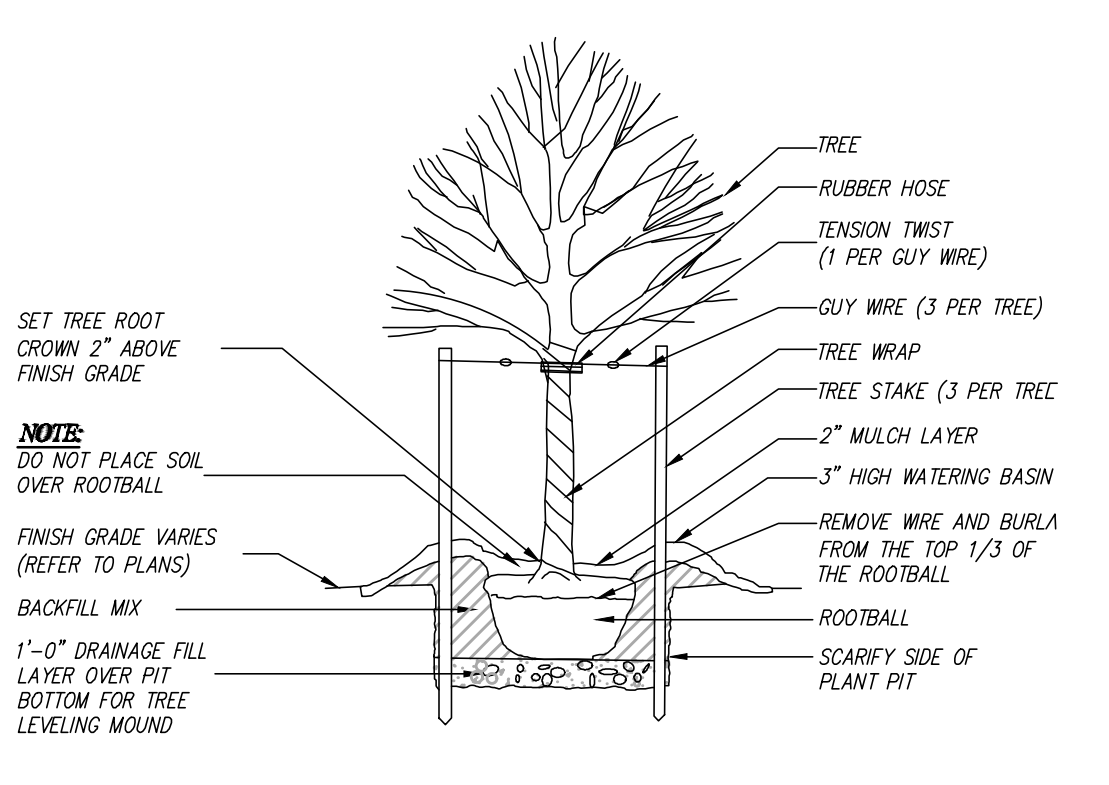
Good compaction of the asphalt requires a certain temperature range of installation, depending on the type of asphalt being installed.
 Manually lay the asphalt at the cable level.

NOTICE
 Do not apply with asphalt machines as they may damage the cable.

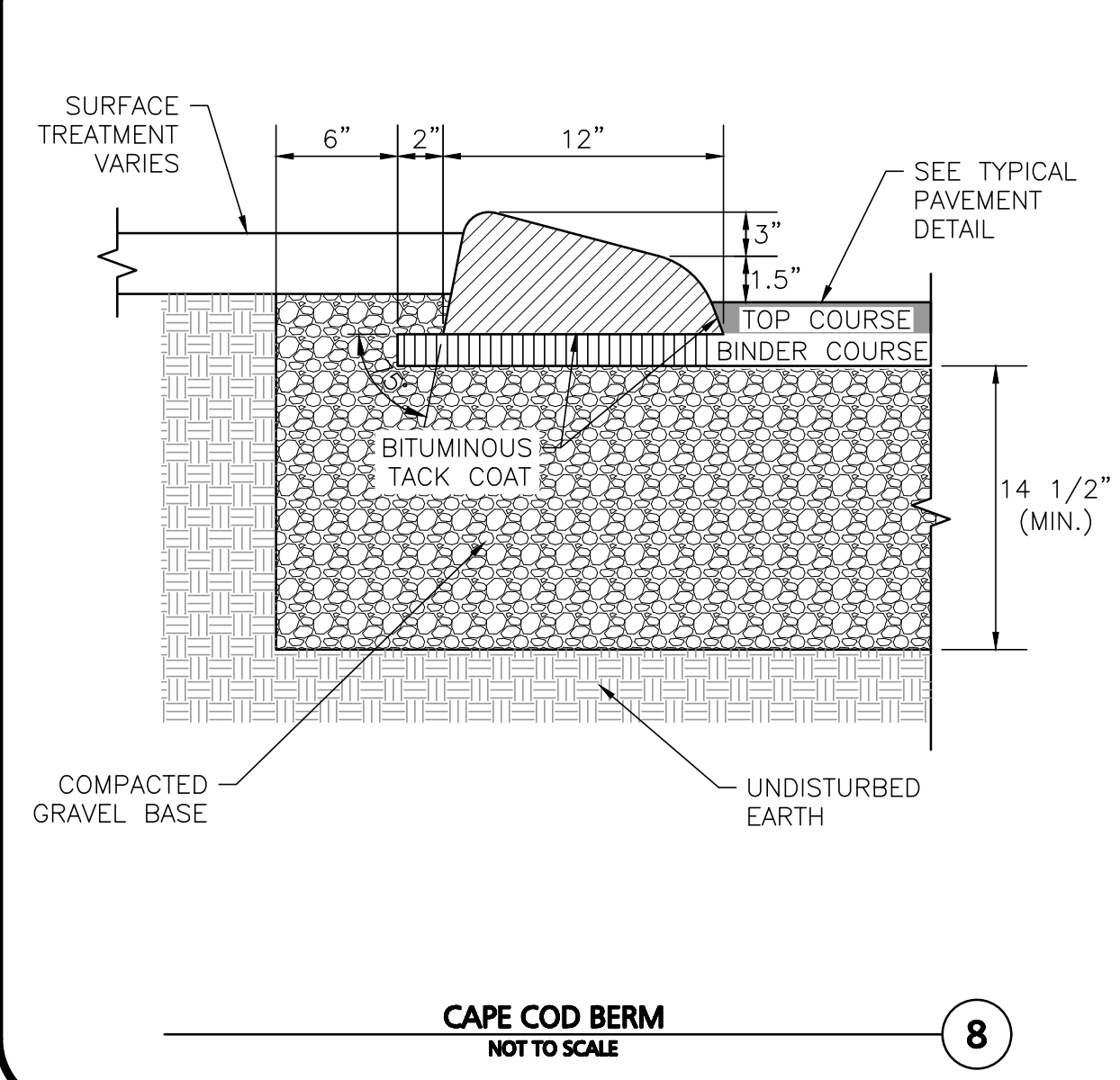


- NOTES:
1. SNOW MELT SYSTEM TO BE WARMUP SNOW MELTING MATS, 3" CABLE SPACING, 37.5W PER SQ FT, 16.4' COLD LEAD, TWIN-CONDUCTOR HEATING CABLE 1/4"TH, 208V, COVERS 120 SQ FT - 2'W X 60'L, 21.7 AMPS AT 3-PHASE, 4507W OR APPROVED EQUAL.
 2. VENDOR INFORMATION:
 WARMUP INC
 25-A FRANCIS J CLARKE CIRCLE
 BETHEL, CONNECTICUT 06801
 T: 888-927-6333
 WWW.WARMUP.COM
 3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND ELECTRICAL DRAWINGS PREPARED AND ENDORSED BY A MA REGISTERED PROFESSIONAL ENGINEER, TO THE ENGINEER-OF-RECORD FOR APPROVAL AND TO THE TOWN FOR THEIR FILES.
 4. SEE LAYOUT PLANS FOR LIMITS OF SNOW MELT SYSTEM

PAVEMENT SNOW MELT SYSTEM
 NOT TO SCALE



TREE PLANTING DETAIL
 NOT TO SCALE



CAPE COD BERM
 NOT TO SCALE

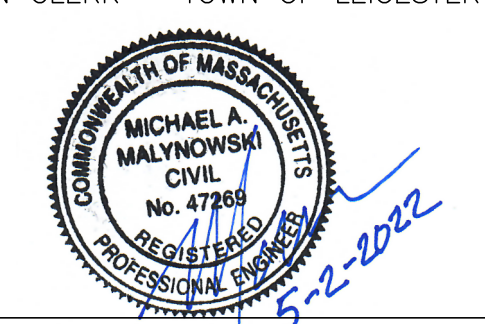
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PROJECT:
 SKYVIEW ESTATES
 RESIDENTIAL DEVELOPMENT
 MAIN STREET
 LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21
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PREPARED BY:

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