

PROPOSED MULTI FAMILY RESIDENCES #778 MAIN STREET LEICESTER, MA 01524 MAP 21A, LOT 11

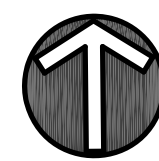
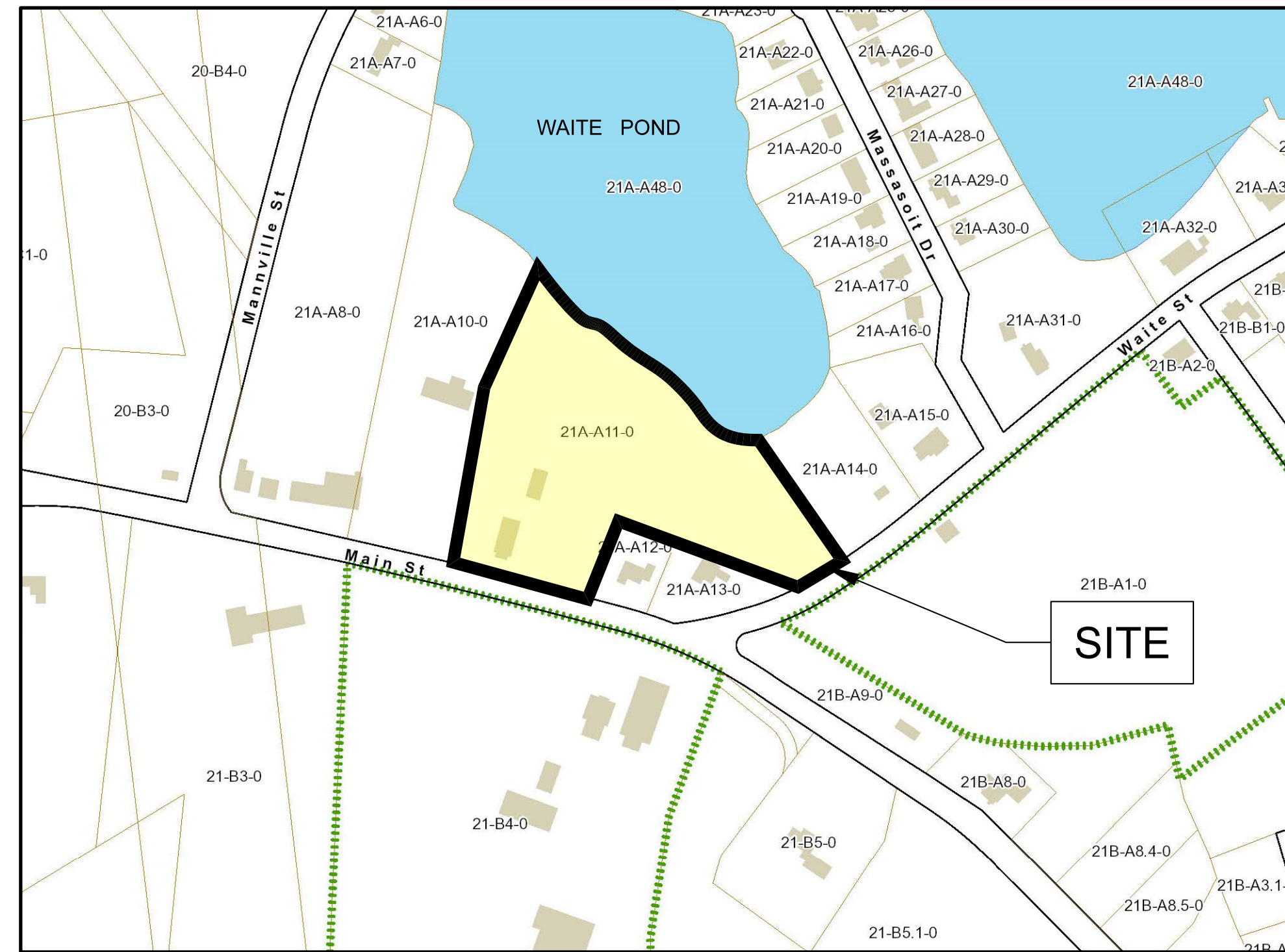
OWNER
CHARLTON ROAD REALTY, LLC. 25 WATERVILLE LANE SHREWSBURY, MA 01545
PREPARED FOR
CHARLTON ROAD REALTY, LLC. 25 WATERVILLE LANE SHREWSBURY, MA 01545

CIVIL ENGINEER:
CMG ENVIRONMENTAL, INC.
67 HALL ROAD
STURBRIDGE, MA 01560
CONTACT: DAVID FAIST, P.E.
(774) 241 - 0901

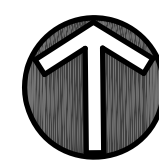
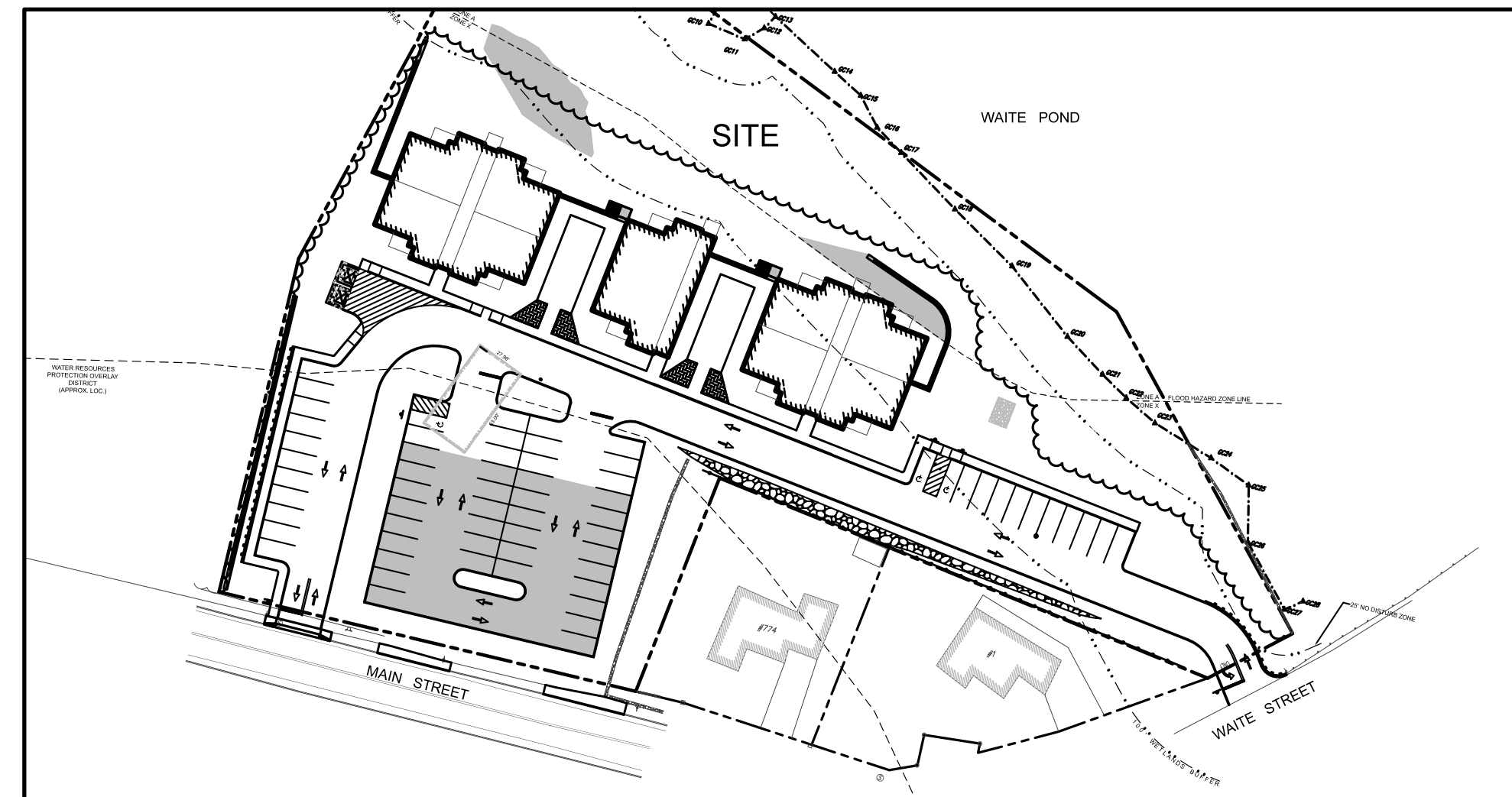
TRAFFIC ENGINEER:
RON MÜLLER & ASSOCIATES
56 TERESA ROAD
HOPKINTON, MA 01748
(508) 395 - 1576

SURVEYOR:
LEVESQUE GEOMATICS INC
43 GLENDALE ROAD
STURBRIDGE, MA 01518
(508) 868 - 0041

ARCHITECT:
STEVE FLESHMAN ARCHITECT LLC
99 APPLE ROAD
BRIMFIELD, MA 01010
(508) 347 - 7188



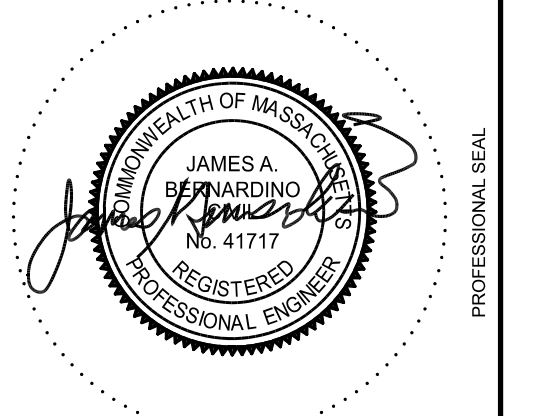
LOCUS MAP
APPROXIMATE SCALE: 1" = 200'



LOCATION PLAN
APPROXIMATE SCALE: 1" = 60'

SHEET #	SHEET NAME
C-1.0	TITLE SHEET
C-2.0	GENERAL NOTES SHEET
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)
C-3.0	DEMOLITION PLAN
C-4.0	SITE LAYOUT PLAN
C-5.0	GRADING & DRAINAGE PLAN
C-6.0	UTILITY PLAN
C-7.0	EROSION & SEDIMENT CONTROL PLAN
C-7.1	EROSION & SEDIMENT CONTROL DETAILS
C-8.0	CONSTRUCTION DETAILS
C-8.1	CONSTRUCTION DETAILS
C-8.2	CONSTRUCTION DETAILS
L-1	PLANTING PLAN (BY JCLA)
L-2	PLANTING DETAILS (BY JCLA)
	LIGHTING PLAN (BY CREE LIGHTING)

NO.	DATE	DESCRIPTION	BY	
			CKD	JAB
1.	12/6/2022	ZONING BOARD OF APPEALS SUBMISSION	RL	



PROJECT:
PROPOSED MULTI FAMILY RESIDENCES
#778 MAIN STREET
LEICESTER, MA 01524

PREPARED FOR:
CHARLTON ROAD REALTY, LLC
25 WATERVILLE LANE
SHREWSBURY, MA 01545

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906



ISSUE DATE: 10/24/2022
DRAWN BY: MM CHECKED BY: JAB
SCALE: AS NOTED
PROJECT NO.: 2021-226

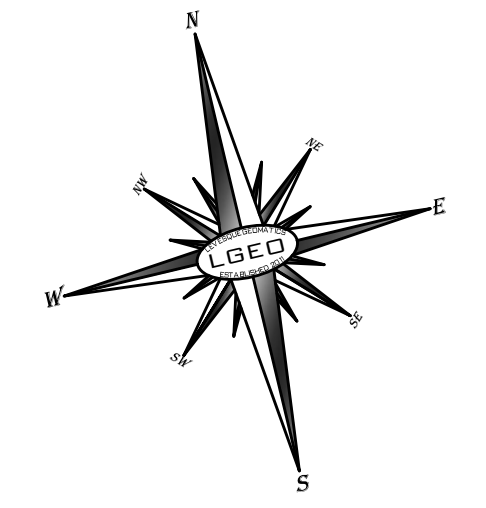
TITLE SHEET
C-1.0

NOTES:

1. PROPERTY KNOWN AS MAP 21A, LOT 11 AS SHOWN ON THE TAX MAPS OF THE TOWN OF LEICESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS.
2. AREA = 140,006 SF OR 3.214 AC.
3. THE BEARING BASIS OF THIS SURVEY REFERS TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD '83) MAINLAND SYSTEM, BASED ON REAL TIME GPS OBSERVATIONS ON THE MACORS REAL-TIME NETWORK.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY LEVESQUE GEOMATICS INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. THE ELEVATIONS SHOWN HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 BASED ON RTK GPS OBSERVATIONS ON THE MACORS REALTIME NETWORK AND ARE SUBJECT TO LOCAL BENCHMARK ADJUSTMENT.
7. THE DELINEATION LINE WAS PLACED IN THE FIELD BY GODDARD CONSULTING LLC IN DECEMBER 2021, AND FIELD LOCATED BY LEVESQUE GEOMATICS, INC. ON JANUARY 11, 2022.
8. THE LOCATION OF UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. UTILITY INFORMATION SHOWN IS LIMITED TO VISIBLE UTILITY HARDWARE AND UTILITY MARKOUTS AT THE SURFACE AND DOES NOT INCLUDE SUCH ITEMS AS SUBSURFACE PIPING, UTILITY LINES, ETC. BEFORE ANY EXCAVATION IS TO BEGIN, UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES. LEVESQUE GEOMATICS, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
9. THE PROPERTY SHOWN IS LOCATED PARTIALLY IN FLOOD HAZARD ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) AND PARTIALLY IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOODPLAIN) PER THE TOWN OF LEICESTER, PANEL 782 OF 1075 MAP NUMBER 25027C0782E, WITH AN EFFECTIVE DATE OF JULY 4, 2011.

REFERENCES:

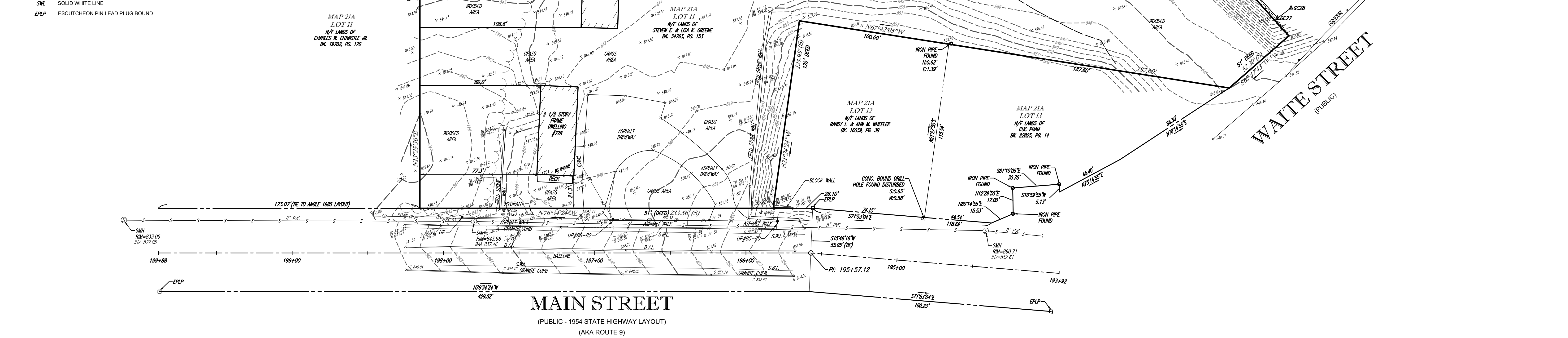
1. MAP ENTITLED "LOCATION OF BUILDING, HOWARD G. COOK, 778 MAIN STREET, LEICESTER," DATED JULY 30, 1934 AND FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 80, PLAN 34.
2. PLAN ENTITLED "1954 STATE HIGHWAY ALTERATION" LAYOUT #4171-3.



LEGEND

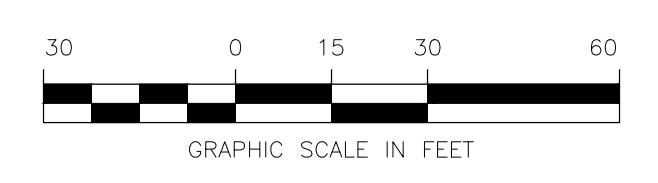
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING TOP OF CURB ELEVATION
	EXISTING GUTTER ELEVATION
	EXISTING TOP OF WALL ELEVATION
	EXISTING BOTTOM OF WALL ELEVATION
	EXISTING DOOR SILL ELEVATION
	OVERHEAD WIRES
	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
	UTILITY POLE
	SANITARY/SEWER MANHOLE
	DELINEATION FLAG
	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
	DOUBLE YELLOW LINE
	SOLID WHITE LINE
	ESCUTCHEON PIN LEAD PLUG BOUND

MAP 21A LOT II N/F LANDS OF CHARLES W. ENWISTLE JR. BK. 19702, PG. 170



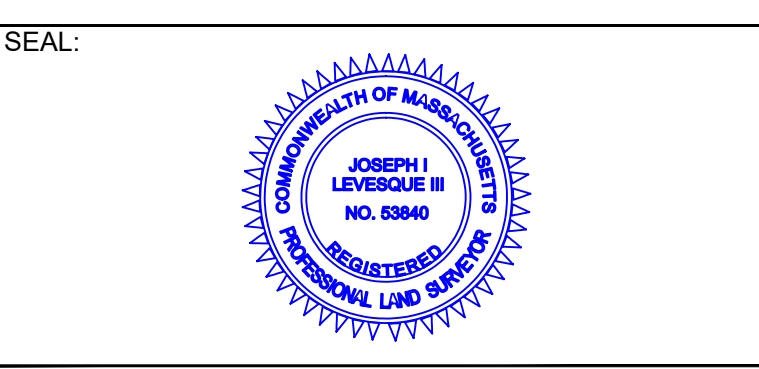
REVISIONS:

REV	DATE	COMMENT
1		
2		
3		



BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY
 OF
 MAP 21A, LOT II
PREPARED FOR CMG ENVIRONMENTAL INC.
 778 MAIN STREET
 TOWN OF LEICESTER
 WORCESTER COUNTY
 COMMONWEALTH OF MASSACHUSETTS

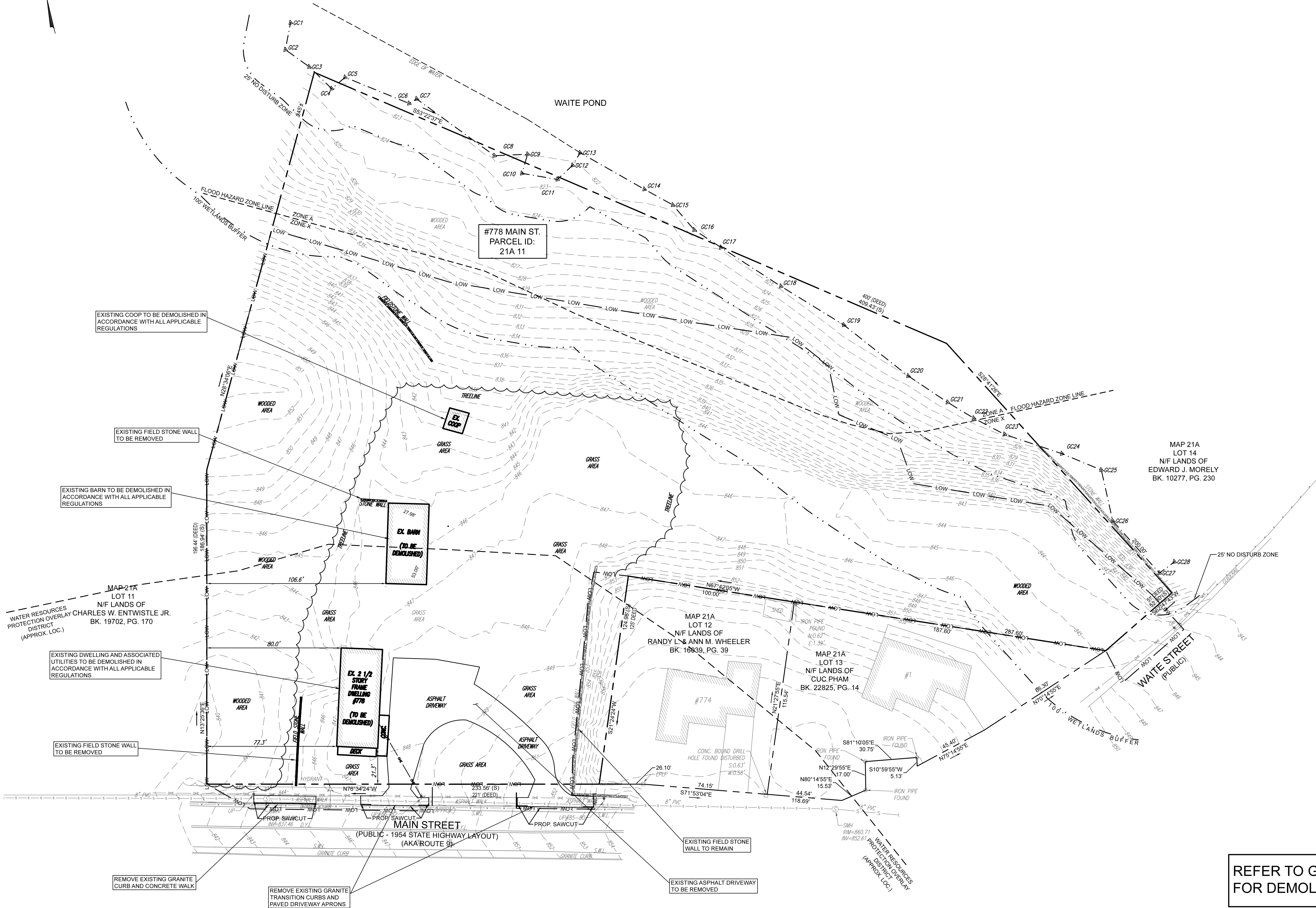
PREPARED BY:
LEVESQUE GEOMATICS INC
 43 GLENDALE ROAD
 STURBRIDGE, MA 01518
 PHONE: (508) 868-0041



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

Joseph I. Levesque III
JOSEPH I. LEVESQUE III
 MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #53840

SCALE:	1" = 30'
PROJECT #	CMG-016
DATE	JANUARY 11, 2022



EXISTING COOP TO BE DEMOLISHED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS

EXISTING FIELD STONE WALL TO BE REMOVED

EXISTING BARN TO BE DEMOLISHED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS

EXISTING DWELLING AND ASSOCIATED UTILITIES TO BE DEMOLISHED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS

EXISTING FIELD STONE WALL TO BE REMOVED

REMOVE EXISTING GRANITE CURB AND CONCRETE WALK

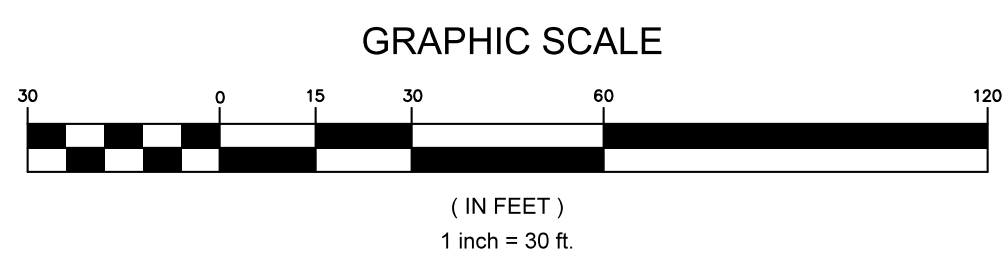
REMOVE EXISTING GRANITE TRANSITION CURBS AND PAVED DRIVEWAY APRONS

EXISTING FIELD STONE WALL TO REMAIN

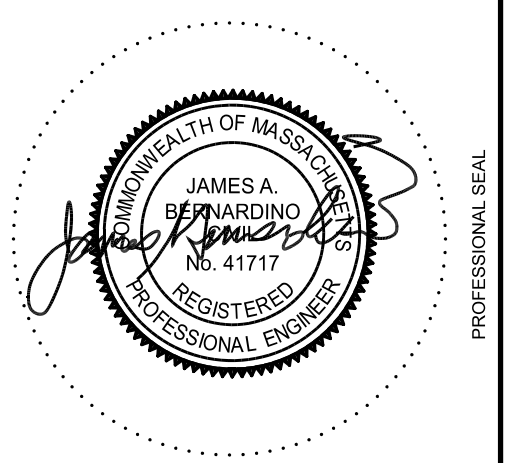
EXISTING ASPHALT DRIVEWAY TO BE REMOVED

REFER TO GENERAL NOTE SHEET FOR DEMOLITION NOTES

DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY DIG SAFE 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



REVISIONS	
NO.	DESCRIPTION
1.	ZONING BOARD OF APPEALS SUBMISSION



PROPOSED MULTI FAMILY RESIDENCES
 #778 MAIN STREET
 LEICESTER, MA 01524

PREPARED FOR:
CHARLTON ROAD REALTY, LLC
 25 WATERVILLE LANE
 SHREWSBURY, MA 01545

ENGINEERING SERVICES
 ENVIRONMENTAL SERVICES

67 Hall Road
 Sturbridge, MA 01560
 Phone: 774-241-0901
 fax: 774-241-0906



ISSUE DATE: 10/24/2022
 DRAWN BY: MM CHECKED BY: JAB
 SCALE: 1" = 30'
 PROJECT NO.: 2021-226

DEMOLITION PLAN

C-3.0

SIGN LEGEND:



ZONING INFORMATION TABLE - LEICESTER, MA

#778 MAIN STREET, LEICESTER

PREPARED FOR: CHARLTON ROAD REALTY, LLC 25 WATERVILLE LANE SHREWSBURY, MA 01545
 CURRENT OWNER: CHARLTON ROAD REALTY, LLC 25 WATERVILLE LANE SHREWSBURY, MA 01545

ASSESSOR'S MAP ID: MAP 21A LOT 11 DEED: BK 44,964 PG 320

ZONING: B (BUSINESS)

OVERLAY DISTRICT: WATER RESOURCES PROTECTION OVERLAY DISTRICT

EXISTING USE: RESIDENTIAL

PROPOSED USE: MULTI FAMILY (SPECIAL PERMIT REQUIRED FROM PLANNING BOARD FOR USE) (SPECIAL PERMIT REQUIRED FROM ZBA FOR GREATER THAN 15% OR 2,500 S.F. OF IMPERVIOUS AREA ON LOT; 64,040 S.F. (46%) OF IMPERVIOUS AREA PROPOSED)

EXISTING ZONING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
LOT SIZE (MIN.)	15,000 S.F.	140,006 S.F. (3.214 Acres)	140,006 S.F. (3.214 Acres)
FRONTAGE (MIN.)	100 FT.	234± FT.	234± FT.
FRONT SETBACK (MIN.)	25 FT.	21.3 FT.	181.1 FT.
SIDE SETBACK (MIN.)	10 FT.	77.3 FT.	21.0 FT.
REAR SETBACK (MIN.)	25 FT.	N/A	N/A
MAX. BLDG. HEIGHT	35' (2.5 STORIES)	<35 FT. (2.5 STORIES)	SEE ARCHITECT PLANS
MAX. BLDG. COVERAGE	30%	2,754± S.F. (2%)	13,866± S.F. (10%)
IMPERVIOUS COVERAGE	N/A	N/A	64,040± S.F. (46%)

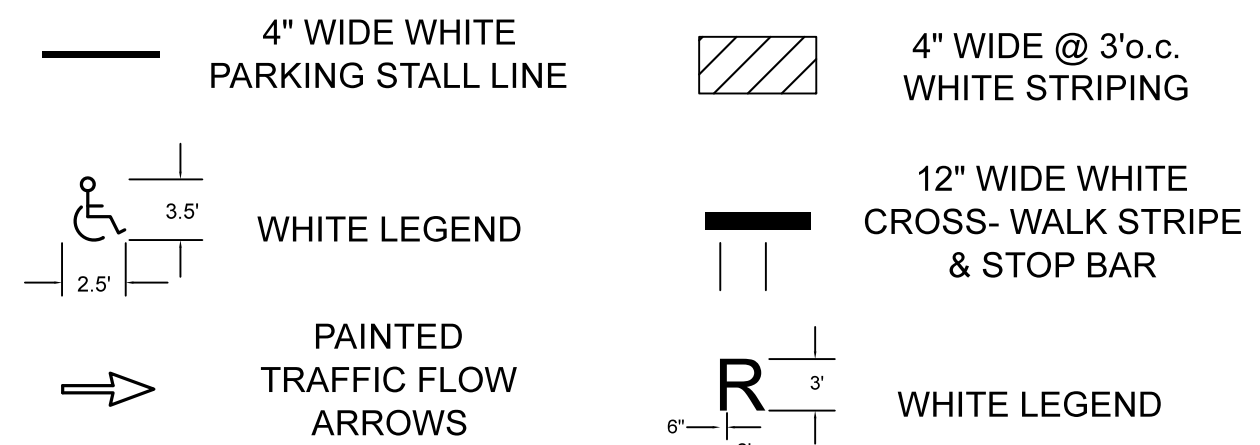
PROPOSED PARKING CALCULATION

Multi Family Dwellings:	REQUIRED	PROPOSED
(2 Spaces / Unit for 2 or more Bedrooms)	50 Spaces	50 Spaces
25 - 2 BR Units	9 Spaces	14 Spaces
(Plus 1 Space per every 3 Units)		
25 Units / 3		
Total Spaces =	59 Spaces	64 Spaces

Marked Handicap Accessible Spaces (51-75 Spaces) 3 Van Accessible

	REQUIRED	PROPOSED
3 HC Spaces	3 HC Spaces	3 HC Spaces

PAVEMENT STRIPING LEGEND:



MAP 21A LOT 14 N/F LANDS OF EDWARD J. MORELY BK. 10277, PG. 230

PROPOSED TIMBER GUARDRAIL (SEE DETAIL) ABOUT/CONNECT TO EXISTING GUARDRAIL

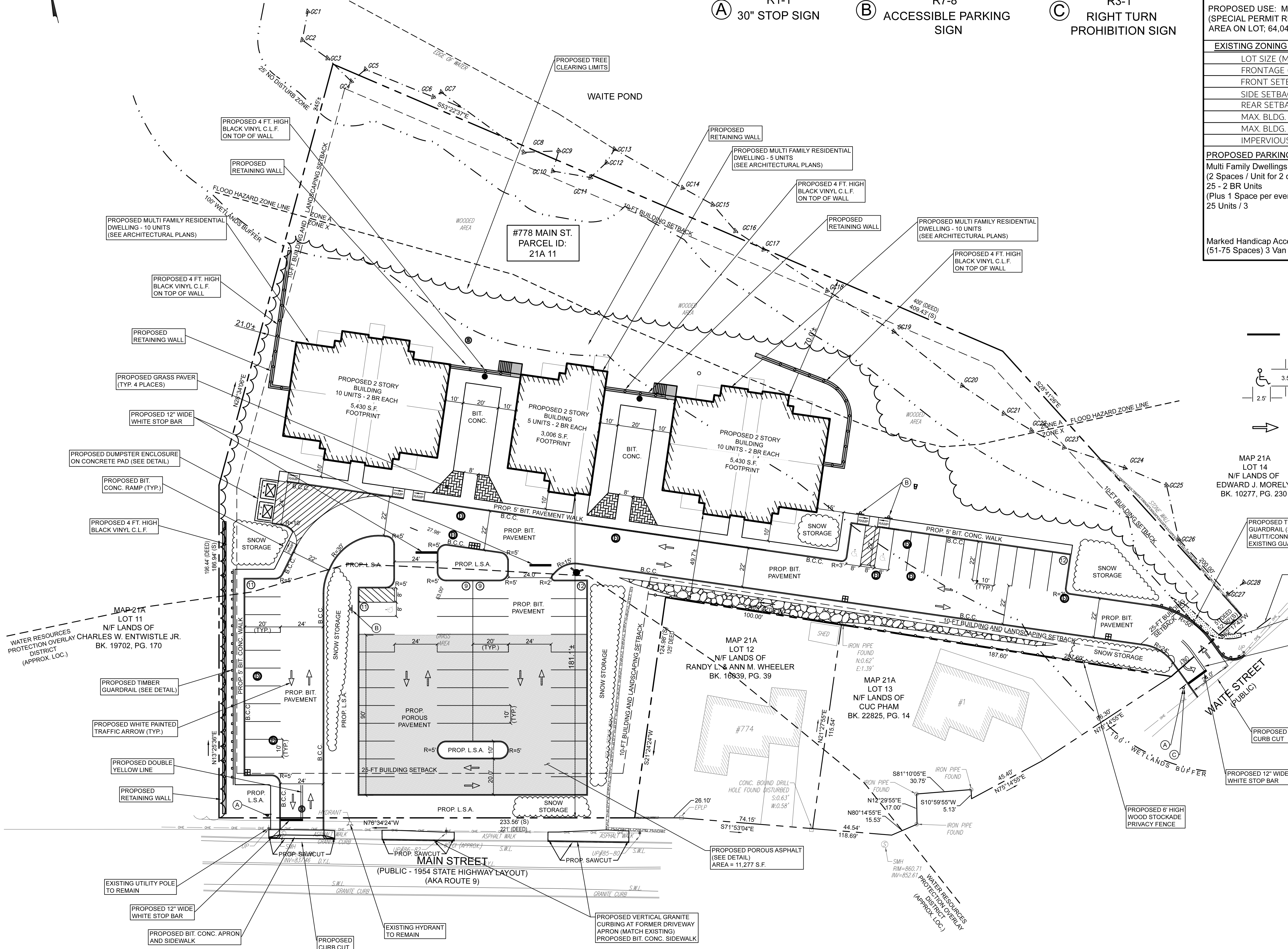
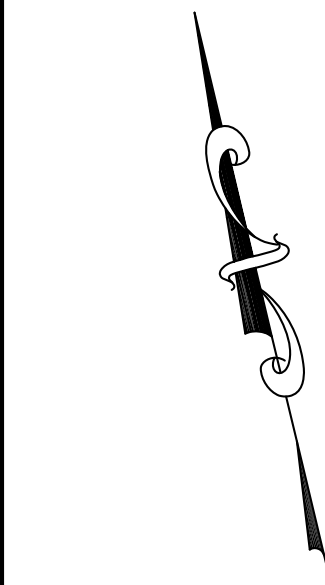
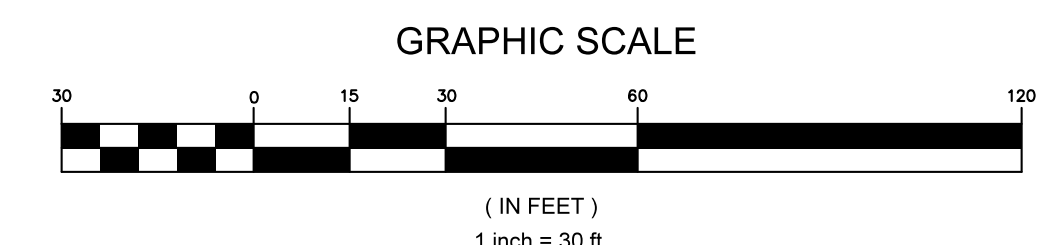
143± S.F. ALTERATION WITHIN 25 FT. LOCAL NO-DISTURB BUFFER

PROPOSED DOUBLE YELLOW LINE

PROPOSED CURB CUT

PROPOSED 12" WIDE WHITE STOP BAR

REFER TO GENERAL NOTE SHEET FOR SITE NOTES



DIG SAFE NOTE (1-888-344-7233): CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD
1.	12/6/2022	ZONING BOARD OF APPEALS SUBMISSION	RL	JAB



PROJECT: PROPOSED MULTI FAMILY RESIDENCES #778 MAIN STREET LEICESTER, MA 01524

PREPARED FOR: CHARLTON ROAD REALTY, LLC 25 WATERVILLE LANE SHREWSBURY, MA 01545

ENGINEERING SERVICES ENVIRONMENTAL SERVICES

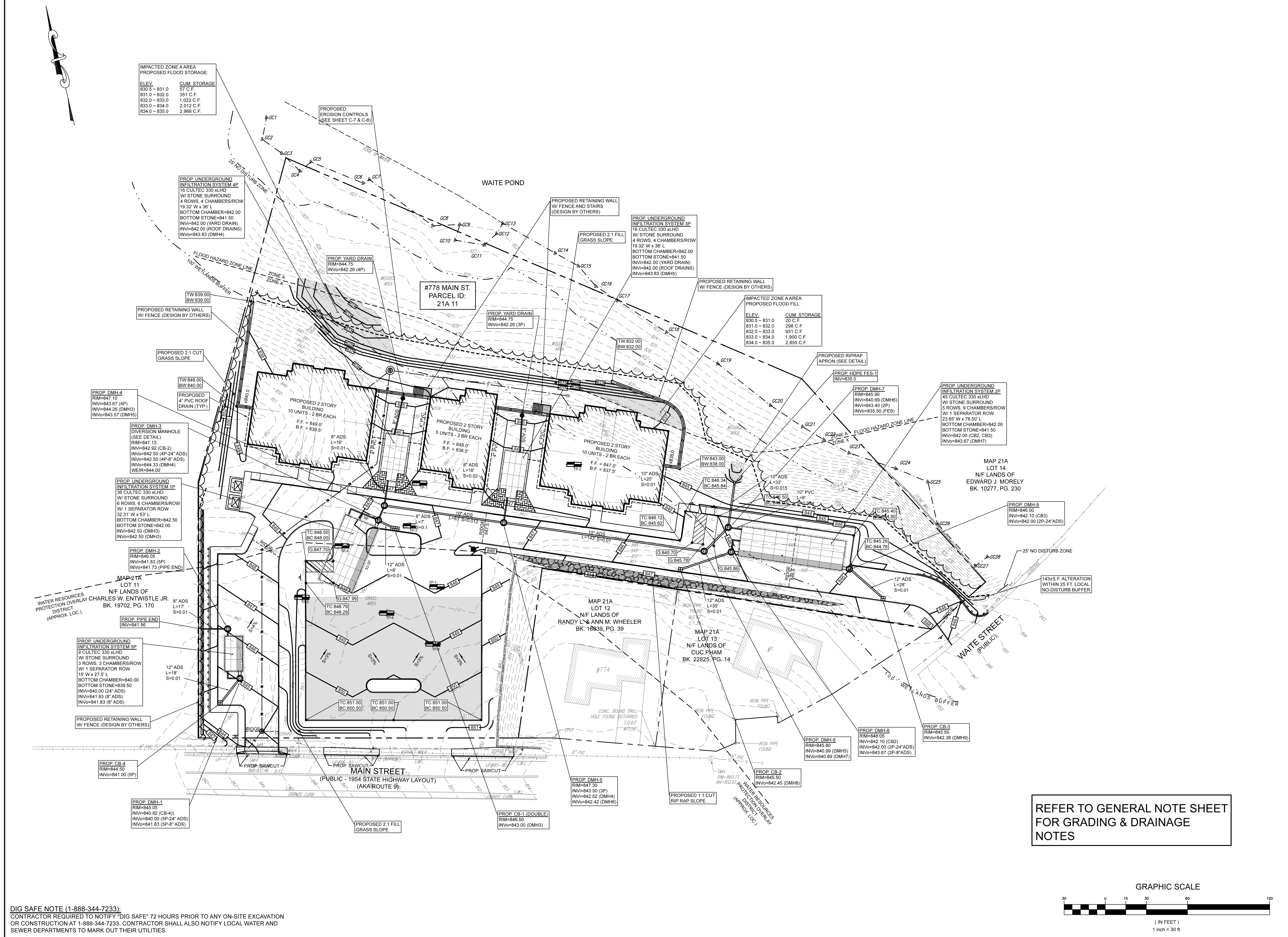
67 Hall Road Sturbridge, MA 01560
 Phone: 774-241-0901
 fax: 774-241-0906



ISSUE DATE: 10/24/2022
 DRAWN BY: MM CHECKED BY: JAB
 SCALE: 1" = 30'
 PROJECT NO.: 2021-226

SITE LAYOUT PLAN

C-4.0



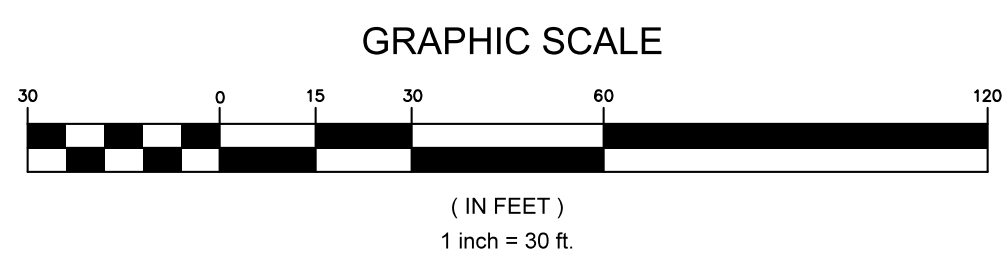
IMPACTED ZONE A AREA PROPOSED FLOOD STORAGE:

ELEV.	CUM. STORAGE
830.5 - 831.0	57 C.F.
831.0 - 832.0	351 C.F.
832.0 - 833.0	1,022 C.F.
833.0 - 834.0	2,019 C.F.
834.0 - 835.0	2,968 C.F.

IMPACTED ZONE A AREA PROPOSED FLOOD FILL:

ELEV.	CUM. STORAGE
830.5 - 831.0	20 C.F.
831.0 - 832.0	298 C.F.
832.0 - 833.0	931 C.F.
833.0 - 834.0	1,900 C.F.
834.0 - 835.0	2,855 C.F.

REFER TO GENERAL NOTE SHEET FOR GRADING & DRAINAGE NOTES



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#778 MAIN STREET
LEICESTER, MA 01524

PREPARED FOR: CHARLTON ROAD REALTY, LLC
25 WATERVILLE LANE
SHREWSBURY, MA 01545

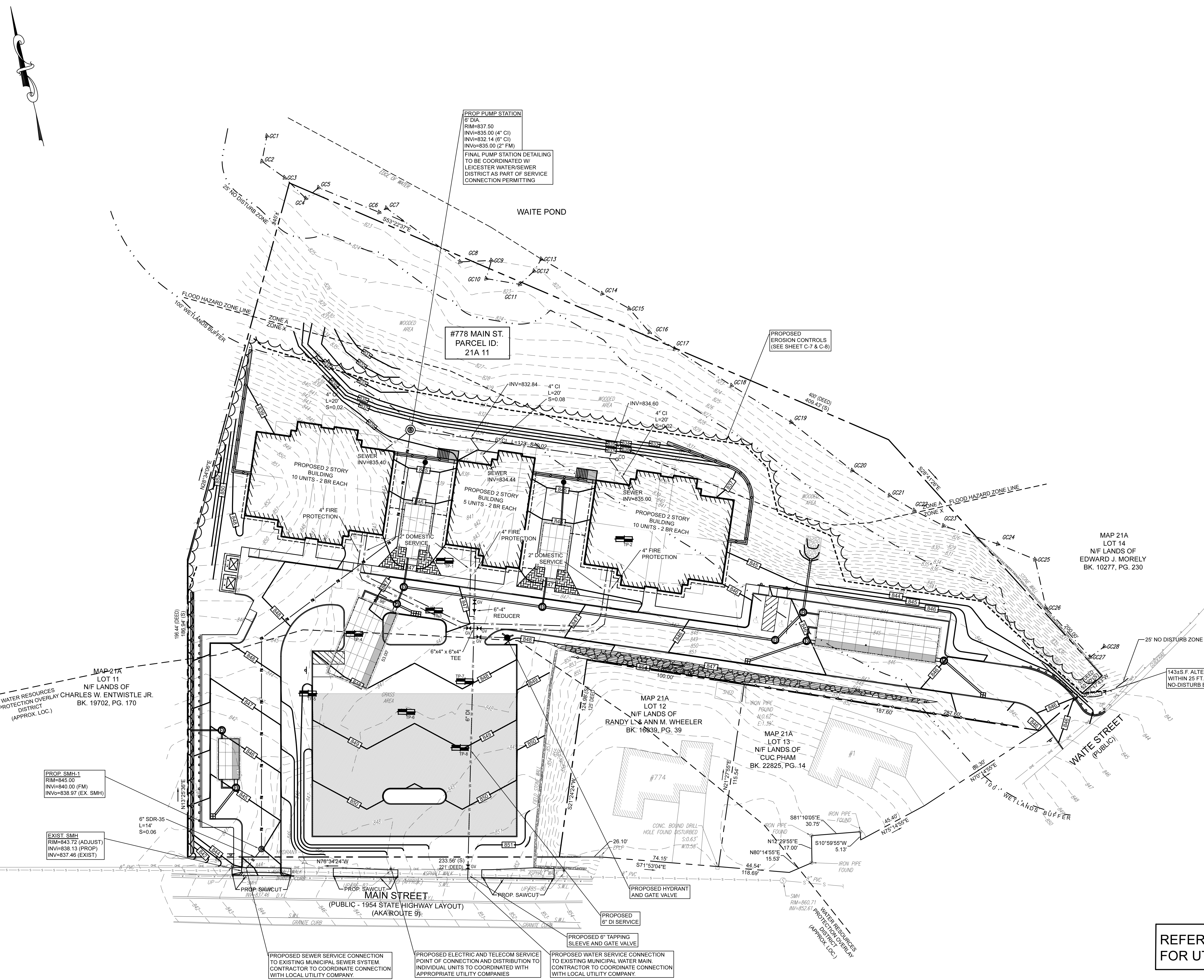
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GRADING & DRAINAGE PLAN

C-5.0



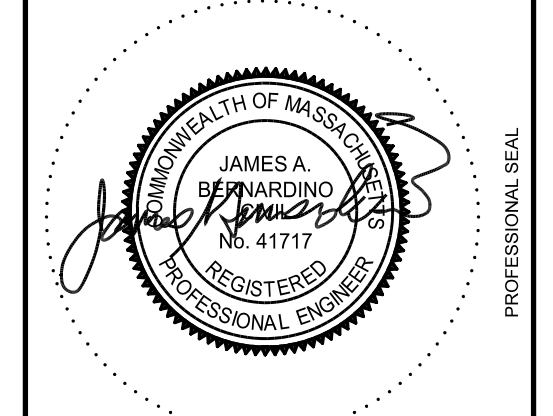
CONTACTS:

LEICESTER HIGHWAY DEPARTMENT
 BRIAN KNOTT - FOREMAN
 59 PETER SALEM ROAD
 LEICESTER, MA 01524
 PHONE: (508) 892-7021

LEICESTER WATER SUPPLY DISTRICT
 JOSEPH H. WOOD - SUPERINTENDENT
 124 PINE STREET, P.O. BOX 86
 LEICESTER, MA 01524
 PHONE: (508) 892-8484
 FAX: (508) 892-1812

LEICESTER FIRE DEPARTMENT
 MICHAEL DUPUIS - FIRE CHIEF
 3 PAXTON STREET
 LEICESTER, MA 01524
 PHONE: (508) 892-7022 EXT. 1102
 FAX: (508) 892-7044

LEICESTER POLICE DEPARTMENT
 KEN ANTANAVICA - CHIEF OF POLICE
 90 SOUTH MAIN STREET
 LEICESTER, MA 01524
 PHONE: (508) 892-7099 EXT.2010
 FAX: (508) 892-7012



PROPOSED MULTI FAMILY RESIDENCES
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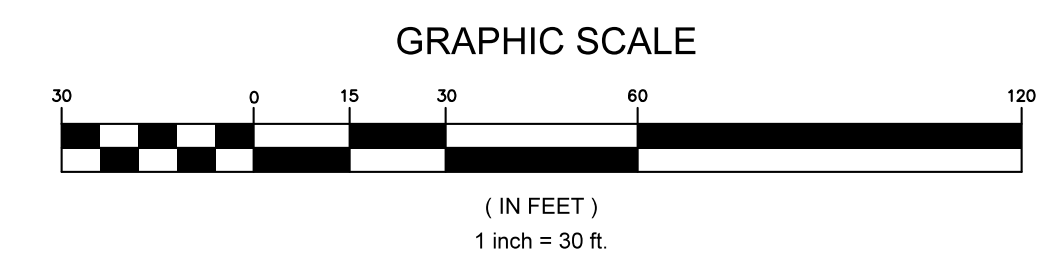
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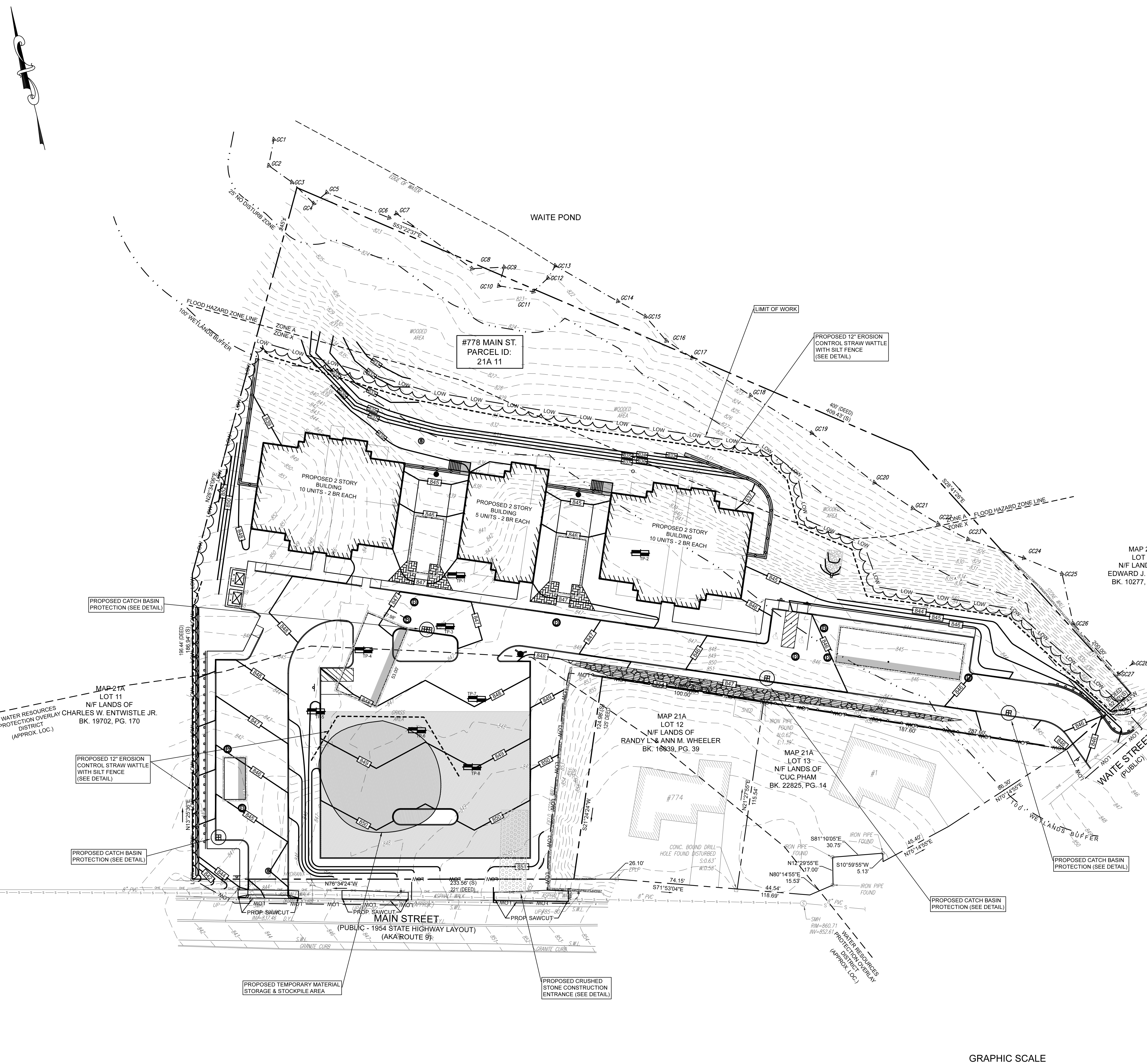
REFER TO GENERAL NOTE SHEET
 FOR UTILITY NOTES



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UTILITY PLAN
 C-6.0



RESPONSIBILITIES OF OWNER/PERMITEE

THE OWNER/PERMITEE SHALL:

- PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT OWNER HAS ACQUIRED.
- INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

RESPONSIBILITIES OF CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

- INSTALL, MONITOR, AND MAINTAIN OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN.
- COMPLY WITH ALL PERMIT REQUIREMENTS.

NO.	DATE	DESCRIPTION	BY	CHKD
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LEICESTER, MA 01524

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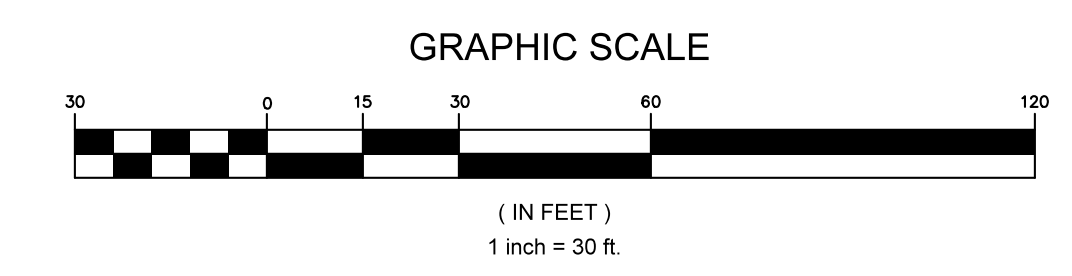


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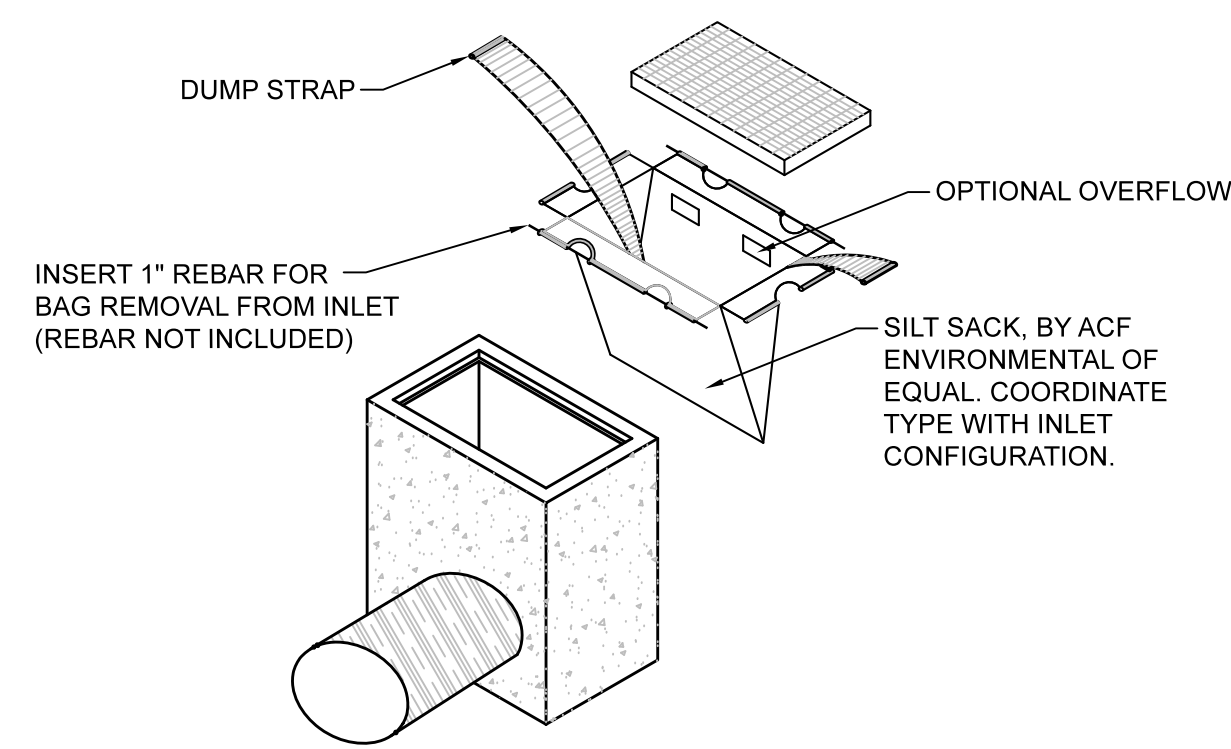
EROSION & SEDIMENT CONTROL PLAN

C-7.0

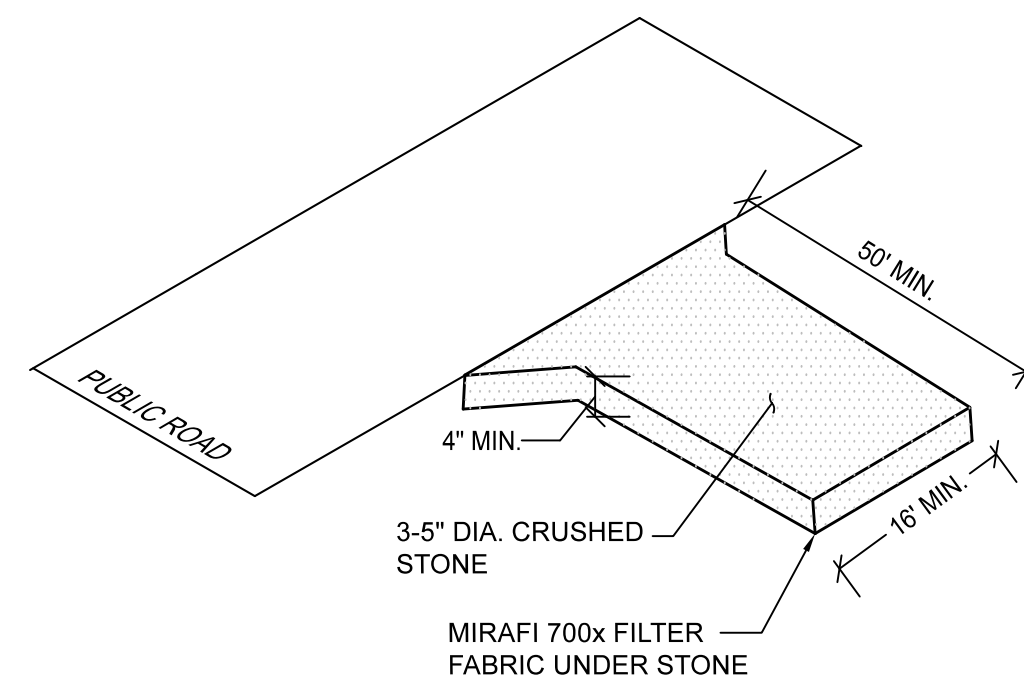
- GENERAL CONDITIONS:**
- IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.
 - IF, DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, ADDITIONAL WATTLES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.
 - NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, SPENT BLAST MATERIALS, OR OTHER MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER AND APPROVED BY THE OWNER. AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGEMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIALS INTO A WATERWAY.
 - ALL TEMPORARILY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OR OTHER PARTICULATE MATTER FROM ENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREAL EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.
 - DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE CITY AND STATE AGENCIES.
 - EPA-NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES IS REQUIRED.
 - INSPECTIONS: EROSION CONTROL SHALL BE INSPECTED WEEKLY OR AFTER A STORM EVENT WITH 0.25" PRECIPITATION ACCUMULATION. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE TOWN OFFICIALS UPON REQUEST.



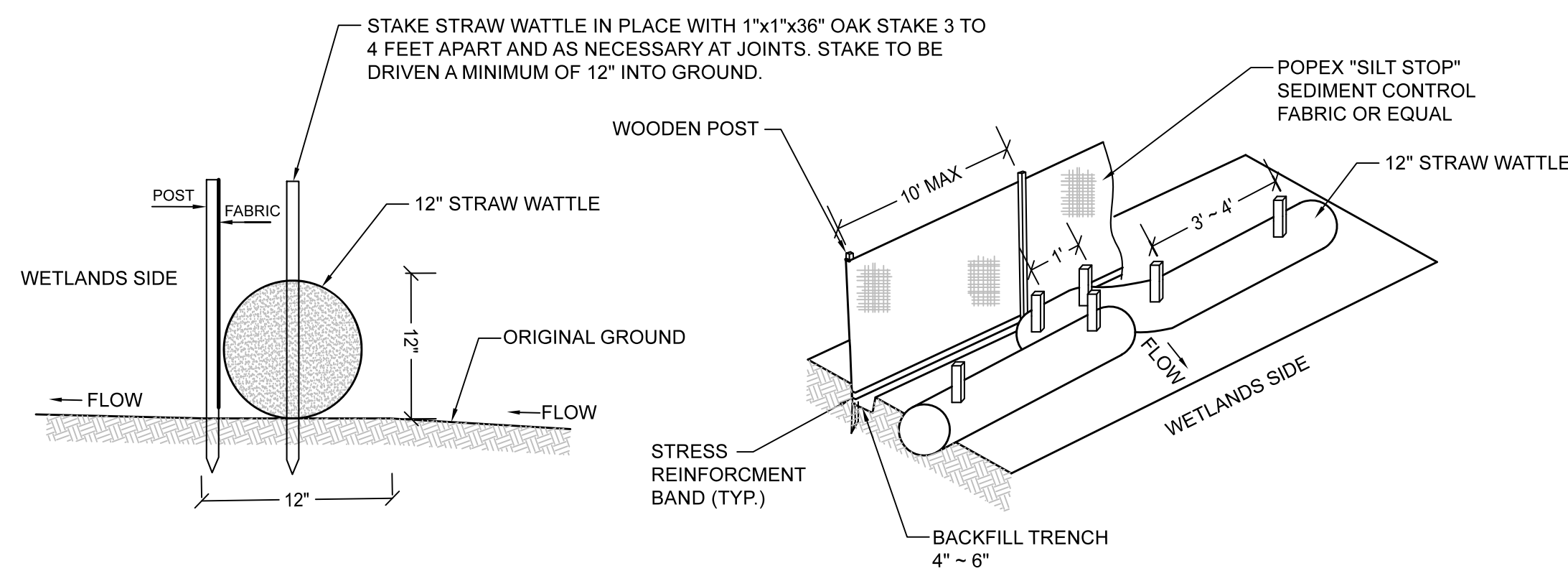
DIG SAFE NOTE (1-888-344-7233):
 CONTRACTOR REQUIRED TO NOTIFY 'DIG SAFE' 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



SILT SACK DETAIL
NOT TO SCALE



CONSTRUCTION EXIT DETAIL
NOT TO SCALE



STRAW WATTLE DETAIL
NOT TO SCALE

PROPOSED SEQUENCE OF CONSTRUCTION:

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH APPLICABLE TOWN STAFF, PEER REVIEW CONSULTANTS, AND ENGINEER OF RECORD.
2. OBTAIN ALL APPLICABLE PERMITS FROM THE TOWN AND STATE BEFORE STARTING ANY WORK ON THE SITE.
3. INSTALL EROSION CONTROLS AS SHOWN ON THE PLAN AND DETAILS.
4. DISCONNECT APPLICABLE UTILITIES AND SERVICES TO THE EXISTING CAR WASH FACILITY. ONCE UTILITIES ARE PROPERLY TERMINATED, CONTRACTOR MAY DEMOLISH EXISTING SITE FEATURES SHOWN ON THE DEMOLITION PLAN.
5. ROUGH GRADE THE SITE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
6. CONSTRUCT THE PROPOSED CAR WASH FACILITY PER THE SITE PLAN.
7. INSTALL ALL SUBSURFACE UTILITIES AND STORMWATER CONVEYANCE/ TREATMENT STRUCTURES.
8. FINALIZE PROPOSED SITE IMPROVEMENTS PER THE APPROVED SITE PLAN. INSTALL GROUND COVER TREATMENT PER THE LANDSCAPE PLAN TO STABILIZE ANY DISTURBED AREAS.
9. COORDINATE FINAL APPROVALS WITH ENGINEER OF RECORD & APPLICABLE TOWN DEPARTMENTS. AS-BUILT SURVEY AND INSPECTIONS WILL BE REQUIRED PRIOR TO FINAL APPROVAL BY THE TOWN DEPARTMENTS.
10. REMOVE ALL EROSION CONTROL MEASURES FROM THE SITE AND PROPERLY DISPOSE OF MEASURES OFF-SITE.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES:
TEMPORARY STABILIZATION MEASURES

SILT FENCING WITH STRAW WATTLES OR APPROVED EQUAL:
INSTALL SILT FENCE/ STRAW WATTLES AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBED THE SILT FENCE AND WATTLES INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. REMOVE SEDIMENT ONCE LEVELS HAVE REACHED 1/4 OF THE EFFECTIVE FENCE-HEIGHT. REPAIR AND/OR REPLACE IMMEDIATELY IF DAMAGED OR DETERIORATED.

CONSTRUCTION ENTRANCE:
PLACE 1 - 3" STONE ON A GEOTEXTILE FILTER FABRIC ALONG A STABLE FOUNDATION. ENTRANCE SHALL BE INSPECTED WEEKLY OR AFTER A HEAVY RAIN EVENT. MUD AND SEDIMENT TRACKED OR WASHED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. ONCE MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE GRAVEL, THE PAD SHOULD BE TOP DRESSED WITH STONE. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

SILT SACK DROP INLET PROTECTION:
SILT SACK OR APPLICABLE FABRIC DROP INLET PROTECTION DEVICE SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. TRAPPING DEVICES AND STRUCTURES THEY PROTECT SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP.

TEMPORARY STABILIZATION:
TOP SOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED AND MULCH PROCEDURES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

DUST CONTROL:
TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJACENT PROPERTY OWNERS. BROOM OFF PAVEMENTS ADJOINING THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE, AS DIRECTED BY THE ENGINEER OR SHOWN ON THE PLANS. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-98, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS:
COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH SILT FENCE TO PREVENT TRANSPORTATION OF SEDIMENT.

PERMANENT STABILIZATION MEASURES

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED AND MULCH SPECIFICATIONS AND PROCEDURE SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPED AREAS. IF TOPSOIL, SEED, AND/OR MULCH IS WASHED AWAY BY RAINFALL, THE CONTRACTOR SHALL RESTORE THE AREA.

GENERAL CONTROLS:

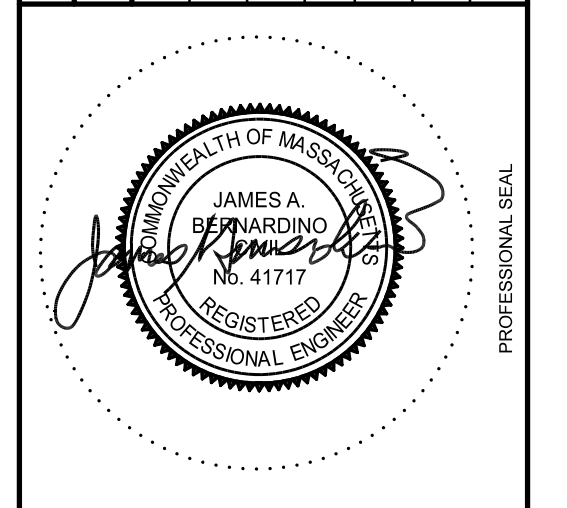
WASTE DISPOSAL:
THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THAT NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTRACTOR SHALL BE PROMPTLY EMPTIED WHEN FULL.

PAVEMENT MAINTENANCE:
THE CONTRACTOR SHALL SWEEP PAVED ROADWAYS ADJACENT TO THE SITE ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING OF MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR CITY, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.

PROHIBITED DISCHARGES:
CONTRACTOR SHALL PREVENT DAILY CONSTRUCTION MATERIALS AND WASTE FROM ENTERING ANY WETLANDS OR WATERCOURSES, INCLUDING BUT NOT LIMITED TO: CONTAMINATED GROUNDWATER, CONCRETE WASHOUT, FUELS, SOAPS OR SOLVENTS, PAINT, TOXIC SUBSTANCES, ETC.

EXCAVATION DEWATERING:
CONTRACTOR SHALL NOT DISCHARGE DEWATERING MEASURES DIRECTLY INTO WETLANDS AND WATERCOURSES. CONTRACTOR TO UTILIZE ON-SITE INFILTRATION BASINS WITH VELOCITY DISSIPATION DEVICES TO PROPERLY SETTLE DEWATERING FLUIDS. TREATMENT CHEMICALS ARE PROHIBITED FROM ENTERING THE SETTLING BASIN AND MUST BE HANDLED ACCORDING TO APPLICABLE RIDEM REGULATIONS.

NO.	DATE	DESCRIPTION	BY	CHKD
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PROPOSED MULTI FAMILY RESIDENCES
#778 MAIN STREET
LEICESTER, MA 01524

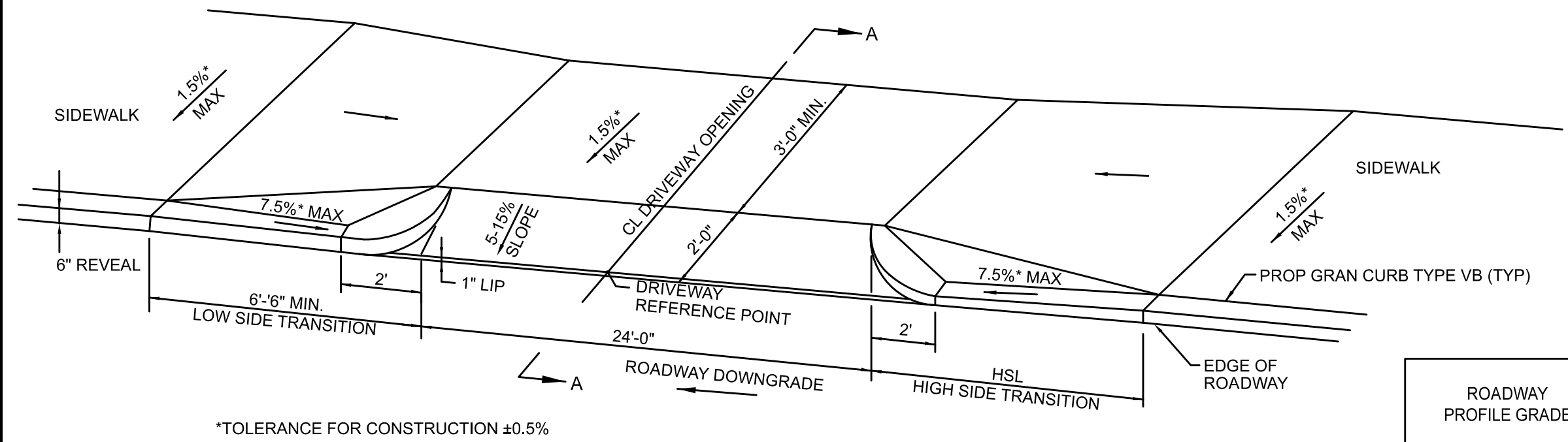
CHARLTON ROAD REALTY, LLC
25 WATERVILLE LANE
SHREWSBURY, MA 01545

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906

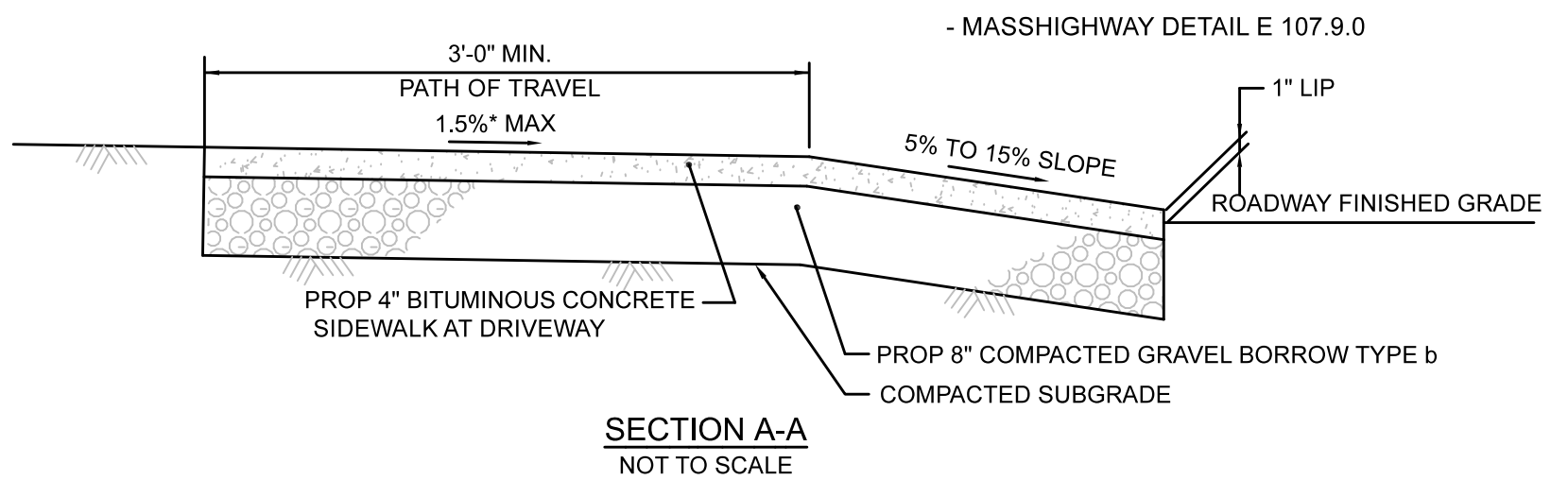
ISSUE DATE: 10/24/2022
DRAWN BY: MM CHECKED BY: JAB
SCALE: NTS
PROJECT NO.: 2021-226

EROSION & SEDIMENT CONTROL DETAILS

DIG SAFE NOTE (1-888-344-7233):
CONTRACTOR REQUIRED TO NOTIFY DIG SAFE* 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



DRIVEWAY OPENING AT SIDEWALK
NOT TO SCALE - MASSHIGHWAY DETAIL E 107.8.0



SECTION A-A
NOT TO SCALE

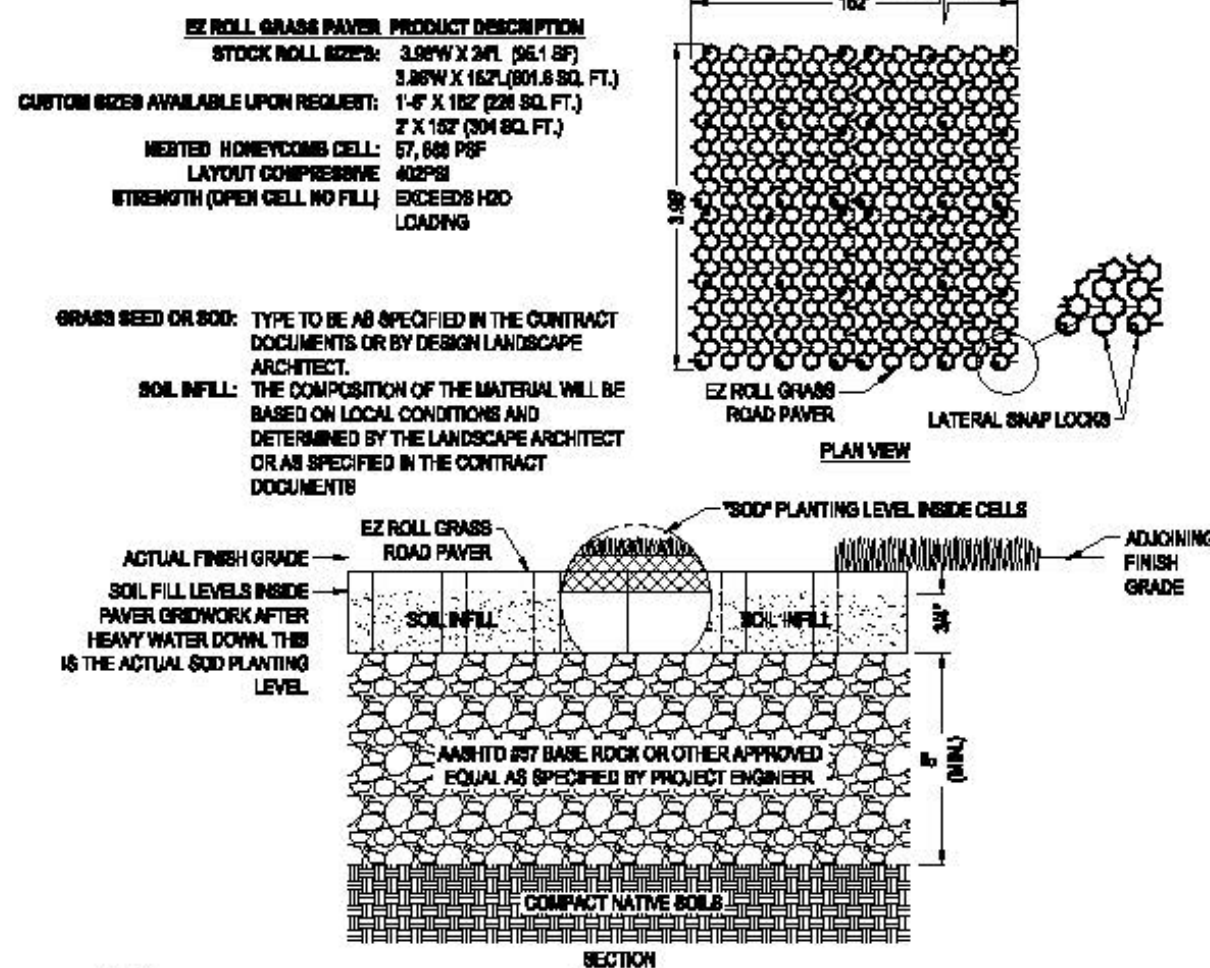
ROADWAY PROFILE GRADE	*HIGH SIDE TRANSITION LENGTH	ENGLISH UNITS
%		
=0%	6'-5"	
>0% TO 1%	7'-8"	
>1% TO 2%	9'-0"	
>2% TO 3%	11'-0"	
>3% TO 4%	14'-0"	
>4% TO 5%	15'-0" Max	

NOTE:
* BASED ON A DESIGN SLOPE 7.5% AND A REVEAL OF 6".

CURB TRANSITION LENGTHS
NOT TO SCALE - MASSHIGHWAY DETAIL E 107.9.0



NDS, INC.
651 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1804
PHONE: (559) 562-3888
FAX: (559) 562-4488
www.ndspro.com

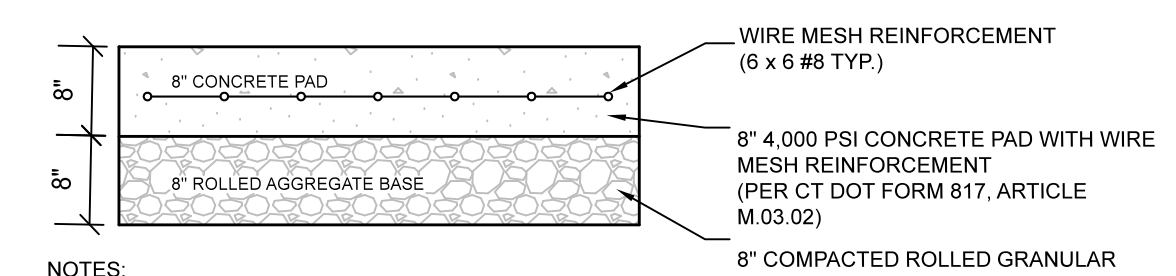


NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.



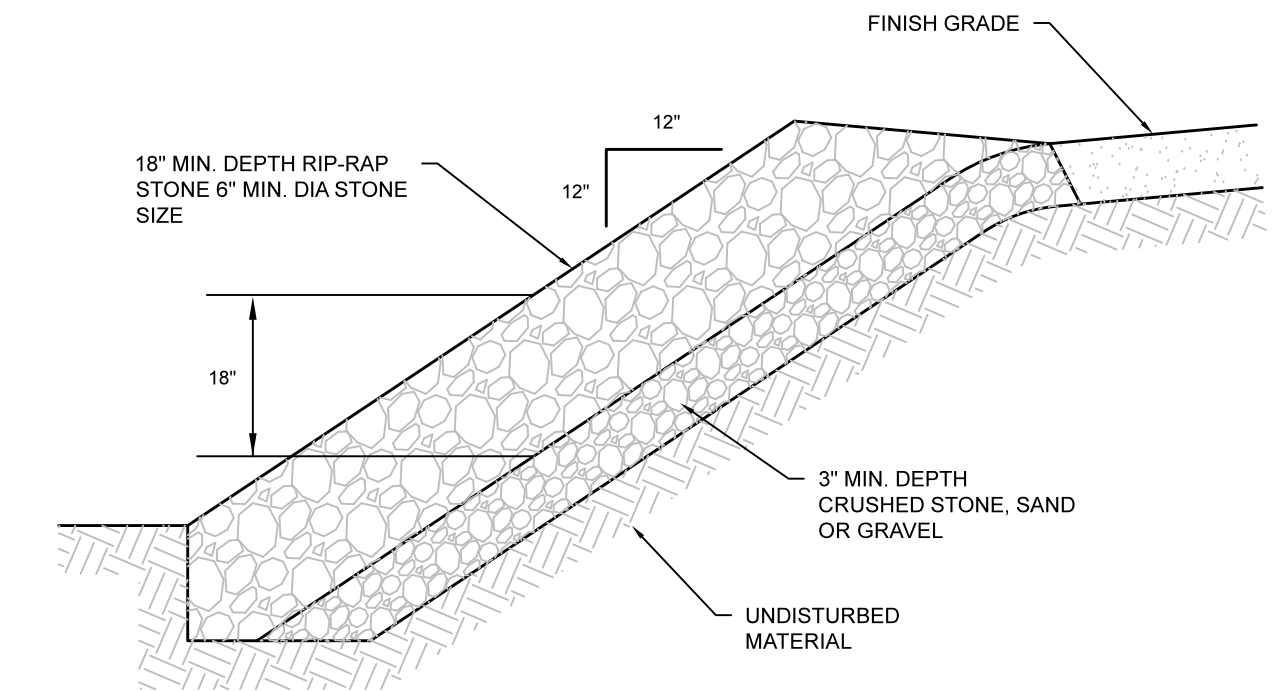
NOTE:
CONTRACTOR TO COORDINATE LOCATION OF HEAVY DUTY AND MEDIUM DUTY GRASS PAVERS WITH CIVIL ENGINEER.

HEAVY DUTY GRASS PAVER
NOT TO SCALE

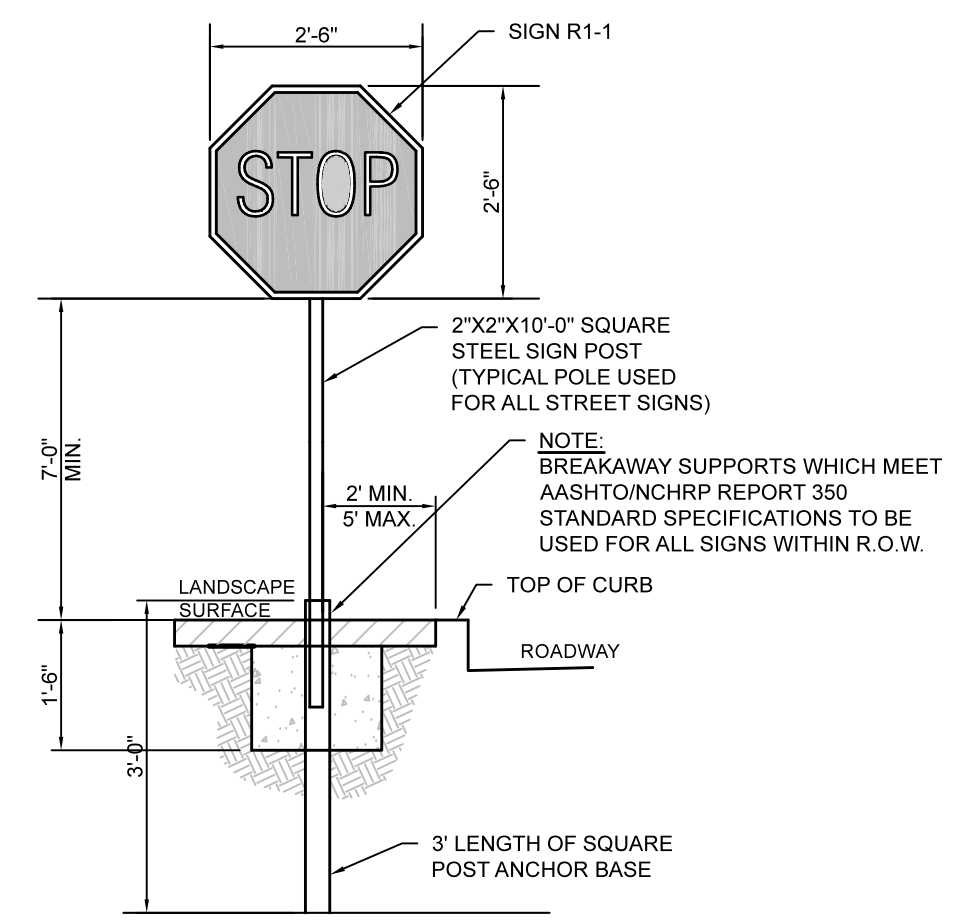


NOTES:
1. CONCRETE SHALL HAVE MINIMUM STRENGTH OF 4,000 PSI
2. WELDED WIRE FABRIC MATS WITH REINFORCEMENT AT CLOSER SPACING MAY BE USED.
3. CONCRETE PAD SHALL BE USED FOR GENERATOR PAD AND DUMPSTER PAD.

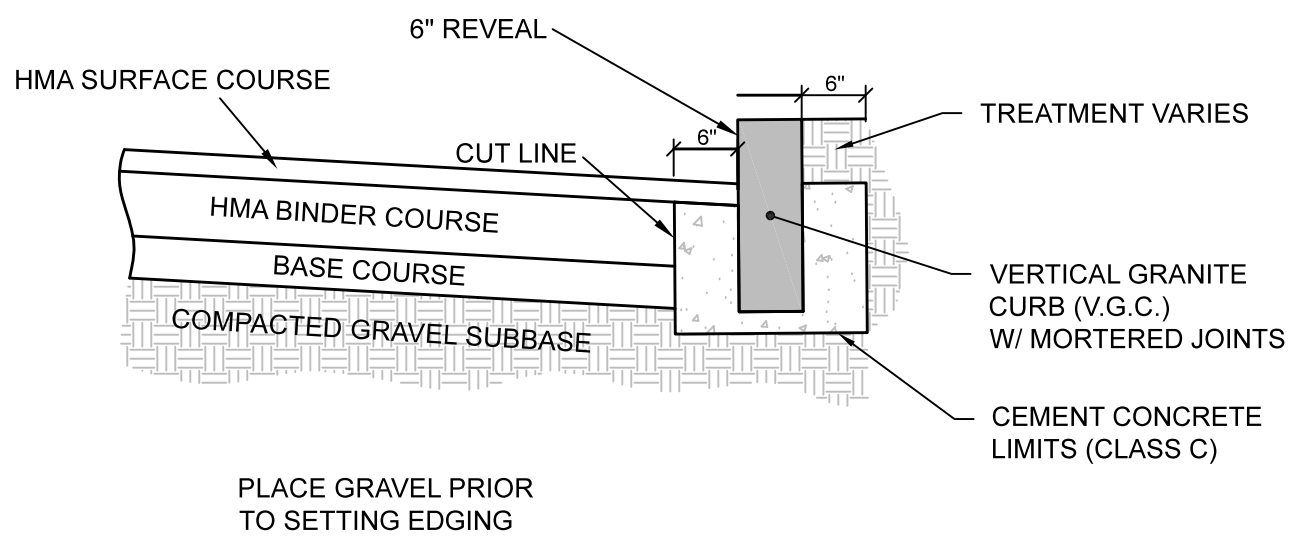
CONCRETE PAD DETAIL
NOT TO SCALE



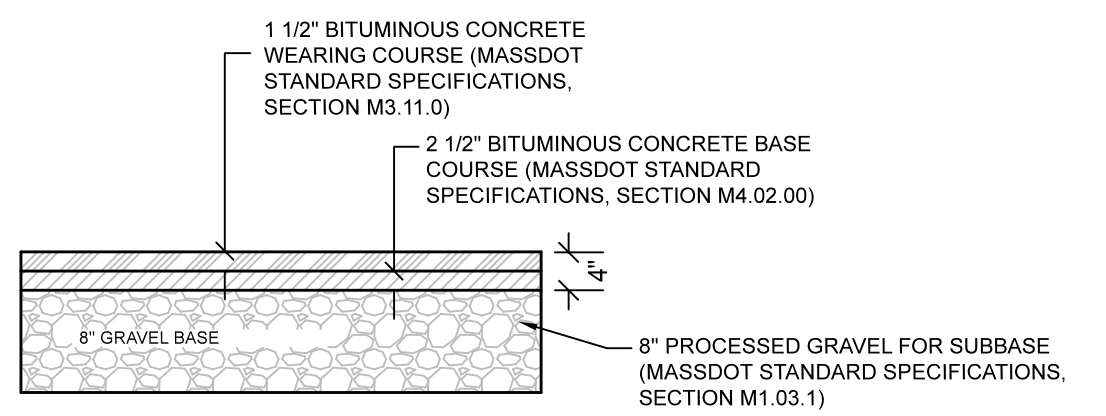
1:1 RIP-RAP SLOPE PROTECTION DETAIL
NOT TO SCALE



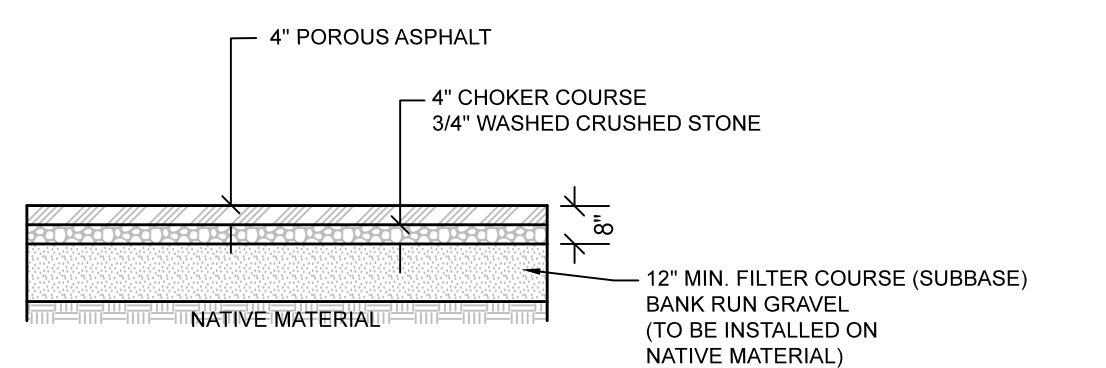
TYPICAL TRAFFIC SIGN DETAIL
NOT TO SCALE



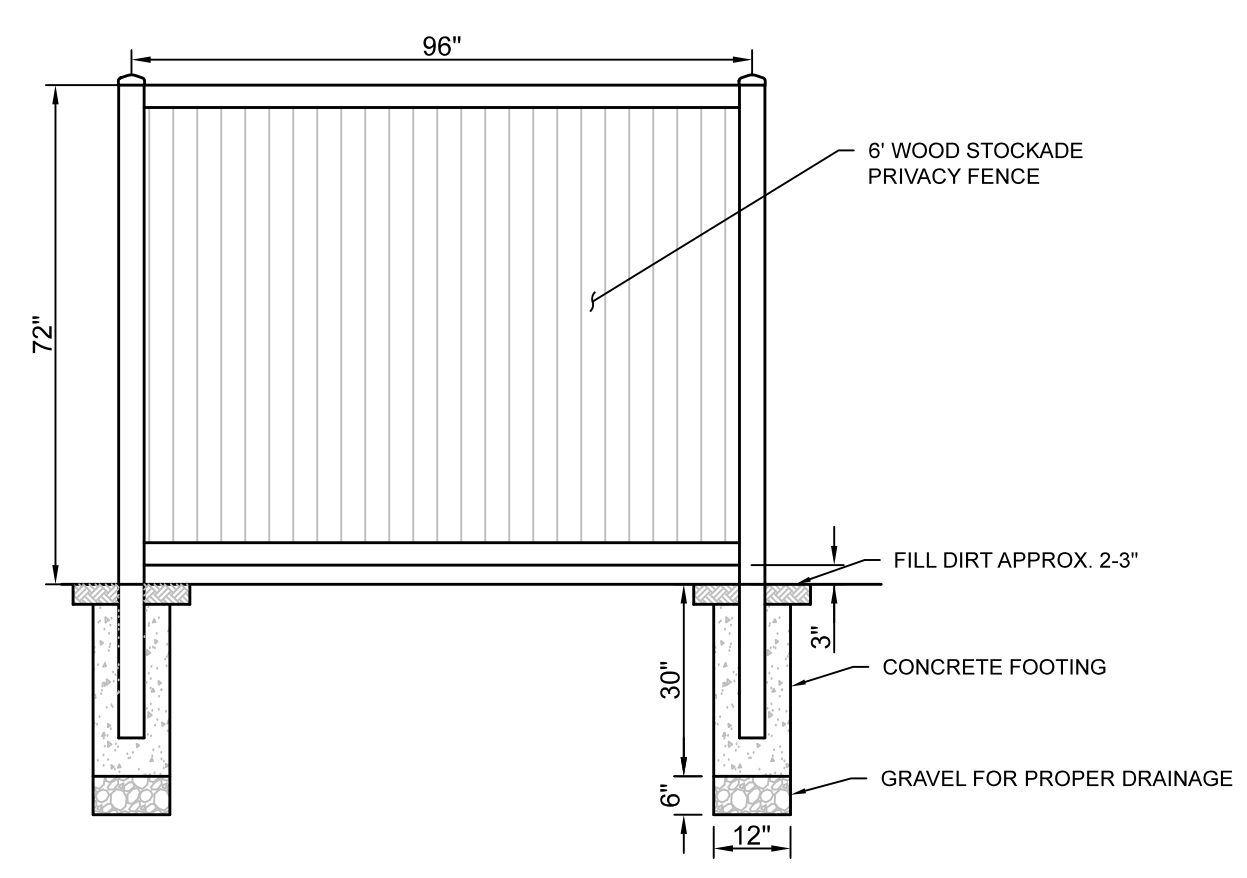
VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



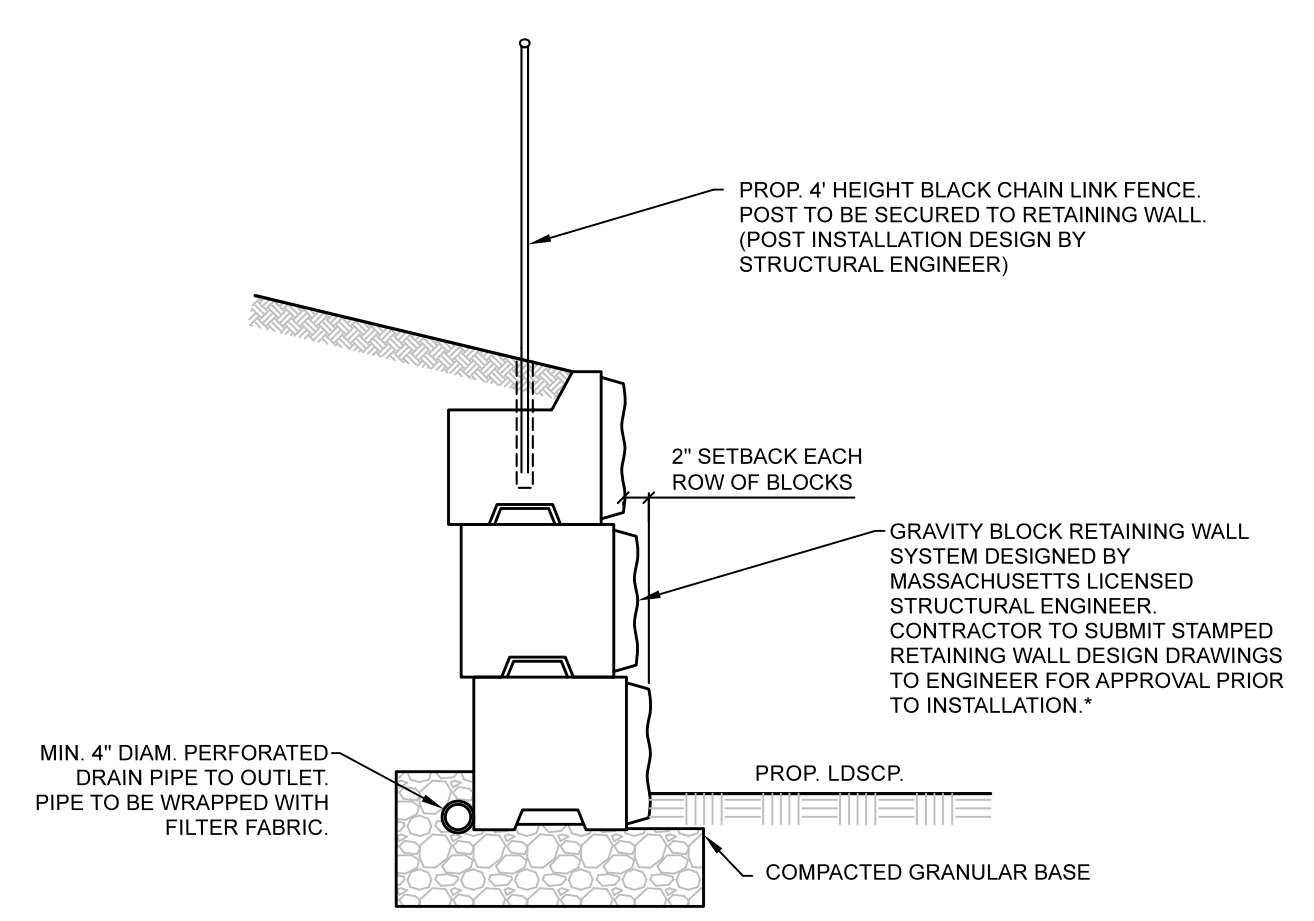
ASPHALT PAVEMENT DETAIL
NOT TO SCALE



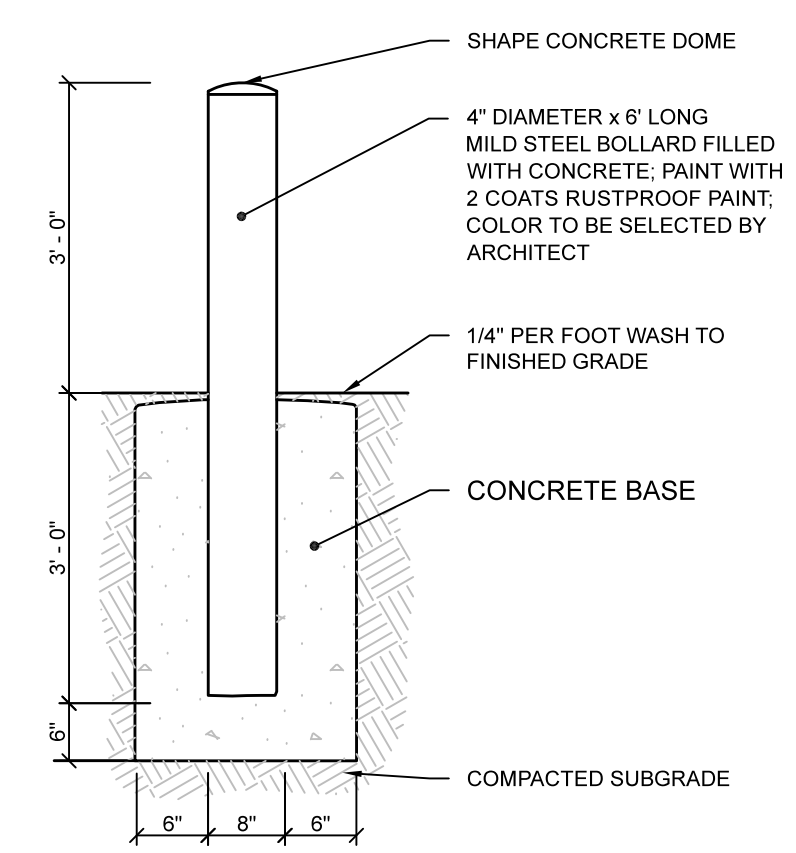
POROUS PAVEMENT DETAIL
NOT TO SCALE



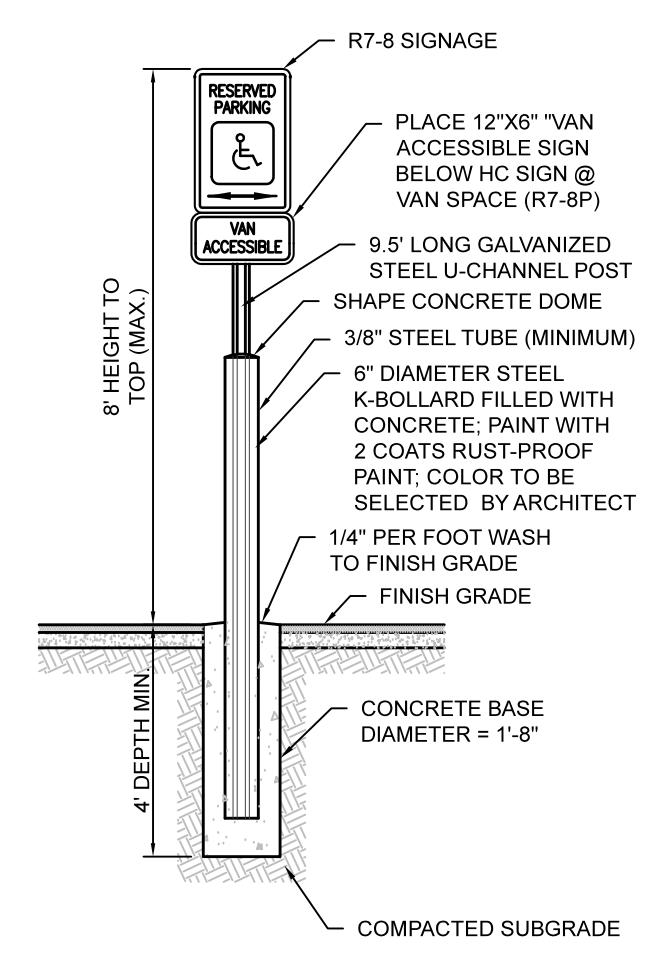
WOOD STOCKADE FENCE DETAIL
NOT TO SCALE



TYPICAL BLOCK RETAINING WALL DETAIL
NOT TO SCALE



STEEL PIPE BOLLARD DETAIL
NOT TO SCALE



HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

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NO.	DATE	DESCRIPTION	BY	CHKD
1.	12/26/2022	ZONING BOARD OF APPEALS SUBMISSION	RL	JAB



PROPOSED MULTI FAMILY RESIDENCES
#778 MAIN STREET
LEICESTER, MA 01524

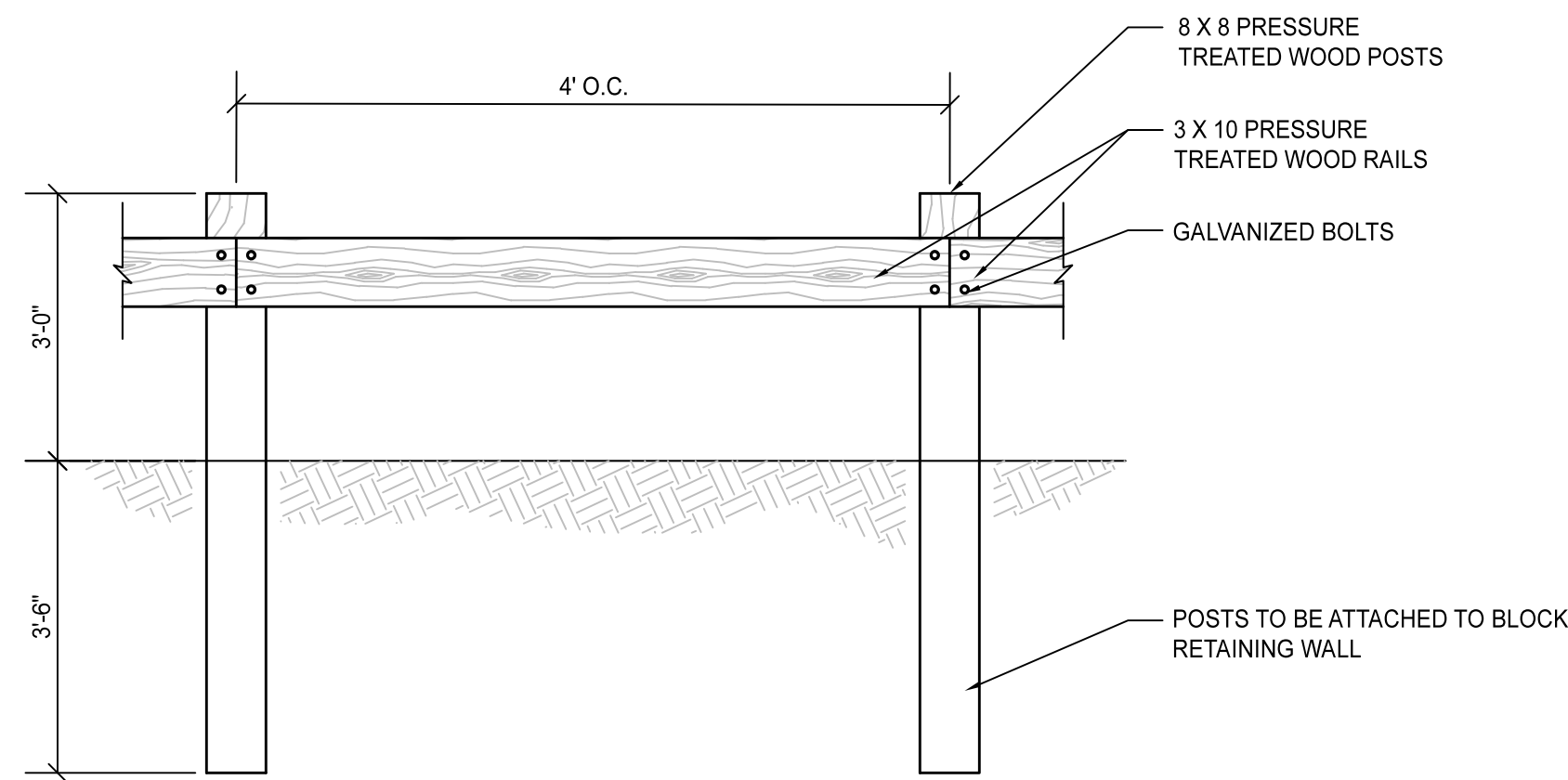
CHARLTON ROAD REALTY, LLC
25 WATERVILLE LANE
SHREWSBURY, MA 01545

ENGINEERING SERVICES ENVIRONMENTAL SERVICES
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906



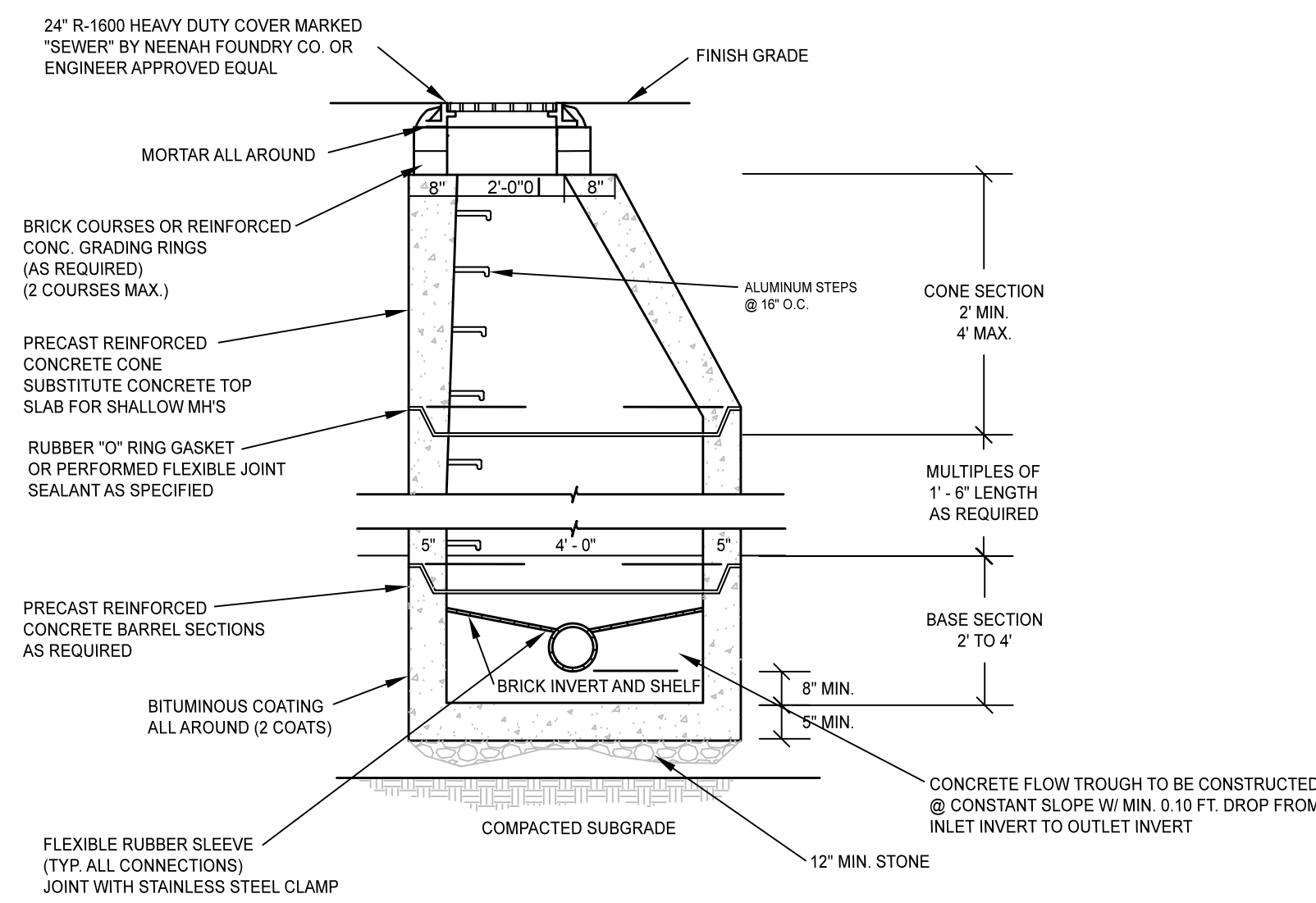
ISSUE DATE: 10/24/2022
DRAWN BY: MM CHECKED BY: JAB
SCALE: NTS
PROJECT NO.: 2021-226

CONSTRUCTION DETAILS
C-8.0



NOTE:
GENERAL CONTRACTOR TO SUBMIT SHOP
DRAWING TO ARCHITECT/ENGINEER FOR
APPROVAL

TIMBER GUARDRAIL DETAIL
NOT TO SCALE

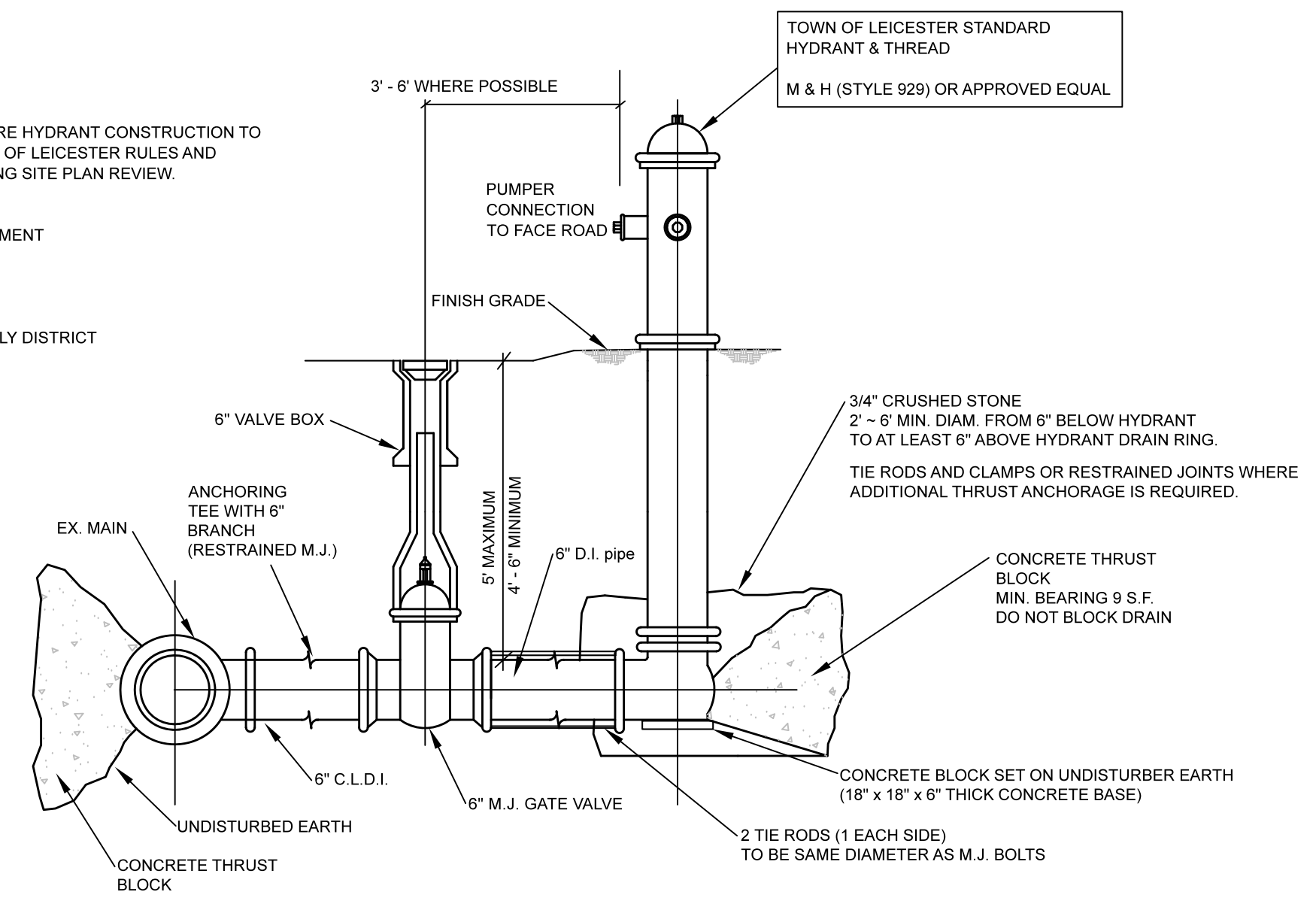


NOTE:
ALL WATER SYSTEM & FIRE HYDRANT CONSTRUCTION TO
CONFORM TO THE TOWN OF LEICESTER RULES AND
REGULATIONS GOVERNING SITE PLAN REVIEW.

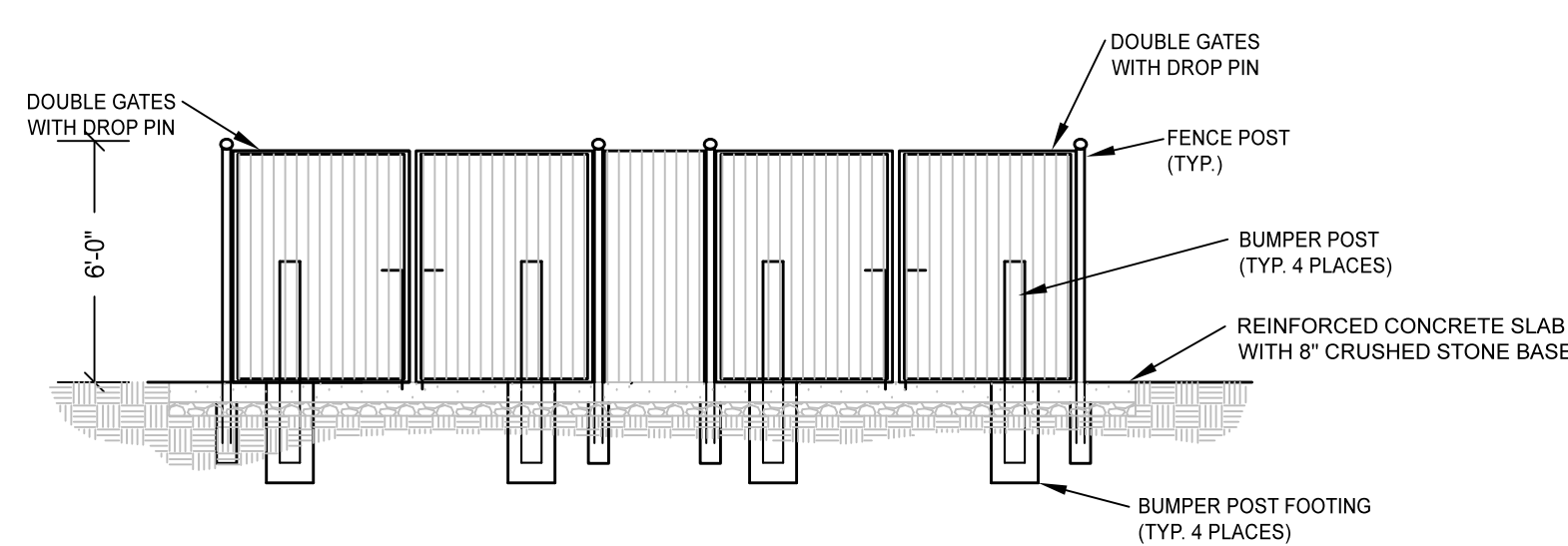
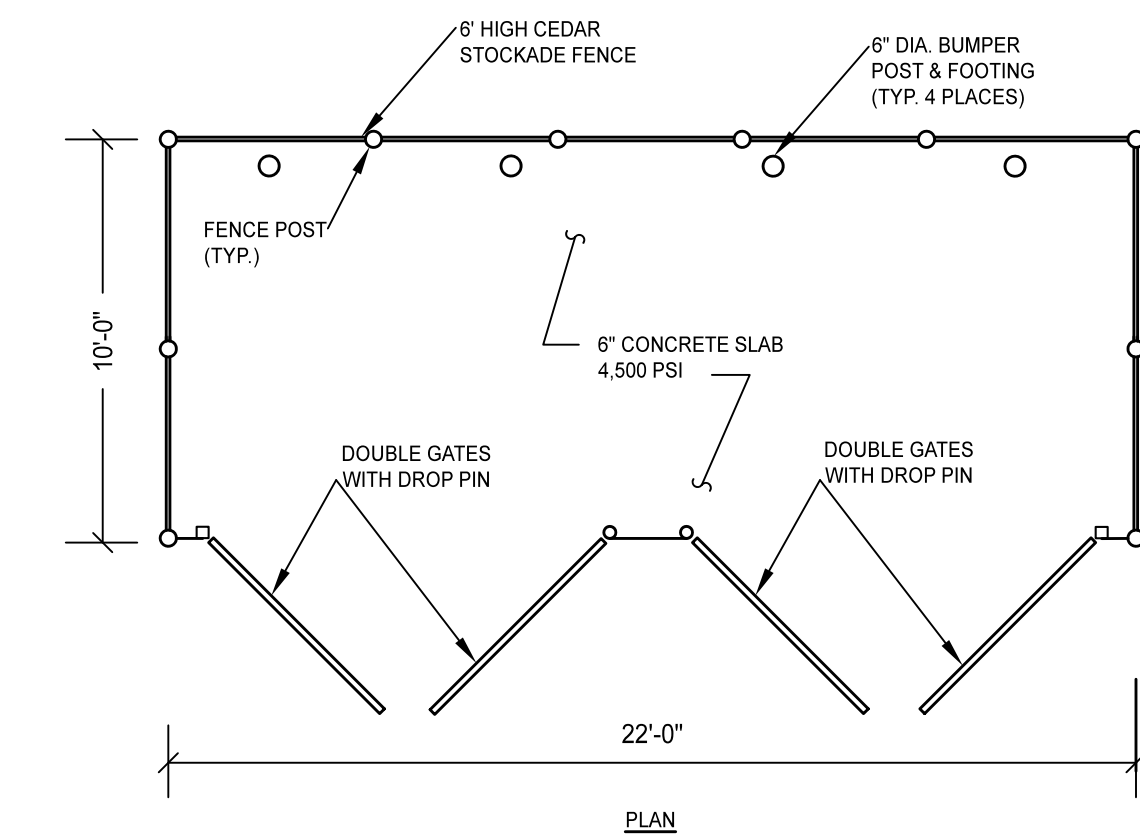
CONTACT:
LEICESTER FIRE DEPARTMENT
3 PAXTON STREET
LEICESTER, MA 01524
PHONE: (508) 892-7022

LEICESTER WATER SUPPLY DISTRICT
124 PINE STREET
LEICESTER, MA 01524
PHONE: (508) 892-8484

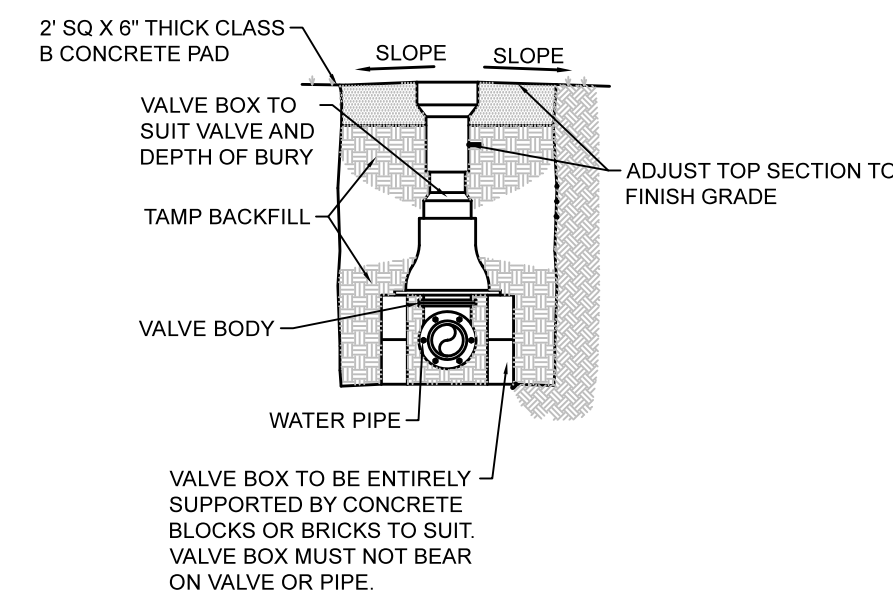
PRECAST SEWER MANHOLE DETAIL
NOT TO SCALE



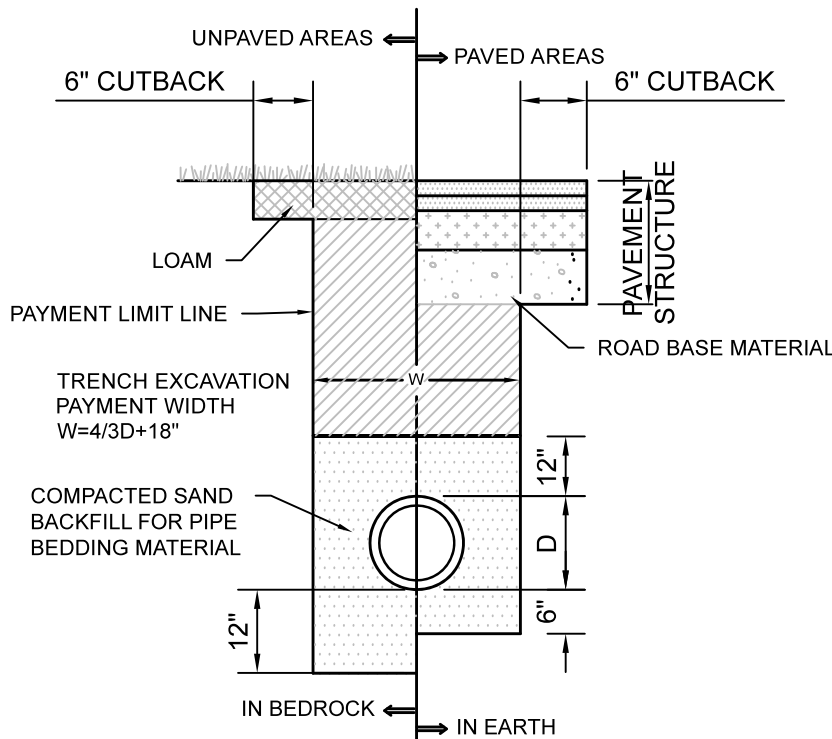
FIRE HYDRANT DETAIL
NOT TO SCALE



DOUBLE DUMPSTER ENCLOSURE
NOT TO SCALE



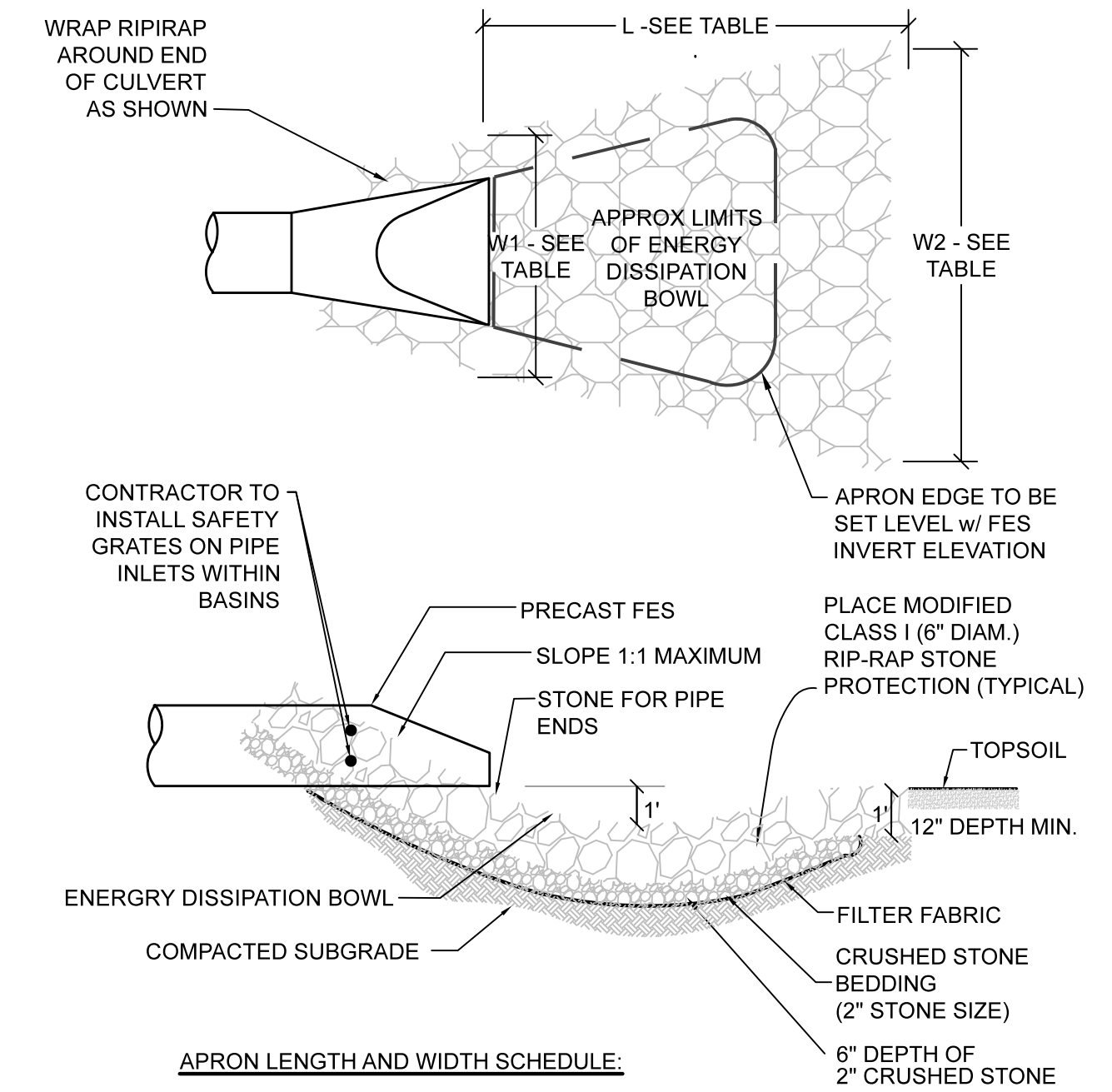
WATER GATE VALVE DETAIL
NOT TO SCALE



NOTES:
1. THIS DETAIL APPLIES TO CONSTRUCTION OF WATER, GAS,
TELEPHONE, ELECTRIC, AND CABLE TELEVISION UTILITIES, UNLESS
DIRECTED OTHERWISE BY APPLICABLE UTILITY COMPANIES.

2. PROVIDE 5' MINIMUM COVER OVER WATER SERVICE LINE UNLESS
DIRECTED OTHERWISE BY WATER COMPANY.

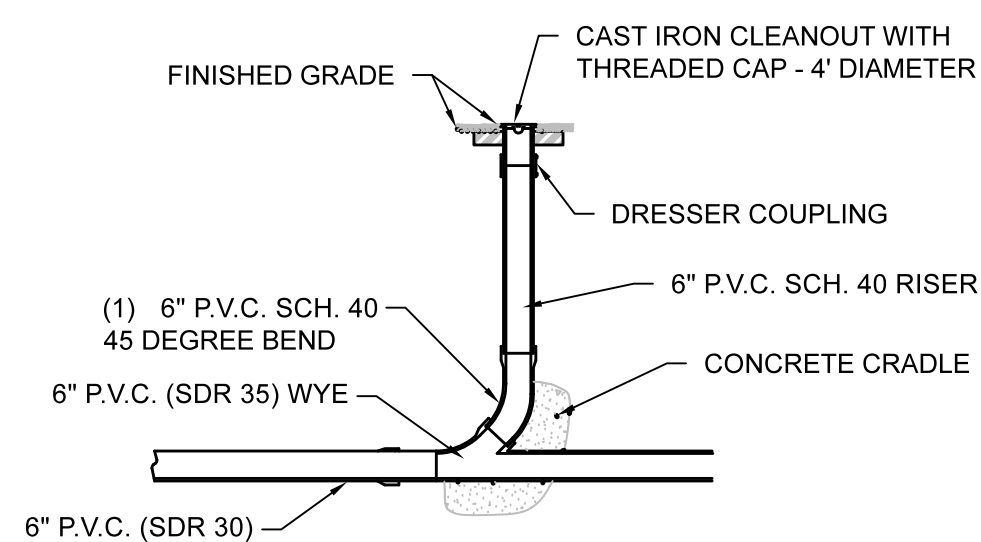
UTILITY TRENCH DETAIL
NOT TO SCALE



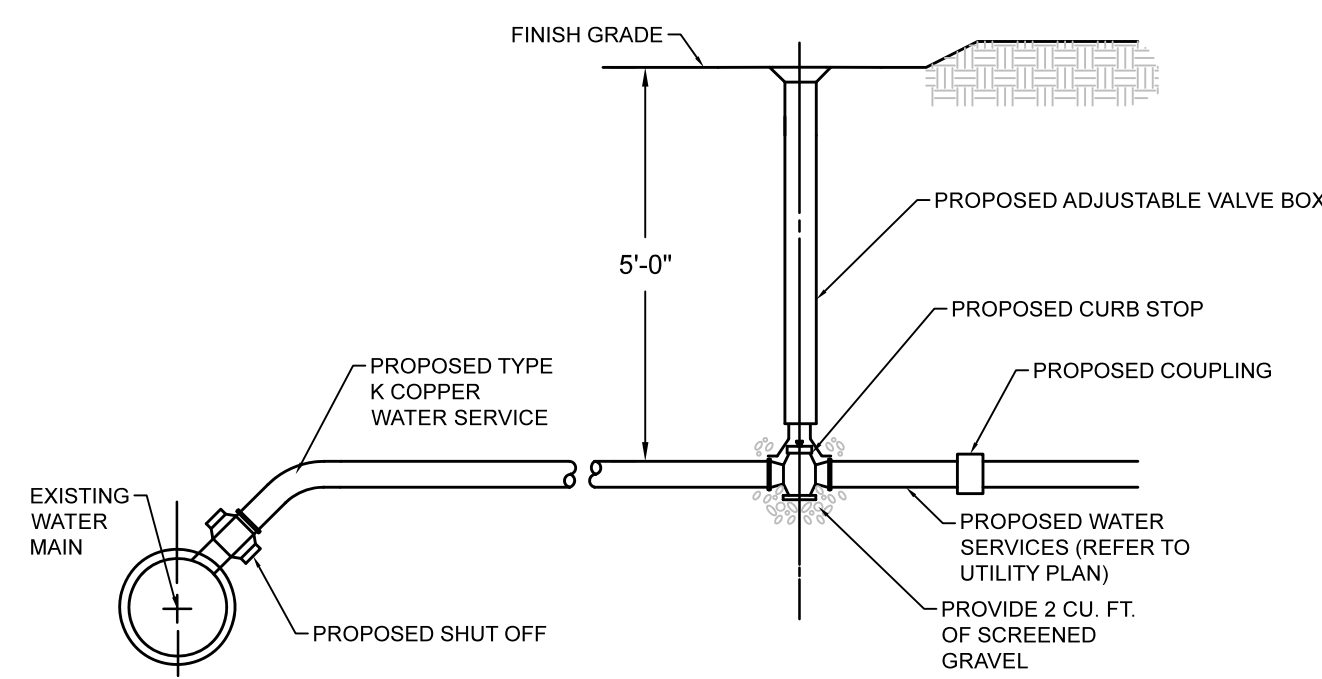
APRON LENGTH AND WIDTH SCHEDULE:

OULET I.D.	L	W1	W2
FES-1	8'	3'	9'

FLARED END DETAIL
NOT TO SCALE

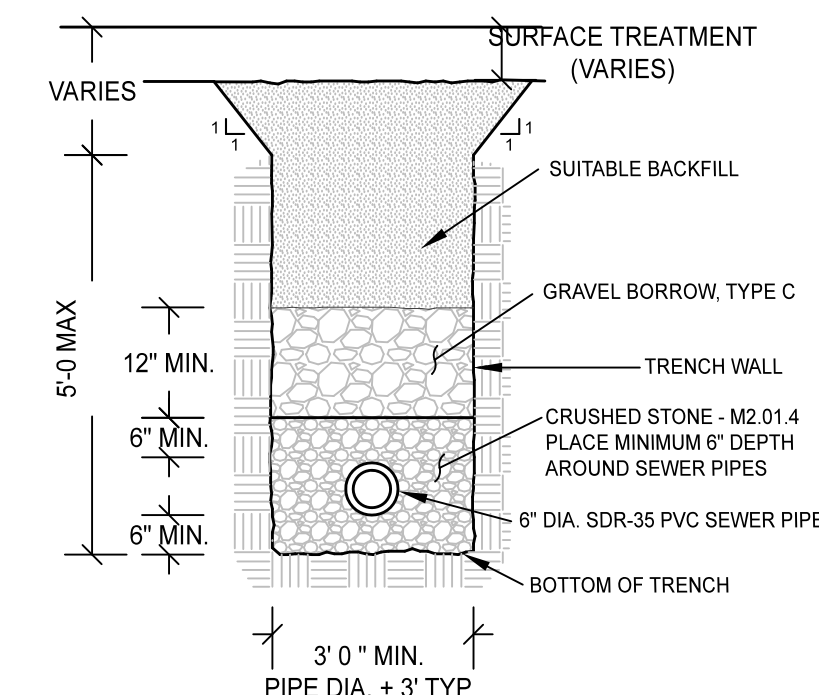


CLEANOUT DETAIL
NOT TO SCALE



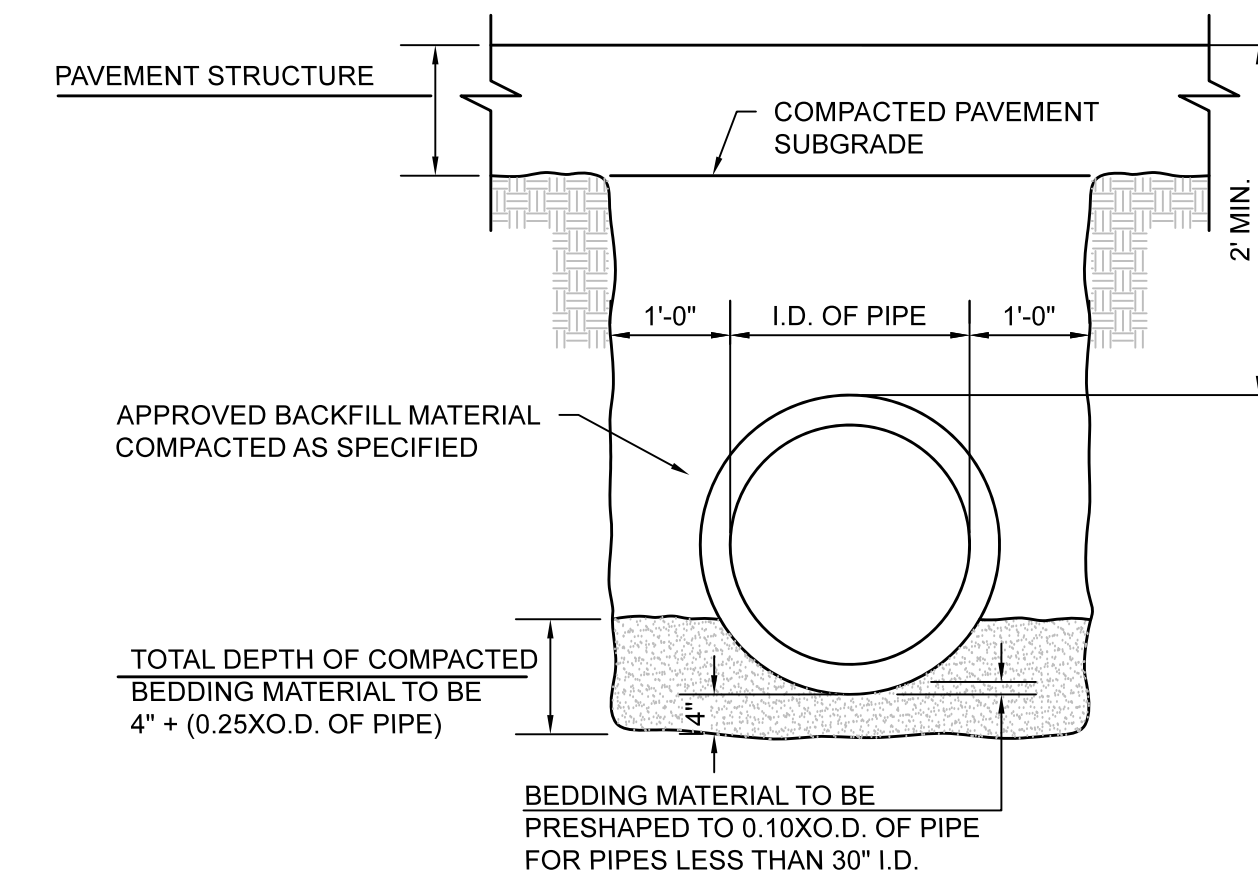
NOTE: CONTRACTOR TO COORDINATE WITH WATER COMPANY PRIOR TO INSTALLATION.

WATER SERVICE CONSTRUCTION DETAIL
NOT TO SCALE



NOTES:
1. ALL SEWER INSTALLATION WORK SHALL CONFORM TO THE
TOWN OF DOUGLAS SEWER REGULATIONS.

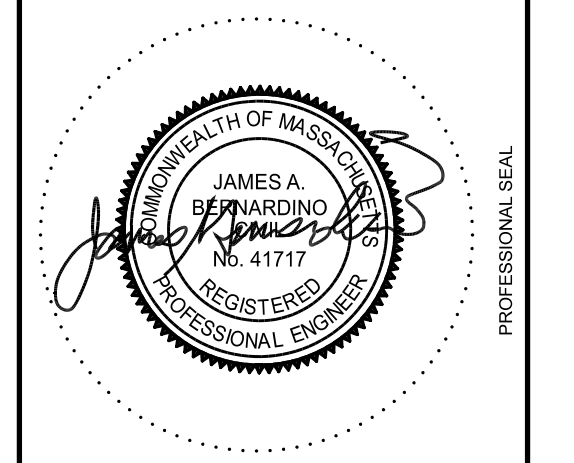
SEWER TRENCH DETAIL
NOT TO SCALE



TOTAL DEPTH OF COMPACTED
BEDDING MATERIAL TO BE
4' + (0.25XO.D. OF PIPE)

STORM SEWER TRENCH DETAIL
NOT TO SCALE

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PROJECT: **PROPOSED MULTI FAMILY RESIDENCES**
#778 MAIN STREET
LEICESTER, MA 01524

PREPARED FOR: **CHARLTON ROAD REALTY, LLC**
25 WATERVILLE LANE
SHREWSBURY, MA 01545

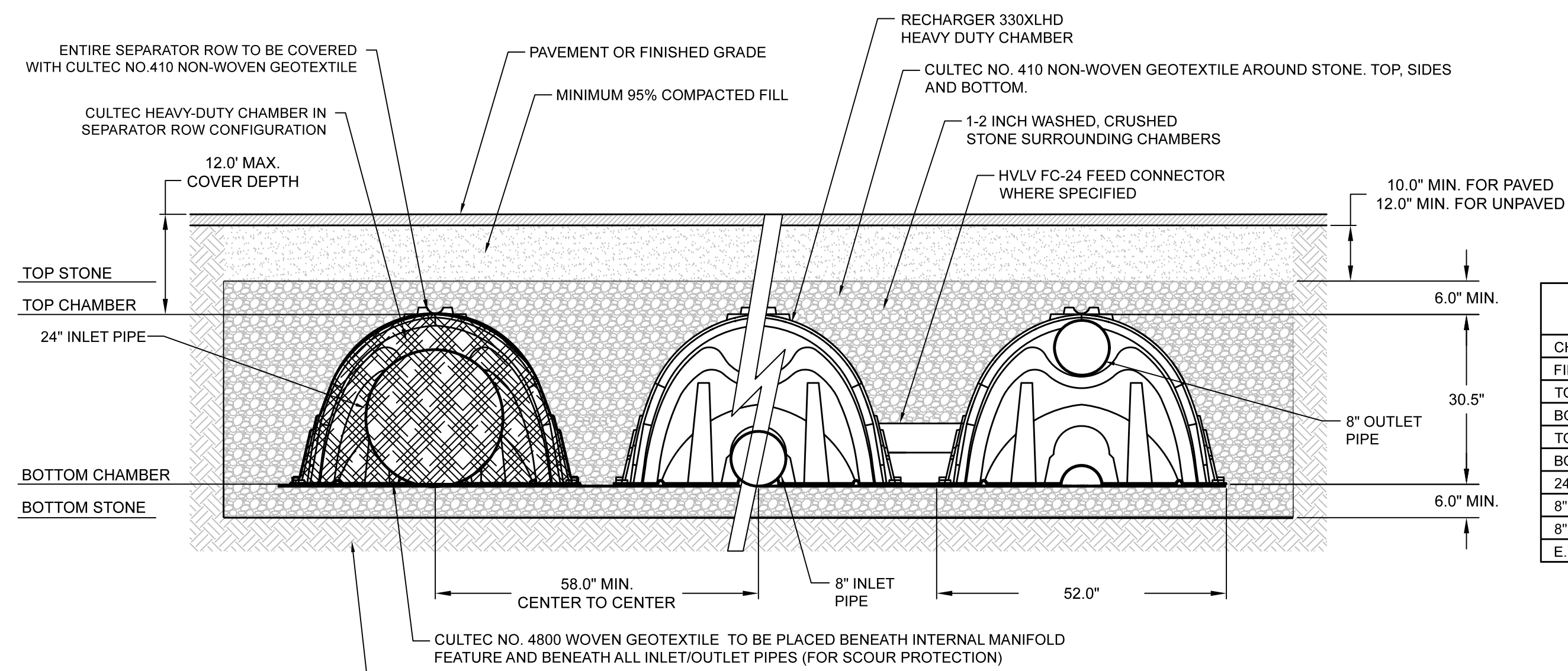
ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906



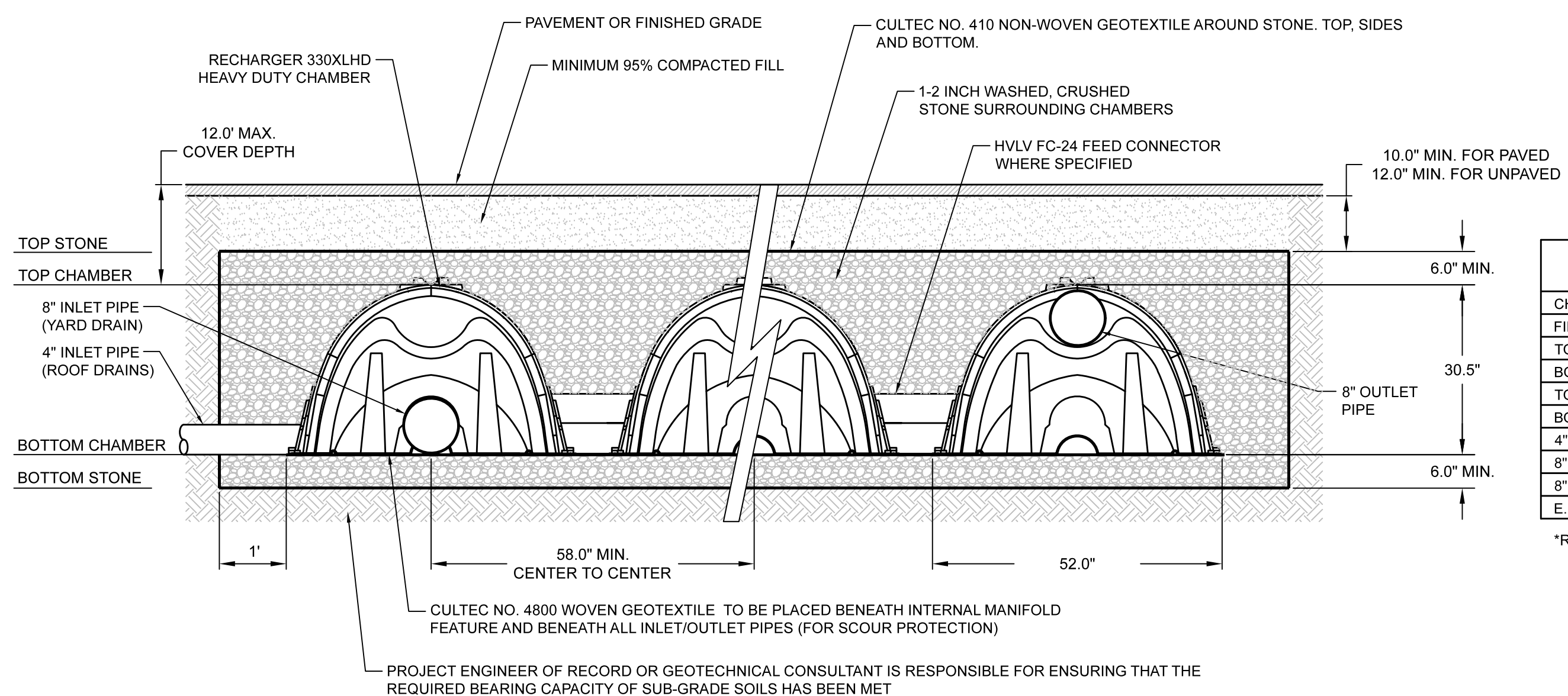
ISSUE DATE: 10/24/2022
DRAWN BY: MM CHECKED BY: JAB
SCALE: NTS
PROJECT NO.: 2021-226

CONSTRUCTION
DETAILS



INFILTRATION SYSTEM	1P	2P	5P
CHAMBERS	36 (6 ROWS OF 6)	45 (6 ROWS OF 9)	9 (3 ROWS OF 3)
FINAL GRADE	847'-848'	846.5'	845'-846'
TOP STONE	845.54'	845.04'	843.04'
BOTTOM STONE	842.00'	841.50'	839.50'
TOP CHAMBER	845.04'	844.54'	842.54'
BOTTOM CHAMBER	842.50'	842.00'	840.00'
24" INLET PIPE	842.50'	842.00'	840.00'
8" INLET PIPE	842.50'	842.00'	840.00'
8" OUTLET PIPE	844.33'	843.67'	841.83'
E.H.G.W.	840.0' (79' B.G.S.)	839.5' (73' B.G.S.)	840.0' (79' B.G.S.)

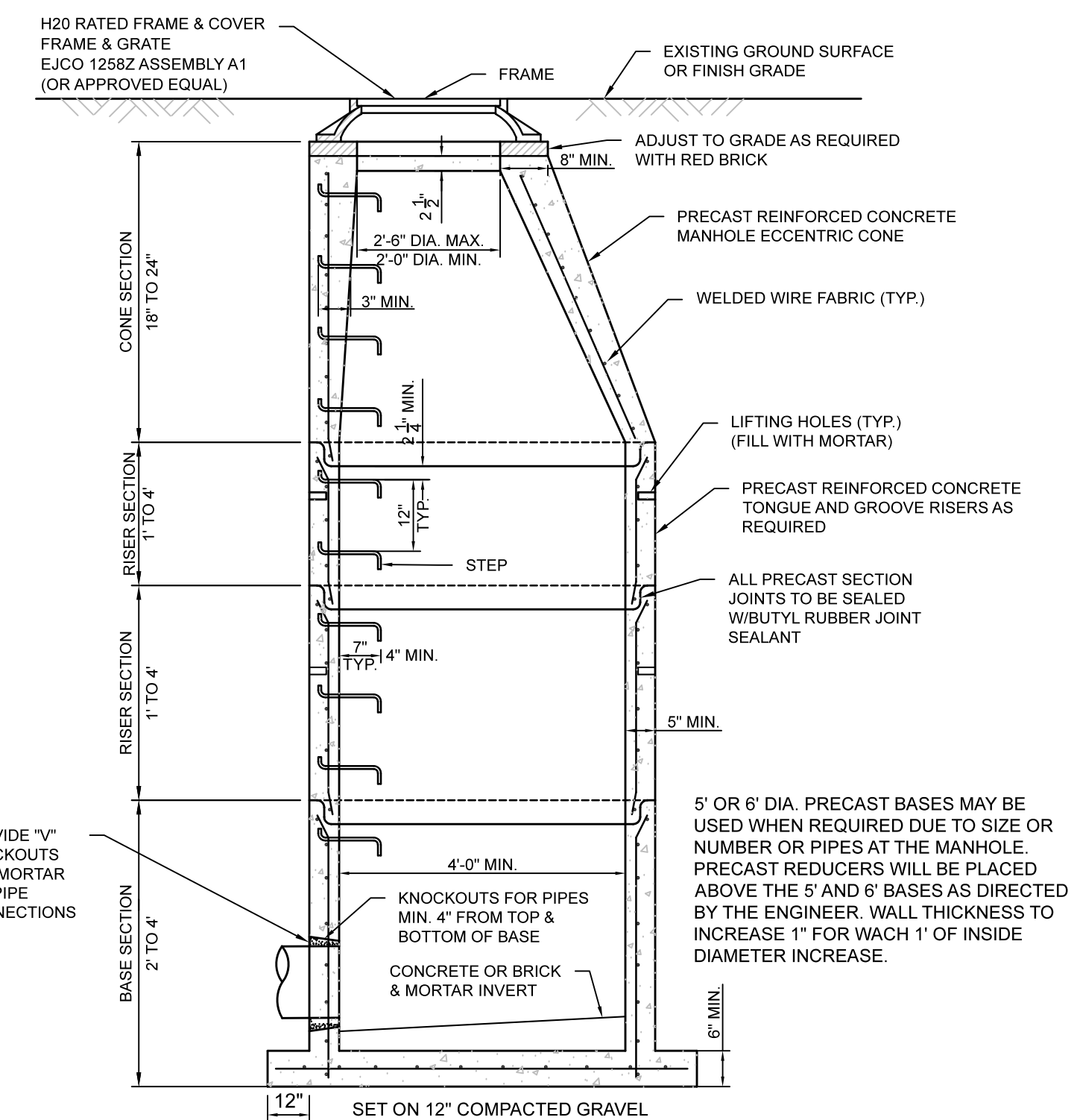
UNDERGROUND INFILTRATION CHAMBER DETAIL WITH SEPARATOR ROW SYSTEM 1P, 2P AND 5P
NOT TO SCALE



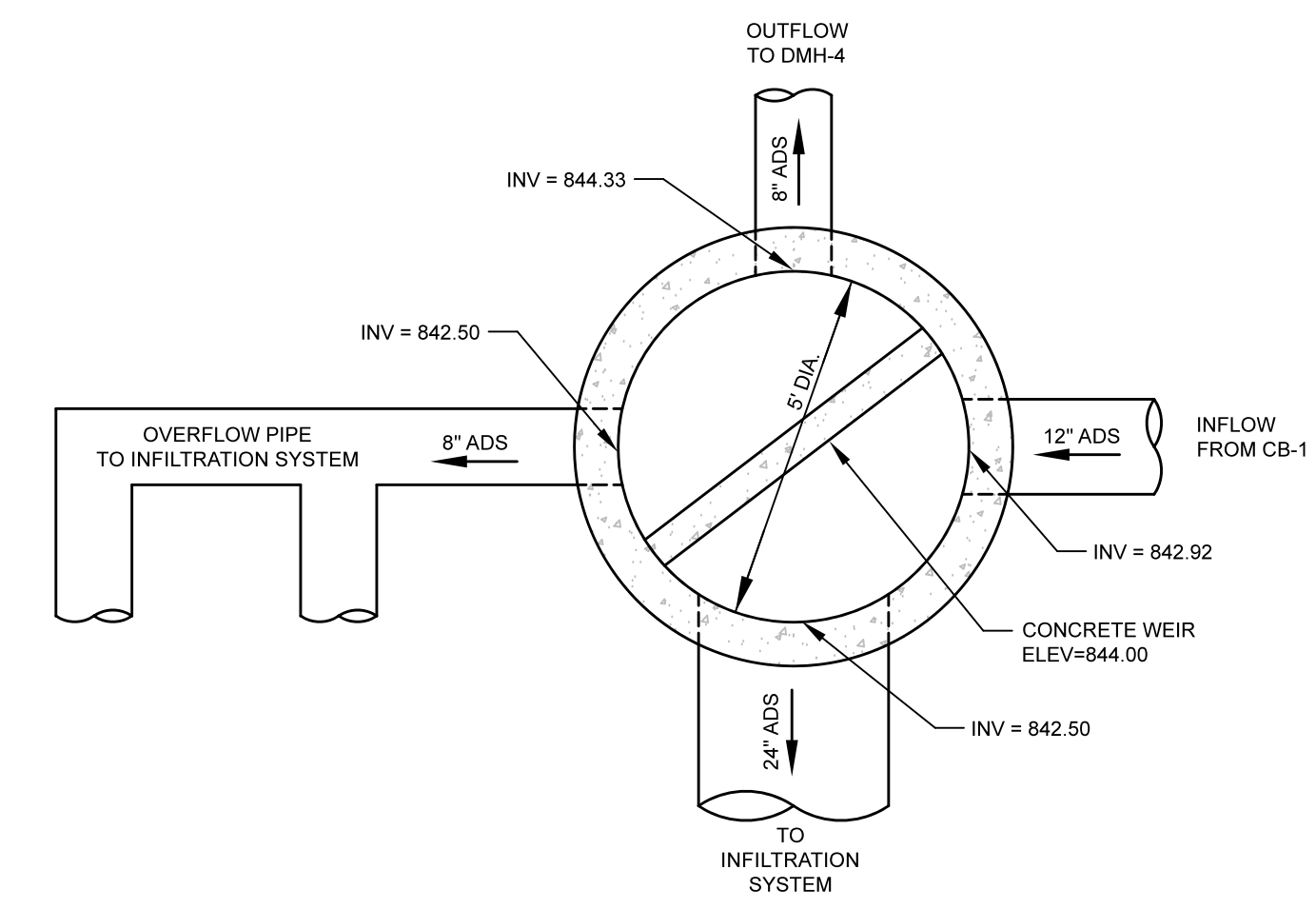
INFILTRATION SYSTEM	3P	4P
CHAMBERS	16 (4 ROWS OF 4)	16 (4 ROWS OF 4)
FINAL GRADE	846'-847'	846'-847'
TOP STONE	845.00'	845.00'
BOTTOM STONE	841.50'	841.50'
TOP CHAMBER	844.50'	844.50'
BOTTOM CHAMBER	842.00'	842.00'
4" INLET PIPE	842.00'	842.00'
8" INLET PIPE	842.00'	842.00'
8" OUTLET PIPE	843.83'	843.83'
E.H.G.W.	839.5' (78' B.G.S.)	839.5' (50" B.G.S.)

*REFER TO GRADING AND DRAINAGE SHEET C-5 FOR LAYOUT

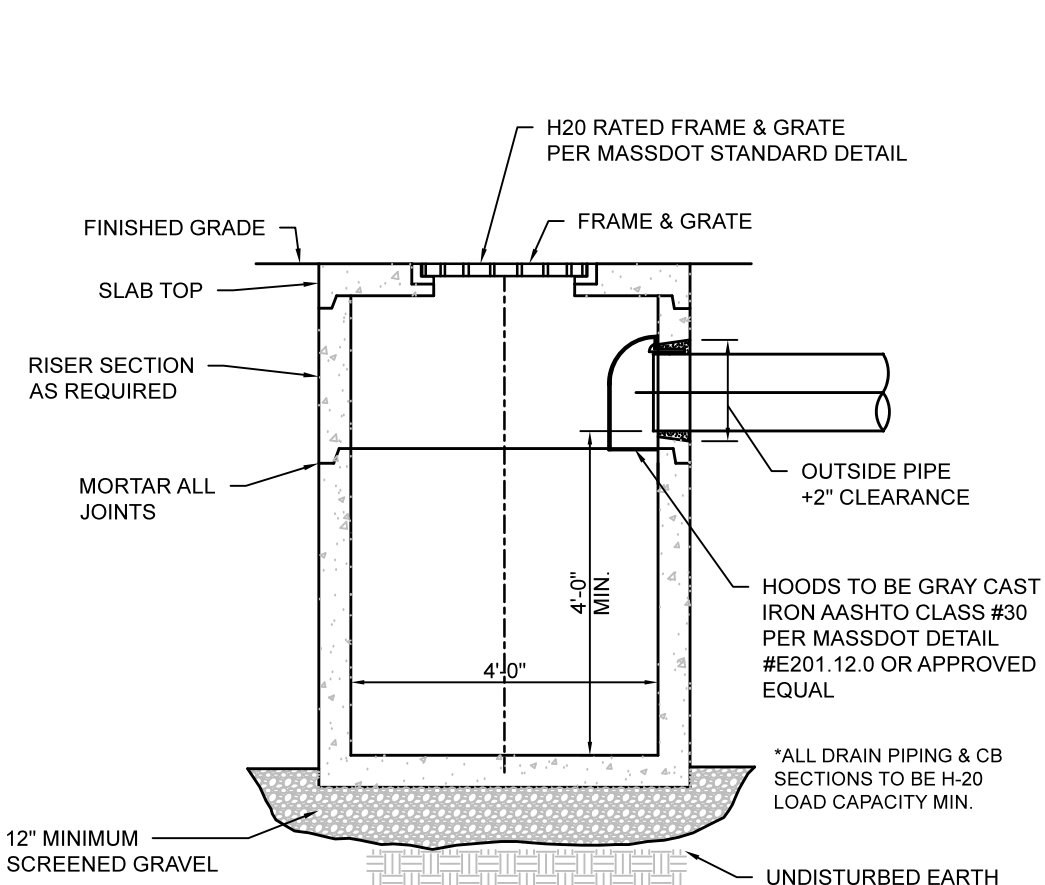
UNDERGROUND INFILTRATION CHAMBER DETAIL SYSTEM 3P AND 4P
NOT TO SCALE



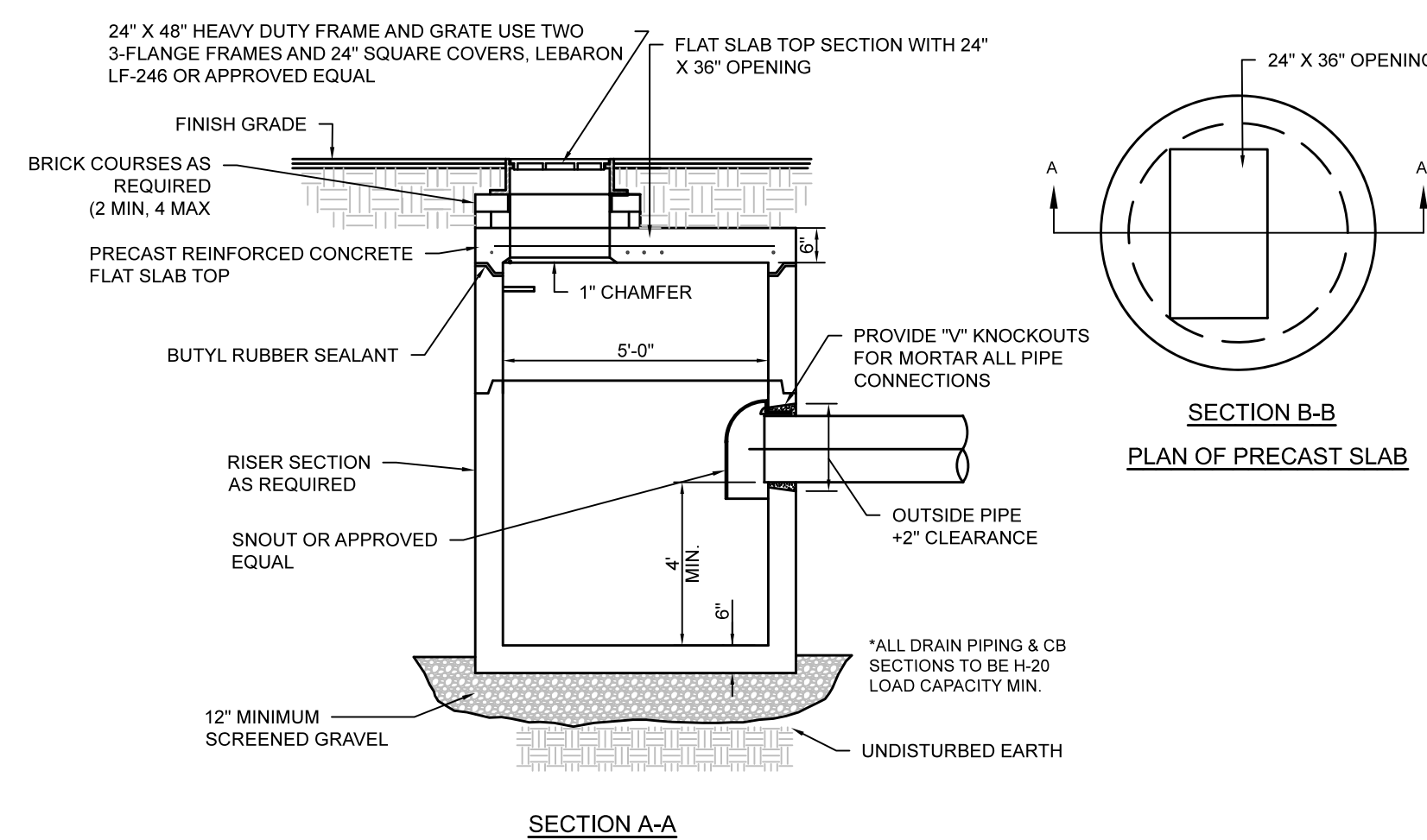
PRECAST DRAIN MANHOLE DETAIL
NOT TO SCALE



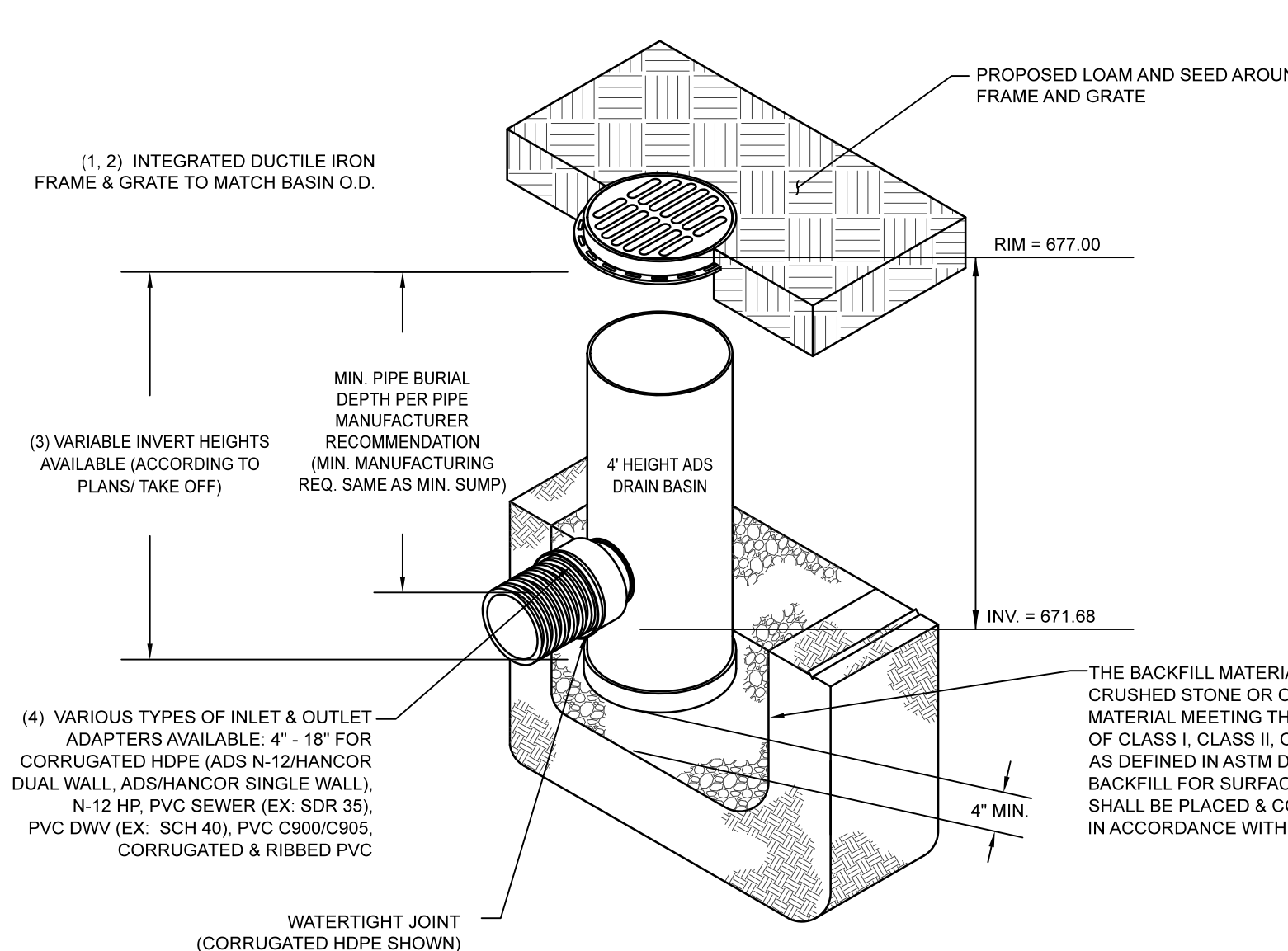
DIVERSION MANHOLE
NOT TO SCALE



DEEP SUMP CATCH BASIN DETAIL
NOT TO SCALE



DOUBLE GRATE CATCH BASIN DETAIL
NOT TO SCALE



NYLOPLAST DRAIN BASIN DETAIL (YARD DRAIN)
NOT TO SCALE

- GENERAL NOTES:**
- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP. & PVC SEWER.
 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

DIG SAFE NOTE (1-888-344-7233):
CONTRACTOR REQUIRED TO NOTIFY 'DIG SAFE' 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

NO.	DATE	DESCRIPTION	BY	CHKD
1.	12/6/2022	ZONING BOARD OF APPEALS SUBMISSION	RL	JAB



PROPOSED MULTI FAMILY RESIDENCES
#778 MAIN STREET
LEICESTER, MA 01524

PREPARED FOR:
CHARLTON ROAD REALTY, LLC
25 WATERVILLE LANE
SHREWSBURY, MA 01545

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

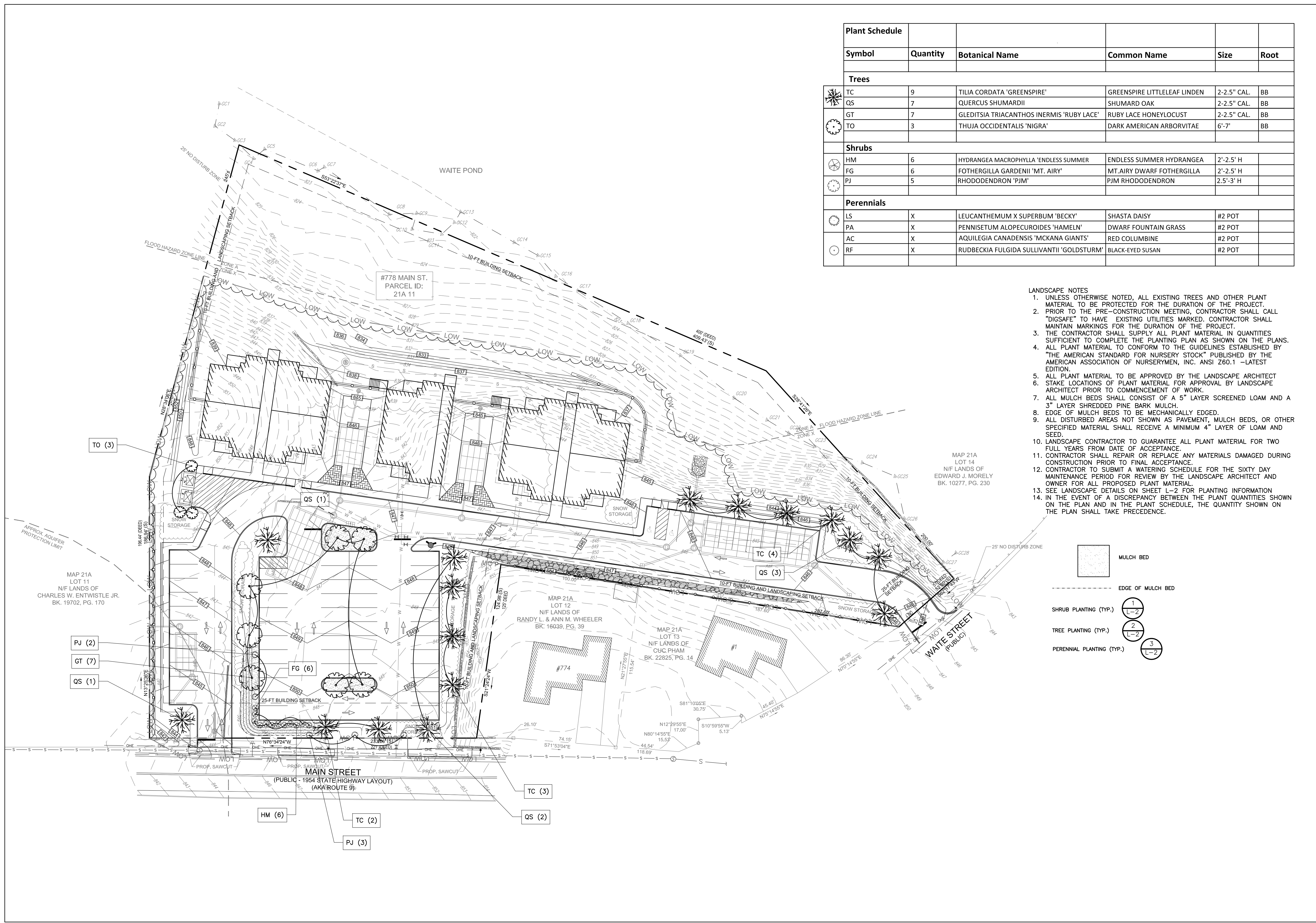
67 Hall Road
Sturbridge, MA 01560
Phone: 774-241-0901
fax: 774-241-0906



ISSUE DATE: 10/24/2022
DRAWN BY: MM CHECKED BY: JAB
SCALE: NTS
PROJECT NO.: 2021-226

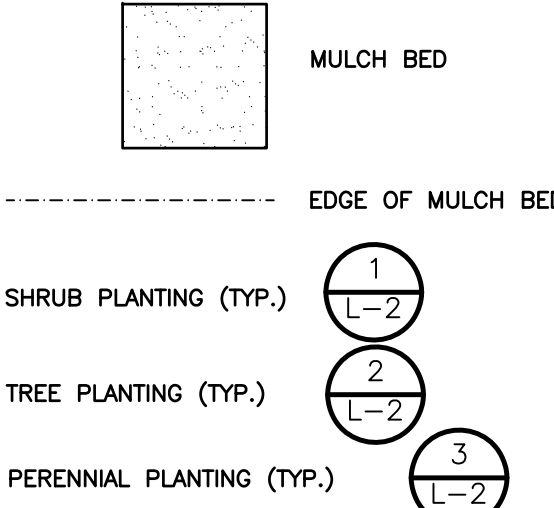
CONSTRUCTION DETAILS

C-8.2



Plant Schedule	Symbol	Quantity	Botanical Name	Common Name	Size	Root
Trees						
TC		9	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2-2.5" CAL.	BB
QS		7	QUERCUS SHUMARDII	SHUMARD OAK	2-2.5" CAL.	BB
GT		7	GLEDITSIA TRIACANTHOS INERMIS 'RUBY LACE'	RUBY LACE HONEYLOCUST	2-2.5" CAL.	BB
TO		3	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	6'-7'	BB
Shrubs						
HM		6	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	2'-2.5' H	
FG		6	FOTHERGILLA GARDENII 'MT. AIRY'	MT. AIRY DWARF FOTHERGILLA	2'-2.5' H	
PJ		5	RHODODENDRON 'PJM'	PJM RHODODENDRON	2.5'-3' H	
Perennials						
LS		X	LEUCANTHEMUM X SUPERBUM 'BECKY'	SHASTA DAISY	#2 POT	
PA		X	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	#2 POT	
AC		X	AQUILEGIA CANADENSIS 'MCKANA GIANTS'	RED COLUMBINE	#2 POT	
RF		X	RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM'	BLACK-EYED SUSAN	#2 POT	

- LANDSCAPE NOTES**
- UNLESS OTHERWISE NOTED, ALL EXISTING TREES AND OTHER PLANT MATERIAL TO BE PROTECTED FOR THE DURATION OF THE PROJECT.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING, CONTRACTOR SHALL CALL "DIGSAFE" TO HAVE EXISTING UTILITIES MARKED. CONTRACTOR SHALL MAINTAIN MARKINGS FOR THE DURATION OF THE PROJECT.
 - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN AS SHOWN ON THE PLANS.
 - ALL PLANT MATERIAL TO CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1 - LATEST EDITION.
 - ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT
 - STAKE LOCATIONS OF PLANT MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
 - ALL MULCH BEDS SHALL CONSIST OF A 5" LAYER SCREENED LOAM AND A 3" LAYER SHREDDED PINE BARK MULCH.
 - EDGE OF MULCH BEDS TO BE MECHANICALLY EDGED.
 - ALL DISTURBED AREAS NOT SHOWN AS PAVEMENT, MULCH BEDS, OR OTHER SPECIFIED MATERIAL SHALL RECEIVE A MINIMUM 4" LAYER OF LOAM AND SEED.
 - LANDSCAPE CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR TWO FULL YEARS FROM DATE OF ACCEPTANCE.
 - CONTRACTOR SHALL REPAIR OR REPLACE ANY MATERIALS DAMAGED DURING CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.
 - CONTRACTOR TO SUBMIT A WATERING SCHEDULE FOR THE SIXTY DAY MAINTENANCE PERIOD FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER FOR ALL PROPOSED PLANT MATERIAL.
 - SEE LANDSCAPE DETAILS ON SHEET L-2 FOR PLANTING INFORMATION
 - IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE, THE QUANTITY SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.



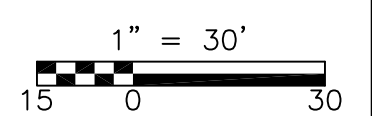
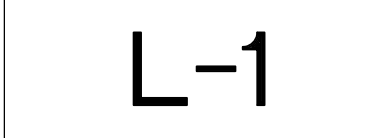
NO.	DATE	BY	CHECKED	DESCRIPTION	REVISIONS

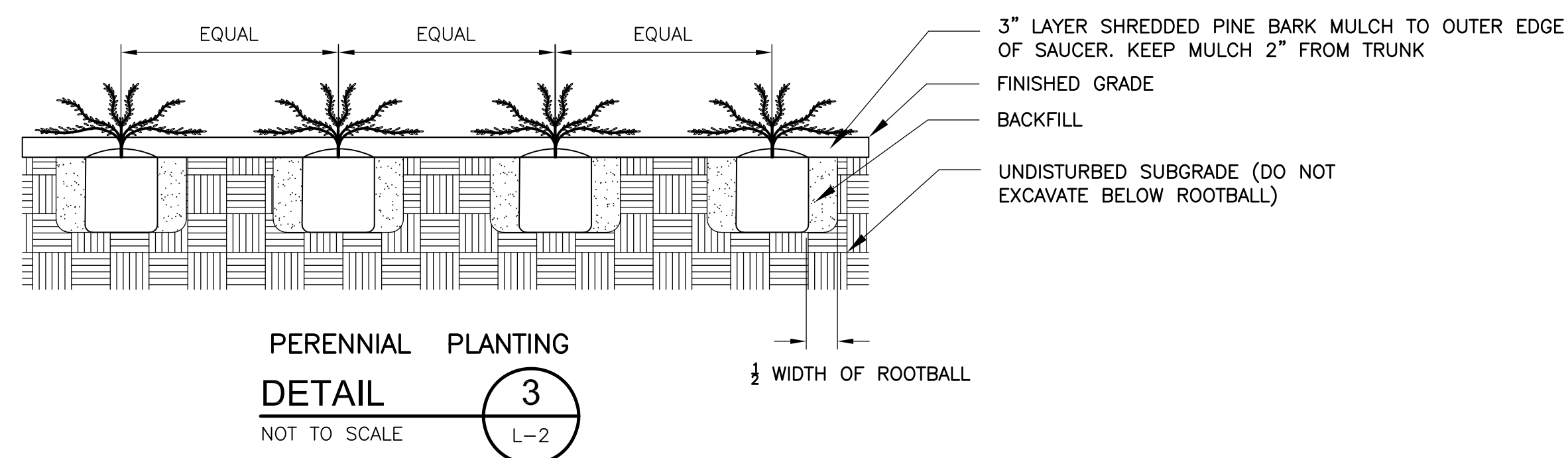
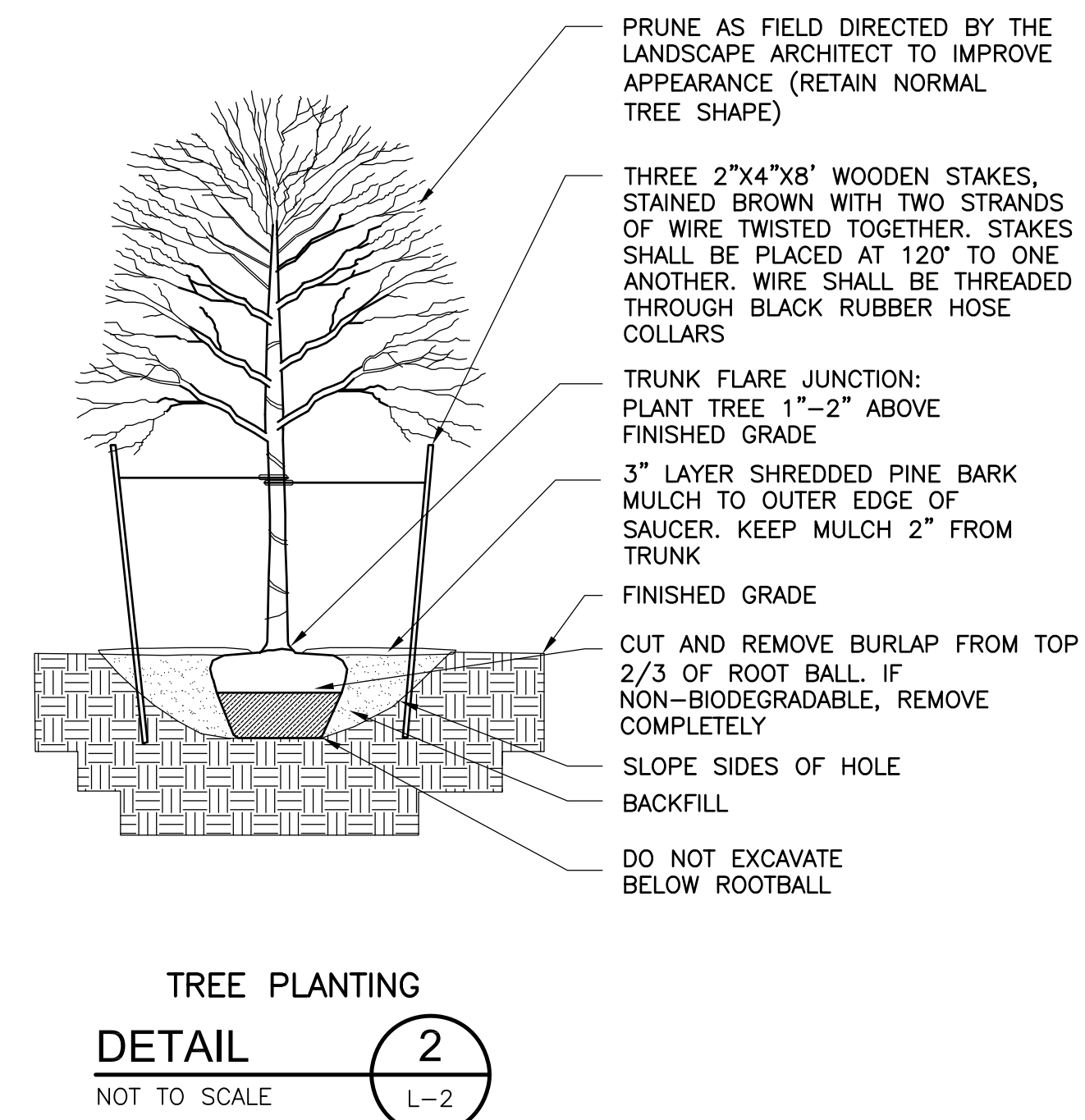
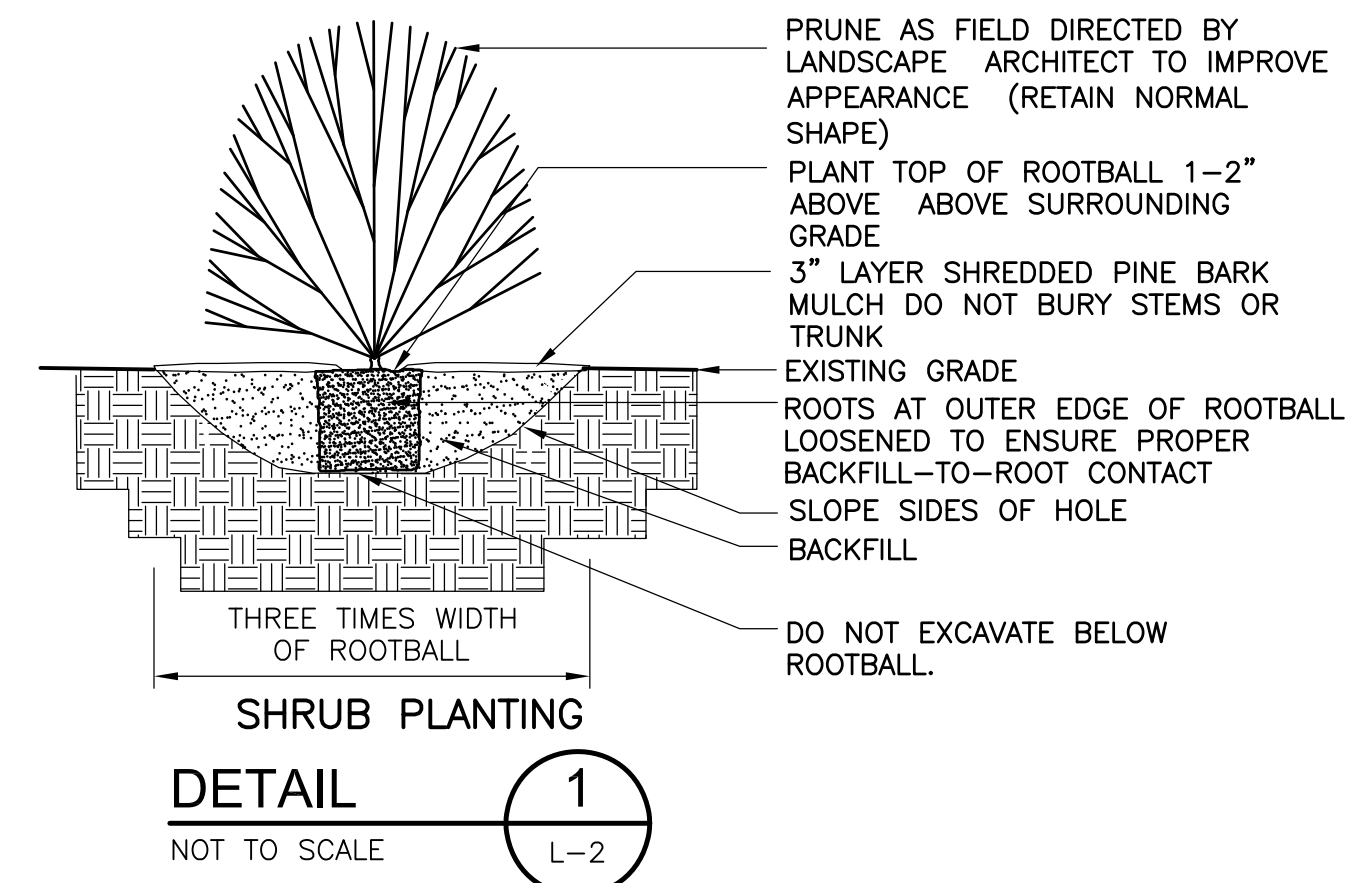


Proj. Mgr.: JC
 Designed: JC
 Drawn: JC
 Checked: DF
 Scale: AS NOTED
 Date: OCT. 2022

PLANTING PLAN
 PROPOSED MULTI-FAMILY RESIDENCE
 #778 MAIN STREET
 LEICESTER, MA 01524

Proj. No.
 Dwg. No.





NO.	DATE	BY	CHECKED	DESCRIPTION



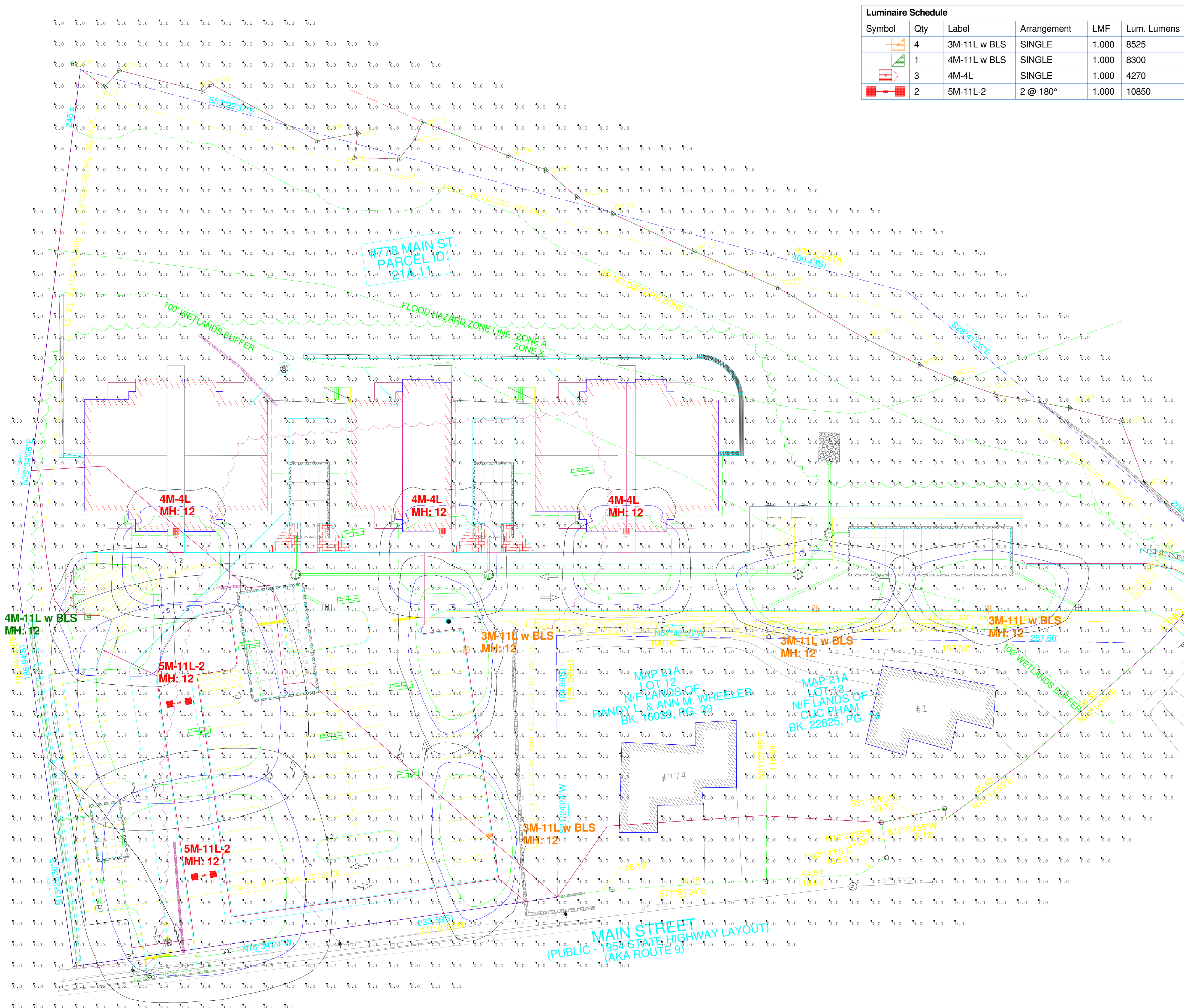
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 Designed: JC
 Drawn: JC
 Checked: DF
 Scale: AS NOTED
 Date: OCT. 2022

PLANTING DETAILS
 PROPOSED MULTI-FAMILY RESIDENCE
 #778 MAIN STREET
 LEICESTER, MA 01524

Proj. No.
 Dwg. No.

L-2

REVISIONS



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
	4	3M-11L w BLS	SINGLE	1.000	8525	72	OSQM-B-11L-30K7-3M-UL-NM-__ w/OSQ-ML-B-DA-__ + OSQ-BLSMF	B1-U0-G2
	1	4M-11L w BLS	SINGLE	1.000	8300	72	OSQM-B-11L-30K7-4M-UL-NM-__ w/OSQ-ML-B-DA-__ + OSQ-BLSMF	B1-U0-G2
	3	4M-4L	SINGLE	1.000	4270	33	XSPW-B-WM-4ME-4L-30K-UL-__	B1-U0-G1
	2	5M-11L-2	2 @ 180°	1.000	10850	72	OSQM-B-11L-30K7-5M-UL-NM-__ w/OSQ-ML-B-DA-__	B4-U0-G3

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.44	14.4	0.0	N.A.	N.A.

Fixture Mounting Height: 12' (12' Pole + 0.0' Base)

Pole Schedule
 (5) SSS-4-11-12-CW-BS-1D-C-__ (12' X 4" X 11ga STEEL SQUARE POLE, Single)
 (2) SSS-4-11-12-CW-BS-2D18-C-__ (12' X 4" X 11ga STEEL SQUARE POLE, 2@180°)

Proposed poles meet 140 MPH sustained winds.

Additional Equipment:
 (9) OSQ-ML-B-DA-__ (Direct Arm Mount)
 (5) OSQ-BLSMF (Medium Backlight Shield)

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



A COMPANY OF IDEAL INDUSTRIES, INC.
 9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Multi-Family Residence - #778 Main Street Leicester, MA - EXT

CASE #: 00523760

Footcandles calculated at grade

Filename: 221103MF1CJW.AGI

Layout By:
Collin Withrow

Date: 11/3/2022

Scale 1" = 25'

