

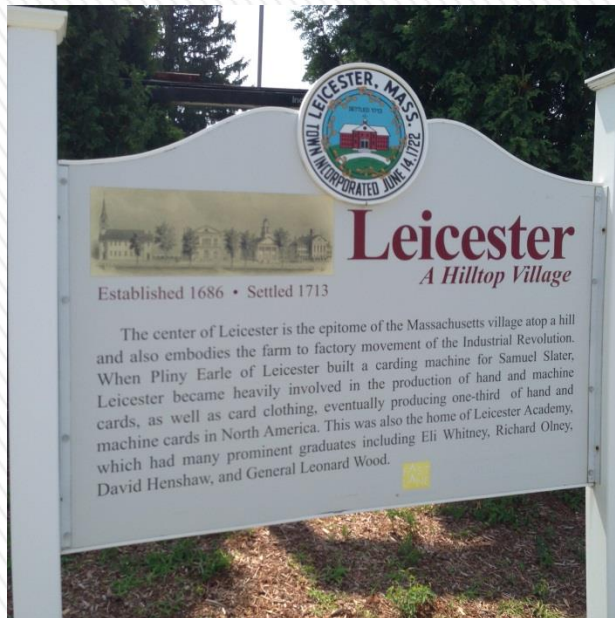


# LEICESTER PLANNING BOARD PUBLIC WORKSHOP



## Leicester Town Center

# PDA



# NOVEMBER 5, 2014

# Leicester Town Center PDA

- » Project Introduction
- » Assessment of Existing Conditions
- » Summary of Previous Planning Efforts
- » Findings to Date
- » Public Input

## » Introductions

- > Eric R. Smith, AICP, Principal Planner, Central Mass. Regional Planning Commission (CMRPC)
  - + 4 +/- Years Previous Town Planner Experience (Ashburnham and Maynard) Plus 6 +/- Years as Assistant Town Planner (Mashpee)
  - + 4.5 +/- Years Previous Regional Planning Agency Experience (MRPC and SWRPC)
- > Introduction of Leicester Town Planner and Planning Board

### ➤ Introduction to “DLTA” Program

- Project funded by the Commonwealth of Massachusetts “DLTA” – District Local Technical Assistance – program
- Established by Chapter 205 of the Acts of 2006, which enables staff of Regional Planning Agencies (RPAs) such as CMRPC to provide technical assistance to communities for “any subject within regional planning expertise.”

Leicester Town Center PDA

# Project Introduction

- » PDA is a Priority Development Area designated within a prioritization plan.
- » The Leicester Town Center was identified by the Town within the 2012 Central Thirteen (13) Prioritization Project (PDA# 216-7)
- » Town submitted DLTA Project Request in February 2014 for *“an analysis of the Leicester Town Center Regional PDA”*
- » CMRPC approved 25-hour PDA technical assistance for the PDA Assessment; Agreement that Project would be undertaken in 2<sup>nd</sup> half of CY 2014

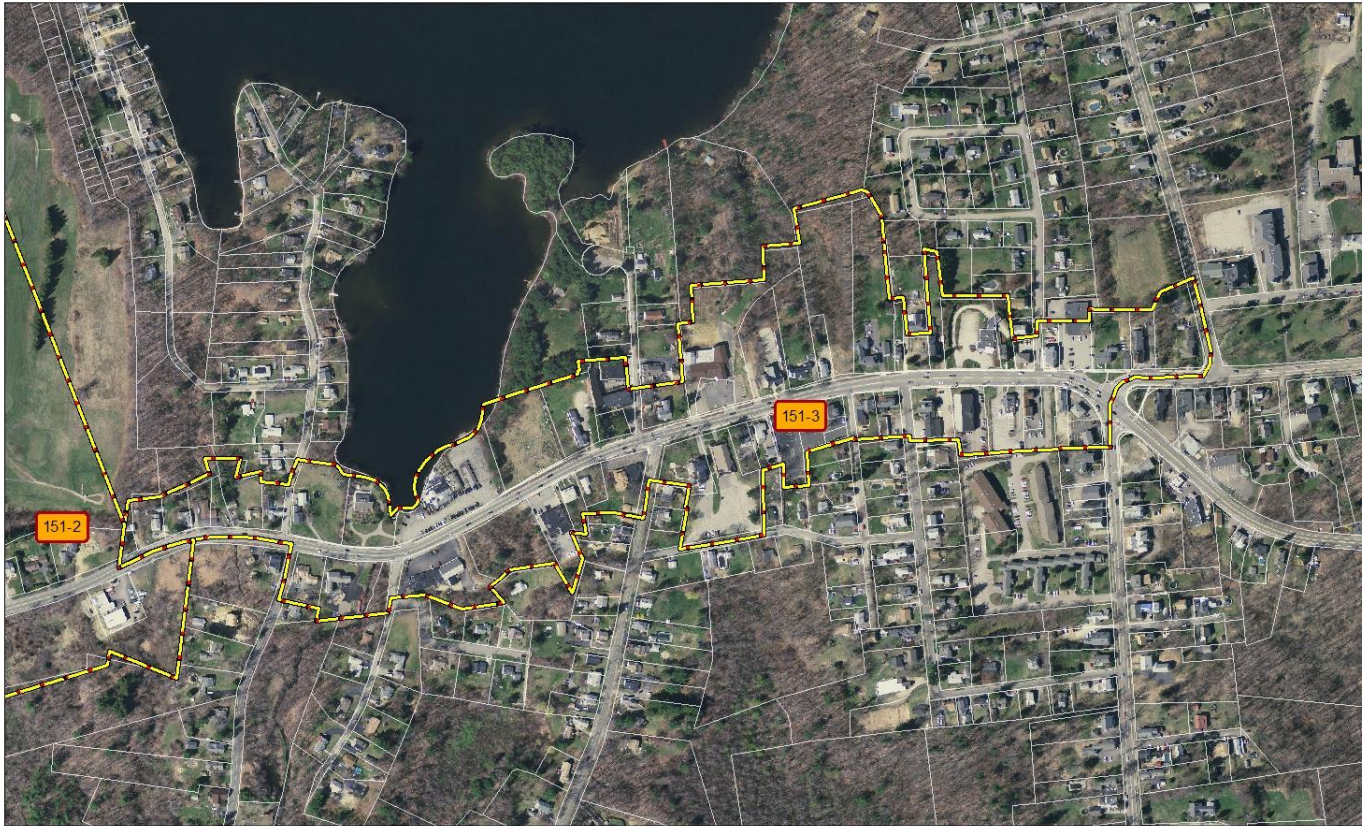
Leicester Town Center PDA





# Intro to Project Location

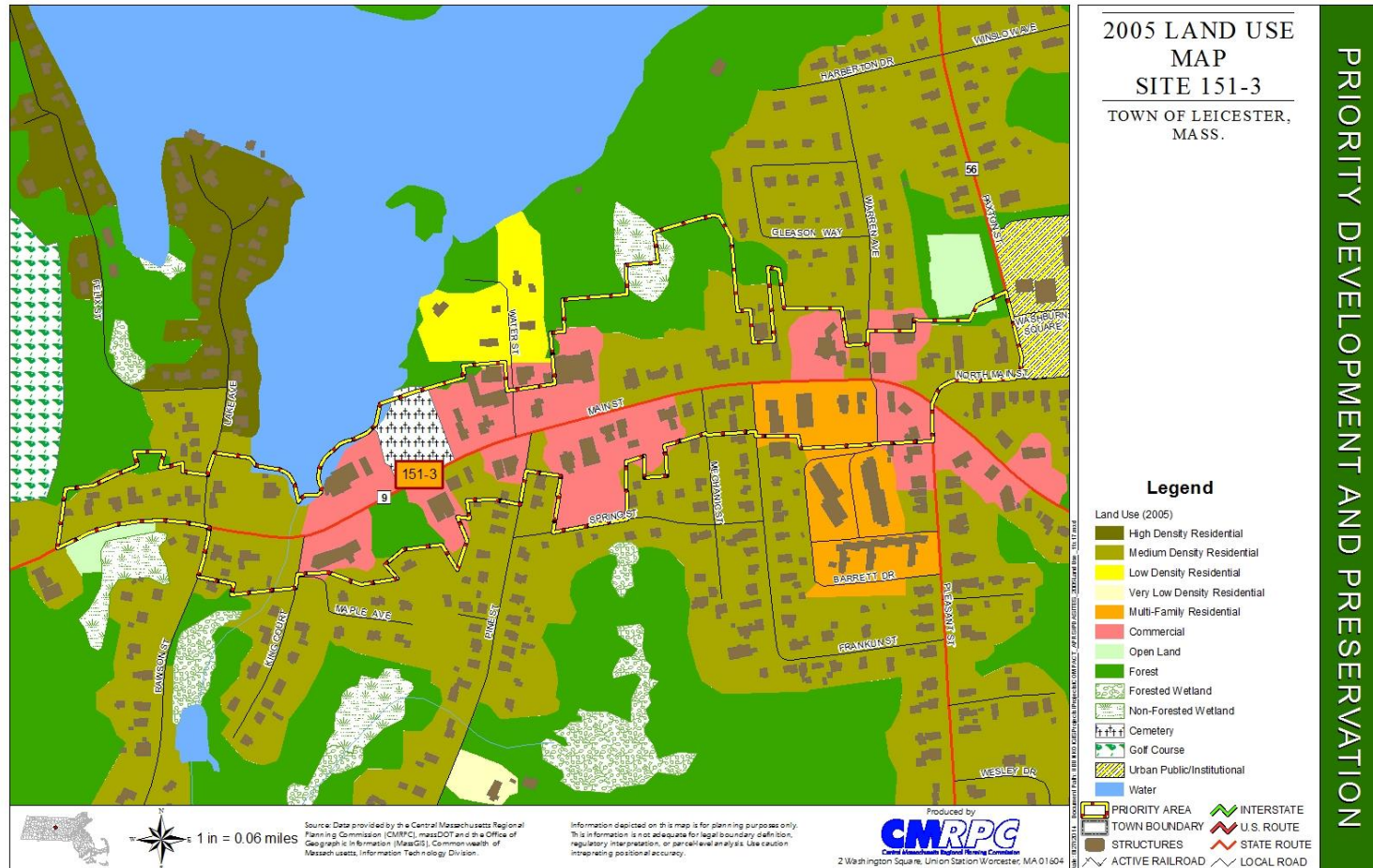
Leicester Town Center PDA Boundary



Leicester Town Center PDA



# Land Use In the Vicinity of Leicester Town Center



## Leicester Town Center PDA

## » Zoning of Site and Vicinity:

- > Leicester Town Center PDA boundary is in the Town's CBD Zoning District
- > CMRPC has Assessed Zoning as part of the PDA Project
- > Also reviewing Zoning in the area of Route 9 / Route 56 (CBD, Business and Residential-2)
- > CBD = Central Business District
- > Adopted in May 2006
- > Purpose:
  - + *"Encourage development and redevelopment of Leicester Center while preserving the area's pedestrian-oriented characteristics, mixed uses, and existing structures of historical significance."*

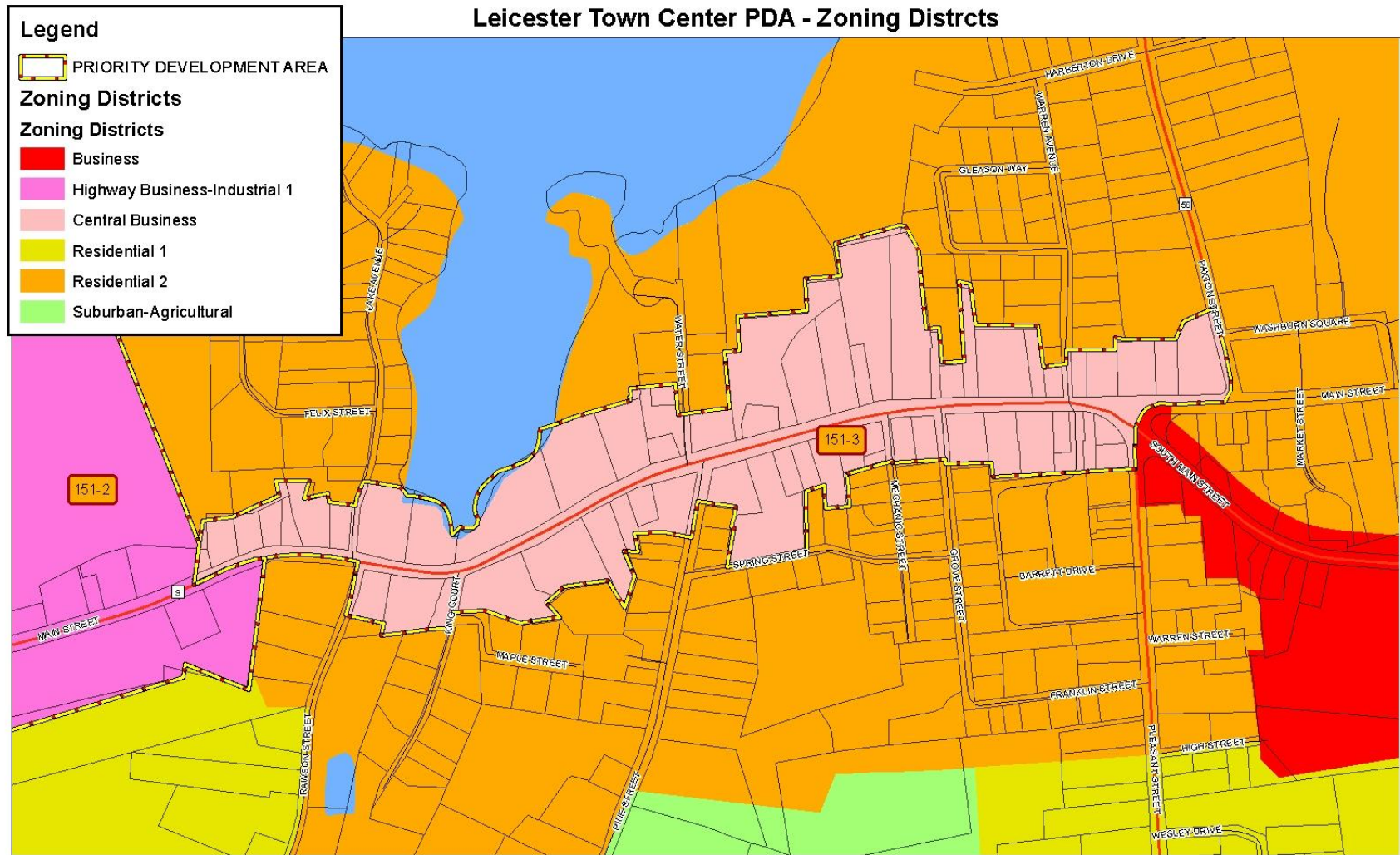


# Leicester Town Center PDA



# » Zoning of Leicester Town Center PDA and Vicinity:

> The Site is in the Town's CBD Zoning District



## Leicester Town Center PDA



## » Zoning of Site and Vicinity:

- > CBD, Business (B) and Residential-2 (R-2) Zoning Dimensional Requirements:

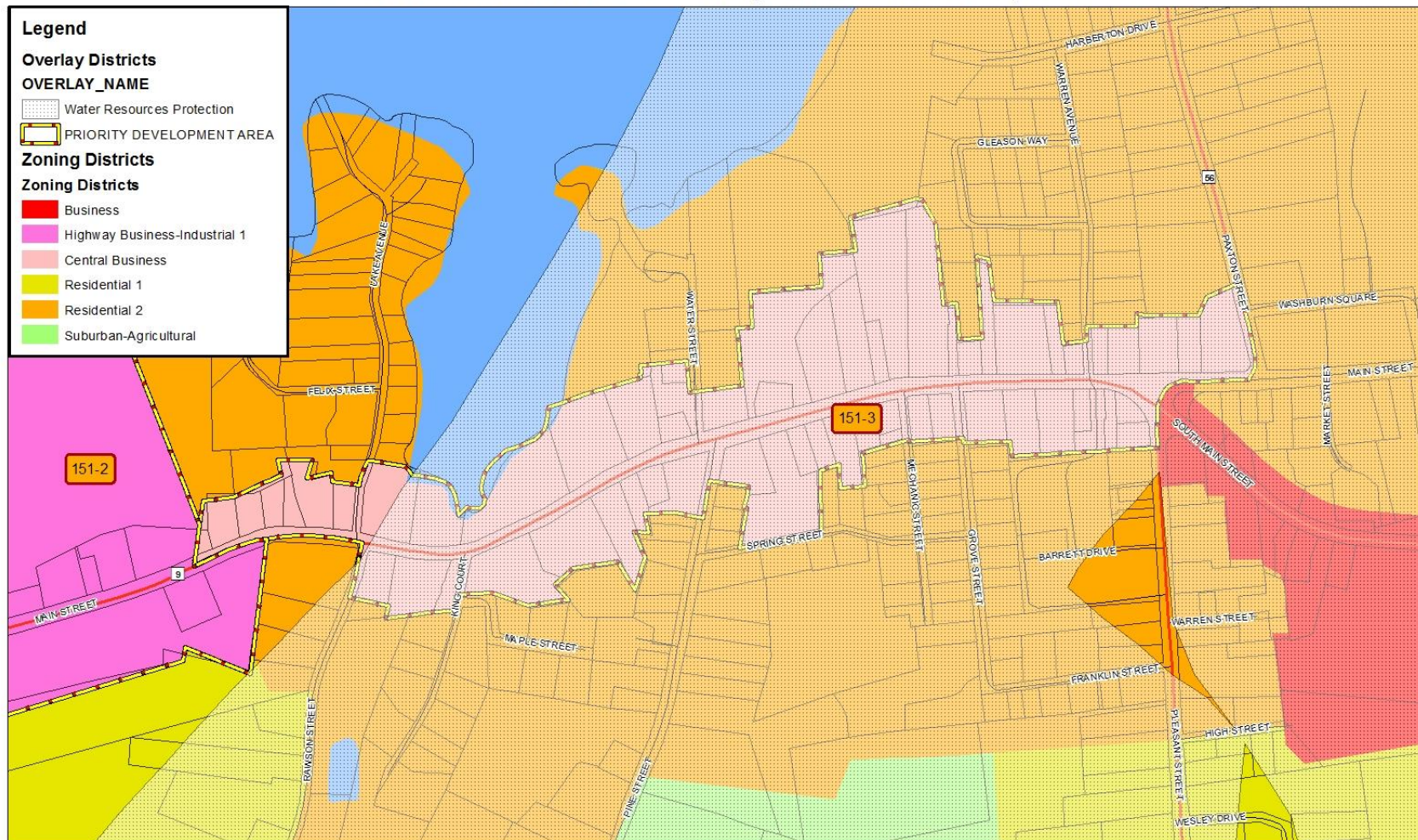
ZONING DISTRICT	MIN. LOT AREA (Sq. Ft.)	MIN. LOT WIDTH (Ft.)	MIN. FRONT YARD (Feet)	MIN. SIDE YARD (Feet)	MIN. REAR YARD (Feet)	MAX. HEIGHT OF BLDG (Feet/Stories)	MAX. BLDG COVERAGE (%)
CBD	15,000	100	25	10	25	35/ 2½	30
B	15,000	100	25	10	25	35/ 2½	30
R-2	20,000	125	25	15	25	35/ 2½	30

Leicester Town Center PDA

## » Zoning Overlays of Leicester Town Center PDA and Vicinity:

- > Most of the PDA is in the Town's Water Resources Protection District

Leicester Town Center PDA - Zoning Districts with Overlay Districts



# Leicester Town Center PDA



## » Zoning:

- > CBD Development/Redevelopment “shall comply with Business District Site Development Standards (Section 5.8)”
- > Residential Use Assessment
  - + No Single Family Residential
  - + Multi-Family by Special Permit (SP)
  - + Senior Village by SP (but 10-acre requirement could limit opportunities)
  - + Mixed Use Developments (1-3 units Vertical by-right; 4+ Vertical and any Horizontal by SP)
- > Commercial Use Assessment
  - + By-Right: Farmer’s Market, Medical Marijuana Treatment Center (per §5.15)
  - + Special permit: Place of Assembly Retail, Antique/Gift Shop, Office, Bank, Hotel/Motel, Restaurant, Gasoline/Service Station (but see Aquifer), Car Wash  
(Is this Appropriate in CBD?)
- > Industrial Use Assessment: Storage warehouse and Gravel, sand or stone removal for commercial venture by Special Permit (Are these Appropriate in CBD?)
- > Transportation Use Assessment: Trucking depot by Special Permit (Is this Appropriate in CBD?)

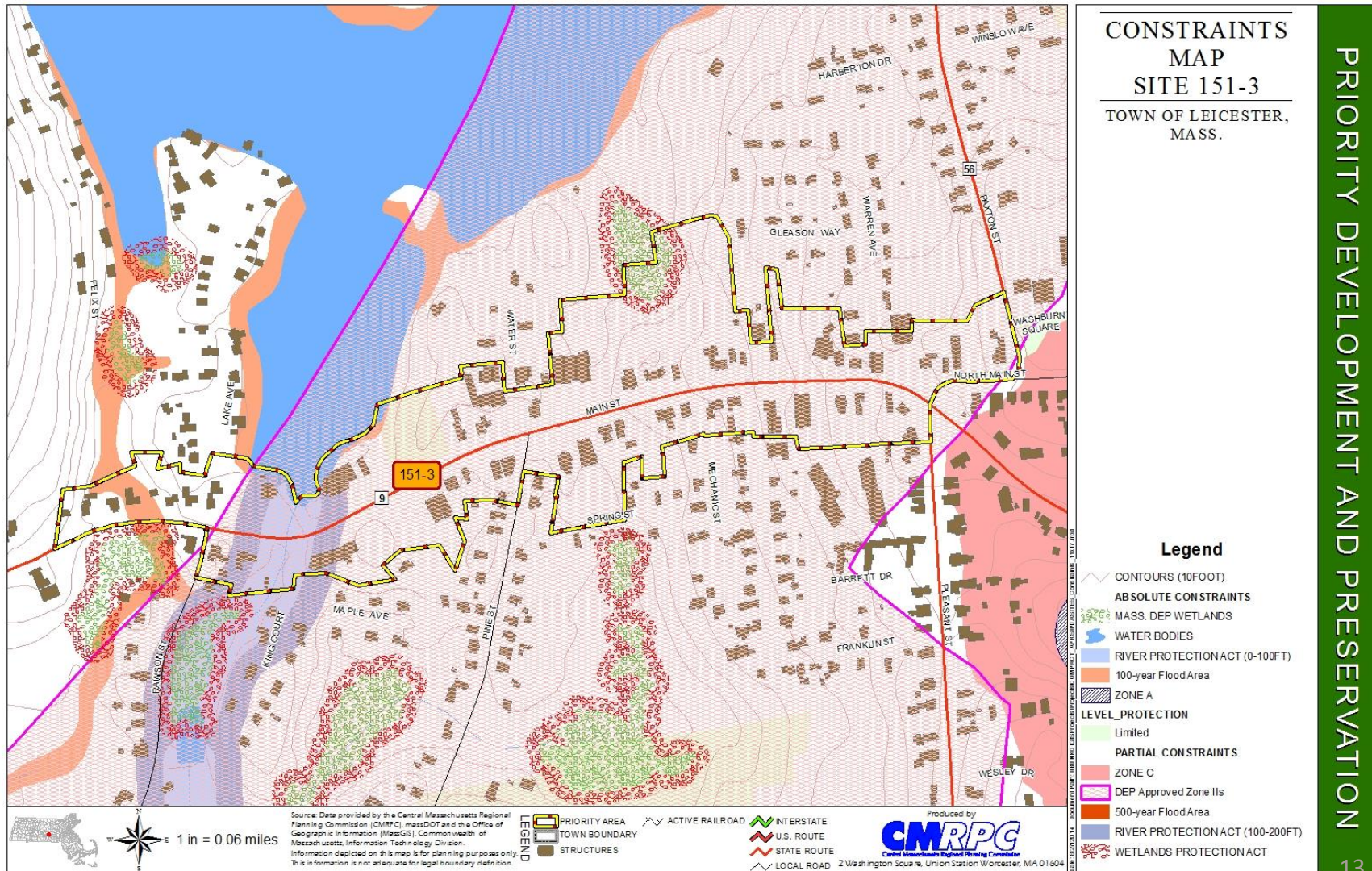
# Leicester Town Center PDA



## » Zoning:

- > Parking –
  - + Built into the Business District Site Development Standards
  - + Gives Planning Board flexibility in determining appropriate # of spaces based on proposed development
- > Business Site Development Standards
  - + Landscaping and Screening Requirements
    - Five (5) feet along the side of a lot with road frontage
    - Ten (10) feet where non-residential use abuts residential use
    - Requirement for “large” parking areas to have landscaped islands
  - + Authorizes Planning Board to adopt Design Standards (*Have they?*)
- > AROD – Adaptive Reuse Overlay District – Planning Tool could be utilized for Watson Mill & Old Municipal Building (1078 Main Street)
- > Water Resource Overlay District: One prohibited use is “gasoline station, auto or boat repair or body shop”

# » Environmental Constraints:



## Leicester Town Center PDA



## » Previous Planning Efforts

### » CMRPC has reviewed the following documents:

#### > Leicester 2009 Master Plan:

##### + Economic Development Goal:

- “Encourage mixed-use development with a variety of small-scale retail businesses in a more pedestrian-friendly town center, while promoting large-scale retail businesses and office parks in targeted areas away from the town center, and supporting the preservation of historic structures and the redevelopment of underutilized older structures.”

##### + Economic Development Objectives:

- Consider changes to zoning bylaw, site plan design standards, and roadway design to encourage additional pedestrian scale development in the Central Business District to maintain its attractiveness to pedestrian traffic.
- Pursue state and federal programs to facilitate the redevelopment of underutilized properties.

#### > Route 9 Corridor Plans:

##### + December 2007 Route 9 Corridor Study, MS Transportation Systems, Inc.

##### + CMRPC's August 2010 Route 9 West Corridor Profile

#### > *Other documents/plans/previously planning efforts CMRPC should be aware of?*



- » Finding:
- » Leicester Common National Register District boundary ends on the eastern side of the CBD

Leicester Common - Washburn Square National Register District





# Historic Resources



Town should consider applying for  
FY 2015 Mass. Historical Commission  
Survey and Planning Grant.  
Pre-Application Due 11-17-2014

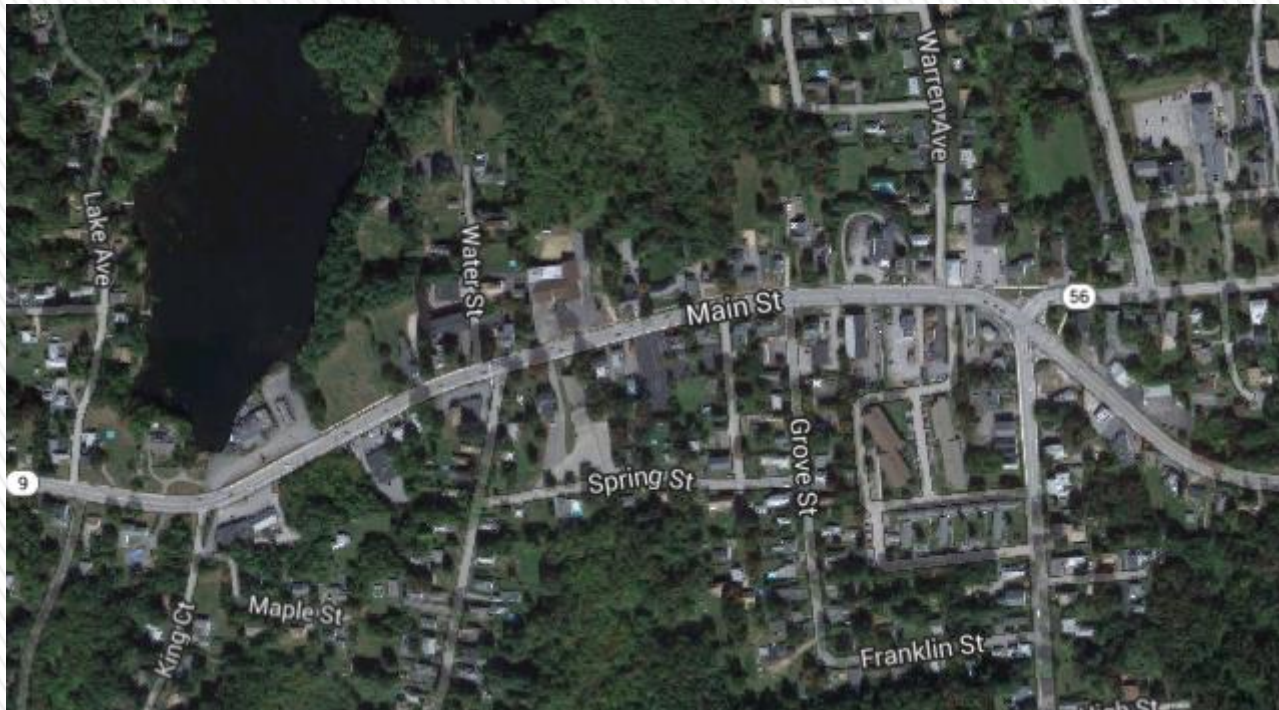


## Leicester Town Center PDA



# Findings from Review of Corridor Profiles

- Route 9 under the jurisdiction of MassDOT
  - MassDOT policy to not allow on-street parking
- Daily Traffic Volumes in the 17,000-20,000 range
- Daily AM & PM Peak LOS in this segment = D



Leicester Town Center PDA



## Finding:

- Most of Main Street/Route 9 has sidewalks
- Lack of Safe North/South Pedestrian Crossings



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# Findings/Observations:

- Successful redevelopment/reuse examples
- Did not see too many vacant buildings



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## Is Sargent Pond a potential opportunity / asset for Leicester Town Center?



Leicester Town Center PDA



» Questions?!?

» WE WANT YOUR INPUT!!!!!!!!!!!!!!!!!!!!!!

Leicester Town Center PDA

## » Next Steps:

- » Complete Leicester Center PDA Assessment Report
  - Findings and Recommendations
- » Submit Draft Report & Recommendations to the Planning Board End of November (Post on Website)
- » With comments in hand Prepare Final Report end of December
- » Final Questions/Comments
- » Contact Info for Further Input:
  - > Michelle R. Buck, AICP, Leicester Town Planner: (508) 892-7019 or via email at [buckm@leicesterma.org](mailto:buckm@leicesterma.org)
  - > Or Eric R. Smith, AICP, Principal Planner, CMRPC: (508) 459-3322 or via email at [esmith@cmrpc.org](mailto:esmith@cmrpc.org)