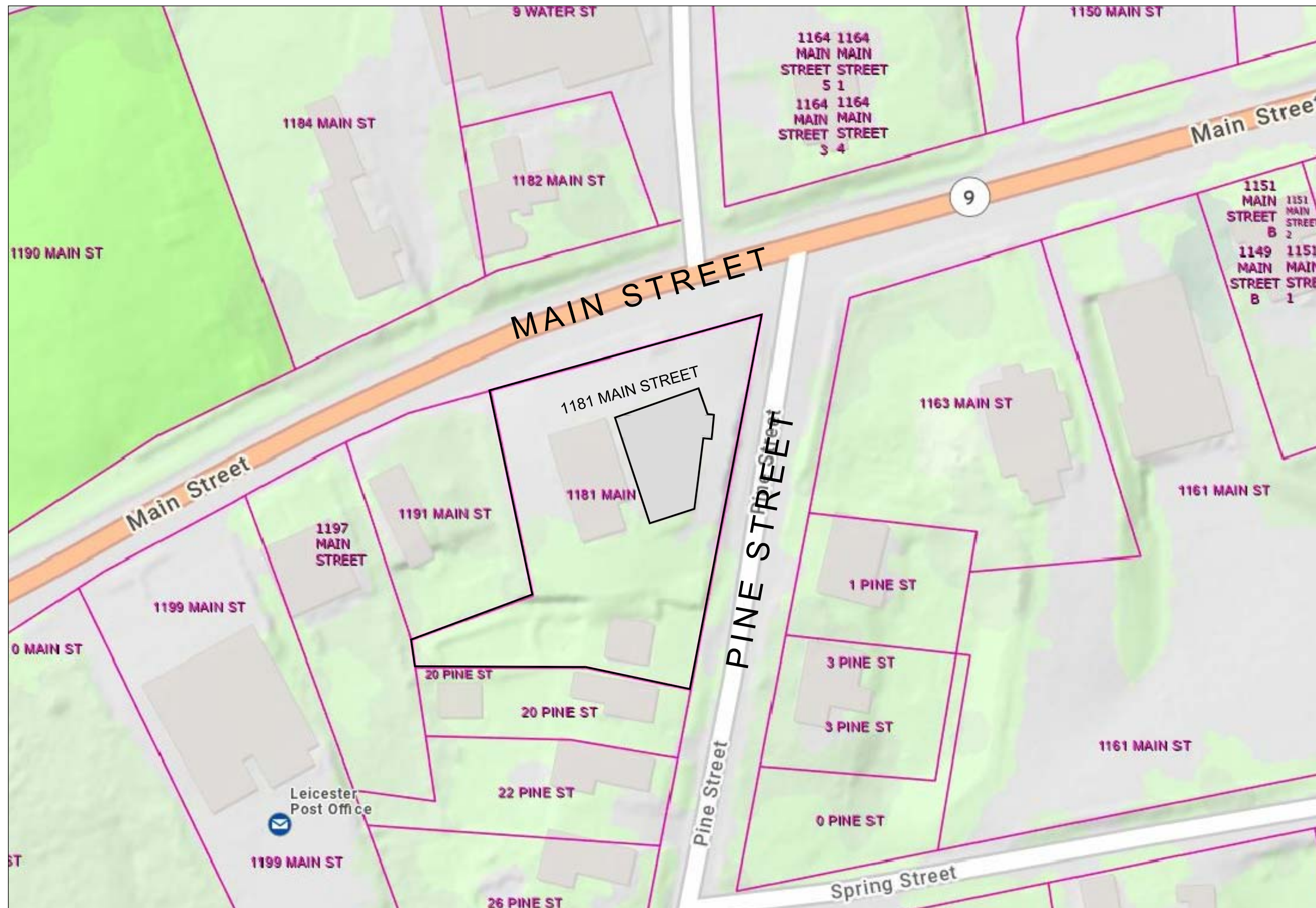


- NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE OF MASSACHUSETTS CODES, RULES AND REGULATIONS.
- GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING HIS OWN DEFECTIVE WORK AS WELL AS PAY ALL COSTS INCIDENTAL THERETO INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS AND/OR EQUIPMENT.
- ALL DRAWINGS ARE TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMEN AND GENERAL PUBLIC FROM INJURY & ADJACENT PROPERTY FROM DAMAGE.
- PERFORM ALL WORK IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE COPIED OR DUPLICATED IN ANY MANNER.

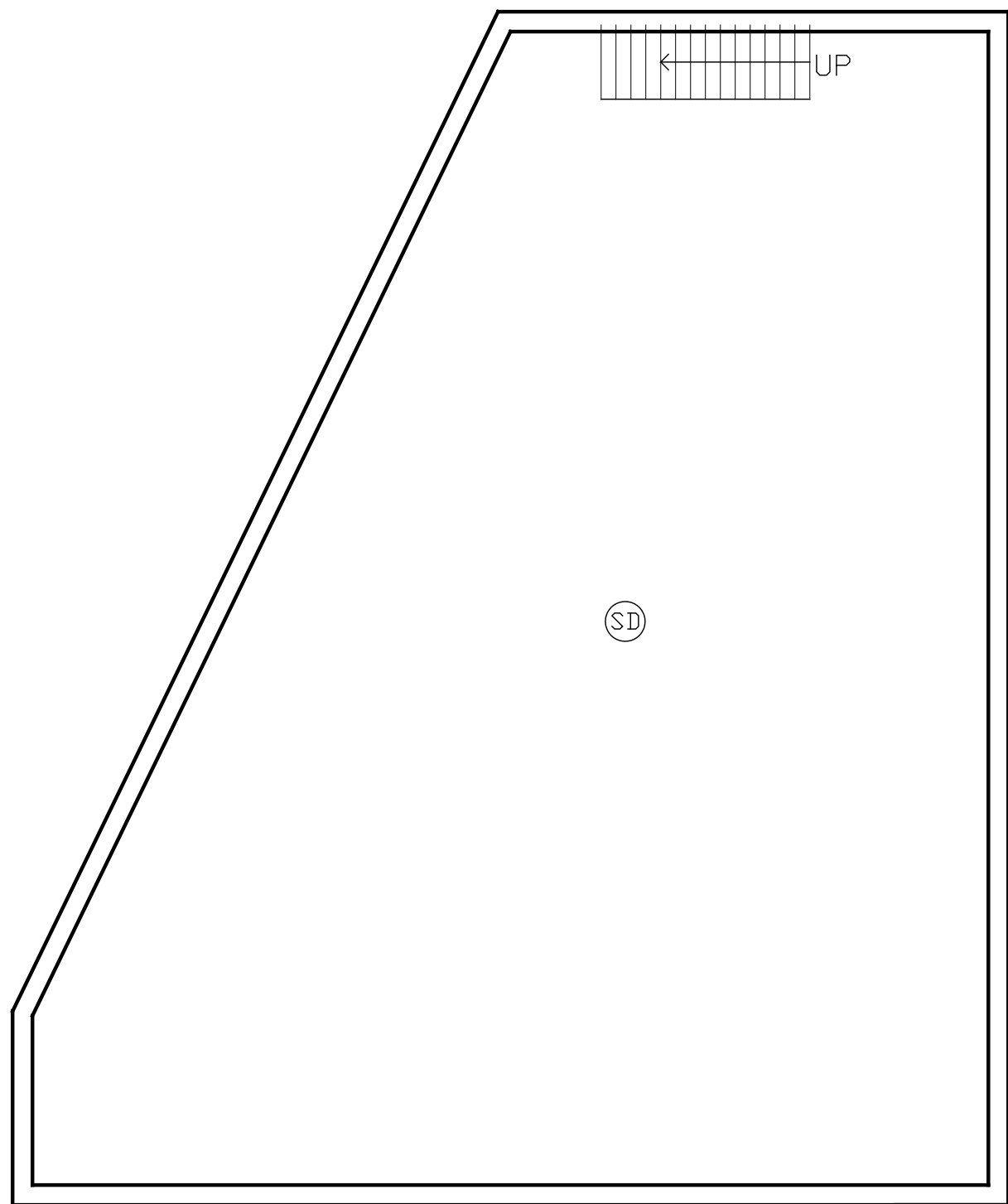
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH MA AND NEC CODES, RULES AND REGULATIONS.
- CONTRACTORS SHALL GUARANTEE ALL WORK FOR WHICH MATERIALS ARE FURNISHED, FABRICATED OR FIELD ERECTED, ALL FACTORY ASSEMBLED EQUIPMENT FOR WHICH NO SPECIFIC MANUFACTURER'S GUARANTEE IS FURNISHED AND ALL WORK IN CONNECTION WITH INSTALLING ANY MANUFACTURER'S GUARANTEED EQUIPMENT. THIS PERSONAL GUARANTEE SHALL EXIST FOR A PERIOD OF ONE YEAR OF FINAL ACCEPTANCE OF THE WORK AND SHALL APPLY TO DEFECTS IN THE MATERIAL AND WORKMANSHIP IN ANY KIND.
- COORDINATE ALL EQUIPMENT REQUIREMENTS WITH THE MANUFACTURER'S DATA.
- PERFORM ALL WORK IN ACCORDANCE WITH THE PROJECT'S SPECIFICATIONS.

- ALL PLUMBING SHALL BE PERFORMED BY A LICENSED PLUMBER AND SHALL CONFORM TO STATE OF MA AND NFPA CODES, RULES AND REGULATIONS
- PLUMBING VENT SIZES AND LOCATIONS SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR.
- ALL SLEEVE SIZES SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR.
- PROVIDE STOP VALVES IN ALL PIPES TO FIXTURES AHEAD OF THE OPERATING LEVERS OR FAUCETS.
- COORDINATE ALL EQUIPMENT REQUIREMENTS WITH THE MANUFACTURER'S DATA.
- PERFORM ALL WORK IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

- 1 TOILET PER 30 FEMALES
- 1 TOILET PER 60 MALES
- LAVATORIES: 1 PER 75
- NO DRINKING FOUNTAIN REQUIRED



1

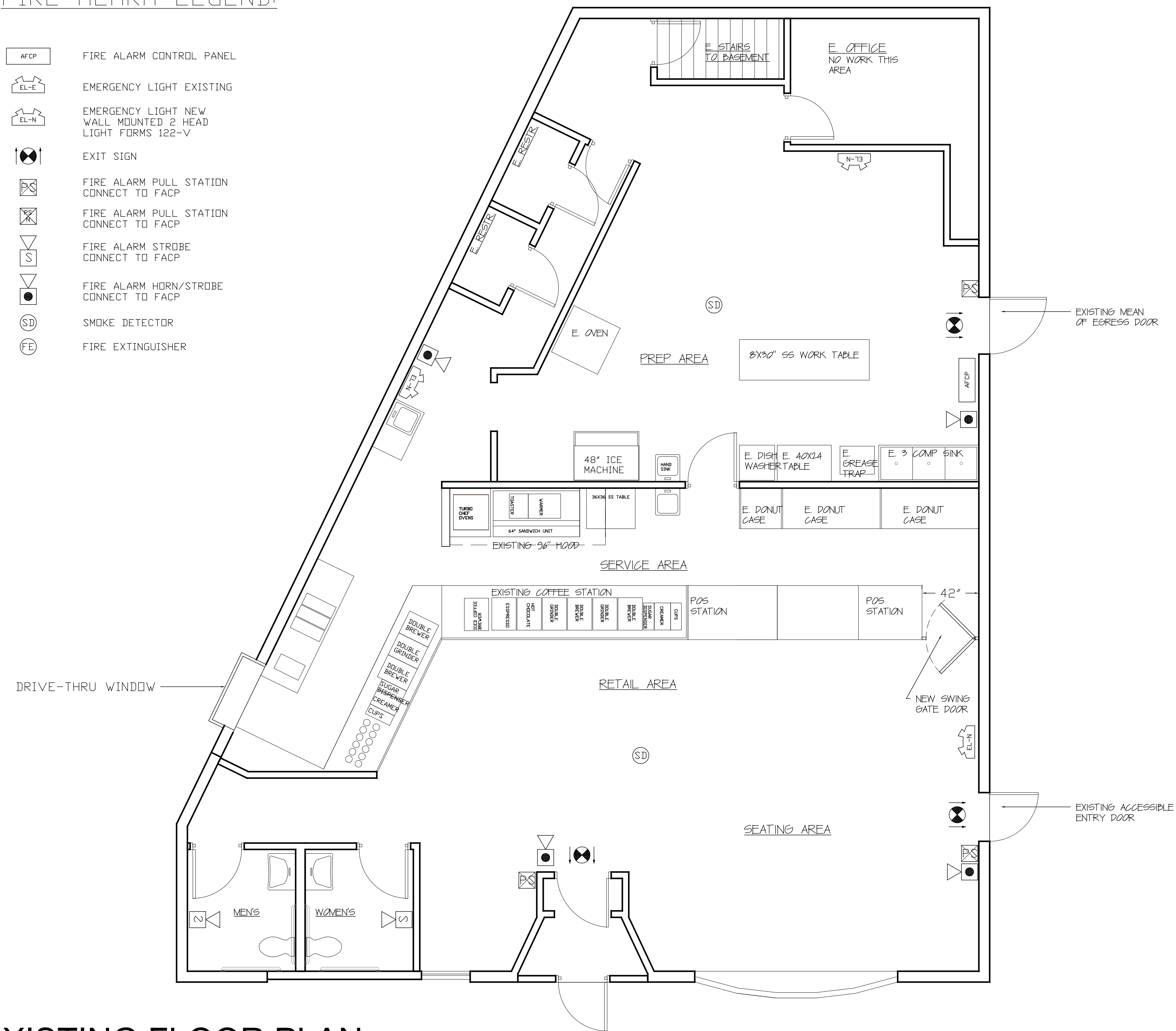


EXISTING BASEMENT
SCALE: 1/8" = 1'

FLOOR AREA:
FIRST FLOOR GROSS FLOOR AREA = 2390 SF.
BASEMENT GROSS FLOOR AREA = 2390 SF
TOTAL BUILDING GROSS FLOOR AREA = 4780 SF

FIRE ALARM LEGEND:

- FIRE ALARM CONTROL PANEL
- EMERGENCY LIGHT EXISTING
- EMERGENCY LIGHT NEW
WALL MOUNTED 2 HEAD
LIGHT FORMS 122-V
- EXIT SIGN
- FIRE ALARM PULL STATION
CONNECT TO FACP
- FIRE ALARM PULL STATION
CONNECT TO FACP
- FIRE ALARM STROBE
CONNECT TO FACP
- FIRE ALARM HORN/STROBE
CONNECT TO FACP
- SMOKE DETECTOR
- FIRE EXTINGUISHER



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'



ARCHITECTURE . PLANNING . DESIGN

AADesign SERVICES L.L.C.
43 MONROE AVE, WORCESTER, MA 01602
TEL: 508-769-0579
AADesigner@AOL.COM



James W. Glavin

PROJECT TITLE

DIPPIN DONUTS

PROJECT ADDRESS

**1181 MAIN ST
LEICESTER, MA**

SHEET TITLE

**EXISTING
FLOOR PLAN**

REVISIONS:

DATE: 04-01-2024

PROJECT #: C24329

SHEET #

2

DEMOLITION NOTES:

1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE PLANS WITH DASHED LINES, NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTORS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF THE MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
3. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, COLUMNS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO TO REMOVAL OF ANY WORK INDICATE HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE MINIMUM DESIGN LOADS VALUES SHALL BE AS FOLLOWS:

• 100 PSF LIVE LOAD (FIRST FLOOR)

• 55 PSF LIVE LOAD (SNOVN)

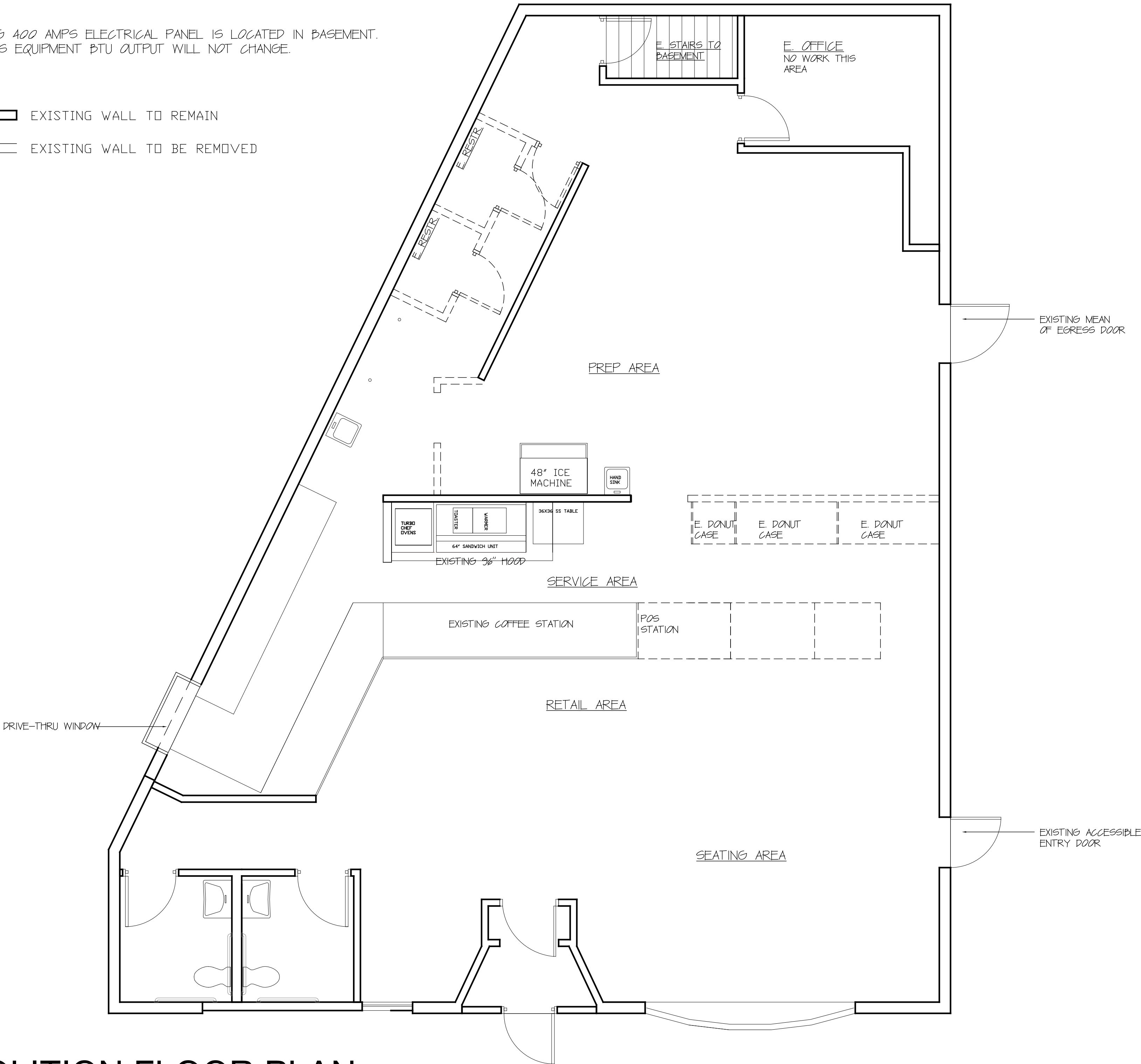
• 20 PSF DEAD LOAD (FLOOR, ROOF)

• MAXIMUM ALLOWABLE DEFLECTION @ L/360 OF SPAN
5. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATION. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
6. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITIONS.
7. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPABLE TO THE OWNER MATCH EXISTING WHEREVER POSSIBLE.
8. THE CONTRACTOR IS TO ACCEPT FULL RESPONSIBILITY FOR THE STABILITY AND STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURES WITHIN AND ADJACENT TO THE WORKS.
9. THE CONTRACTOR SHALL SUBMIT, AND HAVE AGREED WITH THE ENGINEER, HIS PROPOSALS FOR TEMPORARY SUPPORTS AND METHOD OF WORKING. THESE ARE TO INCLUDE ALL NECESSARY CALCULATIONS IF REQUIRED.
10. THE CONTRACTOR IS TO CARRY OUT ALL AGREED PROPPING TO WALLS AND FLOORS PRIOR TO THE REMOVAL OF ANY WALLS.
11. ALL NEW OPENINGS ARE TO BE FORMED BY CAREFULLY SAW-CUTTING. ALL DEFECTIVE MASONRY OR CONCRETE WORK IS TO BE REPAIRED OR RE-BUILT AS NECESSARY WITH ALL NEW MASONRY BEING BONDED IN AT JUNCTIONS WITH OTHER WALLS.
12. NO VARIATION IN THE STRUCTURAL DETAILS SHOWN ON THESE DRAWINGS WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

- NOTES:
1. EXISTING 400 AMP'S ELECTRICAL PANEL IS LOCATED IN BASEMENT.
2. THE GAS EQUIPMENT BTU OUTPUT WILL NOT CHANGE.

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED



DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'



ARCHITECTURE . PLANNING . DESIGN

AADesign SERVICES L.L.C.
43 MONROE AVE, WORCESTER, MA 01602
TEL: 508-769-0579
AADesigner@aol.com



James W. Glick

PROJECT TITLE

DIPPIN DONUTS

PROJECT ADDRESS

1181 MAIN ST
LEICESTER, MA

SHEET TITLE

DEMOLITION
FLOOR PLAN

REVISIONS:

DATE: 04-01-2024

PROJECT #: C24329

SHEET #

3

1. MATCH NEW CEILING TILES IN THE WORK AREA WITH THE EXISTING 48" X 24" SUSPENDED CEILING TILES.
2. MATCH NEW CERAMIC FLOOR TILES WITH THE EXISTING FLOOR FINISH.
3. MATCH THE NEW WALL FINISH WITH THE EXISTING WALL FINISH.
4. EXISTING 400 AMPS ELECTRICAL PANEL IS LOCATED IN THE BASEMENT.
5. THE GAS EQUIPMENT BTU OUTPUT WILL NOT CHANGE.

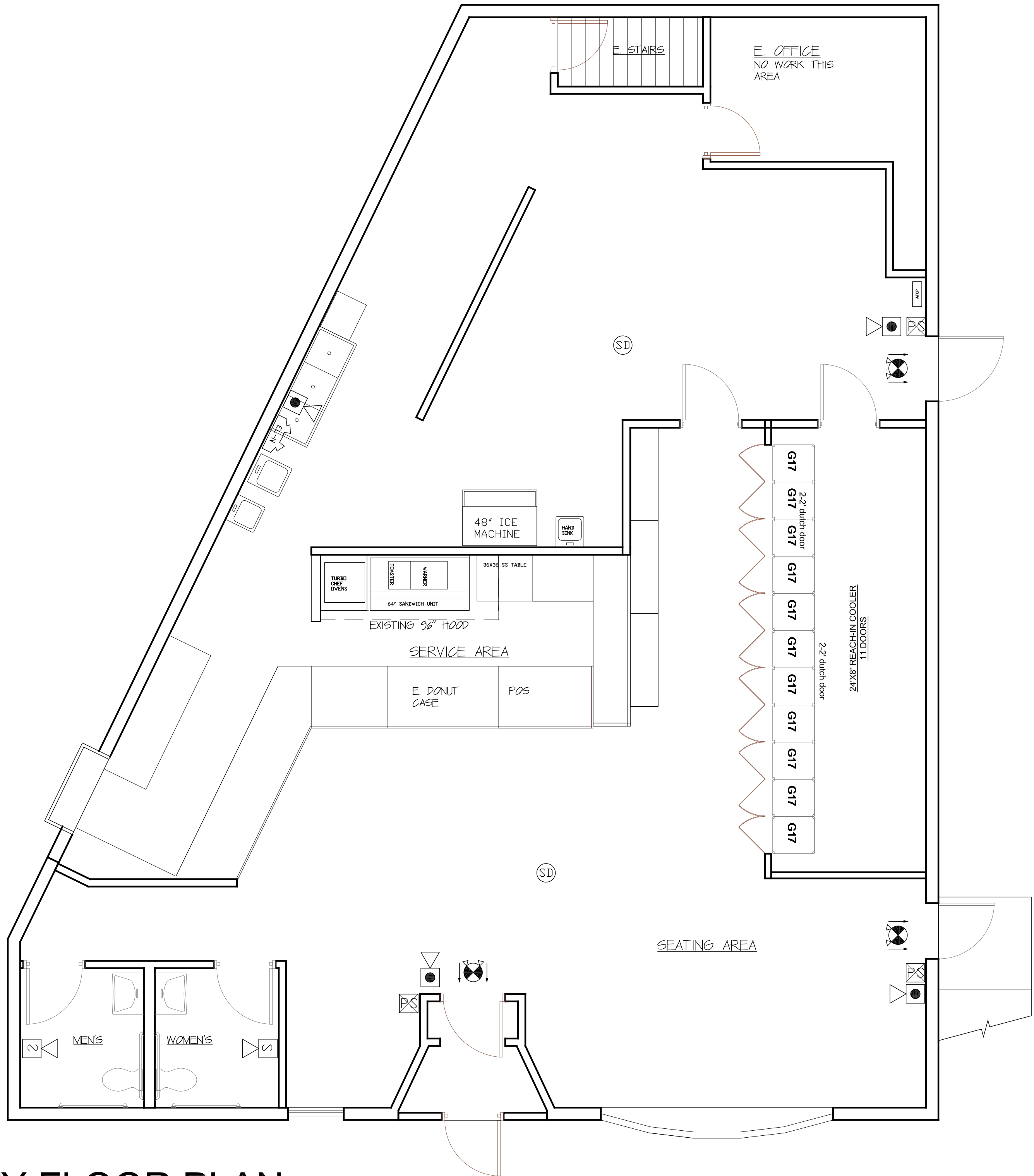
FIRE ALARM LEGEND:

- AFCP

FIRE ALARM CONTROL PANEL
- EL-E

EMERGENCY LIGHT EXISTING
- EL-N

EMERGENCY LIGHT NEW
WALL MOUNTED 2' HEAD
LIGHT FORMS 122-V
- EXIT SIGN WITH BATTERY
BACKED EMERGENCY LIGHT
- EXIT SIGN
- FIRE ALARM PULL STATION
CONNECT TO FACP
- FIRE ALARM PULL STATION
CONNECT TO FACP
- FIRE ALARM STROBE
CONNECT TO FACP
- FIRE ALARM STROBE
CONNECT TO FACP
- FIRE ALARM HORN/STROBE
CONNECT TO FACP
- SMOKE DETECTOR
- FIRE EXTINGUISHER



LIFE SAFETY FLOOR PLAN
SCALE: 1/4" = 1'



ARCHITECTURE . PLANNING . DESIGN

AADesign SERVICES L.L.C.
43 MONROE AVE, WORCESTER, MA 01602
TEL: 508-769-0579
AADesigner@aol.com



James W. Glavinich

PROJECT TITLE

DIPPIN DONUTS

PROJECT ADDRESS

**1181 MAIN ST
LEICESTER, MA**

SHEET TITLE

**LIFE SAFETY
FLOOR PLAN**

REVISIONS:

DATE: 04-01-2024

PROJECT #: C24329

SHEET #