

190 Main St.
Planning Board
Meeting 2/6/24

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Owner Overview-

The building at 190 Main Street, Cherry Valley MA was acquired solely by Lee Morse in the beginning of 2023. The industrial style building can have many uses in the town and we believed with some improvements would contribute to a hub in the Leicester community within the current complex. Minimal improvements have been made at this time to the building while waiting on design work to be completed in order to then propose acceptable uses to the town for approval.

All previously requested items by the town from prior meetings have been completed.

- Removed all non registered vehicles (There is 1 boat that was abandoned we are currently in process of scraping)
- Removed Propane Tank from space
- Removed Dangerous electrical from exterior face of building
- Removed pile of excess milling, remaining 300 yards to be used for grading for parking lot paving spring of 24', All remaining millings have a berm around them per request in Aug 23'
- Engaged Site Engineers and Architects/Code consultant
- Engaged fire systems contractor/engineer

Proposed Tenants-

At this time there are only 4 tenants renting warehouse space in the. At time of walkthrough with the town personnel there were 3 additional tenants that have since moved out. There is also 1 tenant renting parking outside of the building for registered trucks.

- Ellis Electric
- Worcester Door
- Barrett Construction
- Response Property Management (Justin Eisnor)

-Top Notch Tree (3 registered vehicles)

We have been approached for a multitude of potential uses and have informed all potential tenants that the building needs some improvements before any negotiations can commence and town approvals requested. Although we cannot predict what tenants will be requesting space once the building is completed we would appreciate some direction from the town regarding allowed uses of the property.

Examples of potential tenants:

-Contractor Space

-Plumbing

-Landscaping

-Carpenter

-Animal Daycare facility

-Event Production Company

-Indoor Pickleball Courts

-Granite Contractor

-Event space (Child birthday parties, IE Basketball, Indoor soccer, Gaming area, Golf simulator)



2018 00030158

Bk: 58612 Pg: 361

Page: 1 of 9 03/30/2018 03:06 PM WD

PARKING, ACCESS AND MAINTENANCE EASEMENT

THIS EASEMENT is made on this 30th day of March, 2018, by and between Lynde Brook Plaza, LLC of 4 Olde English Road, Worcester, Massachusetts 01609, including its successors and or assigns (the "LLC"), Jeffrey Eller and Michael Novia, Trustees of Lynde Brook Plaza Condominium Trust, under Declaration of Trust dated September 4, 2008 and recorded with the Worcester District Registry of Deeds in Book 43282, Page 316, of 190 Main Street, Unit 1, Leicester, MA 01611, including its successors and or assigns (the "Condominium"), Double J. Enterprises, LLC of 190 Main Street, Cherry Valley, MA 01611, including its successors and or assigns ("Double J") and M.L. Novia Realty LLC, of 173 Henshaw Street, Leicester, MA 01524, including its successors and or assigns ("Novia").

WHEREAS the LLC, Condominium, Double J and Novia are the present owners in fee of adjoining parcels of improved real property;

WHEREAS the LLC, Condominium, Double J and Novia desire to provide the LLC with adequate access to and the Condominium with adequate parking to meet all Town of Leicester zoning requirements, meet the needs of all parties, and to provide for maintenance for parking areas and access used by the LLC and Condominium;

IN CONSIDERATION for the covenants set forth herein, and other good and valuable consideration, the receipt of which is hereby acknowledged, the LLC, Condominium, Double J and Novia agree as follows:

1. The LLC represents that it is the present owner in fee of the premises known as 190 Main Street, Leicester, Worcester County, Massachusetts, which property is more fully described in a deed recorded in Worcester District Registry of Deeds Book 43282, Page 270, shown as Lot 1 ("Lot 1") on a plan entitled, "Variance Plan 190 Main Street Leicester MA Owners and Applicants Lynde Brook Plaza LLC" dated January 16, 2018 and recorded on March 30, 2018 in Worcester District Registry of Deeds Plan Book 934, Plan 21, (the "Plan"), and referred to in a Boundary Line Agreement between the LLC and Condominium of even date recorded herewith in Book 934, Page 21 ("Boundary Line Agreement").

2. The Condominium represents that it is the present owner in fee of the common areas of the Lynde Brook Plaza Condominium, located at 190 Main Street, Leicester,

190 Main Street, Leicester, MA and
Units 1,2,3, 190 Main Street, Leicester, MA

Property Address:

gwh

2. The Condominium represents that it is the present owner in fee of the common areas of the Lynde Brook Plaza Condominium, located at 190 Main Street, Leicester, Worcester County, Massachusetts, which property is more fully described in a certain Master Deed recorded in Worcester District Registry of Deeds Book 43282, Page 290, shown as Lot 2 ("Lot 2") on the Plan, and referred to in the Boundary Line Agreement.
3. Double J. represents that it is the present owner in fee of Unit 1 of said Condominium, said unit being more fully described in a Unit Deed dated September 4, 2008, recorded on September 5, 2008 with the Worcester District Registry of Deeds in Book 43282 Page 372.
4. Novia represents that it is the present owner in fee of Units 2 and 3 of said Condominium, said units being more fully described in a Unit Deed dated December 24, 2015, recorded on December 29, 2015 with the Worcester District Registry of Deeds in Book 54763, Page 171.
5. The LLC, Double J and Novia grant to the Condominium a perpetual and exclusive easement to park in the areas shown as parking spaces 37-58 and 90-122 on the Plan and a perpetual and non-exclusive easement to use such other areas in Lot 1 in common with the LLC as necessary for access to and from said parking areas by vehicle or on foot to park in the designated areas therein;
6. The Condominium grants to the LLC a perpetual and non-exclusive easement to access the LLC property, known as Lot 1 on the Plan, and a utility easement as shown on the Plan to provide all utilities to the LLC property, over Lot 2 in the areas shown as "20' Wide Right of Way" on the Plan, and to use such other areas in Lot 1 as are necessary to use the "20' Wide Right of Way" for access or utility purposes to or for the benefit of Lot 1. The Condominium's grant of the easement to access the LLC property, as referred to herein, is limited to the right to pass and re-pass by vehicle or on foot and not to park in said "20' Wide Right of Way."
7. The LLC and Condominium shall not use the parking easement or access easement granted to them in this instrument in a manner which would prevent the owner of the servient fee from using their respective property as required to carry on the business of the owner at their respective property.
8. The LLC and Condominium shall contribute the amount of \$500.00 per month each by the LLC and the Condominium commencing April 2018 and each and every

month thereafter, into a joint bank account established in the name of the LLC and Condominium ("Maintenance Funds"). The money contained in the Maintenance Funds shall be applied towards the maintenance of the 20" Wide Right of Way and the designated parking areas referred to in Paragraph 3 hereinabove, including the entire access area to said designated parking southerly of the Exclusive Use Area line on the easterly line of Building B and southerly of the Exclusive Use Line westerly of Building B (collectively the "Maintenance Areas"). Maintenance for which the Maintenance Funds shall be used for repaving. The LLC and Condominium shall unanimously determine how the Maintenance Funds shall be applied towards maintaining the Maintenance Areas. In the event of a disagreement between the LLC and Condominium as to the use of the Maintenance Funds, the parties shall engage an arbitrator from REBA Dispute Resolution, Inc., and submit to the decision of said arbitrator, in order to resolve said dispute. The LLC and Condominium shall share equally the cost of said arbitrator. The decision of said arbitrator shall be final and shall be binding on both parties. This agreement shall run with the land and be binding upon the parties hereto and inure to the benefit and obligation of their respective heirs, representatives, successors and assigns. In the event that said monthly payments are insufficient to pay for said repaving, the LLC and Condominium shall unanimously determine any increase in said monthly payments. In the event of a disagreement between the LLC and Condominium as to any increase in the monthly payments to the Maintenance Fund, the parties shall engage an arbitrator and shall follow the same procedure as set forth hereinabove to determine any increase in said monthly payments to the Maintenance Fund. In the event that the LLC or the Condominium fails to make payments to the Maintenance Fund as set forth herein or any increase thereof, the party failing to make payments shall be subject to litigation brought by the other party for which the party failing to make payments shall pay all attorney's fees and costs associated therewith.

9. The Condominium shall be responsible for the snow plowing, sanding and/or salting of the "20' Wide Right of Way" on Lot 2, the area of parking spaces for spaces 37-58 and 90-122 as shown on the Plan and access to said parking spaces shown on Lot 1 of the Plan. The LLC shall pay the Condominium one quarter (25%) of the cost of such snow plowing, sanding and/or salting of the entire paved area of Lot 2 and the area of Lot 1 referred to hereinabove. The payment for each winter season shall be an equal amount monthly commencing November of each season through March of each season. In the event of a disagreement between the Condominium and LLC as to the cost or the payment of the cost of such snow-plowing, sanding and/or salting ("Snow Plowing Services"), the parties shall engage an arbitrator from REBA Dispute Resolution, Inc., and submit to the decision of said arbitrator, in order to resolve said dispute. The LLC and

Condominium shall share equally the cost of said arbitrator. The decision of said arbitrator shall be final and shall be binding on both parties. This agreement shall run with the land and be binding upon the parties hereto and inure to the benefit and obligation of their respective heirs, representatives, successors and assigns. In the event of a disagreement between the LLC and Condominium as to any increase in the monthly payments for Snow Plowing Services, the parties shall engage an arbitrator and shall follow the same procedure as set forth hereinabove to determine any increase in said monthly payments for Snow Plowing Services. In the event that the LLC or the Condominium fails to make payments for snow plowing services as set forth herein or any increase thereof, the party failing to make payments shall be subject to litigation brought by the other party for which the party failing to make payments shall pay all attorney's fees and costs associated therewith. The Condominium agrees to indemnify and hold harmless the LLC from any injuries, claims, causes of action or damages suffered by any patrons, customers, contractors, servants, invitees, employees or agents of the Condominium caused by the Snow Plowing Services for so long as the Condominium is responsible for providing the Snow Plowing Services for the above referenced areas. The aforementioned indemnification does not apply to patrons, customers, contractors, servants, invitees, agents or employees of the LLC. In addition, for so long as the Condominium is responsible for providing the Snow Plowing Services, the Condominium will have all of the aforementioned 20' Wide Right of Way, parking areas and access areas cleared of snow and salted and sanded in a timely manner.

10. This Agreement and all of its terms, conditions, rights and obligations set forth herein shall run with relating to both Lots 1 and 2 on the Plan, be binding upon the parties hereto and inure to the benefit and obligation of the parties respective heirs, representatives, successors and assigns.

11. The invalidity of any portion of this Agreement shall not be deemed to affect the validity of any other provision.

12. This Agreement shall be governed by, construed and enforced in accordance with the laws of the Commonwealth of Massachusetts.

THIS INSTRUMENT is executed under seal by the undersigned as of the day and year first above written.

THIS INSTRUMENT is executed under seal by the undersigned as of the day and year first above written.

Lynde Brook Plaza, LLC



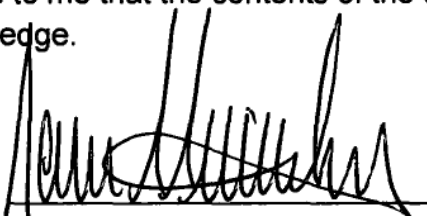
By: William Union, Manager

COMMONWEALTH OF MASSACHUSETTS

Worcester, ss;

March 29, 2018

On this 29th day of March, 2018, before me, the undersigned notary public, personally appeared William Union, proved to me through satisfactory evidence of identification which was ☒ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☐ personal knowledge of the undersigned, to be the person whose name is signed on the preceding or attached document(s), and acknowledged to me that he signed it voluntarily, and as his free act and deed, for its stated purpose, as Member of Lynde Brook Plaza, LLC, and further swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge.



Notary Public:

My Commission Expires: July 1, 2022


Damien D. Berthiaume

THIS INSTRUMENT is executed under seal by the undersigned as of the day and year first above written.

Lynde Brook Plaza Condominium



Jeffrey Eller, Trustee



Michael Novia, Trustee

COMMONWEALTH OF MASSACHUSETTS

Worcester, ss;

March 30, 2018

On this 30th day of March, 2018, before me, the undersigned notary public, personally appeared Jeffery Eller, proved to me through satisfactory evidence of identification which was photographic identification with signature issued by a federal or state governmental agency, ~~oath or affirmation of a credible witness, personal knowledge of the undersigned~~, to be the person whose name is signed on the preceding or attached document(s), and acknowledged to me that he signed it voluntarily, and as his free act and deed, for its stated purpose, as Trustee of Lynde Brook Condominium, and further swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge.



Notary Public: Wayne M. LeBlanc
My Commission Expires: 7/29/22

COMMONWEALTH OF MASSACHUSETTS

Worcester, ss;

March 30, 2018


On this 30th day of March, 2018, before me, the undersigned notary public, personally appeared Michael Novia, proved to me through satisfactory evidence of identification which was photographic identification with signature issued by a federal or state governmental agency, ~~oath or affirmation of a credible witness, personal knowledge of the undersigned~~, to be the person whose name is signed on the preceding or attached document(s), and acknowledged to me that he signed it voluntarily, and as his free act and deed, for its stated purpose, as Trustee of Lynde Brook Condominium, and further swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge.

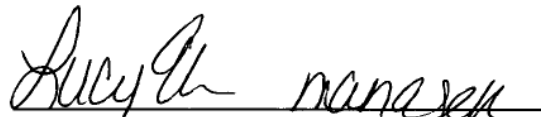


Notary Public: Wayne M. LeBlanc
My Commission Expires: 7/29/22

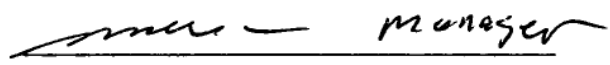
THIS INSTRUMENT is executed under seal by the undersigned as of the day and year first above written.

Double J. Enterprises, LLC


By: Jeffery Eller
Its Duly Authorized Manager


By: Lucy Eller
Its Duly Authorized Manager

M.L. Novia Realty, LLC


By: Michael Novia,
Its Duly Authorized Manager


COMMONWEALTH OF MASSACHUSETTS

Worcester, ss;

March 30, 2018

On this 30th day of March, 2018, before me, the undersigned notary public, personally appeared Jeffery Eller and Lucy Eller, proved to me through satisfactory evidence of identification which was photographic identification with signature issued by a federal or state governmental agency, ~~oath or affirmation of a credible witness, personal knowledge of the undersigned,~~ to be the persons whose names are signed on the preceding or attached document(s), and acknowledged to me that they signed it voluntarily, and as their free act and deed, for its stated purpose, and further swore or affirmed to me that the contents of the document are truthful and accurate to the best of their knowledge.




 Notary Public: Wayne M. LeBlanc
 My Commission Expires: 7/29/22


COMMONWEALTH OF MASSACHUSETTS

Worcester, ss;

March 30, 2018

On this 30th day of March, 2018, before me, the undersigned notary public, personally appeared Michael Novia, proved to me through satisfactory evidence of identification which was photographic identification with signature issued by a federal or state governmental agency, ~~oath or affirmation of a credible witness, personal knowledge of the undersigned,~~ to be the person whose name is signed on the preceding or attached document(s), and acknowledged to me that he signed it voluntarily, and as his free act and deed, for its stated purpose, and further swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge.




 Notary Public: Wayne M. LeBlanc
 My Commission Expires: 7/29/22

ATTEST: WORC. Anthony J. Vigliotti, Register

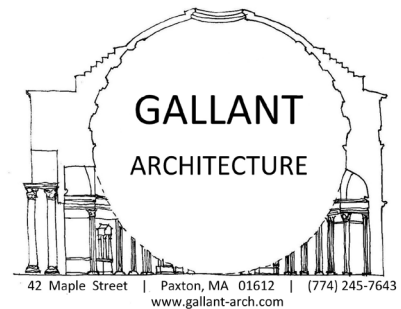
190 Main Street
Cherry Valley, MA

EXISTING BUILDING EVALUATION REPORT



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- Building Elements and Materials
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- Accessibility
- Structural
- Mechanical
- Plumbing
- Energy Conservation
- Hazardous Materials



November 7, 2023

BUILDING CODE/REGULATIONS APPLICABLE CODES:

Building Code: 780 CMR The Massachusetts State Building Code – Ninth Edition

Structural Code: 780 CMR The Massachusetts State Building Code – Ninth Edition

Fire Code: 527 CMR 1.00: Massachusetts Comprehensive Fire Safety Code

Plumbing Code: 248 CMR Massachusetts State Plumbing Code

Mechanical Code: International Mechanical Code – 2015 Edition

Electric Code: NFPA 70-2017 with 527 CMR Chapter 12 Massachusetts Electrical Code Amendments

Energy Code: 780 CMR The Massachusetts State Building Code – Ninth Edition, Chapter 13: (2021 International Energy Conservation Code with Massachusetts amendments). Leicester has adopted the Massachusetts Stretch Energy Code.

Introduction and Scope of Work Description

The property at 190 Main Street is approximately 20.1 acres and contains three steel-framed commercial buildings, a large paved parking lot and open space adjacent to Lynde Brook and the Lynde Brook Reservoir. A site plan was approved by the Leicester Planning Board in 2018 and showed the buildings labeled “Building A”, “Building B” and “Building C” and a parking layout to accommodate the uses of all buildings on the property. Building A is the commercial building containing Eller’s Restaurant and other commercial tenant units closest to Main Street and is not described in this report. The descriptions and data included are focused on the two buildings behind it, Building B and Building C, which are currently warehouses and garages. The buildings were built in 1971 according to the Town of Leicester Assessor’s records, and it appears that one or both of the buildings have been expanded and altered since they were originally constructed. Building B and Building C are depicted in the existing conditions floor plan included in this report.

Both buildings have been partially sub-divided into individual tenant spaces for moderate- and low-hazard storage as depicted in the floor plan.

Use and Occupancy, Height and Area

BUILDING A	USE GROUP	FLOOR AREA
1 ST Floor	S-1	24,860 SF
2 ND Floor	S-1	9,870 SF
BUILDING A TOTAL		34,730 SF

Total Building height (Building A) +/- 26'-0"

BUILDING B		
1 ST Floor	S-1	5,000 SF
2 ND Floor	S-1	3,880 SF
BUILDING B TOTAL		8,880 SF

Total Building height (Building B) +/- 22'-0"

Building Elements and Materials

Construction Type (per Section 602 of Massachusetts State Building Code) is Type 3B. The exterior walls are of non-combustible materials and the interior elements are of combustible materials. The walls, floors, ceilings and roof are primarily steel-framed with some CMU exterior and interior walls with dimensional lumber second floor framing and dimensional lumber interior partitions between tenant units.

The foundation and the main level slab are poured concrete, and the area outside both buildings has been paved with asphalt for between 50 and 100 feet in all directions.

Part of Building B, which appears to be the original structure in the grouping, has a timber-trussed roof and asphalt shingle roofing. The remaining areas of both buildings have metal roofing and were built as engineered steel rigid frame structures.

BEGIN CHAPTER 34 REVIEW**780 CMR CHAPTER 34 EXISTING BUILDINGS****SECTION 101 GENERAL**

101.1 Title. These regulations shall be known as the Existing Building Code of Massachusetts, hereinafter referred to as 780 CMR 34.00.

101.2 Scope. The provisions of the International Existing Building Code-2015 shall apply to the repair, alteration, change of occupancy, addition to and relocation of existing buildings.

104.2.2.1 Building Investigation and Evaluation. For any proposed work regulated by 780 CMR 34.00 and subject to section 107 of 780 CMR, as a condition of the issuance of a permit the building owner shall cause the existing building (or portion thereof) to be investigated and evaluated in accordance with the provisions of 780 CMR 34.00. The investigation and evaluation shall be in sufficient detail to ascertain the effects of the proposed work on at least these systems: structural, means of egress, fire protection, energy conservation, lighting, hazardous materials, accessibility, and ventilation for the space under consideration and, where necessary, the entire building or structure and its foundation if impacted by the proposed work. The results of the investigation and evaluation, along with any proposed compliance alternatives, shall be submitted to the building official in written report form.

This report will serve as the required investigation and evaluation report.

Compliance Method

301.1.2 Work area compliance method. Repairs, alterations, additions, changes in occupancy and relocated buildings complying with the applicable requirements of Chapters 5 through 13 of this code shall be considered in compliance with the provisions of this code.

The building owners plan to further sub-divide the buildings to create additional leased units, upgrade the sprinkler system throughout both buildings and upgrade the electrical service in multiple areas. Building permit applications will be forthcoming for this work, and the work area compliance method will be used.

Classification of Work

504.1 Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

504.2

Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.

Any future work will be classified as Alteration – Level 2

Fire Protection (Section 804)

Automatic sprinkler system

The building has an automatic sprinkler system. Any new or relocated sprinkler heads in newly created tenant spaces will be proposed in Tier 1 and Tier 2 documents as required. The owners plan to install a new water line and upgrade the system in the near future.

Fire alarm system

The building has an integrated fire alarm system. Any new devices in newly created tenant spaces will be installed as summarized below.

804.4 Fire Alarm and Detection

An approved automatic fire detection system shall be installed in accordance with the provisions of this code and NFPA 72. Devices, combinations of devices, appliances, and equipment shall be approved. The automatic fire detectors shall be smoke detectors, except that an approved alternative type of detector shall be installed in spaces such as boiler rooms, where products of combustion are present during normal operation in sufficient quantity to actuate a smoke detector.

Means of Egress and Conveying Systems (Section 805)

Means of Egress

Each unit currently has a minimum of two means of egress.

Stairs

The mezzanine and second floor areas are accessed by wood-framed staircases.

Elevator

The building does not currently have and has never had an elevator or a lift connecting its levels.

Accessibility (Section 806)

Some of the tenant spaces in Building B and Building C are handicapped accessible. Any proposed work will be shown in construction documents and will be in full compliance with 521 CMR.

Structural (Section 807)

The building is mostly steel-framed with wood-framed areas as summarized earlier in this report. Any future work will not impact the building's structural components or their capacity.

Electrical and Lighting (Section 808)

808.1 New installations. All newly installed electrical equipment and wiring relating to work done in any work area shall comply with all applicable requirements of NFPA 70 except as provided for in Section 808.3.

Building B currently has 3-phase 400 amp service for the tenant spaces and 3-phase 200 amp owner's service. Building C has 3-phase 200 amp service. Some of the tenant units are separately controlled with sub-panels, and there is an open electrical permit to perform system upgrades with new wiring. New electrical service will be installed as indicated in construction drawings, and all new electrical work will comply with 527 CMR and 780 CMR.

Mechanical and Ventilation (Section 809)

809.1

Reconfigured or converted spaces. All reconfigured spaces intended for occupancy and all spaces converted to habitable or occupiable space in any work area shall be provided with natural or mechanical ventilation in accordance with the International Mechanical Code.

Exception: Existing mechanical ventilation systems shall comply with the requirements of Section 809.2.

809.2

Altered existing systems. In mechanically ventilated spaces, existing mechanical ventilation systems that are altered, reconfigured, or extended shall provide not less than 5 cubic feet per minute (cfm) per person of outdoor air and not less than 15 cfm of ventilation air per person; or not less than the amount of ventilation air determined by the Indoor Air Quality Procedure of ASHRAE 62.

Most of the floor area of Building A and Building B is unconditioned warehouse and storage space. All new mechanical work, if performed, must meet the requirements of this section.

Plumbing and Gas (Section 810)

Plumbing

The building does not have interior plumbing and is not connected to water or sewer service. The owners plan to install toilet rooms in both buildings and connect to the Town of Leicester water and sewer systems. An existing sewer line is approximately 15 feet south of Building B, and connection to a nearby water line is planned.

Gas

The building is connected to natural gas service. Most of the tenant units are not connected to the service.

Energy Conservation (Section 811)

The buildings consist of primarily unconditioned warehouse and storage spaces, and any insulation that has been installed previously appears to be marginal and non-compliant with the current Massachusetts Energy Conservation Code. Any future work will comply with the Massachusetts Energy Conservation Code as applicable at the time of building permit application submittal.

811.1 Minimum Requirements

Level 2 alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the International Energy Conservation Code or International Residential Code. The alterations shall conform to the energy requirements of all applicable codes as they relate to new construction only.

C503.1 General

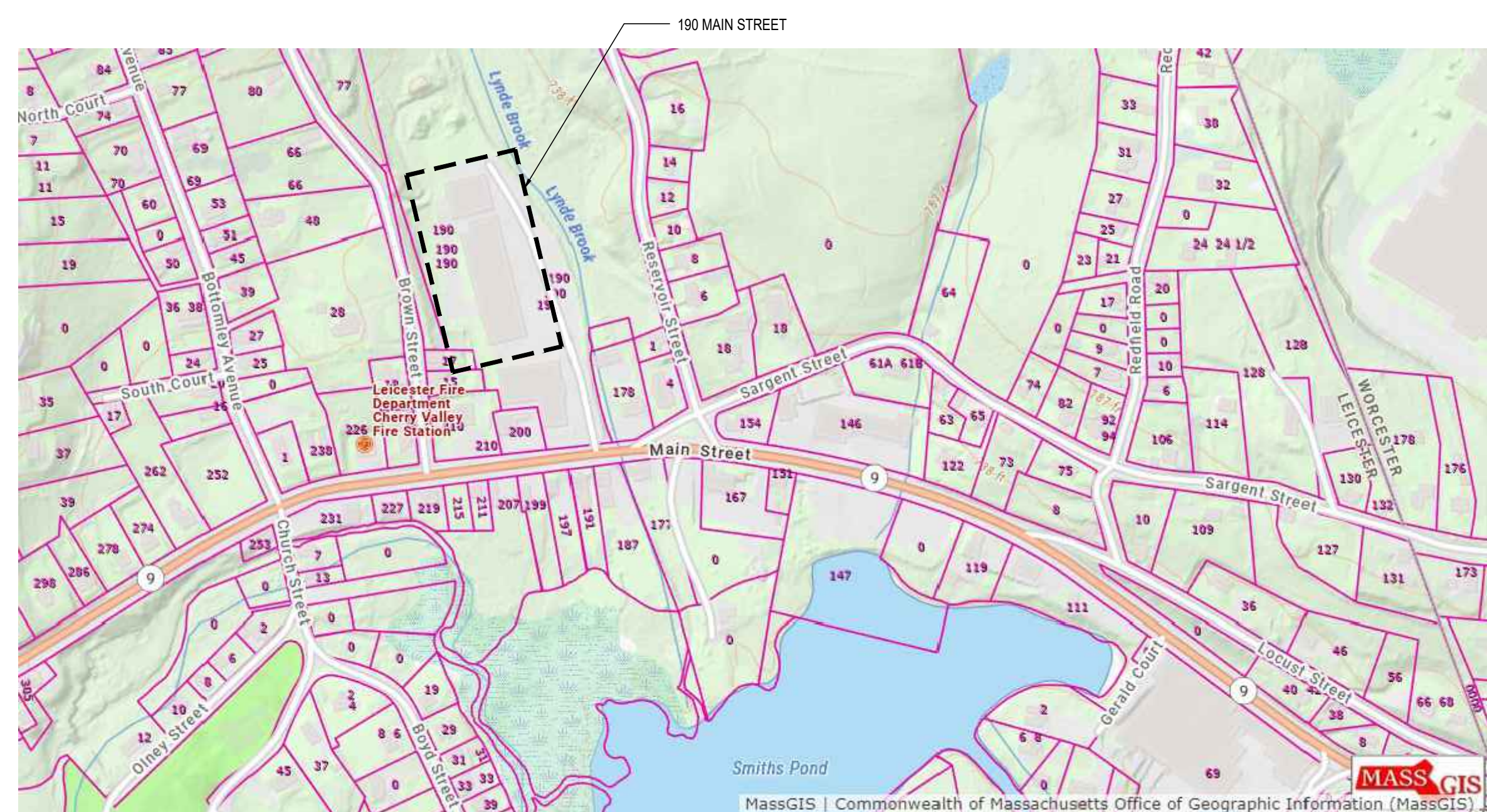
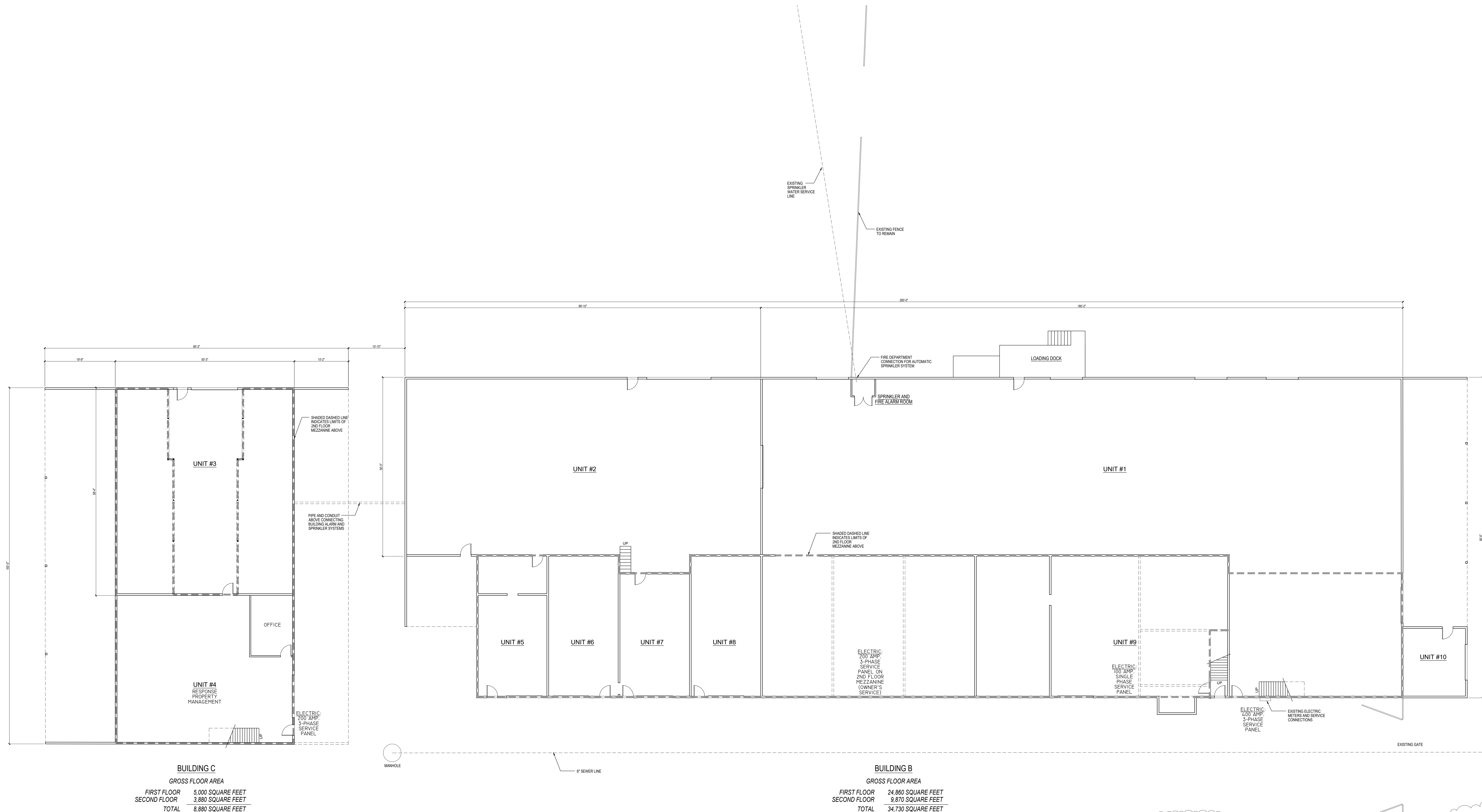
Alterations to any building or structure shall comply with the requirements of Section C503, and Sections C402, C403, C404, C405 of the code for new construction. Alterations shall be such that the existing building or structure is not less conforming to the provisions of this code than the existing building or structure was prior to the alteration.

Exception: The following alterations need not comply with the requirements for new construction, provided that the energy use of the building is not increased:

- 3. Existing ceiling, wall or floor cavities exposed during construction, provided that these cavities are filled with insulation.*

Hazardous materials

The building does not contain any known hazardous materials. Hazardous materials surveys will be conducted, the results will be documented and abatement will be performed as needed prior to the commencement of future selective demolition work.



MAIN LEVEL FLOOR PLAN

SCALE: 1" = 10'

REVIEW SET
11/07/2023

NOTE:
ALL DIMENSIONS SUBJECT
TO FIELD VERIFICATION

MAIN LEVEL FLOOR
PLAN

REVISIONS

NO. DESCRIPTION DATE

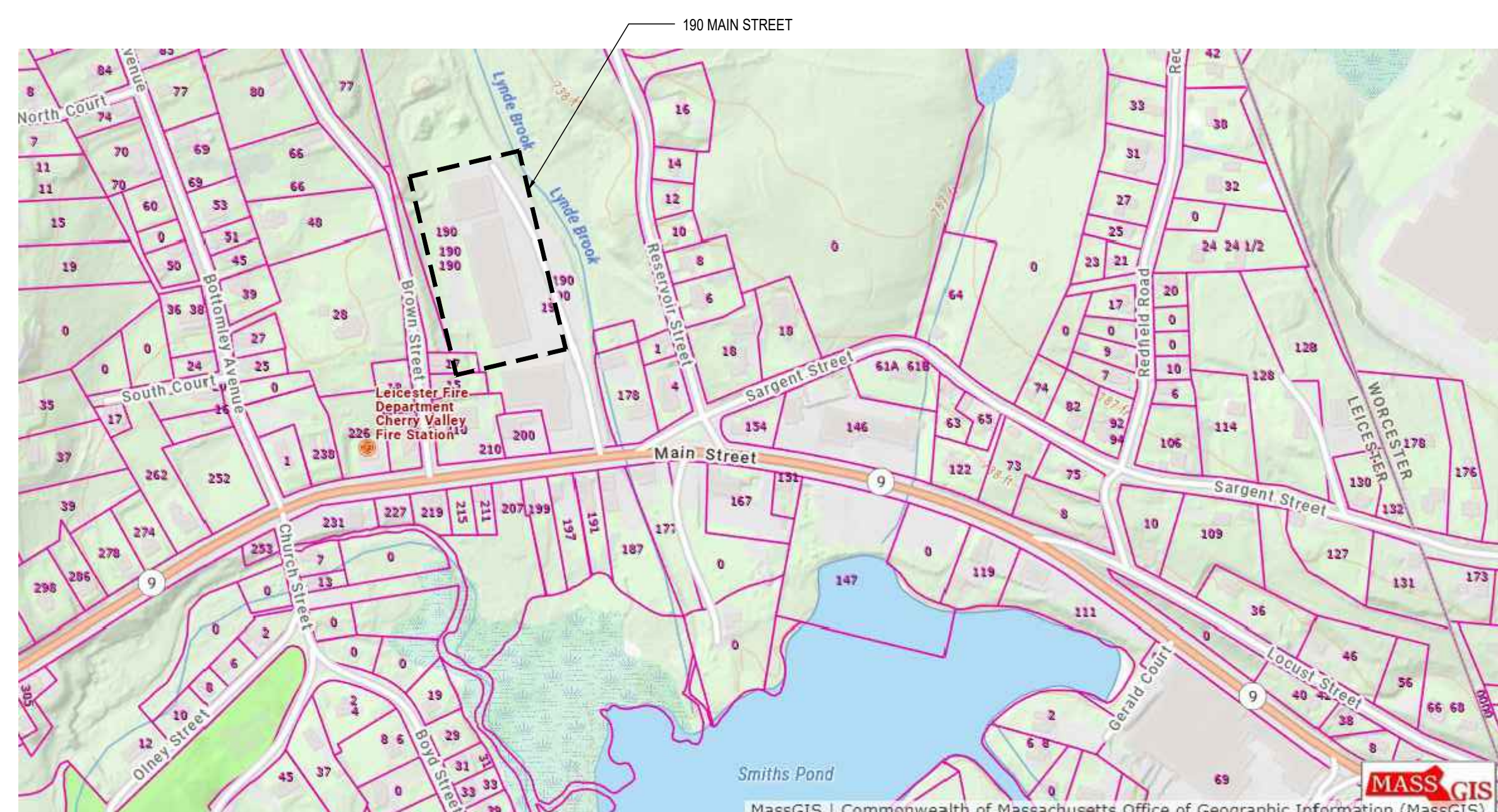
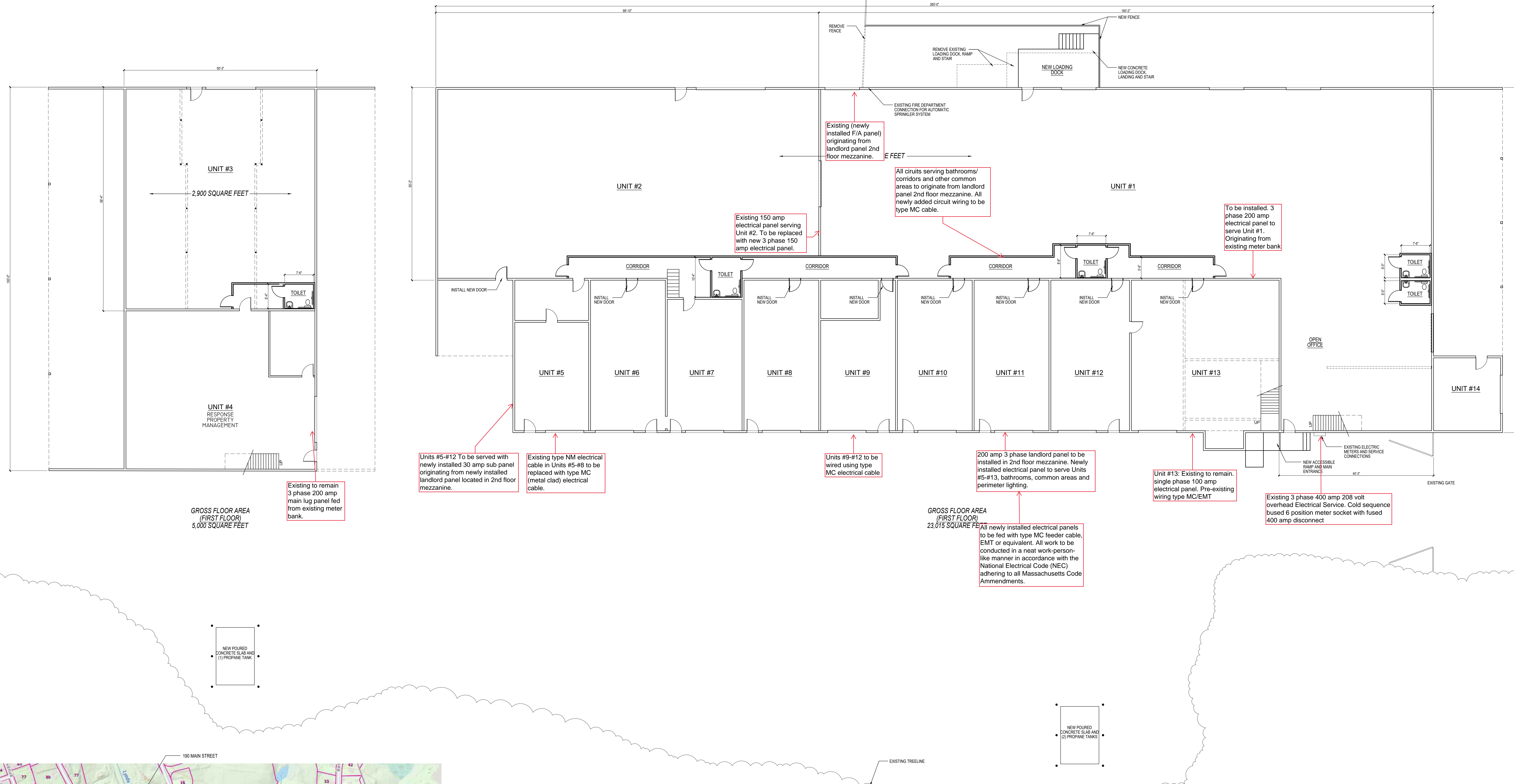
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DRAWN BY: JG

SCALE: AS NOTED

DATE: 11/07/2023

X
1



MAIN LEVEL FLOOR PLAN

SCALE: 1" = 10'

REVIEW SET
09/18/2023

NOTE:
ALL DIMENSIONS SUBJECT
TO FIELD VERIFICATION

MAIN LEVEL FLOOR
PLAN

REVISIONS

NO. DESCRIPTION DATE

FILE: 190MAIN_F1.dwg (TYPICAL)

OWN. BY: J. GALLANT

SCALE: AS NOTED

DATE: 06/06/2023

A
1



Commonwealth of Massachusetts
Department of Fire Services

BOARD OF FIRE PREVENTION REGULATIONS

Official Use Only
Permit No. _____
Occupancy and Fee Checked _____
[Rev. 1/07] (leave blank)

APPLICATION FOR PERMIT TO PERFORM ELECTRICAL WORK

All work to be performed in accordance with the Massachusetts Electrical Code (MBC), 527 CMR 12.00

(PLEASE PRINT IN INK OR TYPE ALL INFORMATION)

City or Town of: Leicester, MA

Date: 9/5/23

By this application the undersigned gives notice of his or her intention to perform the electrical work described below.

Location (Street & Number) 190 MAIN ST

Owner or Tenant 190 Lynne Brook Realty LLC

Owner's Address 190 Lynne Brook St

Telephone No. 774 696-8574

Is this permit in conjunction with a building permit? Yes ☐ No ☐ (Check Appropriate Box)

Purpose of Building Storage

Utility Authorization No. _____

Existing Service _____ Amps _____ Volts Overhead ☐ Undgrd ☐ No. of Meters _____

New Service _____ Amps _____ Volts Overhead ☐ Undgrd ☐ No. of Meters _____

Number of Feeders and Ampacity _____

Location and Nature of Proposed Electrical Work: Replace Existing Wiring
NM Cable to MC Cable

Completion of the following table may be waived by the Inspector of Wires.

No. of Recessed Luminaires	No. of Ceil.-Susp. (Paddle) Fans	No. of Transformers	Total KVA
No. of Luminaire Outlets	No. of Hot Tubs	Generators	KVA
No. of Luminaires	Swimming Pool Above grnd. <input type="checkbox"/> In-grnd. <input type="checkbox"/>	No. of Emergency Lighting Battery Units	
No. of Receptacle Outlets	No. of Oil Burners	FIRE ALARMS	No. of Zones
No. of Switches	No. of Gas Burners	No. of Detection and Initiating Devices	
No. of Ranges	No. of Air Cond. Total Tons	No. of Alerting Devices	
No. of Waste Disposers	Heat Pump Totals: Number Tons KW	No. of Self-Contained Detection/Alerting Devices	
No. of Dishwashers	Space/Area Heating KW	Local <input type="checkbox"/> Municipal <input type="checkbox"/> Other <input type="checkbox"/>	
No. of Dryers	Heating Appliances KW	Security Systems:*	No. of Devices or Equivalent
No. of Water Heaters KW	No. of Signs	Data Wiring:	No. of Devices or Equivalent
No. Hydromassage Bathtubs	No. of Motors	Telecommunications Wiring:	No. of Devices or Equivalent
OTHER:			

Attach additional detail if desired, or as required by the Inspector of Wires.

Estimated Value of Electrical Work: \$3,000

(When required by municipal policy.)

Work to Start: ASAP Inspections to be requested in accordance with MBC Rule 10, and upon completion.

INSURANCE COVERAGE: Unless waived by the owner, no permit for the performance of electrical work may issue unless the licensee provides proof of liability insurance including "completed operation" coverage or its substantial equivalent. The undersigned certifies that such coverage is in force, and has exhibited proof of same to the permit issuing office.

CHECK ONE: INSURANCE ☐ BOND ☐ OTHER ☐ (Specify:)

I certify, under the pains and penalties of perjury, that the information on this application is true and complete.

FIRM NAME: ELLIS ELECTRIC & INSPECTIONAL SERVICES LLC

LIC. NO.: 8154 A1

Licensee: BENJAMIN ELLIS

Signature BENJAMIN ELLIS

LIC. NO.: 22889A

(If applicable, enter "exempt" in the license number line.)

Address: 20 Chestnut Ave, Auburn MA 01501

Bus. Tel. No.: 508 341-4929

Alt. Tel. No.: 774 262-6572

Lic. No. 5331913

*Per M.G.L. c. 147, s. 57-61, security work requires Department of Public Safety "S" License: _____
OWNER'S INSURANCE WAIVER: I am aware that the Licensee does not have the liability insurance coverage normally required by law. By my signature below, I hereby waive this requirement. I am the (check one) ☐ owner ☐ owner's agent.

Owner/Agent
Signature _____

Telephone No. _____

PERMIT FEE: \$ _____



September 5, 2023

Mr. Lee T. Morse, Managing Member
190 Lynde Brook Realty, LLC
190 Main Street
Cherry Valley, MA 01611

SUBJECT: CONFIRMATION OF PROFESSIONAL SERVICES AGREEMENT

To Whom It May Concern:

The purpose of this letter is to confirm that Morse Engineering and Construction Industries, LLC (MEC) has been retained by Lee Morse on behalf of 190 Lynde Brook Realty, LLC (Owner) to provide professional design services required to improve the existing fire suppression system at the above referenced property.

MEC shall provide all civil engineering and land surveying necessary to develop a site plan, as well as environmental permitting required to facilitate construction.

Should you have questions regarding this statement, please contact me directly at (508) 329-8578.

Sincerely,

MEC

Eric J. Morse, P.E., R.S.
Project Engineer

G:\Clients\2021 Documents\MA151-J100_2021.01.18 - 190 Main Street\Drawings\Civil Model\MA151-J100_2021.01.18 EXISTING CONDITIONS.DWG (3 of 3) ~ Last Updated By: User ~ December 16, 2021 ~ 17:59:60

DISTRICT DIMENSIONAL REGULATIONS		
	REQUIRED	EXISTING
DISTRICT	B	B
USE	BUSINESS	MOVING COMPANY
MIN. LOT SIZE	15,000 SQ.FT.	878,069 SQ.FT.
MIN. FRONTAGE	100'	1,690.50'
MAX. BUILDING COVERAGE	30%	3.24% (EXCL. OVERHANG)
MIN. FRONT YARD DEPTH	25'	310.2'±
MIN. SIDE YARD DEPTH	10'	1147.3'±(N) 13.6'±(S)
MIN. REAR YARD DEPTH	25'	120.1'±
MAX. BUILDING HEIGHT	35'	<35'
MAX. BUILDING STORIES	2-1/2	2

PURPOSE:
THE PURPOSE OF THIS PLAN IS TO IDENTIFY...

PLAN INDEX:	
LOCUST PLAN	SHEET 1 OF 4
EXISTING CONDITIONS 1	SHEET 2 OF 4
EXISTING CONDITIONS 2	SHEET 3 OF 4
NEW FIRE SERVICE CONNECTION	SHEET 4 OF 5
CIVIL DETAILS	SHEET 5 OF 5

TAX MAP REFERENCES:
PARCEL ID: 238-A5-0

RECORD OWNERS:
190 LYNDE BROOK REALTY, LLC
219 LUDLOW STREET
WORCESTER, MA 01603

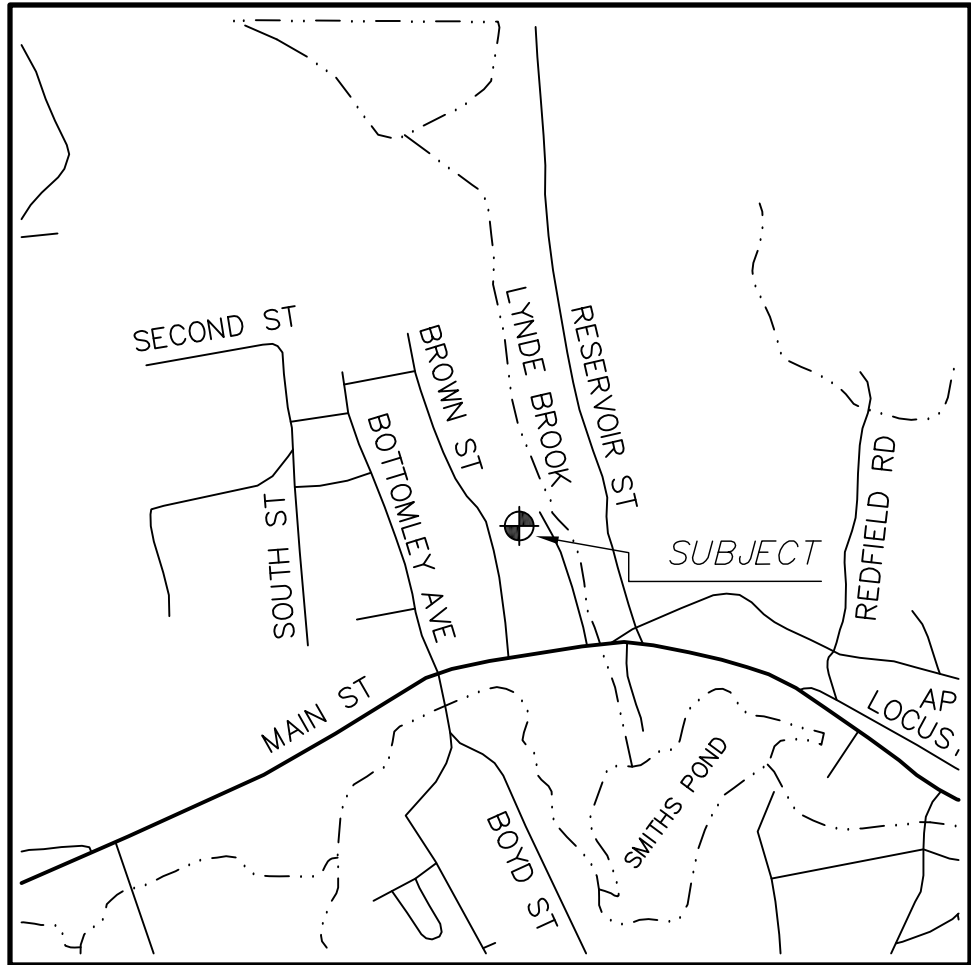
DEED REFERENCES:
(WORCESTER COUNTY REGISTRY OF DEEDS)

DEED BOOK 58612 PAGE 370

PLAN REFERENCES:
(WORCESTER COUNTY REGISTRY OF DEEDS)

1. PLAN BOOK 354 PLAN 100
2. PLAN BOOK 870 PLAN 13
3. PLAN BOOK 870 PLAN 7
4. PLAN BOOK 917 PLAN 75
5. PLAN BOOK 934 PLAN 21

NOTES:
THIS PLAN DOES NOT REPRESENT A PERIMETER OR LOT
LINE SURVEY. DIMENSIONS SHOWN WERE GENERATED
FROM PLANS OF RECORD AND EXISTING
MONUMENTATION FOUND IN THE FIELD.



LOCALITY MAP
NOT TO SCALE






MORSE
ENGINEERING AND
CONSTRUCTION INDUSTRIES, LLC

472 MAIN STREET
FISKDALE, MA 01518
(800) 407-3402
WWW.MECINDUSTRIES.COM

MARK	DATE	DESCRIPTION	BY



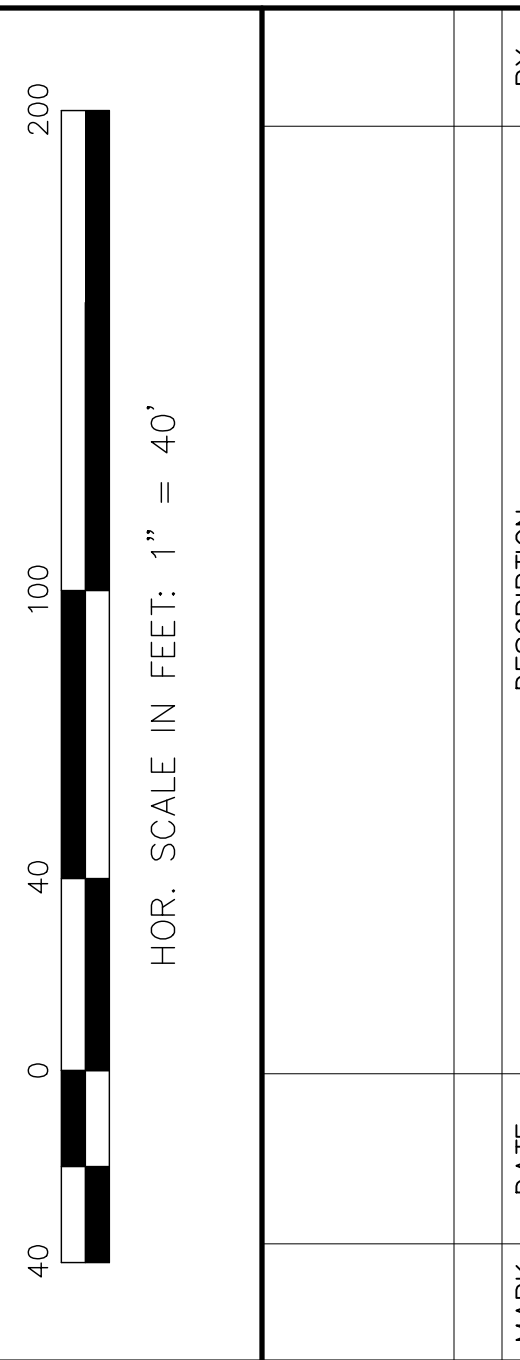
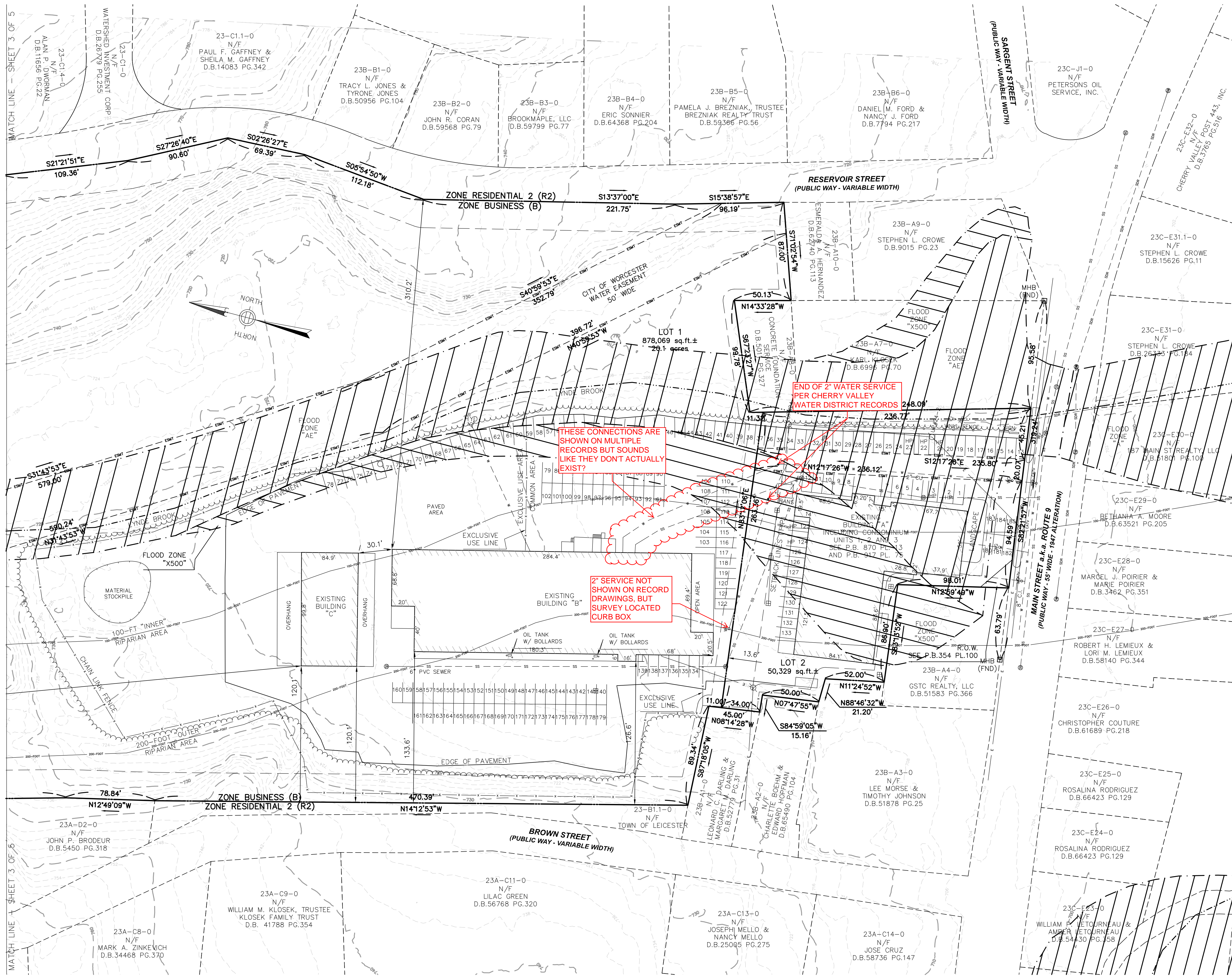
HOR. SCALE IN FEET: 1" = 100'

ERIC J. MORSE, P.E. #51856

DRAWING: LOCUST PLAN NOT FOR CONSTRUCTION	CLIENT: OWNED BY: 190 LYNDE BROOK REALTY, LLC	PROJECT: LOCATED AT: 190 MAIN STREET, CHERRY VALLEY, MA 01611
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SCALE:	1"=100'
DATE:	2021.12.16
JOB NO:	MA151-J100
DESIGNED BY:	EJM
DRAWN BY:	EJM
CHECKED BY:	EJM
APPROVED BY:	EJM

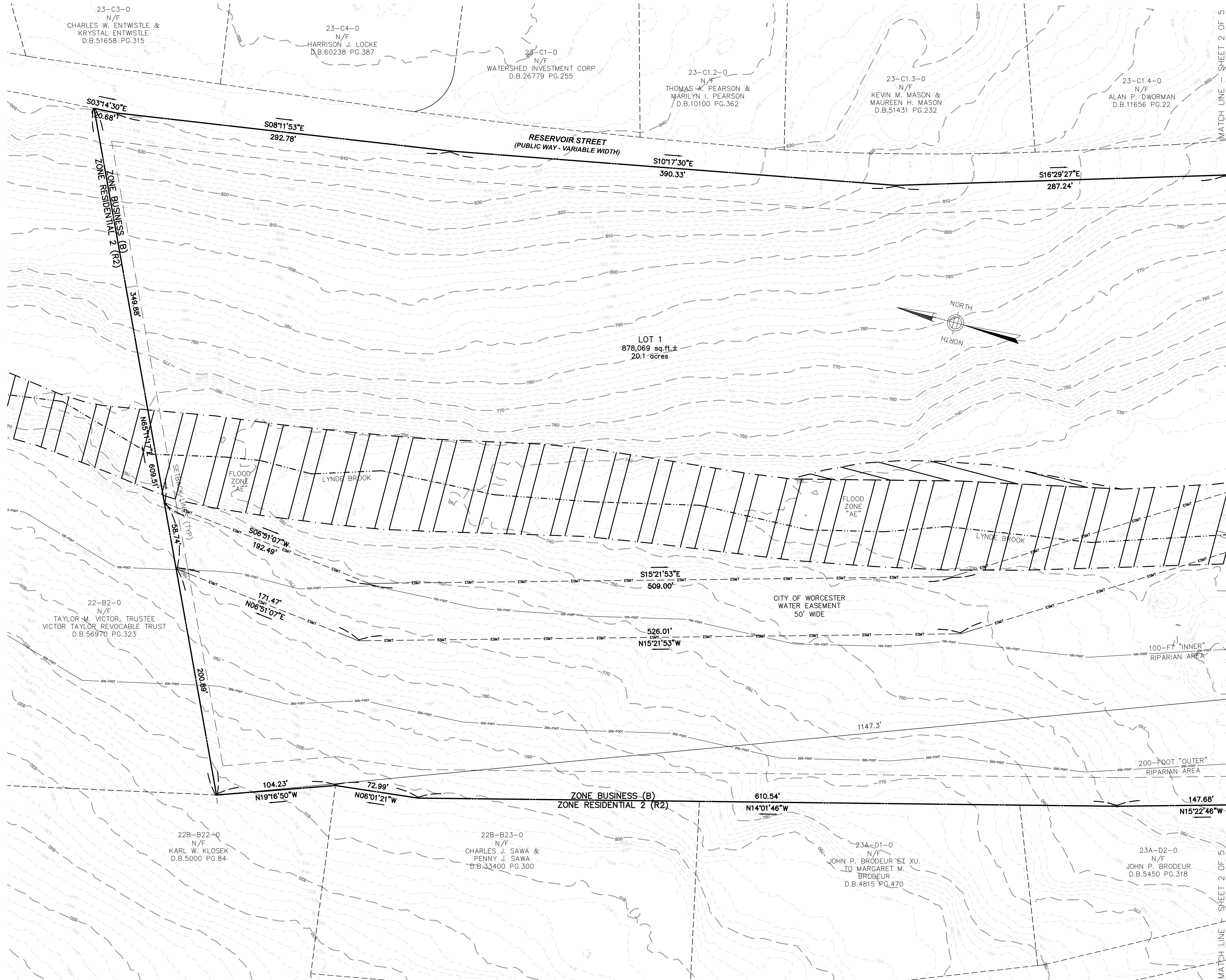
G:\Clients\2021 Documents\MA151-J100-2021.01.18-190 Main Street\Drawings\Civil Model\MA151-J100-2021.01.18-EXISTING CONDITIONS.DWG (2615) ~ Last Updated By: User ~ December 20, 2021 ~ 23:26:22



MARK	DATE	DESCRIPTION	BY

EXISTING CONDITIONS NOT FOR CONSTRUCTION	OWNED BY: 190 LYNDE BROOK REALTY, LLC	LOCATED AT: 190 MAIN STREET, CHERRY VALLEY, MA 01611
DRAWING:	CLIENT:	PROJECT:
SCALE:	DATE:	JOB NO:
DESIGNED BY:	DRAWN BY:	CHECKED BY:
APPROVED BY:		

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MED
MORSE
ENGINEERING AND
CONSTRUCTION INDUSTRIES, LLC
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(800) 407-3402
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200
100
0
40
40
0
40
40
HOR. SCALE IN FEET: 1" = 40'

MARK	DATE	DESCRIPTION	BY

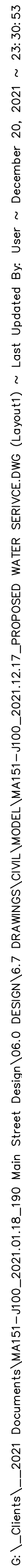
ERIC J. MORSE, P.E. #51856

EXISTING CONDITIONS
NOT FOR CONSTRUCTION

OWNED BY:
190 LYNDE BROOK REALTY, LLC

LOCATED AT:
190 MAIN STREET, CHERRY VALLEY, MA 01611

DRAWING:
SCALE: 1"=40'
DATE: 2021.12.20
JOB NO: MA151-J100
DESIGNED BY: EJM
DRAWN BY: EJM
CHECKED BY: EJM
APPROVED BY: EJM



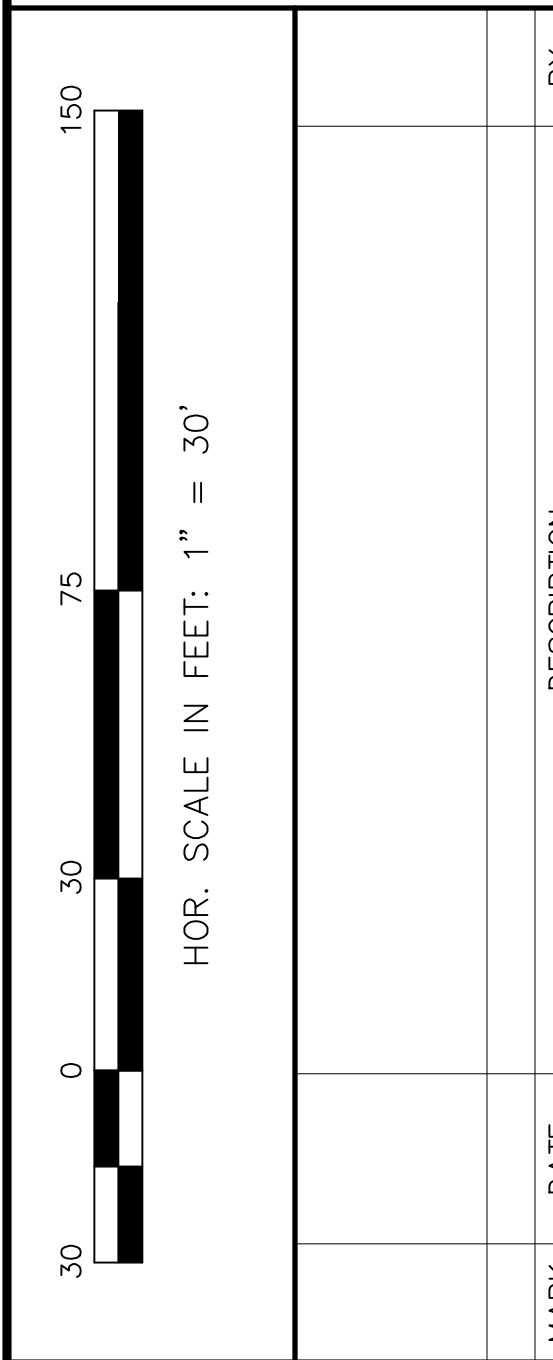
The graph displays the vertical alignment of a road project. The vertical axis represents elevation in feet, ranging from 696 to 711. The horizontal axis represents stationing, ranging from 0+00 to 4+80. The existing grade is shown as a solid line, and the proposed 8-inch C.L.D.I. is shown as a dashed line. The proposed grade is consistently lower than the existing grade, indicating a cut. The graph also shows the proposed 8-inch C.L.D.I. (Center Line Depth of Infiltration) as a dashed line, which is consistently lower than the existing grade.

Station	Existing Grade (ft)	Proposed 8" C.L.D.I. (ft)
0+00	702.5	697.5
0+30	703.5	698.0
0+60	704.0	698.5
0+90	704.5	699.0
1+20	704.8	699.5
1+50	705.0	699.8
1+80	705.2	700.0
2+10	705.5	700.3
2+40	705.8	700.6
2+70	706.5	700.9
3+00	707.0	701.2
3+30	707.2	701.5
3+60	707.5	701.8
3+90	707.8	702.1
4+20	708.5	702.8
4+50	709.5	703.8
4+80	710.5	704.8



MEC
MORSE
 ENGINEERING AND
 CONSTRUCTION INDUSTRIES, LLC

472 MAIN STREET
 FISKDALE, MA 01518
 (800) 407-3402
WWW.MECINDUSTRIES.COM



ERIC J. MORSE, P.E. #51856

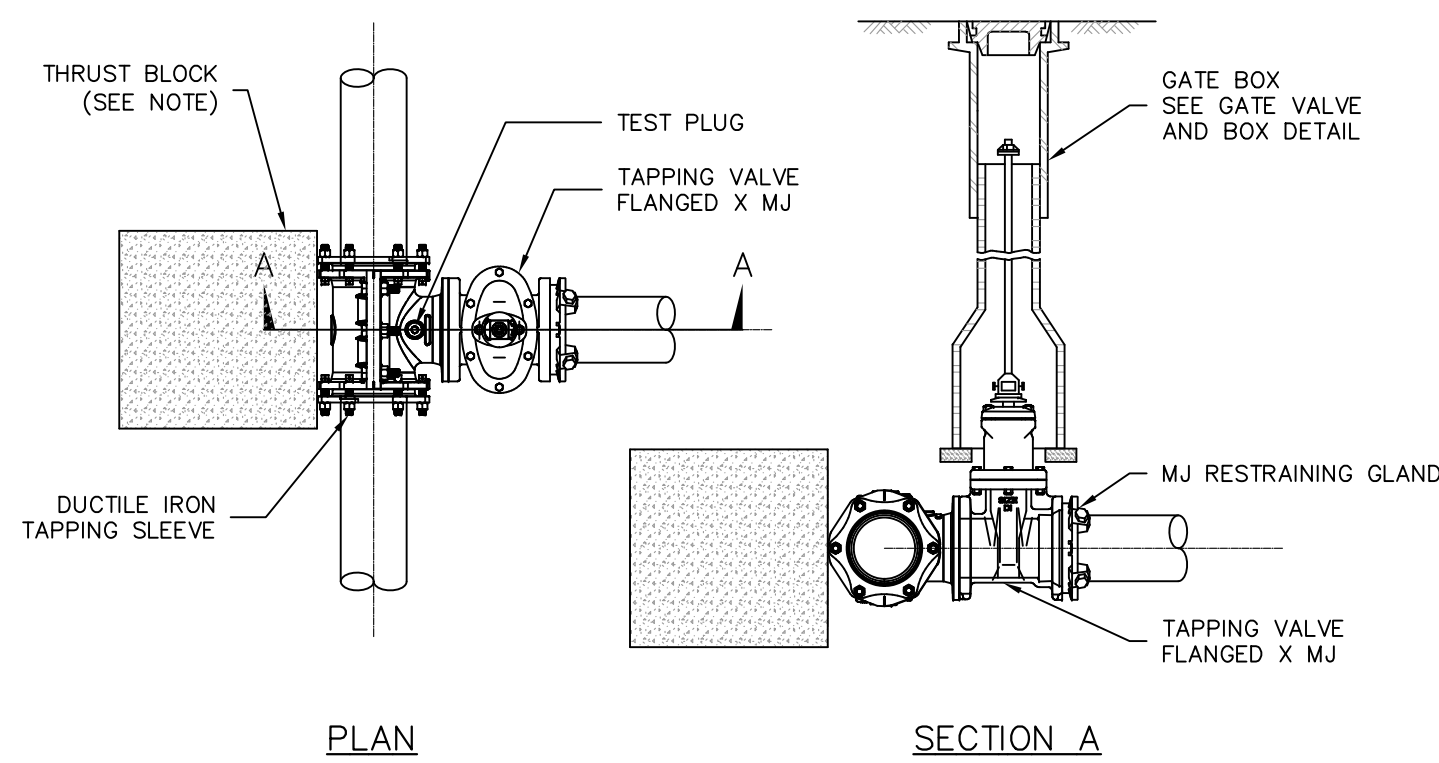
PROPOSED FIRE SERVICE CONNECTION
NOT FOR CONSTRUCTION

OWNED BY:
190 LYNDE BROOK REALTY, LLC

LOCATED AT:
190 MAIN STREET, CHERRY VALLEY, MA 01611

SCALE:	AS NOTED
DATE:	2021.12.2
JOB NO:	MA151-J10
DESIGNED BY:	EJ
DRAWN BY:	EJ
CHECKED BY:	EJ
APPROVED BY:	EJ

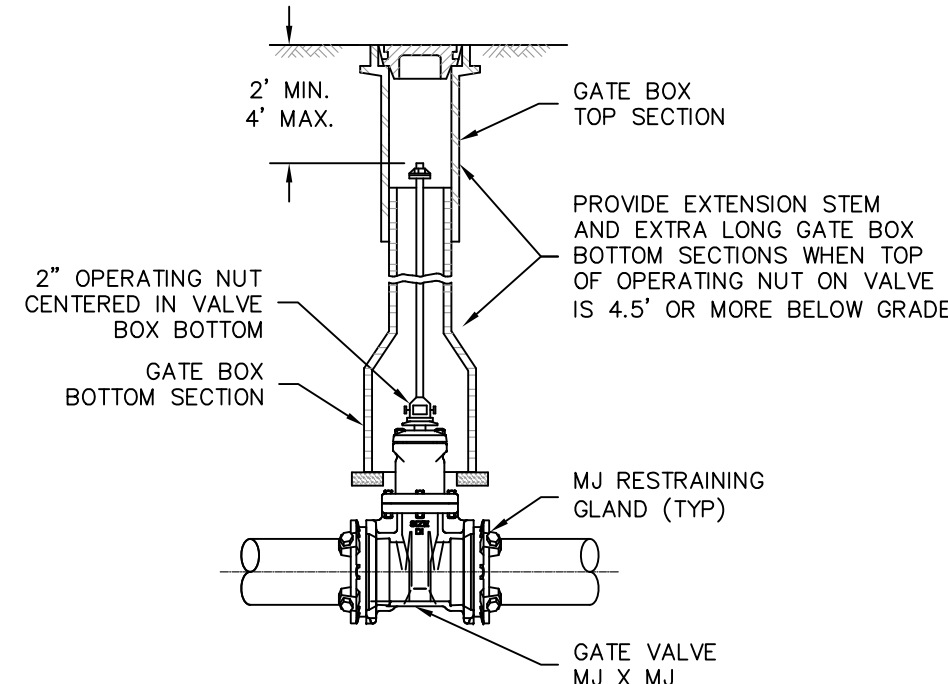
G:\Clients\2021 Documents\MA151-J100-2021.01.18 - 190 Main Street Design\06.0 DESIGN\6.7 DRAWINGS\CIVIL MODEL\MA151-J100-2021.12.17 DETAILS.DWG (Details) ~ Last Updated By: User ~ December 20, 2021 ~ 23:36:54



NOTES:

1. TAPS PERFORMED ON WATER MAINS SHALL USE A FULL BODY, CORROSION RESISTANT TAPPING SLEEVE WITH HIGH PRESSURE CEILING.
2. MIN. 3'X3'X3' PRECAST CONCRETE THRUST BLOCK OR POUR IN PLACE AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN.

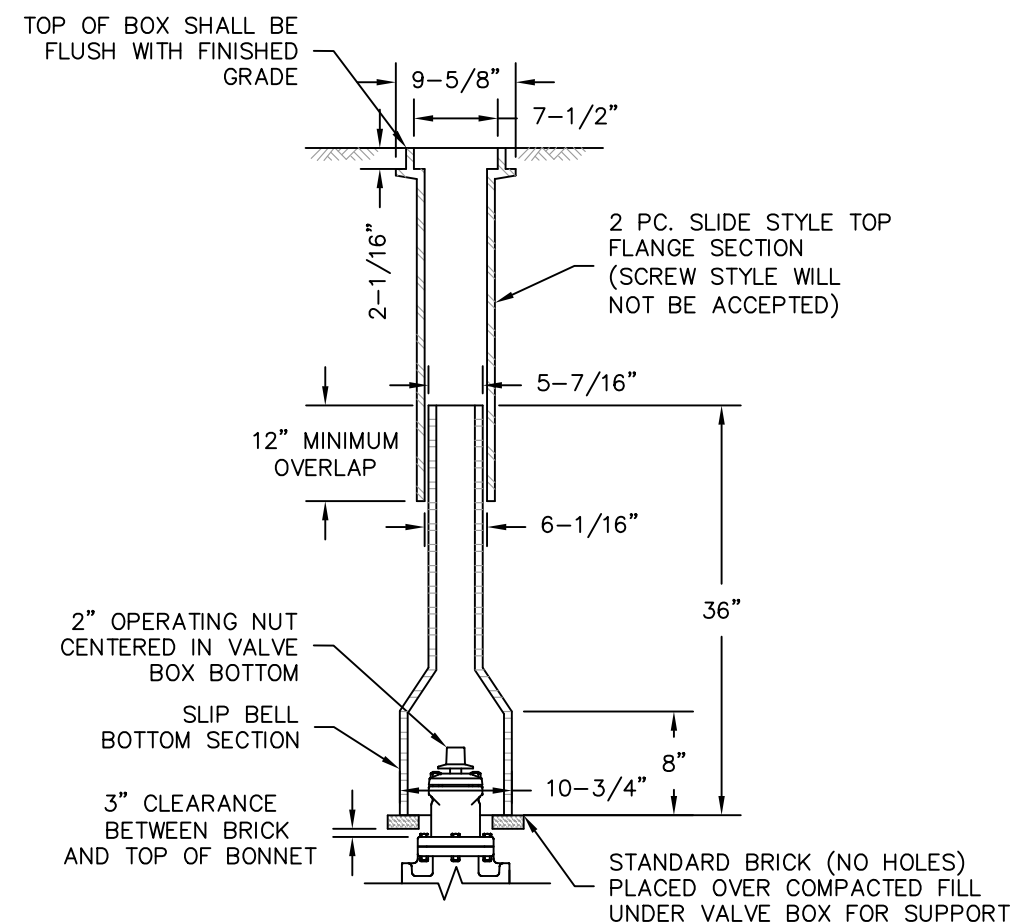
TAPPING SLEEVE AND GATE VALVE DETAIL
SCALE: N.T.S.



NOTES:

1. ALL WATER MAINS SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
2. SEE 5-14" VALVE BOX DETAIL FOR MORE INFORMATION.

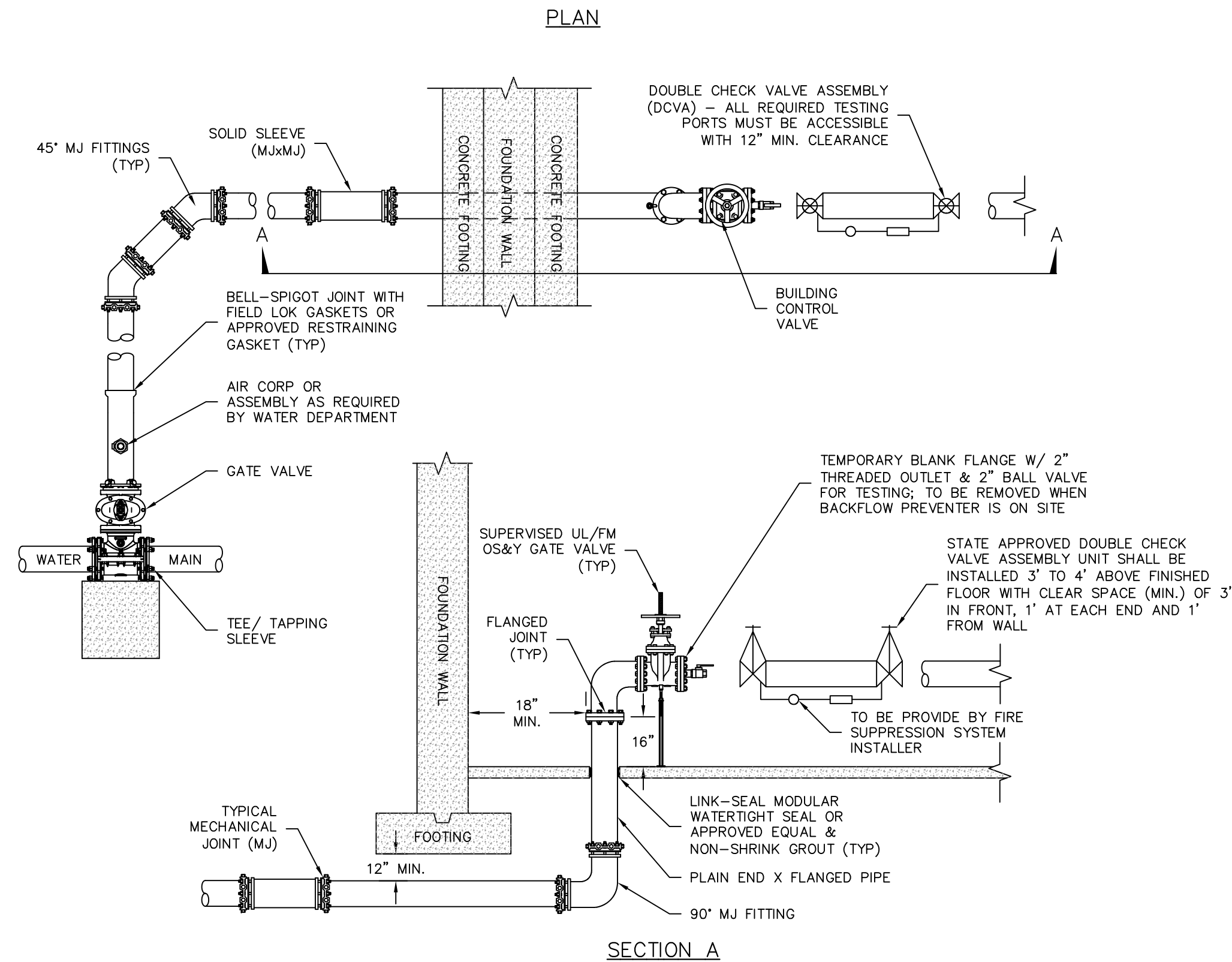
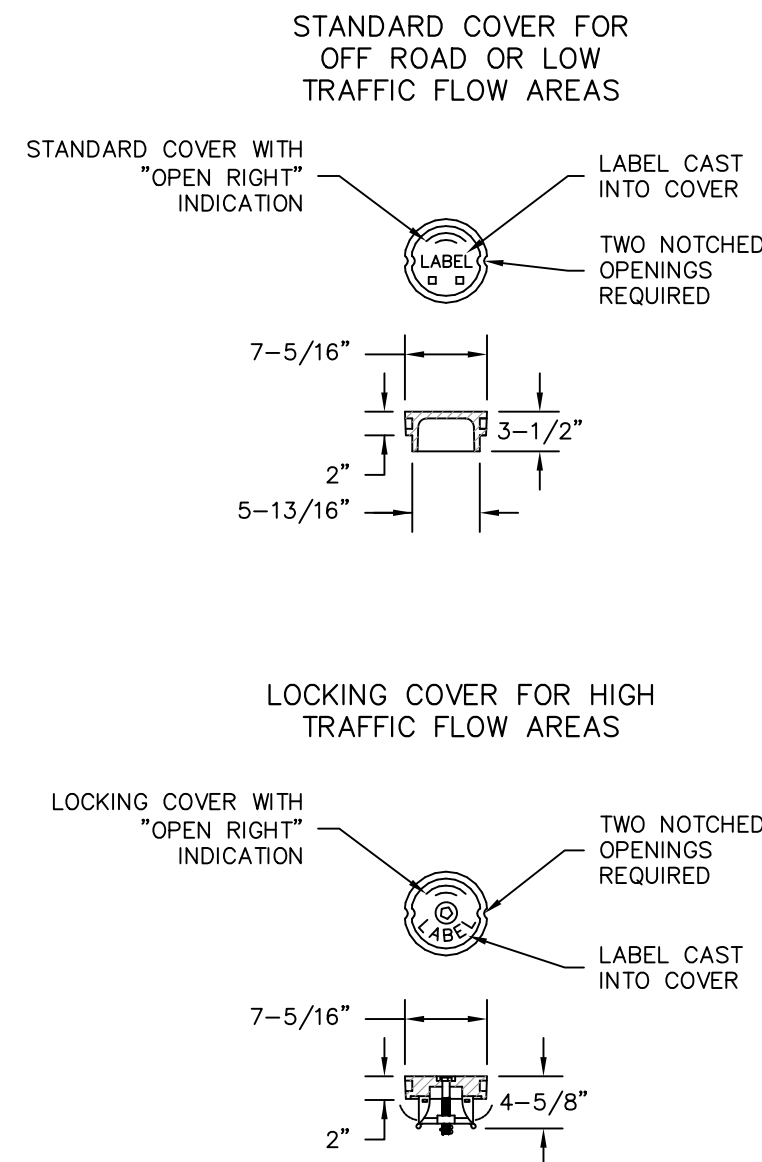
GATE VALVE AND BOX DETAIL
SCALE: N.T.S.



NOTES:

1. ALL WATER MAINS SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
2. BACKFILL WITH SAND, CRUSHED STONE, SCREENED GRAVEL, OR SELECT COMMON BORROW/ FILL TO 6" ABOVE BONNET OF VALVE IN 12" LIFTS. COMPACT TO 95% OF MAXIMUM DENSITY.
3. IF BACKFILLING WITH "FLOWABLE" FILL WRAP THE VALVE BOX WITH 15 POUND FELT ROOFING PAPER OR 4 MIL POLY.
4. THE WORD "WATER" MUST BE CAST ON TOP OF COVER FOR WATER LINES, AND "RES" FOR RESIDUALS/BACKWASH WASTE LINES. LETTERS SHALL NOT LESS THAN 1-INCH HIGH.
5. COVERS SHALL WEIGH NO LESS THAN 13 POUNDS.

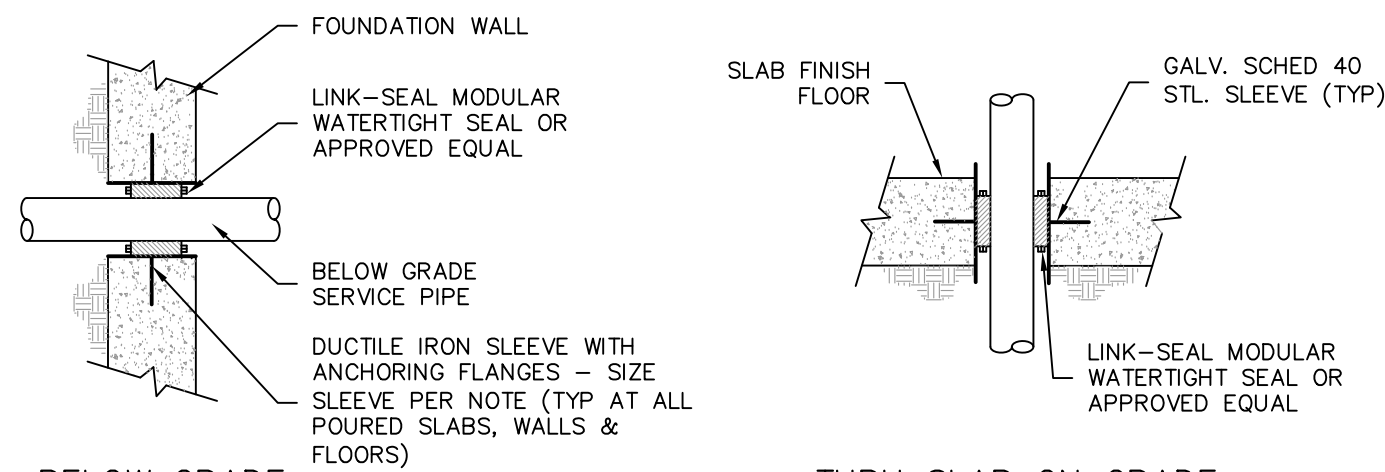
5-1 4" VALVE BOX DETAIL
SCALE: N.T.S.



NOTES:

1. ALL JOINTS OUTSIDE BUILDING SHALL BE FULLY RESTRAINED WITH MECHANICAL JOINT (MJ) AND RESTRAINING GASKETS.
2. ALL JOINTS INSIDE BUILDING TO BE FLANGED.
3. ALL PIPING TO THE BUILDING CONTROL VALVE SHALL BE INSTALLED BEFORE TESTING.
4. BACKFLOW PREVENTION DEVICE ASSEMBLY SHALL BE INSTALLED ONOTO OS&Y BUILDING CONTROL VALVE.
5. ALL VALVES AFTER THE BUILDING CONTROL VALVE MAYU BE OS&Y GATE VALVE OR BUTTERFLY VLAVE WITH TAMPER SWITCH. MUST BE LOCKABLE.
6. ANY COMBINATION OF FLANGE ON GROOVED CONNECTIONS AFTER BUILDING CONTROL VALVE ARE ALLOWED.

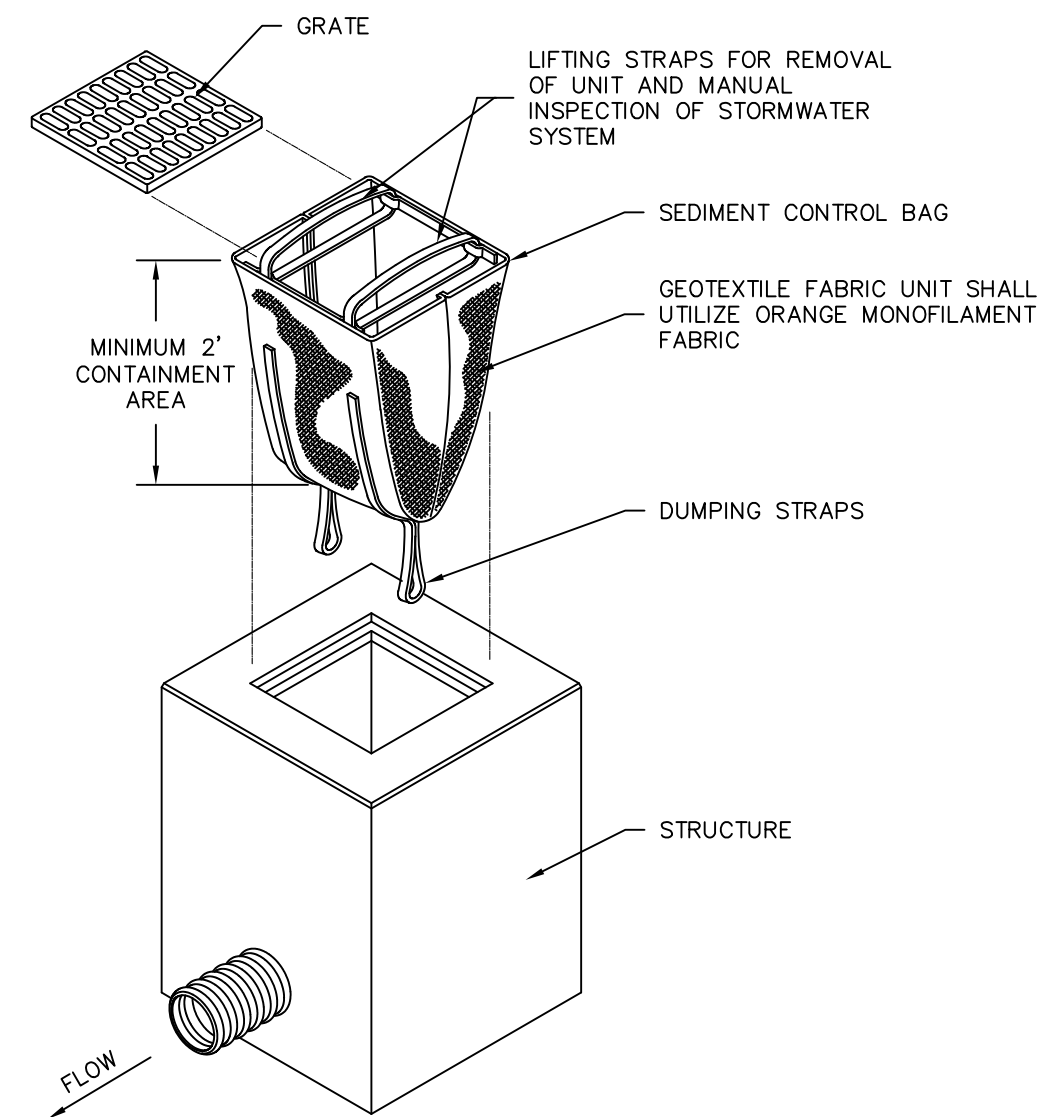
TYPICAL DUCTILE IRON FIRE SERVICE DETAIL
THROUGH CONCRETE FLOOR
SCALE: N.T.S.



NOTES:

1. ALL PIPING PASSING THROUGH SLABS, FLOORS, WALLS, AND PARTITIONS SHALL BE SLEEVED AND ALL SUCH SLEEVES SHALL BE FURNISHED AND INSTALLED BY THE FIRE PROTECTION SUBCONTRACTOR.
2. THERE SHALL BE ANNULAR SPACE BETWEEN THE SLEEVE AND PIPE PER NFPA REQUIREMENTS. IN GENERAL, SLEEVES SHALL BE SIZE TO PROVIDE MINIMUM 1" CLEARANCE BETWEEN PIPE O.D. & SLEEVE I.D. FOR PIPING UP TO 3" IN DIAMETER. PROVIDE 2" CLEARANCE BETWEEN PIPE O.D. & SLEEVE I.D. FOR PIPING 4" IN DIAMETER AND GREATER.
3. ALL PIPES PASSING THROUGH FLOOR, WHETHER SLAB-ON GRADE OR ABOVE GRADE LEVELS SHALL BE SLEEVED WITH SLEEVE EXTENDING 1 INCH ABOVE FLOOR.
4. SLEEVES ON DRYWALL, MASONRY, OR CONCRETE WALLS AND PARTITIONS SHALL BE FLUSH WITH WALL ON BOTH SIDES.
5. THE SPACE BETWEEN SLEEVE AND PIPE, IN ALL CASES, SHALL BE FILLED WITH U.L./F.M. APPROVED CAULKING COMPOUND. THIS INCLUDES PIPES CONCEALED IN CHASES AND/OR PARTITIONS.
6. INSERTS, WHERE REQUIRED, SHALL BE FURNISHED AND SET BY THE FIRE PROTECTION SUBCONTRACTOR AND, WHERE NECESSARY, MAY BE DRILLED OR POWER DRIVEN AND SHALL BE SIZED SUCH THAT THE INSERT WILL NOT EXCEED A DEPTH OF PENETRATION OF 1 INCH INTO CONCRETE.

TYPICAL SLEEVE CONDITION DETAIL
SCALE: N.T.S.



NOTES:

1. REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT.
2. INSPECT SEDIMENT CONTROL BAG AFTER EACH STORM EVENT AND AT REGULAR INTERVALS. IF THE UNIT IS MORE THAN 1/3 FULL OFF ACCUMULATED SEDIMENT, THE UNIT MUST BE EMPTIED.
3. DISPOSE OF UNIT AND/OR ABSORBENT IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL LAWS AND REGULATIONS.

INLET PROTECTION SYSTEM DETAIL
SCALE: N.T.S.

MARK	DATE	DESCRIPTION	BY

ERIC J. MORSE, P.E. #51856

DRAWING:	CIVIL DETAILS NOT FOR CONSTRUCTION
CLIENT:	OWNED BY: 190 LYNDE BROOK REALTY, LLC
PROJECT:	LOCATED AT: 190 MAIN STREET, CHERRY VALLEY, MA 01611

SCALE:	NOT TO SCALE (N.T.S.)
DATE:	2021.12.20
JOB NO:	MA151-J100
DESIGNED BY:	EJM
DRAWN BY:	EJM
CHECKED BY:	EJM
APPROVED BY:	EJM

SPRINKLER SCOPE OF WORK

LOCATION: 180 MAIN ST, CHERRY VALLEY, MA 01611

WORK SCOPE: RENOVATION OF EXISTING DRY SPRINKLER SYSTEM AND INSTALLATION OF A FIRE PUMP

USE GROUP & OCCUPANCY: MODERATE-HAZARD STORAGE, GROUP S-1 AND UTILITY AND MISCELLANEOUS GROUP U

1. SCOPE OF WORK SHALL INCLUDE THE FOLLOWING:

- ADD SPRINKLER INSTALLED WHERE DEFICIENCIES ARE IDENTIFIED.
- INSTALLATION OF NEW SPRINKLERS AS SHOWN ON THE DRAWINGS.
- NEW PIPING, HANGARS, AND FITTINGS AS REQUIRED.
- NEW BACKFLOW PREVENTOR, FIRE PUMP, DIESEL TANK, PUMP CONTROLLERS, JOCKEY PUMP, TEST HEADER, DRY PIPE VALVES, FDC, AND REQUIRED COMPONENTS.

2. ADHERE TO ALL IMPAIRMENT PROGRAM REQUIREMENTS AS REQUIRED IN NFPA 25. THE BUILDING WILL BE OCCUPIED DURING THE RENOVATION. AS SUCH, FIREWATCH AS REQUIRED BY AHJ. WHEN SPRINKLER SYSTEM IS TO BE IMPAIRED.

3. AREA/DENSITY CRITERIA IS PROVIDED IN ACCORDANCE WITH NFPA 13 AND MANUFACTURER DATASHEETS.

CODES & STANDARDS

ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OUTLINED IN THE RFP DOCUMENTS. THE FOLLOWING DOCUMENTS ESTABLISH MINIMUM REQUIREMENTS:

- MASSACHUSETTS STATE BUILDING CODE, 9th Edition, CHAPTER 34 FOR EXISTING BUILDINGS
- 527 CMR 1.00 MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE
- ICC INTERNATIONAL BUILDING CODE, 2015 EDITION, AS AMENDED BY STATE OF MASSACHUSETTS
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 2013 EDITION
- NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 2019 EDITION
- NFPA 20 STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION, 2013 EDITION
- NFPA 20 STANDARD FOR THE INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION, 2019 EDITION

CONTRACTOR

- ADDITIONAL PIPE, FITTINGS, COMPONENTS, HANGERS, ETC., REQUIRED FOR PROPER INSTALLATION, CODE COMPLIANCE, COORDINATION WITH OTHER TRADES, TO MAINTAIN PROPER CLEARANCES, AS A RESULT OF POOR WORKMANSHIP OR AS A REQUIREMENT OF THE AUTHORITY HAVING JURISDICTION WILL BE PROVIDED UNDER THIS CONTRACT AS NECESSARY TO ACHIEVE A COMPLETE AND WORKING SYSTEM. SPRINKLER CONTRACTOR WILL OBTAIN ALL PERMITS REQUIRED FOR THE INSTALLATION AND TESTING OF FIRE SPRINKLER SYSTEM INCLUDED IN THIS WORK SCOPE, AND COMPLY WITH ALL PERMIT, LICENSE AND OTHER APPLICABLE REQUIREMENTS.
- EQUIPMENT SUBMITTALS WILL INCLUDE ALL SYSTEM COMPONENTS USED IN THE SYSTEM TO THE WATER SOURCE, ESPECIALLY THOSE WITH SPECIFIC FRICTION LOSSES SUCH AS BACKFLOW PREVENTERS.
- THE FIRE SPRINKLER CONTRACTOR(S) WILL INSTALL SYSTEM PIPING AND COMPONENTS IN A WORKMANSHIP-LIKE MANNER.
- MAINTAIN A MINIMUM OF 18" CLEARANCE BELOW SPRINKLER DEFLECTOR(S) AND ANY PERMANENT OR TEMPORARY OBSTRUCTION(S) PER NFPA 13 SECT. 8.6.6.1 UNLESS OTHERWISE REQUIRED BY SPRINKLER LISTING OR APPROVAL.
- DISTANCE OF SPRINKLER DEFLECTOR BELOW CEILING AND AWAY FROM WALLS SHALL BE IN ACCORDANCE WITH MANUFACTURER LISTING AND THE FOLLOWING REQUIREMENTS OF NFPA 13: 8.10.4 (RESIDENTIAL); 8.6.3 AND 8.6.4 (STANDARD SPRAY PENDENT AND UPRIGHT); AND 8.6.3 AND 8.6.4 (STANDARD SPRAY SIDEWALL).

GENERAL NOTES- SPRINKLER

- DO NOT SCALE PLANS FOR THE PURPOSE OF ESTABLISHING DIMENSIONS. DIMENSIONS ARE TO BE VERIFIED IN THE FIELD.
- NOT ALL PIPING AND APPURTENANCES ARE SHOWN ON THE PLANS. REFER TO PLANS, NOTES, SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- FIRE STOP ALL PENETRATIONS OF SMOKE/FIRE PARTITIONS. FIRE STOPPING SHALL BE OF A U.L. LISTED ASSEMBLY.
- SPRINKLER SYSTEM(S) SHALL BE DESIGNED FOR A MAXIMUM WORKING PRESSURE OF 12.1 bar (175 PSI) PER NFPA 13 SECT. 6.1.3.
- PROVIDE SYSTEM(S) WITH FLUSHING CONNECTIONS PER NFPA 13 SECT. 8.16.3.
- SPRINKLER SYSTEM(S) PIPING PRIOR TO CONNECTION TO THE EXITING SYSTEM SHALL BE HYDROSTATICALLY TESTED FOR TWO HOURS AT 13.8 bar (200 PSI) PER NFPA 13 SECT. 10.10.2.2 PORTIONS OF SYSTEMS (INCLUDING FIRE PUMP) NORMALLY SUBJECTED TO WORKING PRESSURE IN EXCESS OF 150 PSI SHALL BE TESTED AT A PRESSURE OF 3.5 bar (50 PSI) IN EXCESS OF NORMAL WORKING PRESSURE.
- ALL SPRINKLER PIPE AND FITTINGS SHALL BE SO INSTALLED THAT THE SYSTEM CAN BE DRAINED PER NFPA 13 SECT. 8.16.2.2.2.
- ALL VALVES SHALL HAVE A PERMANENTLY AFFIXED SIGN INDICATING ITS FUNCTION SECURED TO THE VALVE WITH SUITABLE CHAIN PER NFPA 13 SECT. 6.7.4.
- PROVIDE A PERMANENTLY ATTACHED HYDRAULIC NAMEPLATE STATING THE REQUIRED DESIGN CRITERIA FOR EACH DESIGNED SYSTEM PER NFPA 13.
- PIPE HANGER MATERIAL, SPACING AND METHOD OF ATTACHMENT SHALL BE PER

NFPA 13 SECT. 9.1 AND MANUFACTURERS REQUIREMENTS.

- MAINTAIN A MINIMUM OF 18" CLEARANCE BELOW SPRINKLER DEFLECTOR(S) AND ANY PERMANENT OR TEMPORARY OBSTRUCTION(S) PER NFPA 13 SECT. 8.6.6.1 UNLESS OTHERWISE REQUIRED BY SPRINKLER LISTING OR APPROVAL.
- A SUPPLY OF SPARE SPRINKLERS SHALL BE MAINTAINED ON THE PREMISES PER NFPA 13 SECT. 6.2.9 SPRINKLERS SHALL CORRESPOND TO THE TYPES AND TEMPERATURE RATINGS OF THE SPRINKLERS ON THE PROPERTY PER NFPA 13 SECT. 6.2.9.2. SPRINKLERS SHALL BE KEPT IN A CABINET LOCATED WHERE THE TEMPERATURE TO WHICH THEY ARE SUBJECTED WILL AT NO TIME EXCEED 100 DEGREES FAHRENHEIT PER NFPA 13 SECT. 6.2.9.3. ONE SPECIAL WRENCH SHALL BE PROVIDED FOR EACH TYPE OF SPRINKLER INSTALLED AND KEPT IN THE CABINET PER NFPA 13 SECT. 6.2.9.6, WITH A MATERIAL LIST PER NFPA SECT. 6.2.9.7.

MATERIAL NOTES

- ONLY UL LISTED AND FM-APPROVED DEVICES AND MATERIALS AS SPECIFIED IN NFPA 13 SHALL BE INSTALLED THROUGHOUT THE SYSTEM PER NFPA 13 SECT. 6.1.1.
- ONLY NEW SPRINKLERS SHALL BE USED.
- THE USE OF THREADABLE THINWALL PIPE, SUCH AS ALLIED "XL" OR "DYNA-THREAD", IS PROHIBITED.
- ALL STEEL SPRINKLER PIPE SHALL HAVE A MINIMUM CORROSION RESISTANCE RATIO (CRR) OF 1.0. ALL PIPING IS TO BE SCHEDULE 40 BLACK STEEL. ALL PIPE IN SIZES 2 1/2 INCHES THROUGH 8 INCHES SHALL BE SCH.10, ASTM A-135 OR ANSI/ASME A-53 BLACK STEEL.
- ALL THREADED PIPE AND FITTINGS SHALL HAVE THREADS CUT TO ANSI/ASME B1.20.1, PIPE THREAD, GENERAL PURPOSE PER NFPA 13 SECT. 6.5.1.1.
- ALL SCH. 40 GROOVED BLACK STEEL PIPE SHALL BE CUT-GROOVED.
- PIPE JOINED WITH GROOVED FITTINGS SHALL BE JOINED BY A LISTED COMBINATION OF FITTINGS, GASKETS, AND GROOVES. GROOVES, CUT OR ROLLED, SHALL BE DIMENSIONALLY COMPATIBLE WITH THE FITTINGS PER NFPA 13 SECT. 6.5.3.1.
- GROOVED FITTINGS SHALL BE MALLEABLE IRON ASTM A-14, DUCTILE IRON ASTM A-635, OR WELDED SEGMENT CARBON STEEL SCHEDULE 40 ASTM A-53/ FINISH TO BE FACTORY PAINTED.
- THREADED FITTINGS SHALL BE CAST IRON CLASS125 OR 250 ANSI B16.4 OR MALLEABLE IRON CLASS150 OR 300 ANSI B16.3, AND GALVANIZED WHERE NECESSARY OR REQUIRED.
- WELDED OUTLETS SHALL BE ANSI B16.11 FORGED STEEL PER NFPA (UL LISTED) FOR WORKING PRESSURE TO 300PSI.
- THE COMPONENTS OF HANGER ASSEMBLIES THAT DIRECTLY ATTACH TO THE PIPE OR TO THE BUILDING STRUCTURE SHALL BE LISTED PER NFPA 13 SECT. 9.1.1.5.1 OR FM-APPROVED.
- IN LIEU OF THREADED STEEL PIPING SYSTEM, THE VICTAULIC FIRELOK IGS SYSTEM WITH "INSTALLATION-READY" FITTINGS AND COUPLINGS MAY BE USED FOR NPS 1 SCHEDULE 40 CARBON STEEL PIPE.
- PROVIDE AIR VENTING NEAR HIGH POINT IN THE SYSTEM IN ACCORDANCE WITH NFPA 13 SECT. 7.1.5

INSTALLATION NOTES

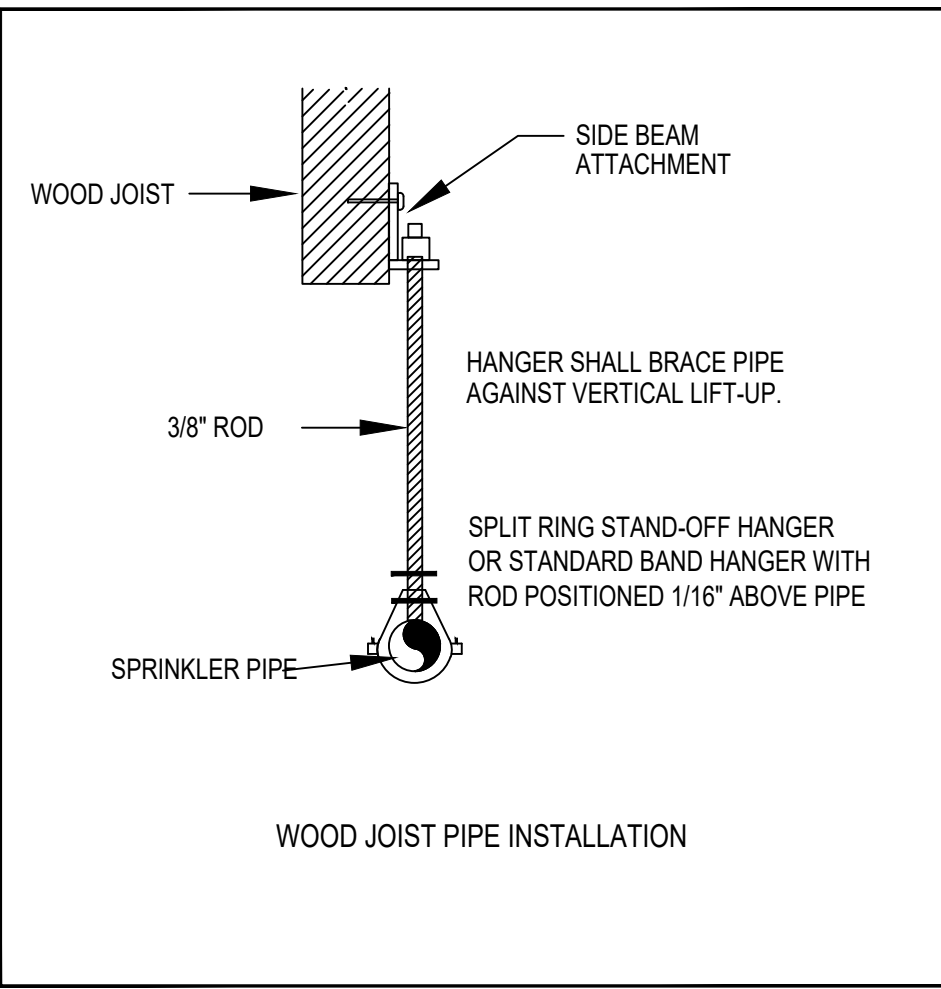
- ALL SPRINKLERS SHALL BE INSTALLED ACCORDING TO THEIR LISTINGS SPACING AND OBSTRUCTION REQUIREMENTS AND THE SPACING AND OBSTRUCTION REQUIREMENTS OF NFPA 13.
- SPRINKLER DEFLECTORS SHALL BE INSTALLED PARALLEL TO ROOF/CEILING SLOPE PER NFPA 13 SECT. 8.5.4.2, UNLESS OTHERWISE NOTED.

HANGER NOTES

- THE COMPONENTS OF HANGER ASSEMBLIES THAT DIRECTLY ATTACH TO THE PIPE OR TO THE BUILDING STRUCTURE SHALL BE LISTED.
- HANGERS AND THEIR COMPONENTS SHALL BE FERROUS PER NFPA 13 SECT. 9.1.1.6.1, UNLESS THE COMPONENTS HAVE BEEN PROVEN BY FIRE TESTS TO BE ADEQUATE FOR THE HAZARD APPLICATION, AND THAT ARE LISTED FOR THAT SERVICE PER NFPA 13 SECT. 9.1.1.6.2.
- SPRINKLER PIPING OR HANGERS SHALL NOT BE USED TO SUPPORT NON-SYSTEM COMPONENTS EXCEPT WHERE SPECIFIC DESIGN CALCULATIONS ARE PROVIDED PER NFPA 13 SECT. 9.1.1.3.1.
- BRANCHLINE AND MAIN HANGER LOCATION AND MAXIMUM DISTANCES SHALL MEET NFPA 13 SECT. 9.2.2., TABLE 9.2.2.1, AND SECT. 9.2.4. ADDITIONALLY, THERE SHALL BE NOT LESS THAN ONE HANGER FOR EACH SECTION OF PIPE PER NFPA 13 SECT. 9.2.3.2.1. UNLESS SPRINKLERS ARE SPACED LESS THAN 6 FEET APART (NFPA 13 SECT. 9.2.3.2.2).
- THE UNSUPPORTED LENGTH BETWEEN THE END SPRINKLER AND THE LAST HANGER ON THE LINE SHALL NOT BE GREATER THAN 36 INCHES FOR 1 INCH PIPE, AND 48 INCHES FOR 1 1/4 INCH PIPE, AND 60 INCHES FOR THE 1 1/2 INCH PIPE OR LARGER PER NFPA 13 SECT. 9.2.3.4.1.
- THE UNSUPPORTED LENGTH BETWEEN THE END SPRINKLER IN A PENDENT POSITION OR DROP NIPPLE AND THE LAST HANGER ON THE BRANCH LINE SHALL NOT BE GREATER THAN 12 INCHES FOR STEEL PIPE PER NFPA 13 SECT. 9.2.3.4.4.2. WHEN 12 INCHES IS EXCEEDED THE PIPE SHALL BE EXTENDED BEYOND THE END SPRINKLER AND SUPPORTED BY AN ADDITIONAL HANGER PER NFPA 13 SECT. 9.2.3.4.4.3.
- THE HANGER CLOSEST TO THE SPRINKLER SHALL BE OF A TYPE THAT PREVENT UPWARD MOVEMENT OF THE PIPE PER NFPA 13 SECT. 9.2.3.4.4.4.



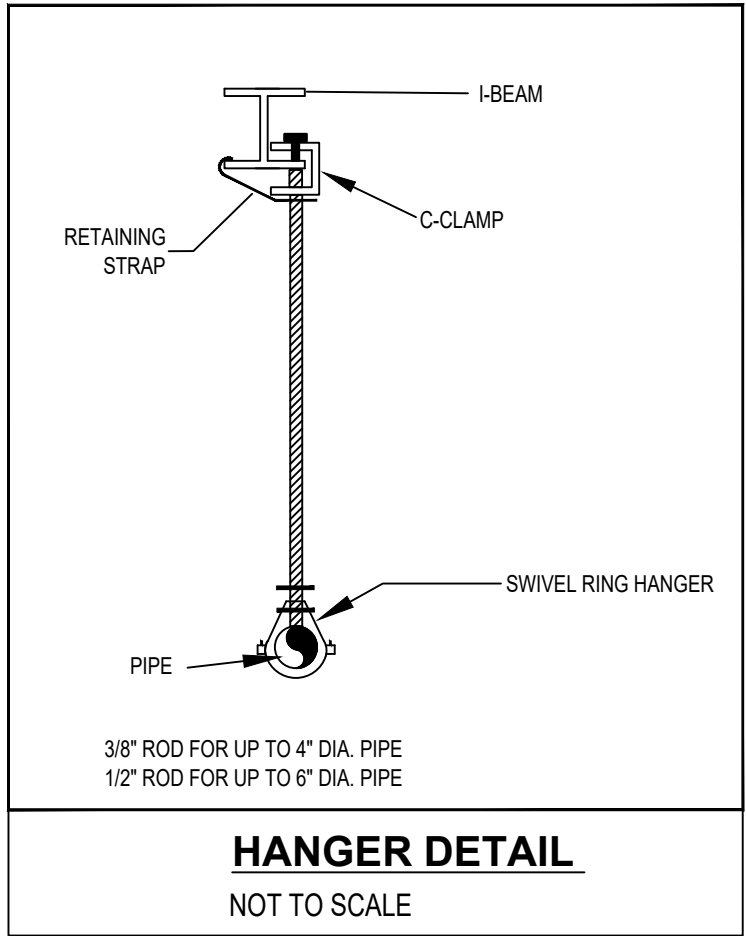
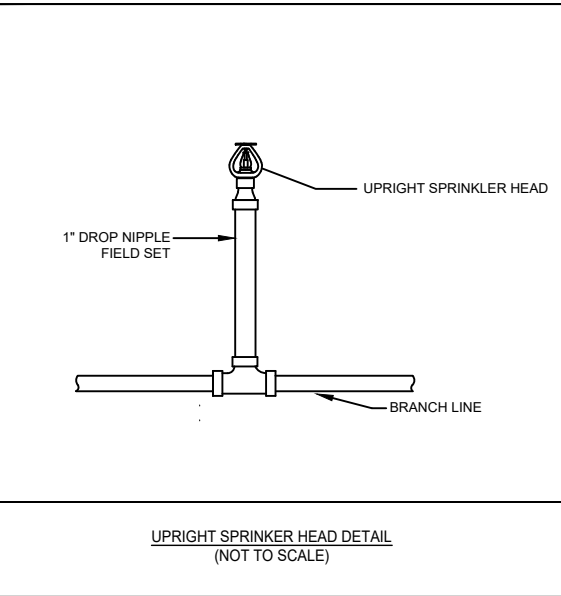
1 Site Map
SCALE: NTS



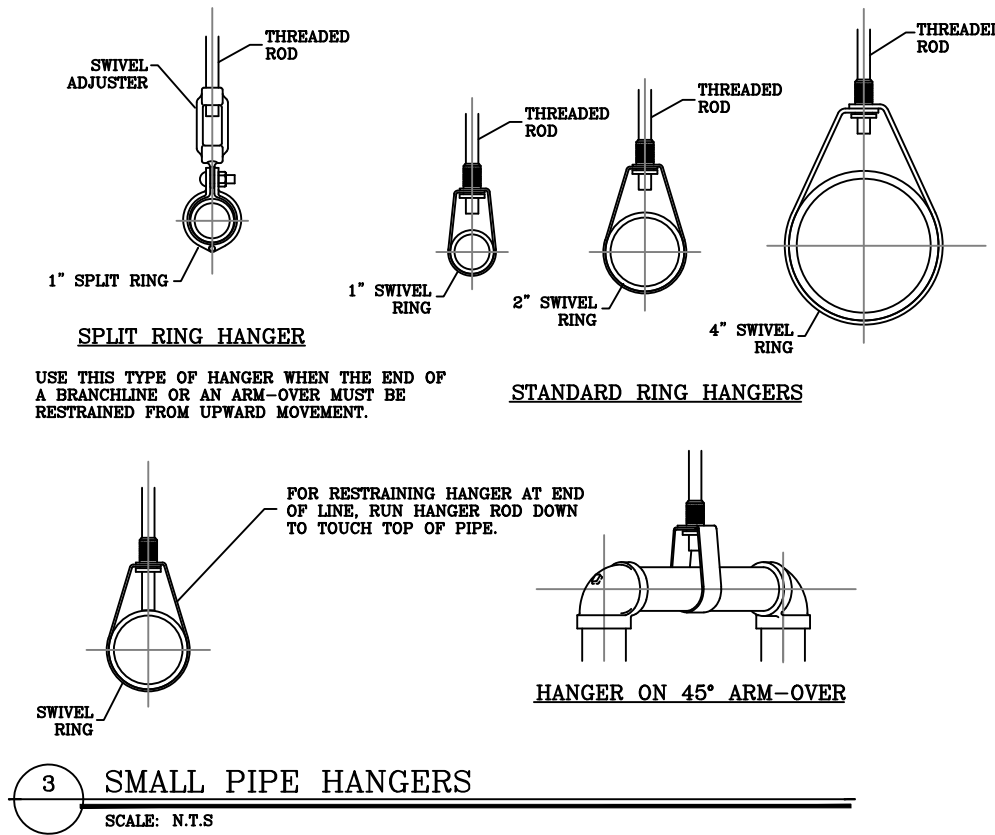
HANGER DETAIL
NOT TO SCALE

LEGEND

	Existing pipe and sprinkler to remain
	Existing pipe and sprinkler to be removed
	New pipe and sprinkler to be added



HANGER DETAIL
NOT TO SCALE



3 SMALL PIPE HANGERS
SCALE: N.T.S

Sprinkler Legend

Symbol	Manufacturer	SIN/Model	Quantity	K-Factor	Type	Size	Response	Orifice	Finish	Temperature	Note
	Generic		500	5.6	Upright	1/2	Standard	1/2"	Brass	165°F	
	Generic		16	5.6	Sidewall	1/2	Standard	1/2"	Brass	165°F	
	TYCO	TY5332	8	11.2	Sidewall	3/4	Standard	5/8"	Brass	200°F	
			Total = 524								



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SC 133936



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STAMP



REVISIONS

Number	Description	Date

PROJECT:

SPRINKLER
RENOVATION

ADDRESS:

180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:

Sprinkler System
Renovation

PROJECT No: F5447 - 34

DESIGNED BY: ASA/QXL

DRAWN BY: ASA

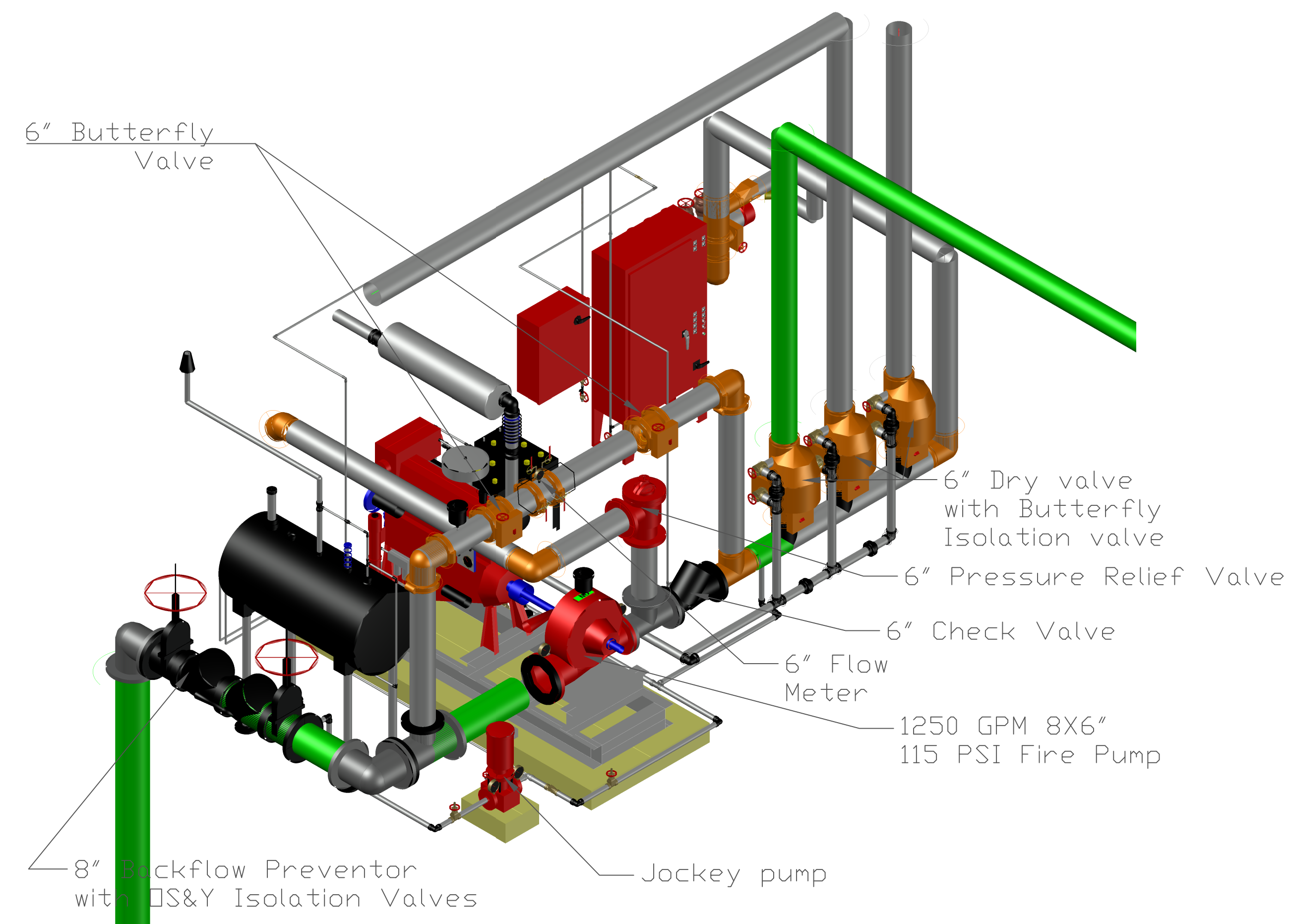
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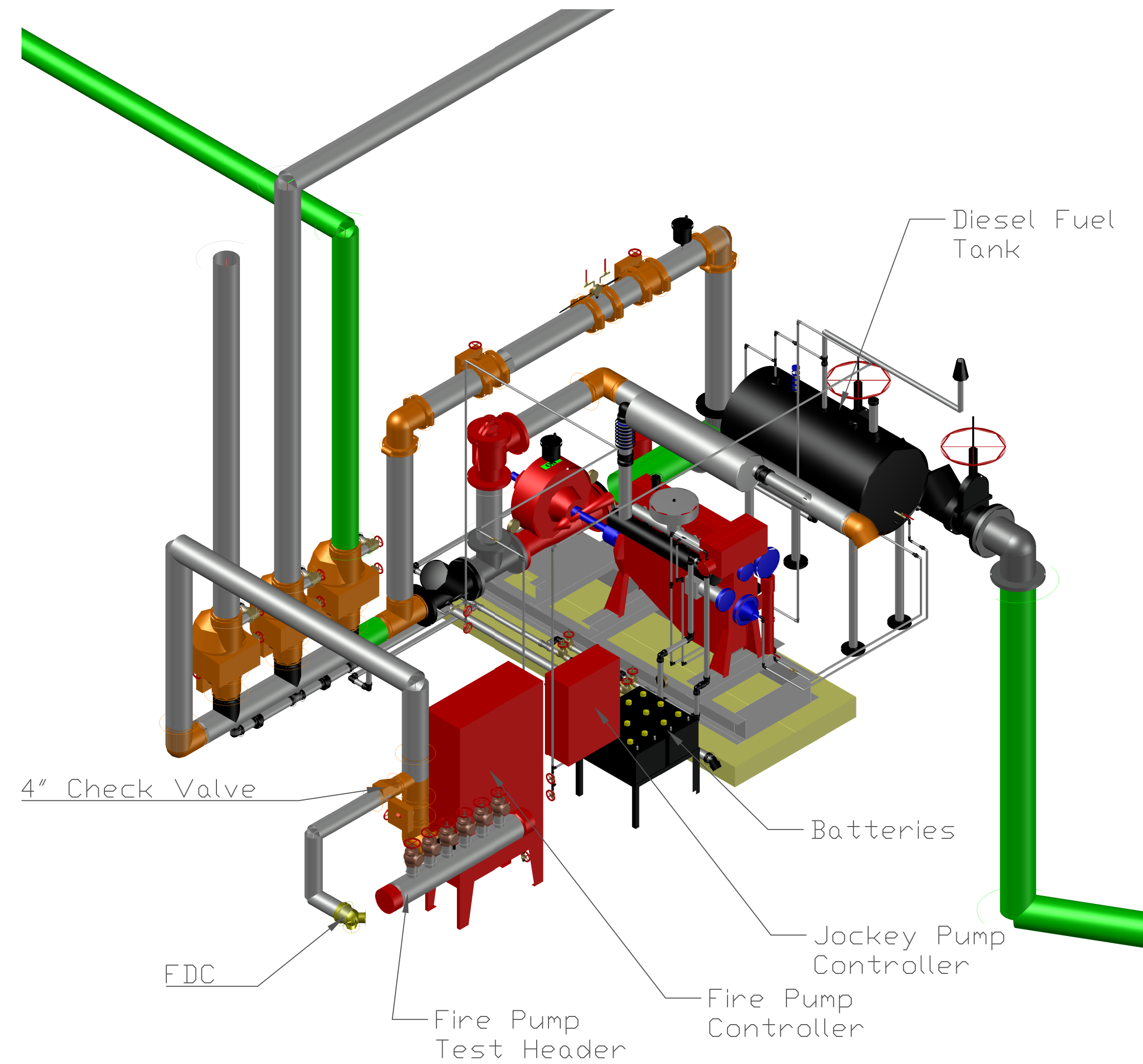
DWG. No.: FP-01

SHEET NAME

Notes and Details



1 Fire Pump Room
SCALE: 1/2" - 1'-0"



2 Fire Pump Room
SCALE: 1/2" - 1'-0"



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REVISIONS

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PROJECT:

SPRINKLER
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ADDRESS:

180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:

Sprinkler System
Renovation

PROJECT No: F5447 - 34

DESIGNED BY: ASA/QXL

DRAWN BY: ASA

DATE: 12/15/2023

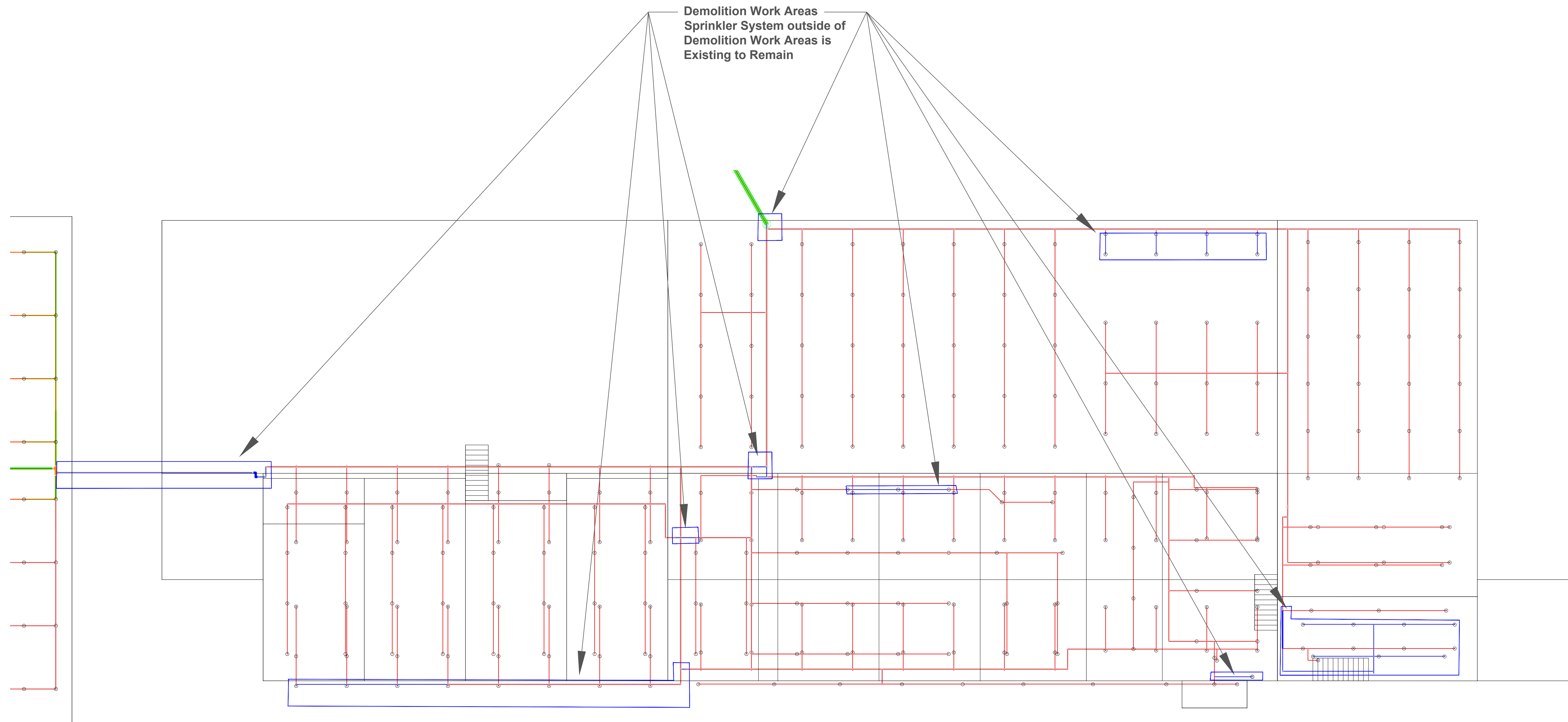
SCALE: No Scale

DWG. No.: FP-02

SHEET NAME

Fire Pump Room

SHEET 2 OF 13



1 Demo
SCALE: 1/2" = 1'-0"



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REVISIONS

Number	Description	Date

PROJECT:

SPRINKLER
RENOVATION

ADDRESS:

180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:

Sprinkler System
Renovation

PROJECT No: F5447 - 34

DESIGNED BY: ASA/QXL

DRAWN BY: ASA

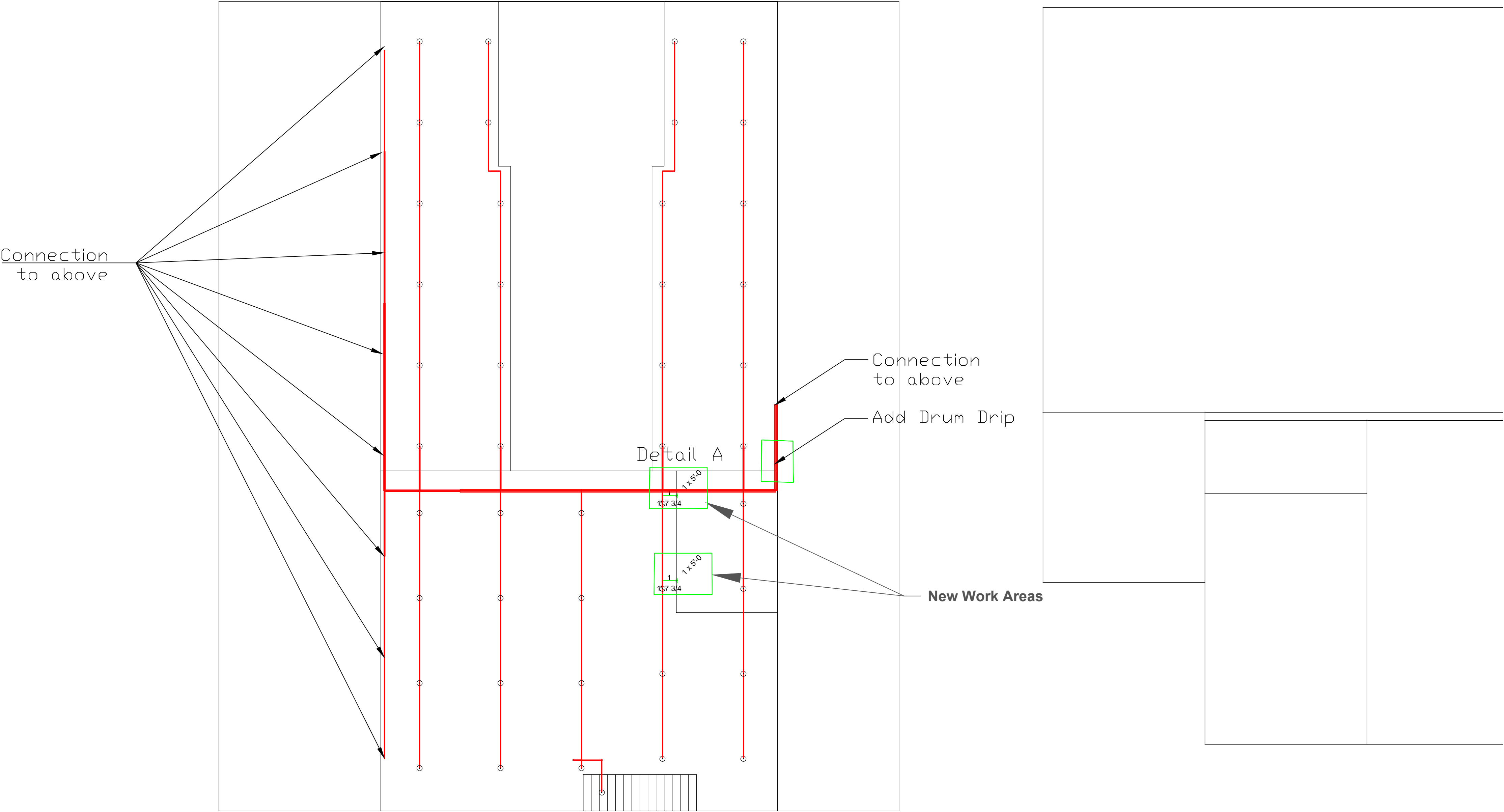
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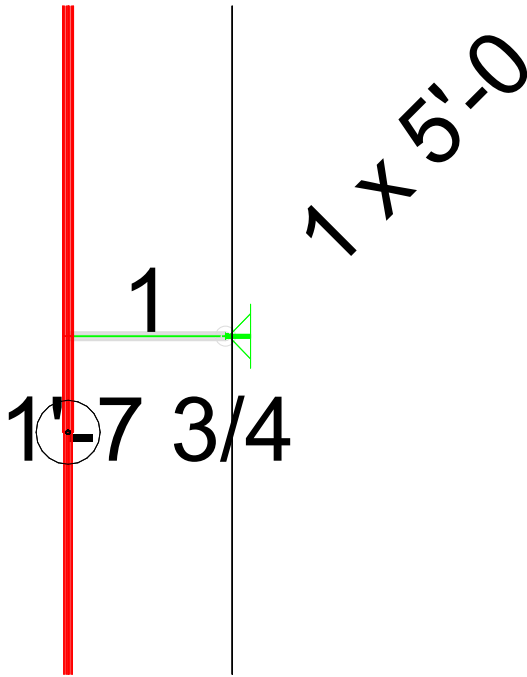
DWG. No.: FP-03

SHEET NAME

Demo Drawing



1 New Sprinkler Installation Back Building Lower Level
SCALE: 1/8" = 1'-0"



A Detail
SCALE: 1/2" = 1'-0"



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REVISIONS

Number	Description	Date

PROJECT:

SPRINKLER
RENOVATION

ADDRESS:

180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:

Sprinkler System
Renovation

PROJECT No: F5447 - 34

DESIGNED BY: ASA/QXL

DRAWN BY: ASA

DATE: 12/15/2023

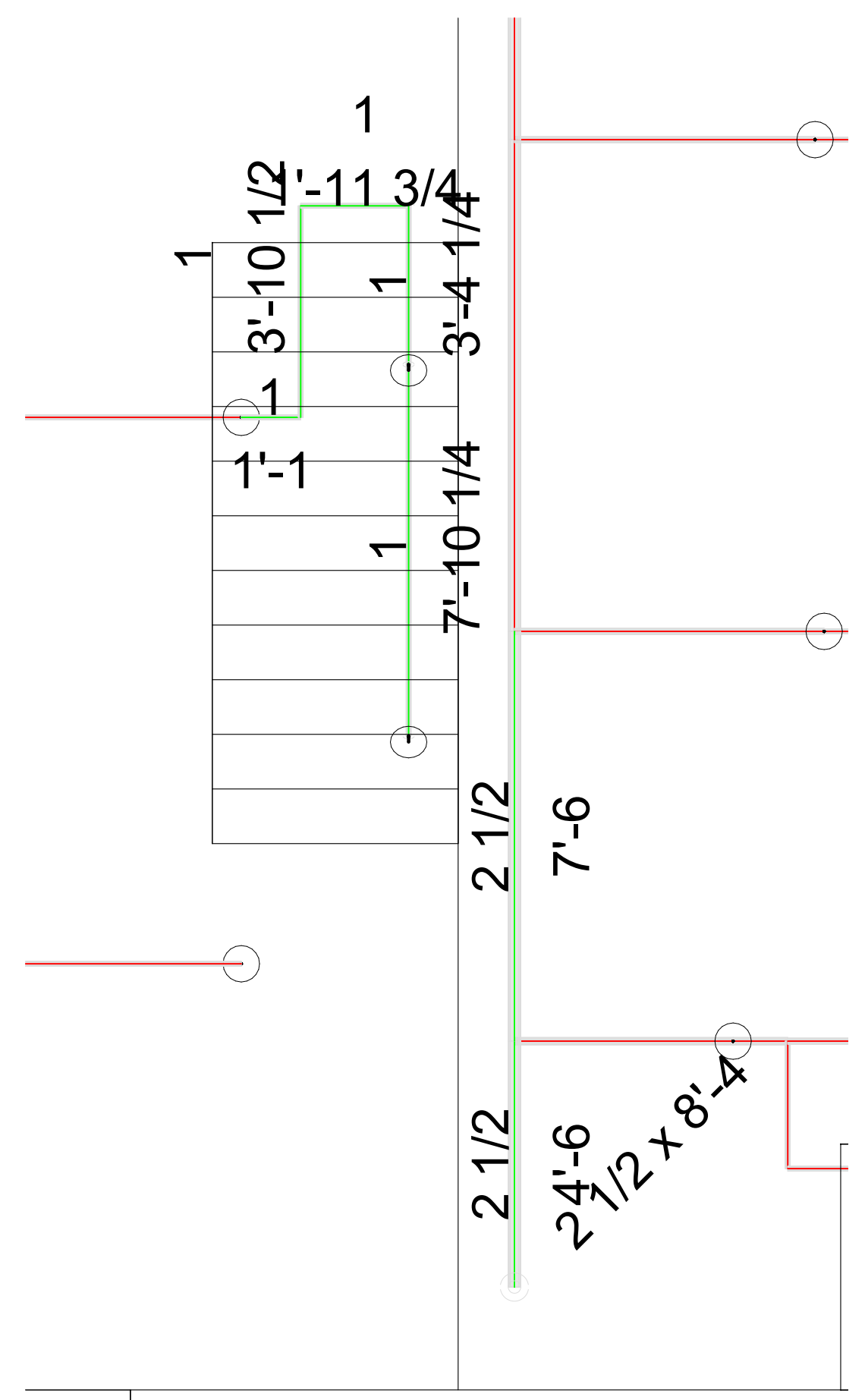
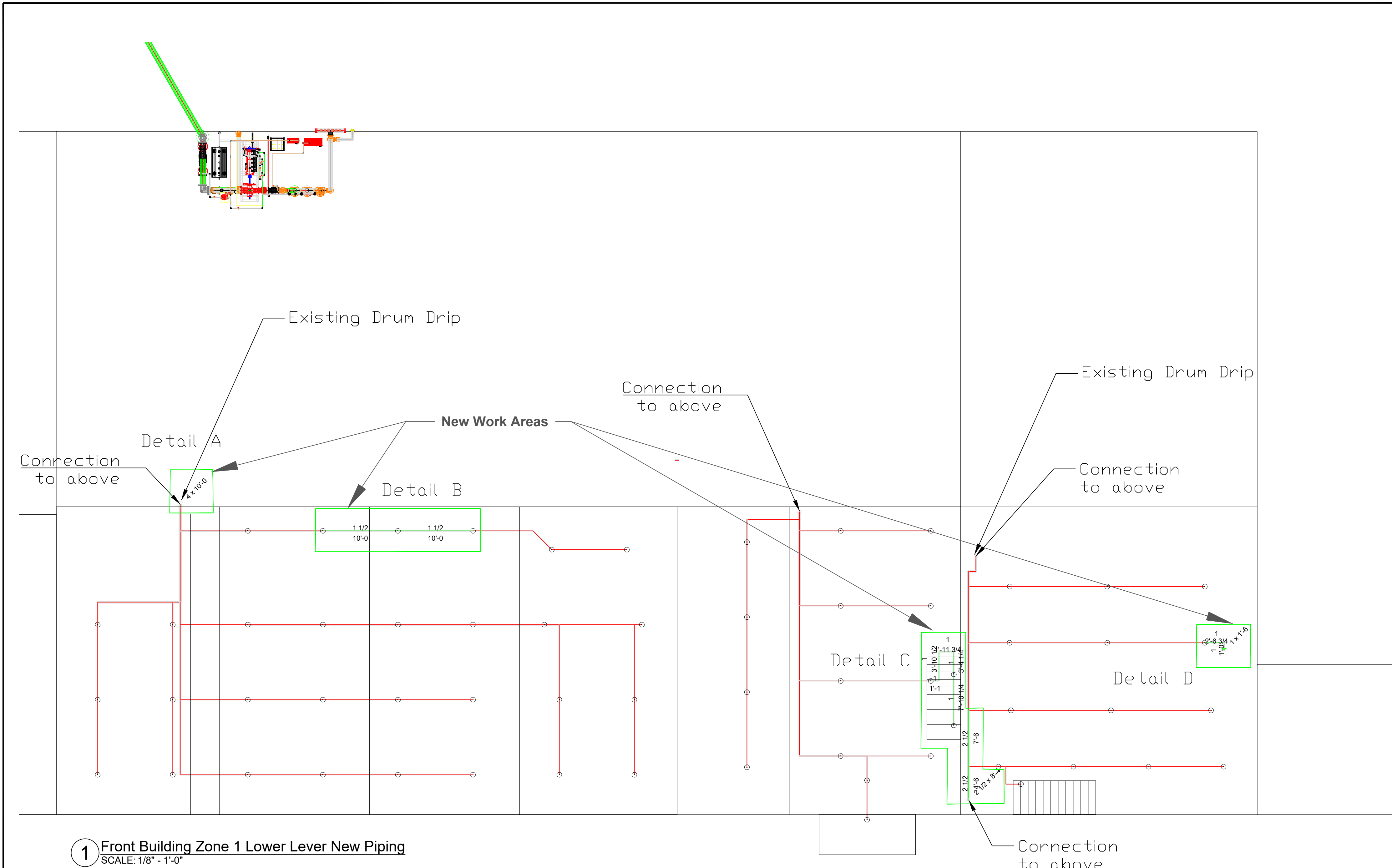
SCALE: No Scale

DWG. No.: FP-04

SHEET NAME

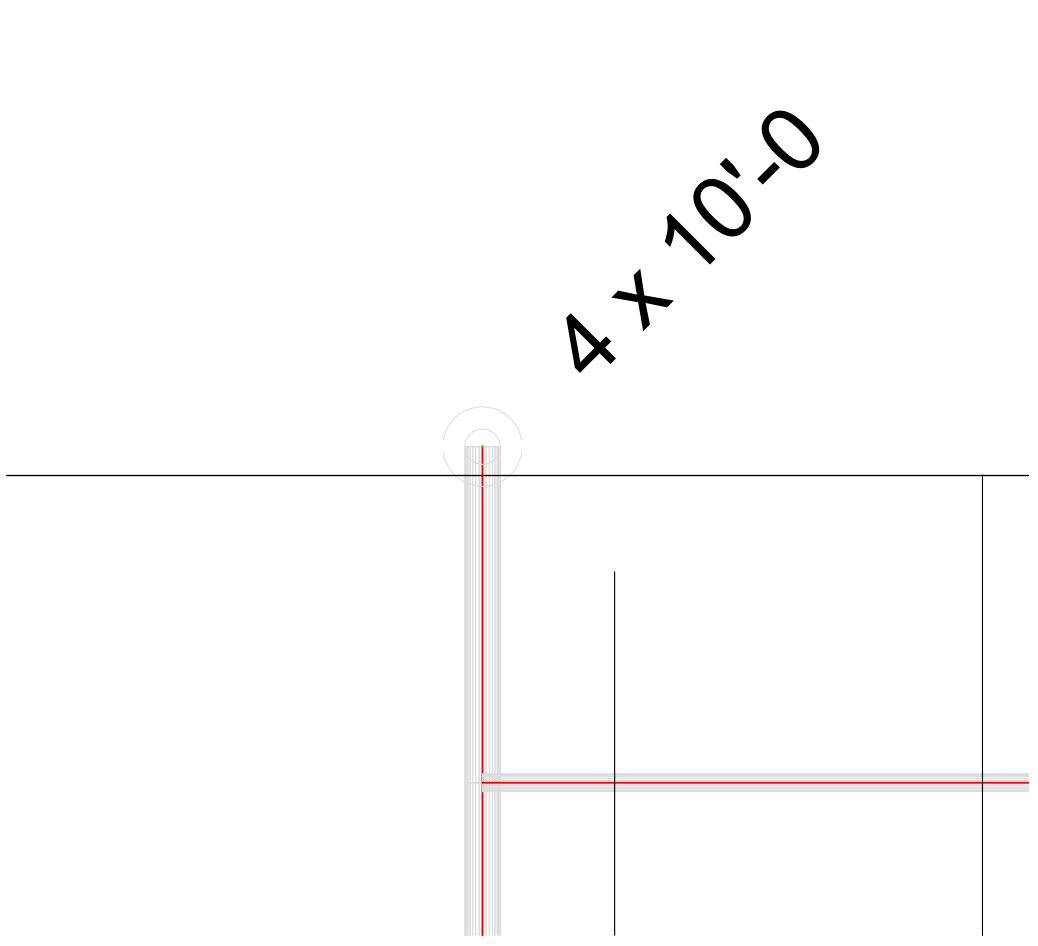
Back Building Lower Lever
New Piping Drawing

SHEET 4 OF 13

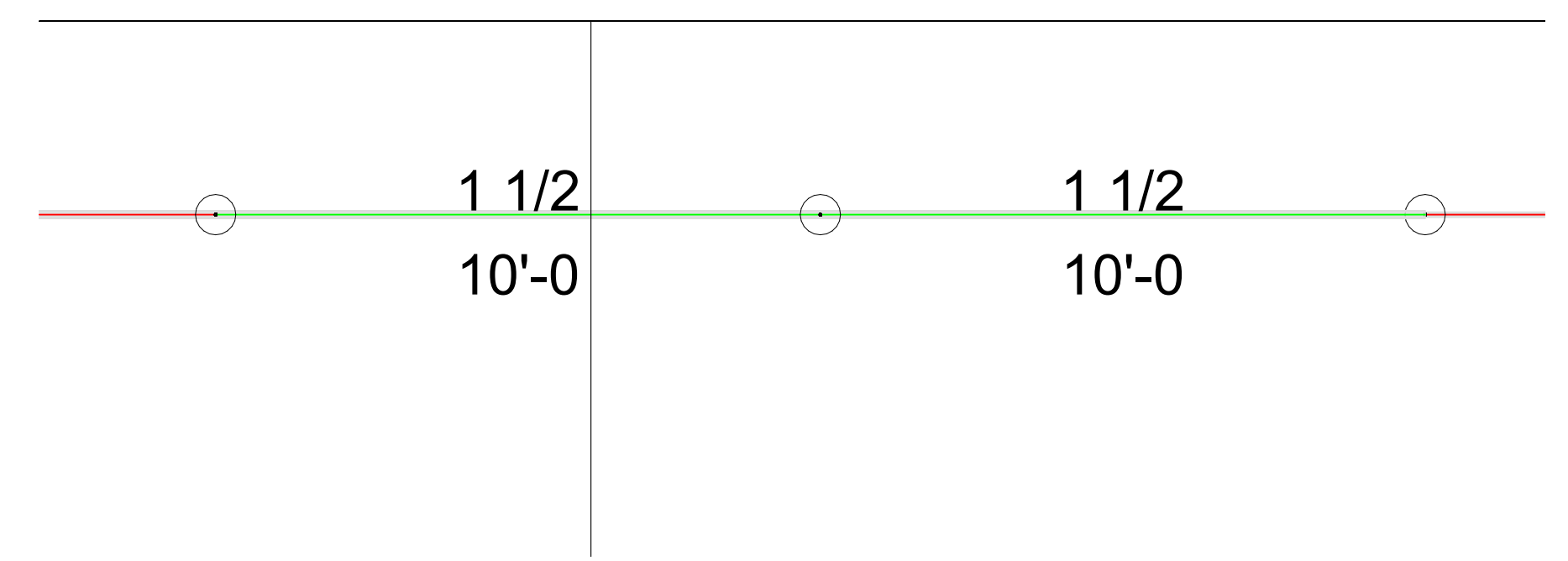


C Detail
SCALE: 3/8" - 1'-0"

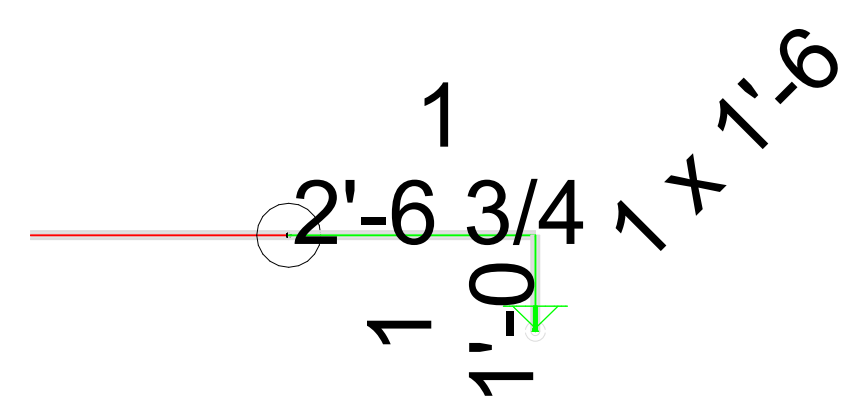
1 Front Building Zone 1 Lower Lever New Piping
SCALE: 1/8" - 1'-0"



A Detail
SCALE: 1/2" - 1'-0"



B Detail
SCALE: 3/8" - 1'-0"



D Detail
SCALE: 1/2" - 1'-0"



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Number	Description	Date

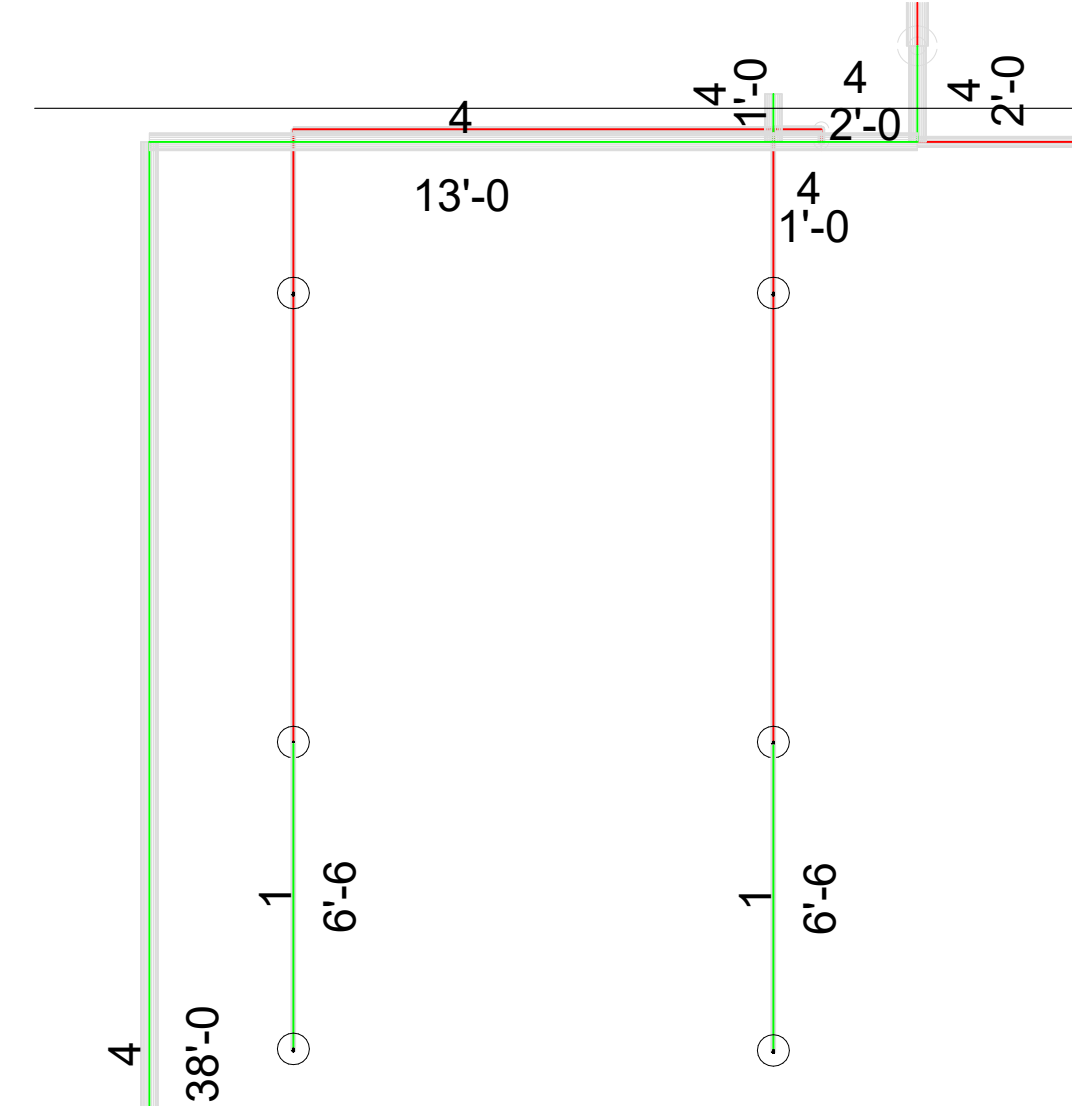
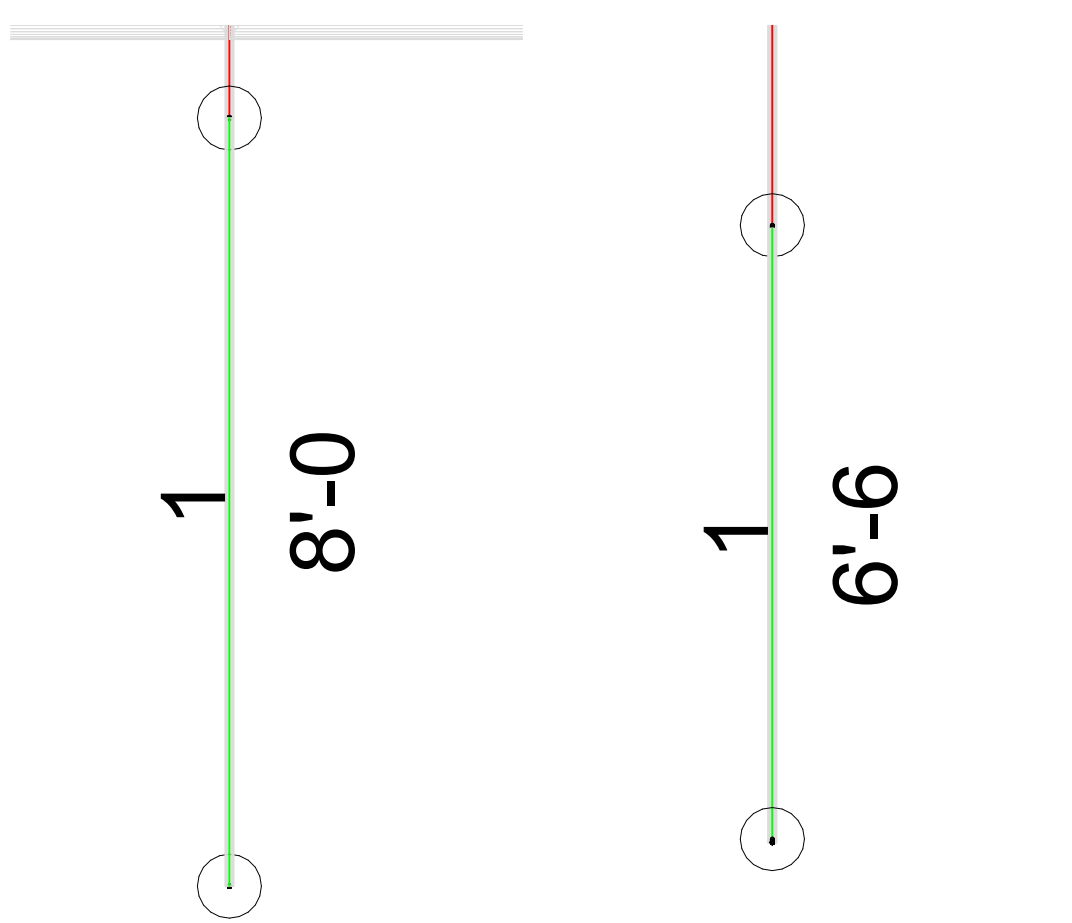
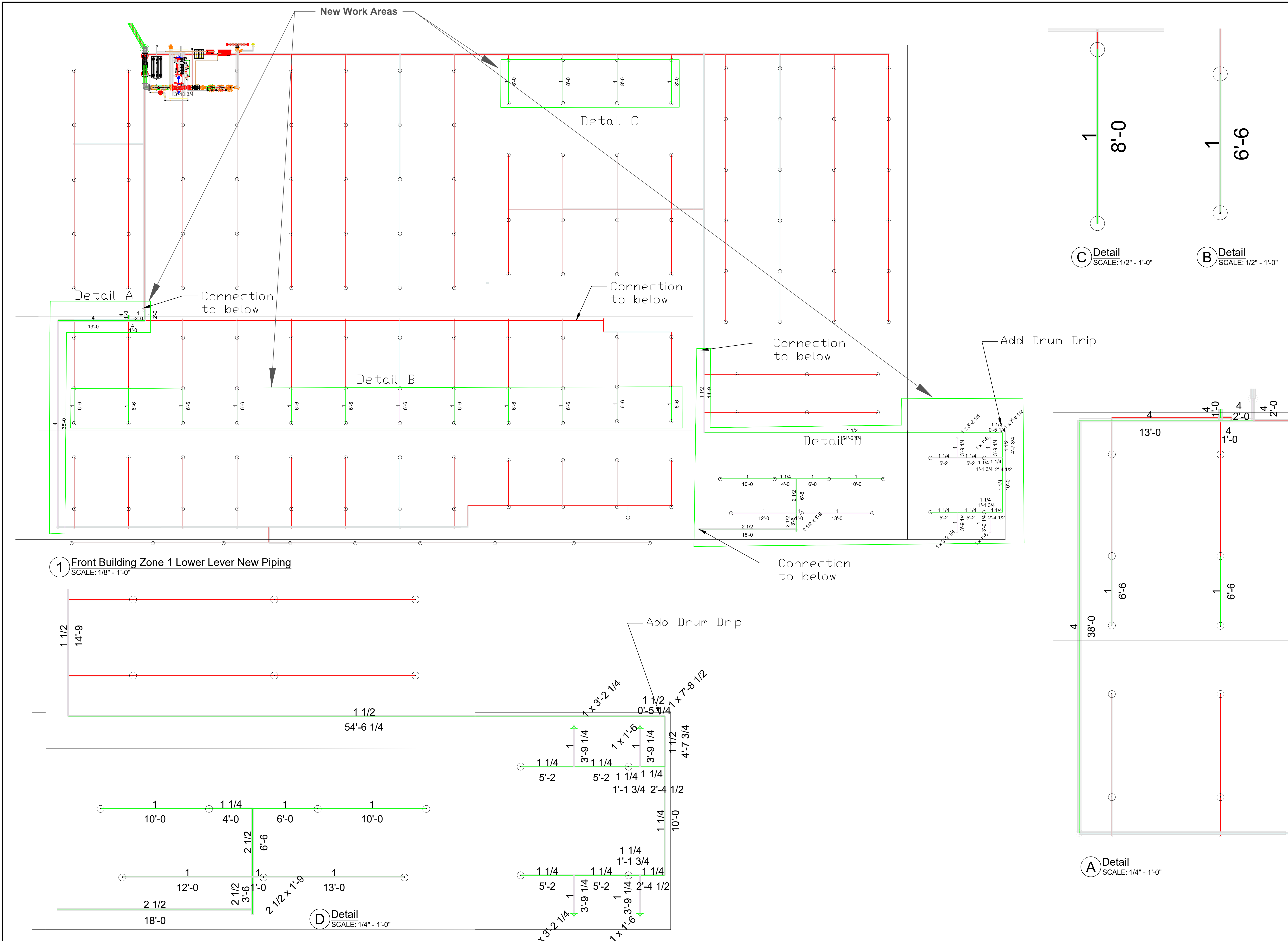
PROJECT:
SPRINKLER RENOVIATION

ADDRESS:
180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:
Sprinkler System Renovation

PROJECT No: F5447 - 34
DESIGNED BY: ASA/QXL
DRAWN BY: ASA
DATE: 12/15/2023
SCALE: No Scale
DWG. No.: FP-06

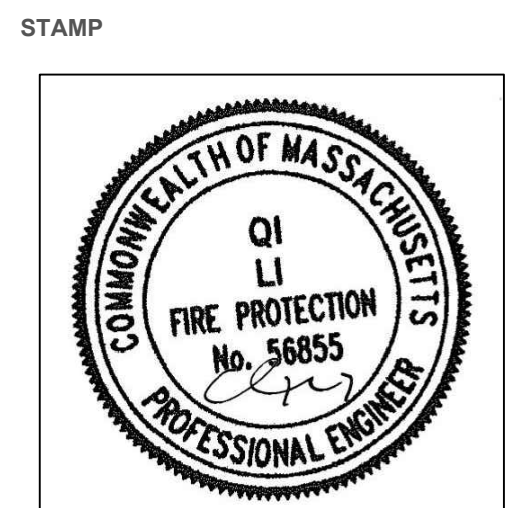
SHEET NAME
Front Building Zone 1 Lower Lever New Piping Drawing



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REVISIONS		
Number	Description	Date

PROJECT:
SPRINKLER RENOVATION

ADDRESS:
180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:
Sprinkler System Renovation

PROJECT No: F5447 - 34
DESIGNED BY: ASA/QXL
DRAWN BY: ASA
DATE: 12/15/2023
SCALE: No Scale
DWG. No.: FP-07

SHEET NAME
Front Building Zone 1 Upper Lever New Piping Drawing

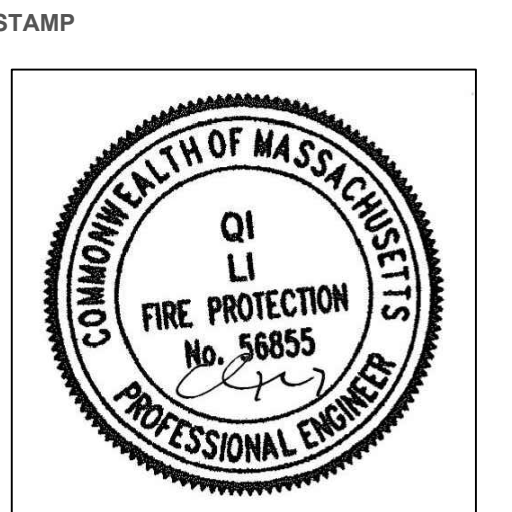


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REVISIONS		
Number	Description	Date

PROJECT:
SPRINKLER
RENOVATION

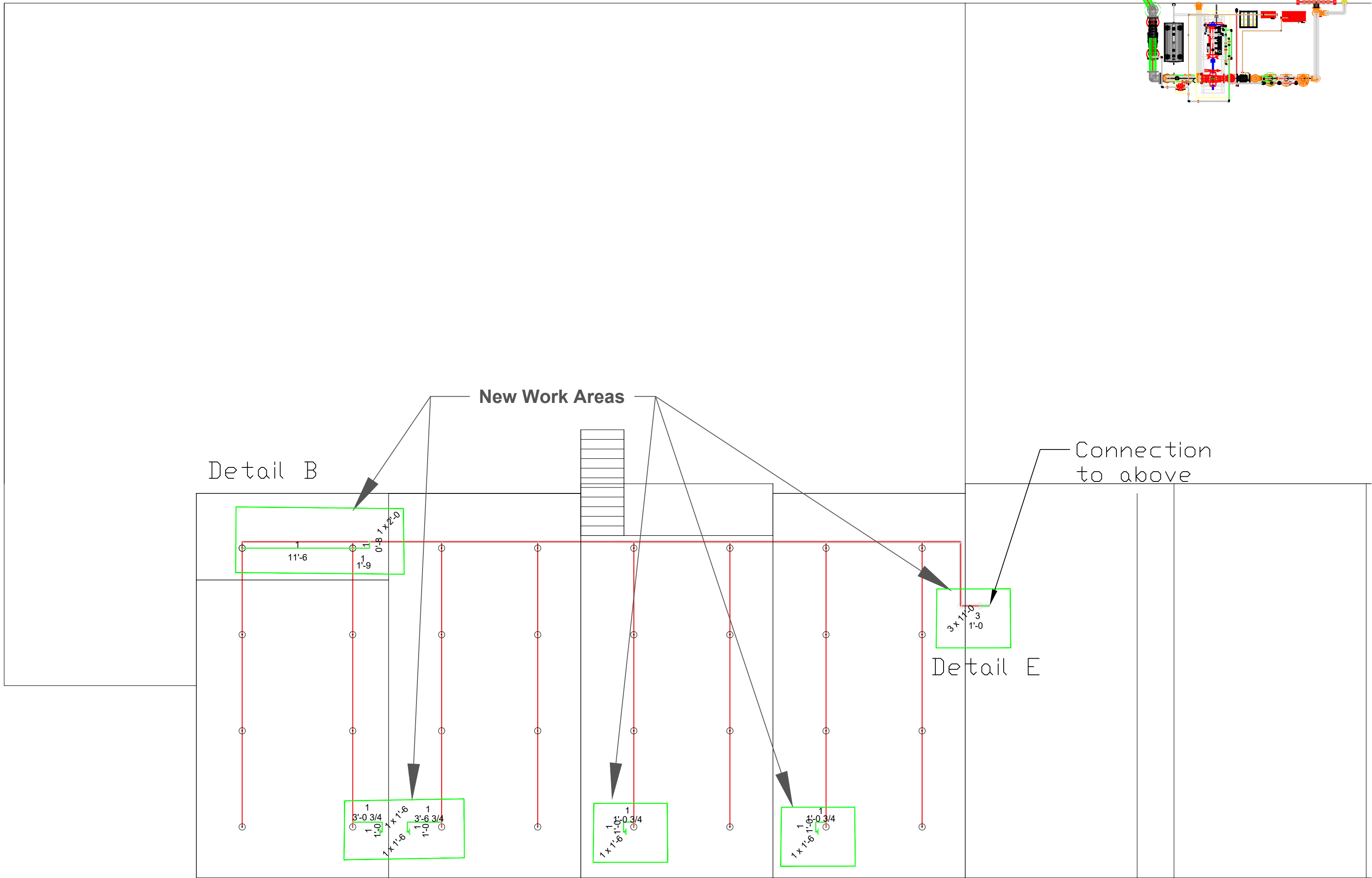
ADDRESS:
180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:
Sprinkler System
Renovation

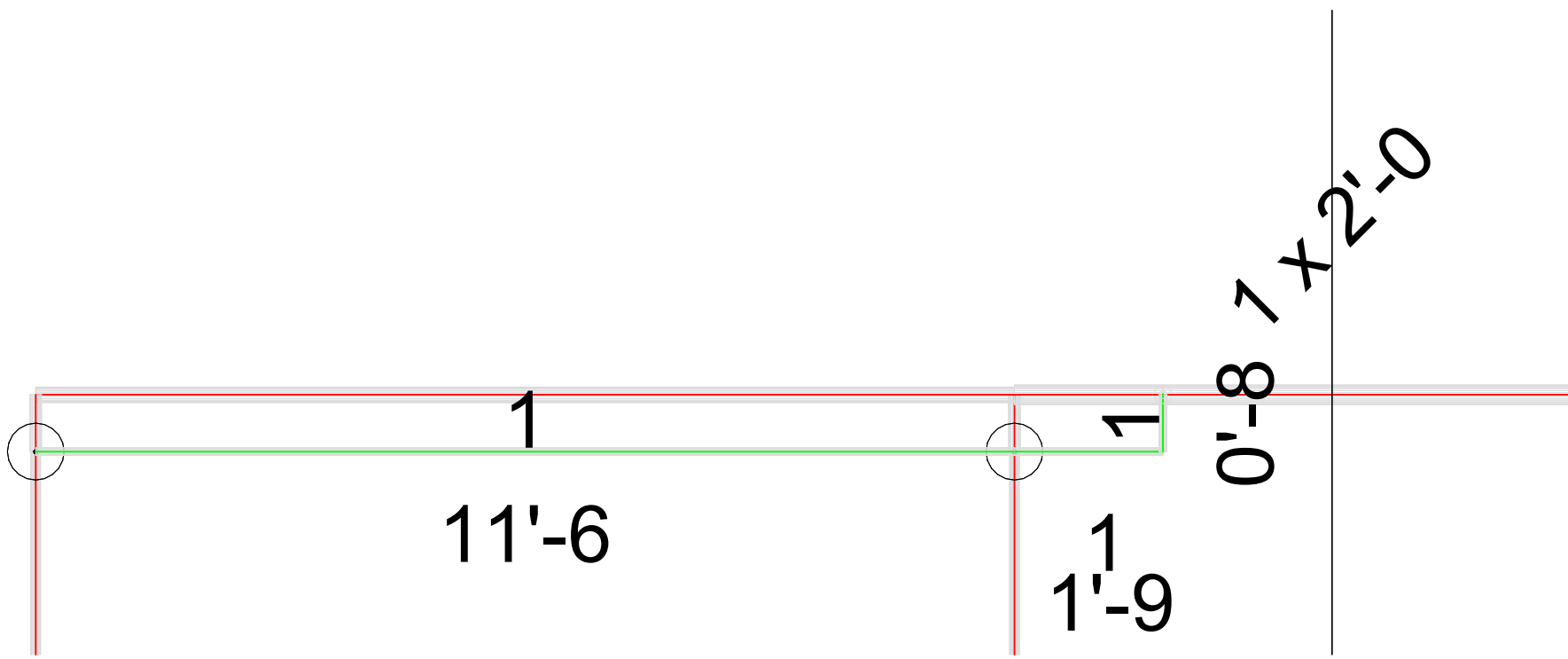
PROJECT No: F5447 - 34
DESIGNED BY: ASA/QXL
DRAWN BY: ASA
DATE: 12/15/2023
SCALE: No Scale
DWG. No.: FP-08

SHEET NAME
Front Building Zone 2 Lower
Lever New Piping Drawing

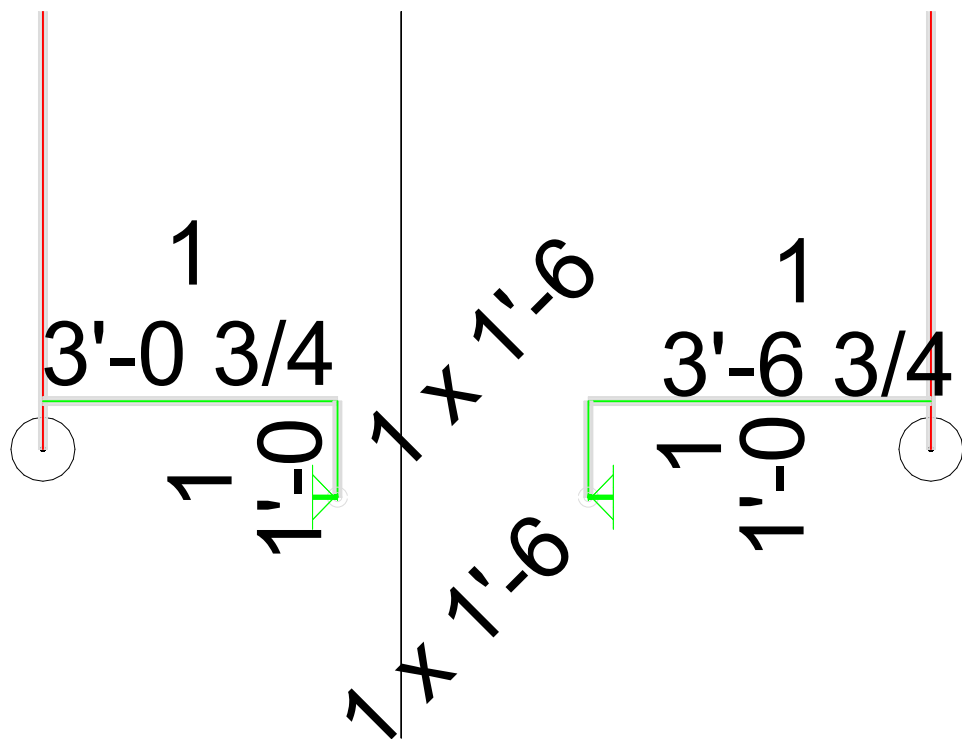
SHEET 8 OF 13



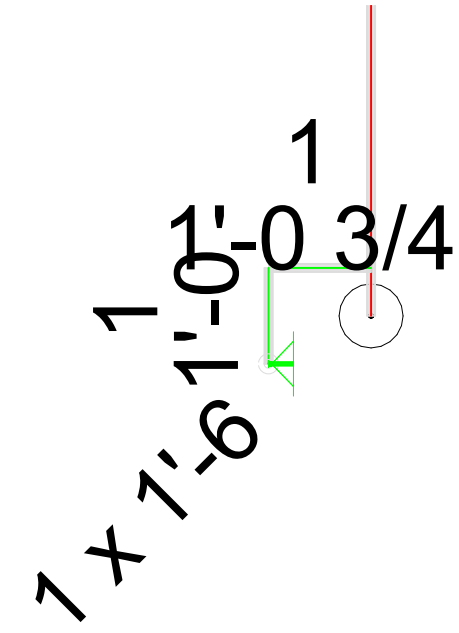
1 Front Building Zone 2 Lower Lever New Piping
SCALE: 1/8" - 1'-0"



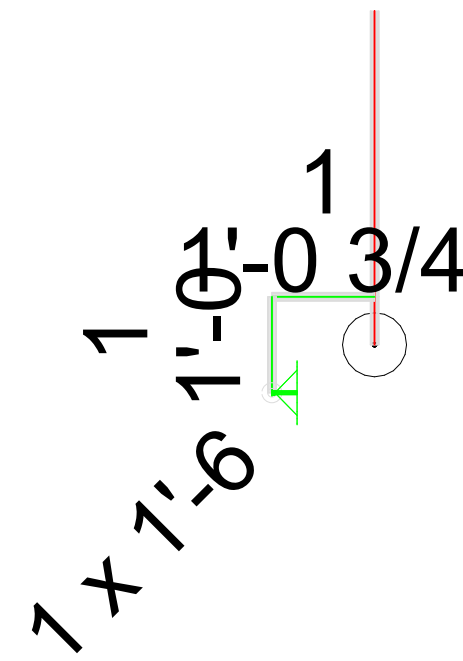
B Detail
SCALE: 1/2" - 1'-0"



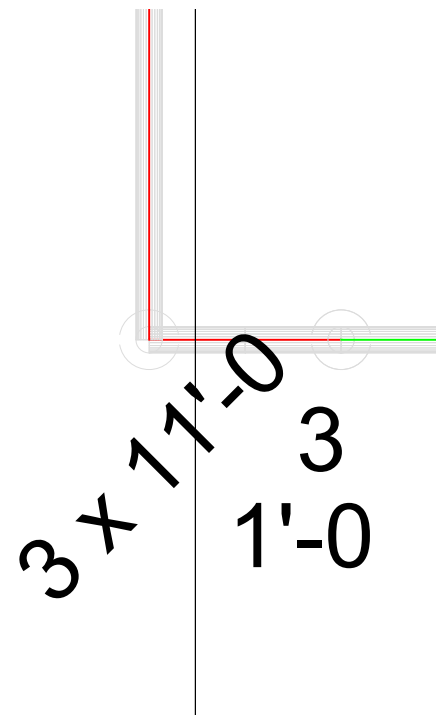
A Detail
SCALE: 1/2" - 1'-0"



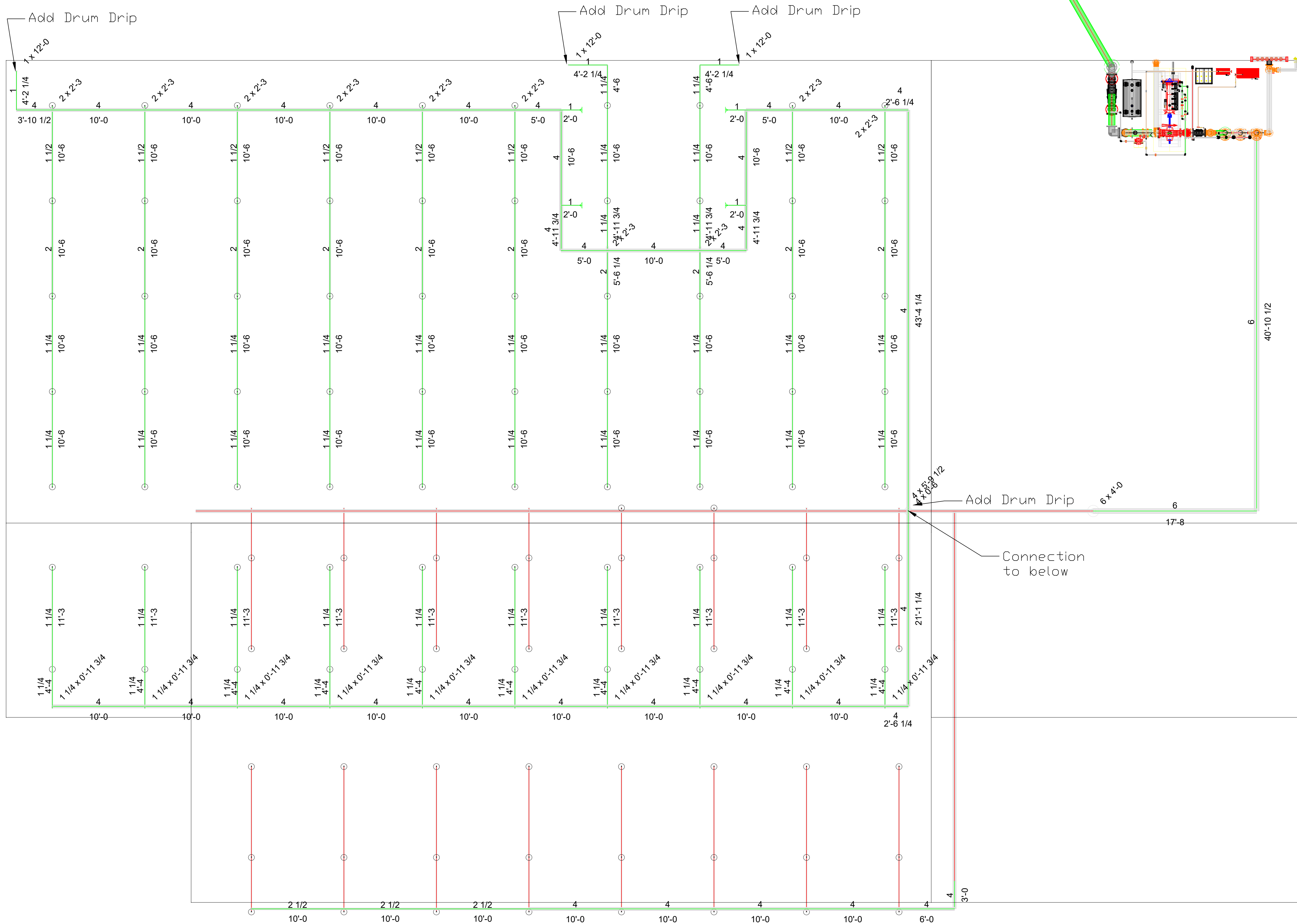
C Detail
SCALE: 1/2" - 1'-0"



D Detail
SCALE: 1/2" - 1'-0"



E Detail
SCALE: 1/2" - 1'-0"



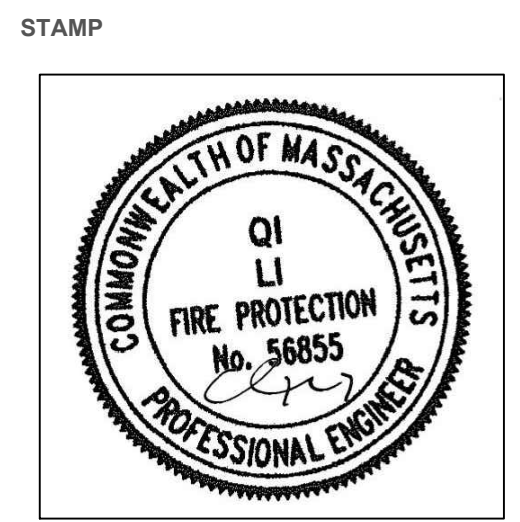
1 Front Building Zone 2 Upper Level New Piping
 SCALE: 3/16" = 1'-0"



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Number	Description	Date

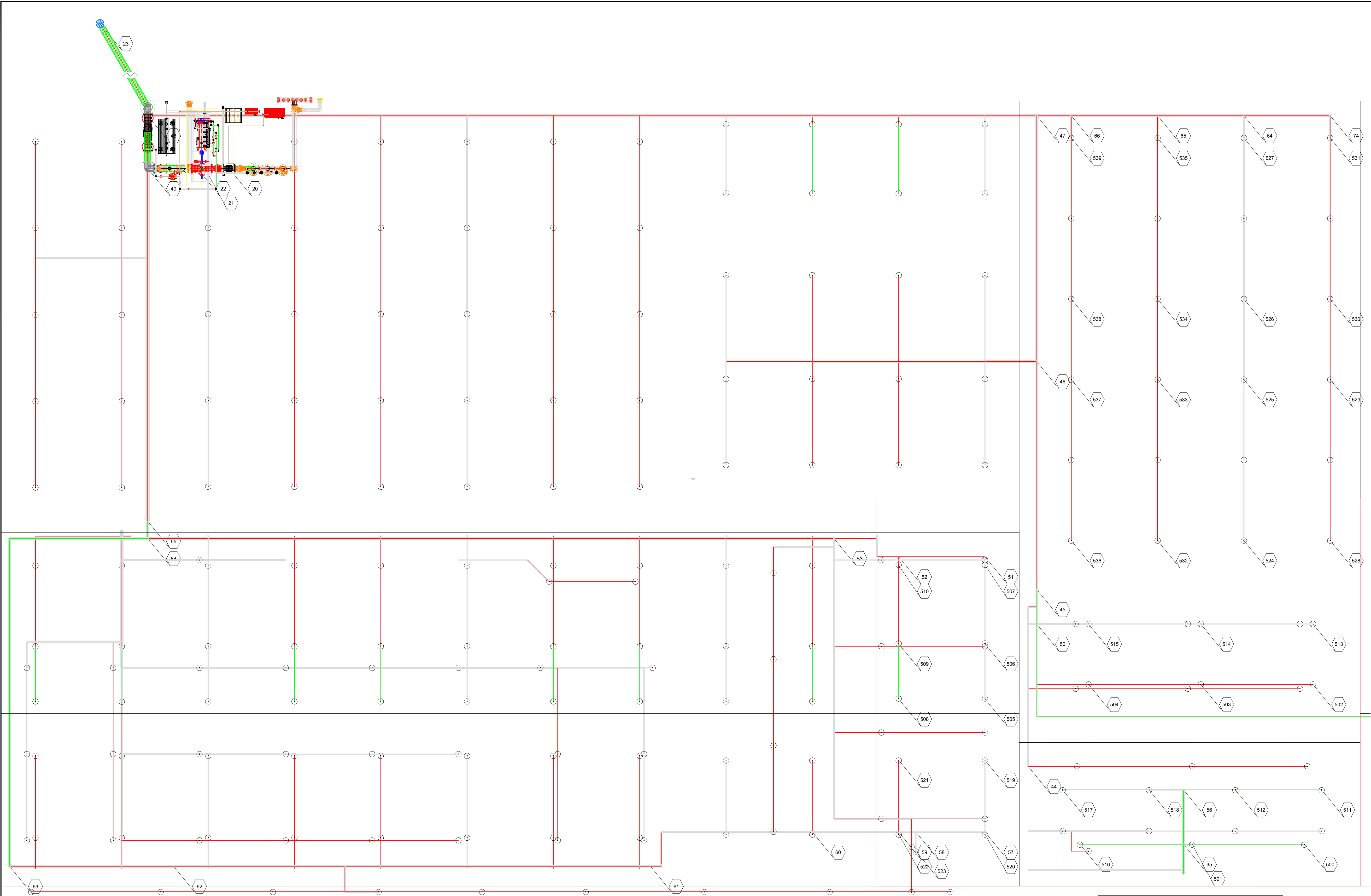
PROJECT:
SPRINKLER RENOVATION

ADDRESS:
 180 MAIN STREET
 CHERRY VALLEY, MA 01611

TITLE:
 Sprinkler System Renovation

PROJECT No: F5447 - 34
 DESIGNED BY: ASA/QXL
 DRAWN BY: ASA
 DATE: 12/15/2023
 SCALE: No Scale
 DWG. No.: FP-09

SHEET NAME
 Front Building Zone 2 Upper Level New Piping Drawing



1 Front Building Zone 1 Nodes
SCALE: 3/16" = 1'-0"

Hydraulic Information	
OCCUPANCY CLASSIFICATION	Ordinary Group II
DENSITY	0.200 gpm/ft ² for 1500.00ft ² (Actual 2520.00ft ²)
TOTAL HOSE STREAMS	250.00
DRY CAPACITY	0.00gal
TOTAL HEADS FLOWING	28
K-FACTOR	5.6
TOTAL WATER REQUIRED	1137.63
TOTAL PRESSURE REQUIRED	-9.061
BASE of RISER (gpm)	0.00
BASE of RISER (psi)	0.000
SAFETY MARGIN (psi)	+46.291 (124.3%)



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REVISIONS

Number	Description	Date

PROJECT:

SPRINKLER
RENOVATION

ADDRESS:

180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:

Sprinkler System
Renovation

PROJECT No: F5447 - 34

DESIGNED BY: ASA/QXL

DRAWN BY: ASA

DATE: 12/15/2023

SCALE: No Scale

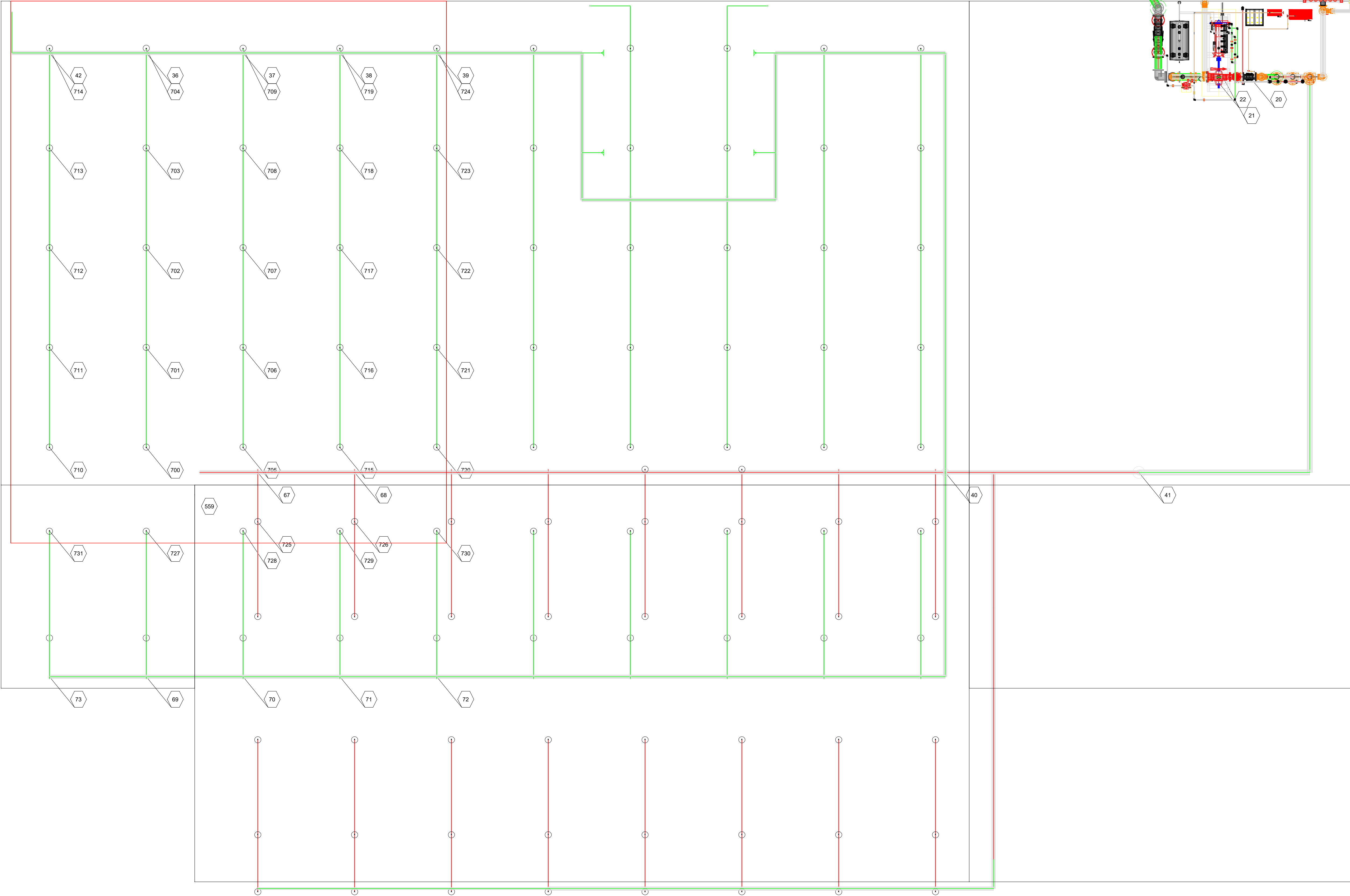
DWG. No.: FP-10

SHEET NAME

Front Building Zone 1
Node Drawing

SHEET 10 of 13

Hydraulic Information	
OCCUPANCY CLASSIFICATION	Ordinary Group II
DENSITY	0.200gpm/ft² for 1500.00ft² (Actual 2520.00ft²)
TOTAL HOSE STREAMS	250.00
DRY CAPACITY	0.00gal
TOTAL HEADS FLOWING	32
K-FACTOR	5.6
TOTAL WATER REQUIRED	1306.32
TOTAL PRESSURE REQUIRED	2.098
BASE of RISER (gpm)	0.00
BASE of RISER (psi)	0.000
SAFETY MARGIN (psi)	+33.158 (94.0%)



1 Front Building Zone 2 Nodes
SCALE: 3/16" = 1'-0"

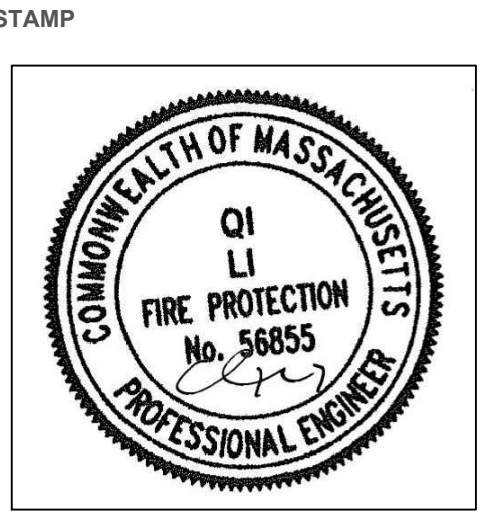


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REVISIONS		
Number	Description	Date

PROJECT:
**SPRINKLER
RENOVATION**

ADDRESS:
180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:
**Sprinkler System
Renovation**

PROJECT No: F5447 - 34
DESIGNED BY: ASA/QXL
DRAWN BY: ASA
DATE: 12/15/2023
SCALE: No Scale
DWG. No.: FP-11

SHEET NAME
**Front Building Zone 2
Node Drawing**



STAMP

PROJECT: _____

ADDRESS:
180 MAIN STREET
CHERRY VALLEY, MA 01611

TITLE:

PROJECT No: F5447 - 34

DESIGNED BY: ASA/QXL

DRAWN BY: ASA

DATE: 12/15/2023

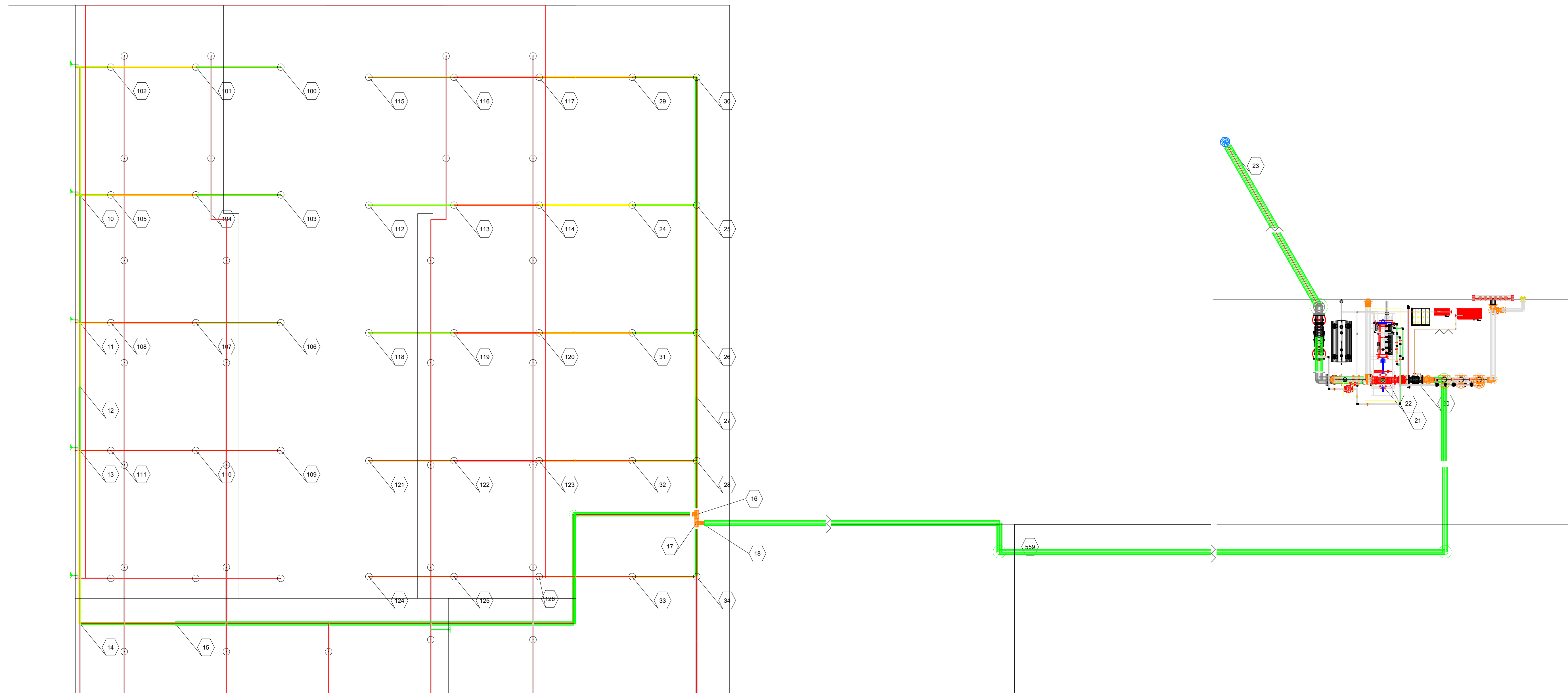
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DWG. No.: FP-12

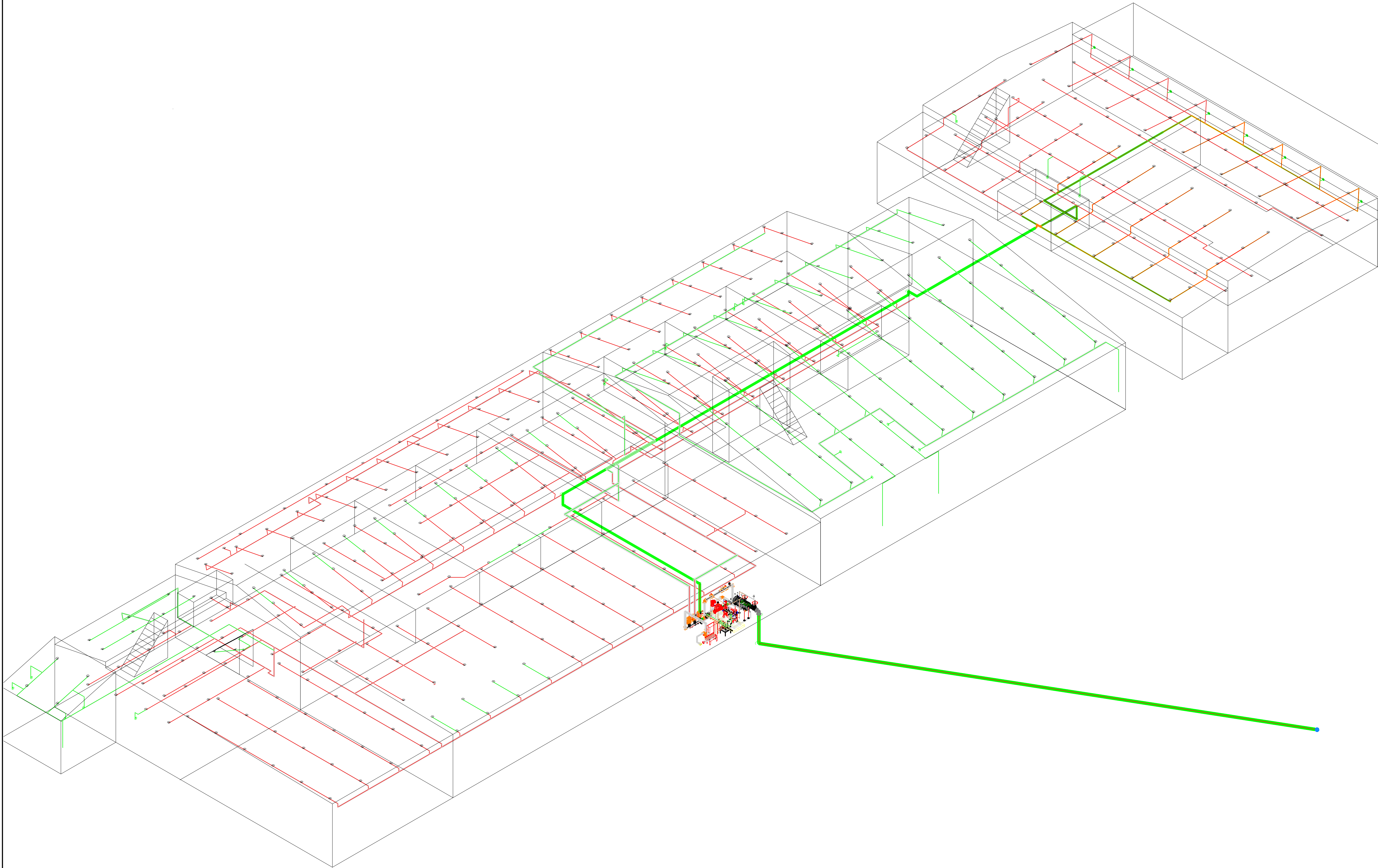
SHEET NAME

Back Building Node Drawing

SHEET 12 OF 13



1 New Sprinkler Installation Back Building Nodes



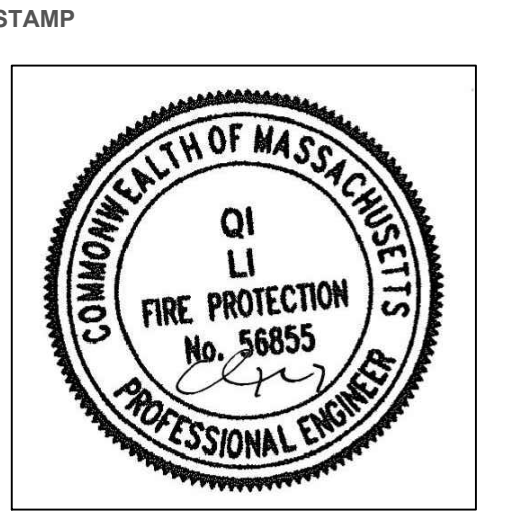
1 New Sprinkler ISO
SCALE: NTS



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REVISIONS		
Number	Description	Date

PROJECT:
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ADDRESS:
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TITLE:
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Renovation**

PROJECT No: F5447 - 34
DESIGNED BY: ASA/QXL
DRAWN BY: ASA
DATE: 12/15/2023
SCALE: No Scale
DWG. No.: FP-13

SHEET NAME
ISO Drawing