

October 10, 2023

Leicester Planning Board
Town of Leicester
3 Washburn Square
Leicester, Massachusetts 01524

Re: 1621 Main Street
Site Plan Review, Special Permit

To the Planning Board:

We are in receipt of the following information package submitted in reference to a proposed commercial development located at 1621 Main Street:

- Plans entitled “Site Plan Set for Proposed Restaurant & Retail Development, 1621 Main Street (RTE-9), Leicester Ma 01524”, consisting of 19 sheets, prepared by Civil Design Group, LLC of North Andover, MA.
- A package of information, including
 - a submission letter addressed to Leicester Planning Board dated September 13, 2023, from Thomas R. Reidy, Esq; Bacon/Wilson
 - Applications for Site Plan Review and Special Permit
 - Site Plan Review/Special Permit Narrative, undated
 - Stormwater Management Report, dated August 2023 prepared by Civil Design Group, LLC of North Andover, MA.
- Memorandum addressed to Mr. Hussein Yatim, HY Ventures Leicester, LLC, dated September 14, 2023, regarding “Proposed Starbucks w/ Drive Through & Retail Facility”. Memorandum addresses traffic impacts.

At the request of the Board, we have reviewed plans of for conformance with §5.2.03, *Site Plan Review* and other appropriate sections of the Leicester Zoning Bylaw, *Site Plan Review Regulations*, *Special Permit Regulations*, *Parking Regulations* and *Stormwater Regulations*.

Our comments on the submitted information follows:

1. The submitted information should include the anticipated schedule for development. (REF: Site Plan Review Regulations, II, E, 4)
2. Leicester Planning Board may wish to request the Engineer address pedestrian access. (REF: §5.5.02.2, A, 8)
3. Accessible parking spaces are called out to be 8 feet wide; minimum parking space width is 10 feet, (REF: §5.5.02.2,B, 1, and *Leicester Parking Regulations* IV, A)
4. The abutting property at 1625 Main Street appears to be in residential use. §5.5.02.2, B requires a 50 foot landscape buffer on sites where a non-residential use abuts a residential use. Per §5.5.02.2, E, access drives may be allowed in the buffer areas, except that Leicester Planning Board may require an opaque fence and/or other plantings. In the area where the site abuts this property, no landscape buffer is found, however, an access drive is proposed. Leicester Planning Board may wish to request the Engineer address compliance with these bylaws.
5. Parking spaces are proposed within 50 feet of the of the property line with 1625 Main Street. Parking is not allowed within buffer areas. (REF: 5.5.02.2, H)

6. The entrance drive from 1603/1605 Main Street is 24 feet in width. Drives which serve access/egress must be a minimum of 25 feet in width. (REF: §5.5.02.2, C, 2; also Leicester Parking Regulations IV, C).
7. Plans should document areas of site which are to be cut or filled. It is believed that the entire site will be filled. (REF: Leicester Stormwater Regulations 4.0, A)
8. Engineer should document that landscaping area complies with 5% area requirement identified in §5.5.02.2, I.
9. Site lighting plan indicates that minimal light spill (less than 1 fc) will occur on the neighboring parcels to the north and west. In the area of the driveway to the proposed commercial development at 1603/1605 Main Street, peak lighting intensity of 2.2 fc is found. At the entrance ramp from Main Street, the peak lighting intensity is 1.4 fc. Site lighting is not regulated in Leicester; it is the opinion of this office that the lighting in these areas is appropriate.
10. The Narrative on the site plan indicates that during times of peak demand, the restaurant may be staffed with 6 – 8 employees. The parking calculation is based on a maximum of 6 employees. Leicester Planning Board may wish to request an opinion from the Leicester Zoning Enforcement Officer as to parking adequacy.
11. The Fire Apparatus Circulation plan indicates that maneuvering apparatus may conflict with parked vehicles and with a light post. Leicester Planning Board may wish to request the input of Leicester Fire Department.

12. Stormwater collected from this site will be discharged to a stormwater basin which will be shared in common with the development at 1603/1605 Main Street.

This shared use should be governed by an agreement or easement which will:

- Define how maintenance or repair responsibilities and costs will be shared by parties which use the basin.
- Provide deeded rights which ensure the ongoing use of common stormwater facilities by both parties.

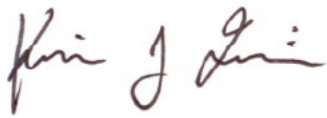
13. Plans for the stormwater basin should depict and identify the (separate) stormwater basin improvements proposed for 1603/1605 Main Street.

14. The drive-through has a queue line which accommodates thirteen vehicles. While this queue line is considered to be optimal for the site, it remains possible that at times of peak demand, customer vehicles may extend beyond this queue line.

Please don't hesitate to contact this office with questions you may have.

Sincerely,

QUINN ENGINEERING, INC.

A handwritten signature in dark ink, appearing to read "Kevin J. Quinn". The signature is fluid and cursive, with the first name "Kevin" and last name "Quinn" clearly distinguishable.

Kevin J. Quinn, P.E.

President