



Town of Leicester PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

PLANNING BOARD AGENDA

Tuesday, December 5, 2023, 7PM
Meeting Room 3

- **Administrative**
 - Approval of minutes from October 3, 2023

- **Public Hearing**
 - **7:05pm: SP-2023-04 & SPR-2023-05 Patriot Storage LLC**
3 Blueberry Lane, Leicester MA Map 26A-B2-0. Zone: BR-1
The Applicant proposes storing of relocatable storage units along a fenced lot line.
 - ***Continued from October 17, 2023 & Rescheduled from November 21, 2023-***
SP-2023-03 & SPR-2023-03 HY Ventures Leicester, LLC.
1621 Main Street, Leicester MA Map 18A, Parcel 13. Zone: HB-1
The project includes the demolition of the existing abandoned single-family home and construction of an approximately 3,900 sq. ft. commercial building with 30 parking spaces and a drive-through for a proposed Starbucks and nail salon at 1621 Main Street

- **Old Business**
 - **SP2021-03 11 Hankey Street, WorcShop-Continued**
Request by applicant to amend Special Permit SP2021-03
 - Elect CMRPC Delegate and Alternate

- **New Business**
 - Project Closeout- 0,90,92 Huntoon Memorial Highway
 - Approval of 2024 meeting dates

- **Town Planner Report/General Discussion**

- **Adjourn**

****Note: Agenda times for items that are not public hearings may be taken out of order.***

“The listings of matters are those reasonably anticipated by the Chair 48 hours before said meeting, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

Minutes

October 3, 2023

Leicester Planning Board Meeting Minutes October 3, 2023

Location: Leicester Town Hall, Meeting Room 3

Member Present: Joshua Campbell, James Reinke, Sharon Nist, Anthony Escobar, Lee Dykas

Members Absent: None

Others Present: Kristen Jacobsen, Town Planner, Lisa Westwell, Administrative Assistant

Call to Order: Chairman Campbell called the meeting to order at 7:00 PM

1. Approval of 9/19/2023 Minutes

Motion: Ms. Nist moved to accept the 9/19/23 minutes

Second: Mr. Reinke

Discussion: None

Vote: Five – yes. Motion carried unanimously

Town Planner Report

Ms. Jacobsen went through the drafts of the permitting forms for Planning and Zoning. Mr. Reinke asked if they could get copies of the old forms and if a lot of information was culled. Ms. Jacobsen said she would provide the original forms and that the information was the same in a new format. Mr. Reinke asked how close Town is to getting an online permitting portal. Ms. Jacobsen said it is still quite ways out and then it is probably six months to implement. She explanation that paper forms will still need to be available as will full size plan sets, and the Town Clerk and Assessors need paper copies. She also stated that she is working on getting the office a plotter. There was brief discussion about what information will be available in the new online permitting database.

Review of Town Zoning-Bylaws

Ms. Jacobsen describes the first set of changes to the Zoning Bylaw including editing the definition section and editing the use table . Mr. Reinke asked if she was doing a red-line document for Board review and she stated yes. The current fee schedule was discussed in general and particularly with regard to the Special Permit fee being high and legal ad fees being paid for directly by the applicant.

Mr. Reinke spoke about a recent EDC meeting he attended and the benefit of considering technical review prior to Planning submittals. Ideas included setting a specific day and time for tech review meetings and giving applicants feedback before they submit their plan. Ms. Jacobsen stated that all Staff comments from tech review meetings should be submitted in writing to the Town Planner. Mr. Reinke suggested a deadline for comments.

Ms. Nist asked if Valley Mart had complied with Planning Board orders for parking and removal of extra cars. Mr. Reinke suggested having a conversation with Harold Leaming, the Building Inspector/Zoning Enforcement Officer to assist with follow-ups. There was discussion about what

types projects would be inspected by the Planning Board, Kevin Quinn, PE with Quinn Engineering, or the Building Inspector.

Mr. Dykas said he wants to look at the CB zone because current zoning has no business use allowed by right, but only be Special Permit or not allowed at all. Mr. Campbell said the Agricultural uses should be less restrictive and that zoning in general is too restrictive.

Ms. Jacobsen mentioned that Auburn has a tiny house bylaw and other towns have battery energy storage bylaws and Leicester might want to consider these. She also said that she began re-formatting the bylaws and will provide the Board with copies of the zoning map. Mr. Reinke would like to discuss getting a battery storage zoning article on the 2024 Annual Town Meeting warrant and look at the HB-1 zone for mixed use apartments and small retail. Ms. Nist said that Chapel St. will have MBTA service. Mr. Reinke asked Ms. Jacobsen to have reformatted bylaws, red-lined and zoning maps for the next meeting.

Ms. Jacobsen informed the Board that the Town received funding to update the Master Plan.

General Discussion

Mr. Reinke said he sent Ms. Jacobsen the information he had on 190 Main St. Ms. Jacobsen asked who was inspecting and Mr. Reinke said Planning Board members had been out twice and the applicant was making progress on the issues. He thinks the milestones the Board set have passed and the applicant should attend the next meeting. Discussion of next meeting dates: November 21st, December 5th and December 19th.

Mr. Reinke asked about the status of Joe's Auto and who is checking on compliance. Ms. Jacobsen said the office has not received anything yet, there are cars parked all over, and there may be future plans for someone to buy the property. Mr. Campbell said a 100 car permit was requested. Mr. Dykas said Joe wants to square off his property. Ms. Jacobsen said she would reach out to Joe at Joe's Auto.

Mr. Campbell asked if there were any committee updates.

Ms. Nist said Capital Improvement met today and ranked department requests totally \$559,453 and sent recommendations to the Town Administrator. Requests included:

- Fire Dept – new fire truck
- Library – 14 computers
- DPW – new dump truck, mower, and F450
- Police Dept – new floor and expanded detective work area
- High School and Middle School – boiler replacement
- Town Hall – backup generator

Mr. Reinke said the EDC met and are looking for ideas to generate revenue and bring in new business.

Motion: Mr. Reinke made a motion to adjourn

Second: Ms. Nist

Discussion: None

Vote: Five – yes. Motion carried unanimously

Meeting adjourned at 8:11 p.m.

Respectfully Submitted by:
Lisa Westwell, Administrative Assistant
to the Planning Department

Date Approved: _____

Planning Board Signatures

Joshua Campbell, Chair

Anthony Escobar

James Reinke, Vice Chair

Lee Dykas

Sharon Nist

SPR-2023-05 & SP-2023-04 3 Blueberry Lane Modification



Town of Leicester PLANNING BOARD

LEICESTER, MASSACHUSETTS, 01524-1333

Phone: 508-892-7007 Fax: 508-892-7070

www.leicesterma.org

RECEIVED

2023 NOV -6 PM 1:20

TOWN CLERK'S OFFICE
LEICESTER, MASS.

PUBLIC HEARING NOTICE LEICESTER PLANNING BOARD SP-2023-04 and SPR-2023-05

In accordance with MGL Ch.40A Section 9 the Leicester Planning Board will hold a public hearing on **Tuesday, December 5, 2023 at 7:05 PM** in Meeting Room 3 at the Leicester Town Hall, 3 Washburn Sq., Leicester, MA 01524 to review a Special Permit (SP-2023-04) and Site Plan Review (SPR-2023-05) application submitted by Justin Zuffante, Patriot Storage LLC, 1655 Main Street, Leicester, MA 01524. The Applicant proposes storing of relocatable storage units along a fenced lot line.

Site Location: 3 Blueberry Lane, Leicester MA 01524. Said premises being further described in Worcester County Registry of Deeds Book 57636 Page 338. Assessor Parcel 26A-B2-0, Zone: Business Residential-1 (BR-1).

A copy of the application may be inspected in the Town Clerk's Office during regular business hours or online at leicesterma.org/pb. Any person interested or wishing to be heard on this application should appear at the time and place designated or submit written comments on or before the hearing date by mail or email at planning@leicesterma.org.

Joshua Campbell, Chair
Leicester Planning Board

To be published in the Worcester Telegram & Gazette on:
Tuesday, November 21, 2023 and Tuesday, November 28, 2023

Kristen Jacobsen
Town Planner

3 Washburn Square

Leicester MA, 01524

508.892.7000 ext. 120

www.leicesterma.org

Planning Department

Request for Modification of Approval Site Plan / Special Permit / Variance



Applicant

RECEIVED

NOV - 2 2023

Town of Leicester
Planning Department

Owner

RECEIVED
2023 NOV - 2 PM 3:57
TOWN CLERK'S OFFICE
LEICESTER, MASS.

Proposal

Name of Applicant (primary contact): Justin Euffank

Company: Patriot Storage LLC

Address: 1655 Main St Leicester MA 01524

Phone: _____ Cell: 774-289-5344

Email Address: SeamlessCustom@gmail.com

Name of Owner: SAME

Address: _____

Phone: _____ Cell: _____

Email: _____

The undersigned herewith resubmits the accompanying additional plan, materials, information, etc., relative to the previously filed Site Plan Application No. _____ and/or Special Permit Application No. _____ and/or Variance Application No. _____ for property located on/at 3 Blueberry Lane and decision recorded at the Worcester Registry of Deeds, Deed Book 57636, Page 338, dated 7/12/21 and/or Plan Book _____, Page _____.

With this submission of this form, and any other materials requested by the Planning and Community Development Department, I am hereby requesting a modification of said permit, for good reason, as described here or on additional pages.

Storage of Relocatable storage units along fenced lot line

Signature

Original Owner's Signature (Blue Ink Only): [Signature]

Date: 11/1/23

Mailing Address: 140 Spencer Rd

Town/State/Zip: Oakham MA 01068

Phone Number: 774-289-5344

Email: SeamlessCustom@gmail.com

Office Use only

Meeting Date _____

Board's Decision _____

Site Plan fee \$200
SP fee \$200
pd CIC # 0109 11/2/23 \$400



Planning Department
3 Washburn Square, Leicester MA 01524
Tel: (508)892-7007 x120

Billing Authorization Form

RECEIVED

To:

NOV - 2 2023

Town of Leicester

From:

Town of Leicester
Planning Department

Billing Authorization Form

RE:

In accordance with Massachusetts General Laws (MGL), c. 40A, §11, which reads in part,
"Notice shall be given by publication in a newspaper of general circulation in the city of town once in each of two successive weeks, the first publication to be not less than fourteen days before the day of the hearing..."

I hereby authorize Local I.Q. New England to bill me directly for the attached Legal Notice(s) to be published for two successive weeks in the **Worcester Telegram** on the following dates:

_____ and _____

For property located at: 3 Blueberry Lane Leicester MA, Ware, MA.

Please print legibly:

Bill To: Patriot Storage LLC

Address: 3 Blueberry Lane

City/State/Zip: LEICESTER MA 01524

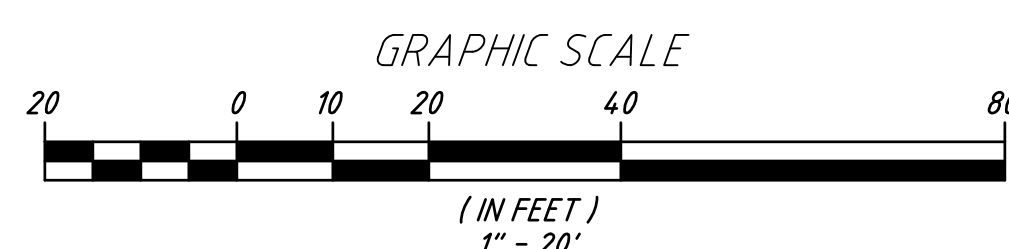
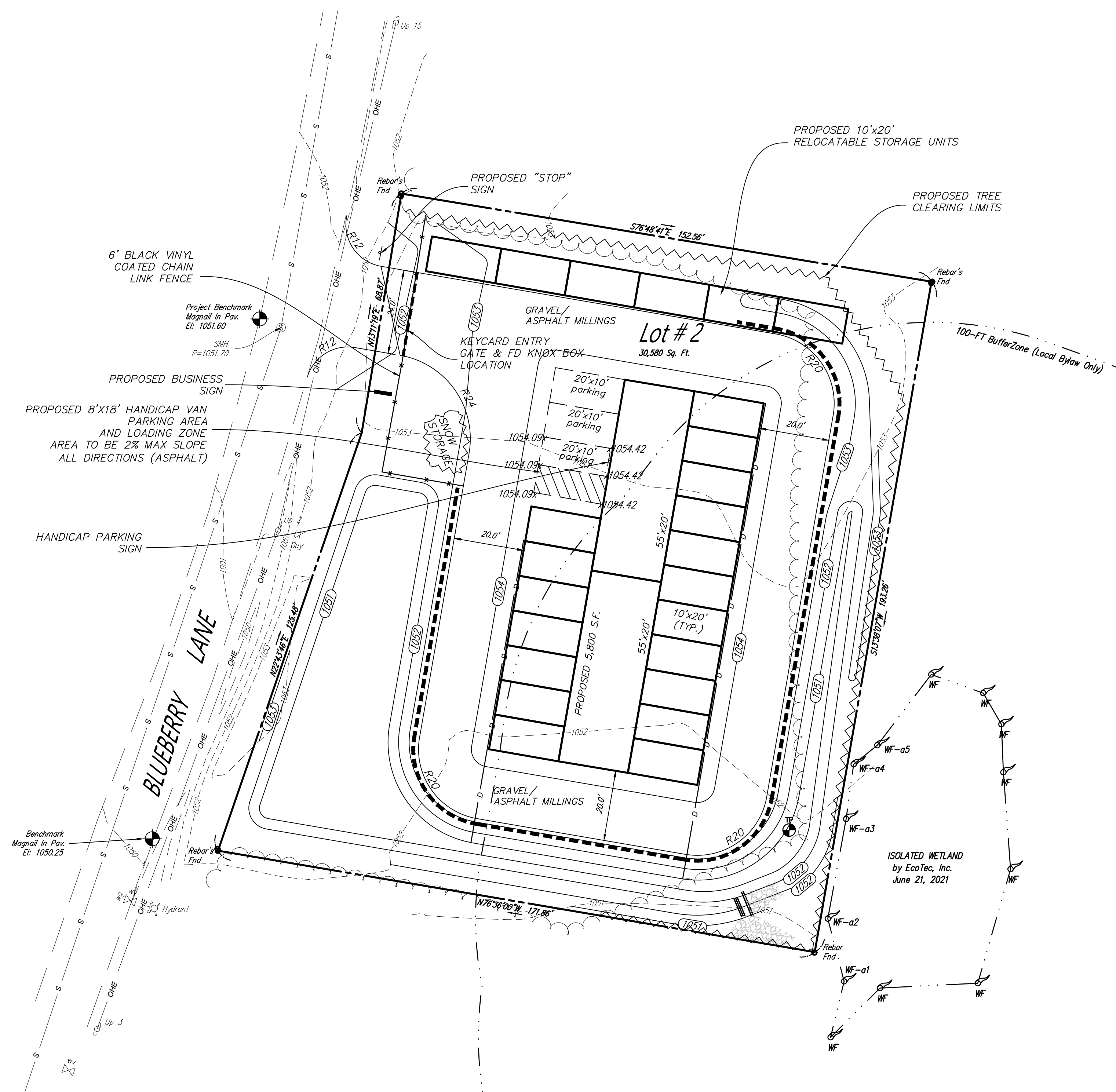
Telephone: 774-289-5344

Email: PatriotStorageMA@gmail.com

Signature

Date

Payment to be remitted to: Gatehouse Media Massachusetts I, Inc
P.O. Box 631210
Cincinnati, OH 45263-1210



10



Town of Leicester PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
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MEMORANDUM

To: Planning Board
From: Kristen Jacobsen, Town Planner
Date: November 29, 2023
Re: Department Comments

Board of Health

11/9/2023- Board of Health is fine with the proposed.

DPW

11/9/2023- DPW is fine with the proposed changes.

Conservation Commission

11/10/23- No conservation issue

Fire Department

11/9/23- The LFD Fire Prevention office is fine with the proposed changes.

Police Department

11/8/23- LPD is fine with the expansion as presented.

SP-2023-01 & SPR-2023-01
1621 Main Street


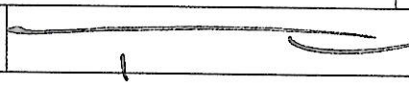
SPR-2023-01 & SP-2023-01

For Planning Office Use:
File #:

**Leicester Planning Board
Site Plan Review & Special Permit Application Form**

PERMIT TYPE: ☐ Special Permit ☒ Site Plan Review

CONTACT INFORMATION

Owner Information			
Name:		Company Name:	HY Ventures Leicester, LLC
Signature:			
Address:	313 Boston Post Road, Suite 120, Marlborough, MA 01752		
Phone:	(413) 256-6701	Email:	treidy@baconwilson.com
Applicant Information			
Name:	See Owner Information.		Company Name:
Signature:			
Address:			
Phone:		Email:	
Primary Contact Person <i>(The person that will be contacted by Planning Board staff during the application process.)</i>			
Name:	Thomas R. Reidy, Esq.	Company Name:	Bacon Wilson, P.C.
Address:	6 South East Street, Amherst, MA 01002		
Phone:	(413) 256-6701	Email:	treidy@baconwilson.com

PROJECT INFORMATION

Project Address:	1621 Main Street	Zoning District:	HB-1
Assessors Map & Parcel #	18A-13	Deed Reference (Book & Page):	Book 68752, Page 283
Applicable Zoning Bylaw Section(s):		3 2 03 Business (1 and 6-Restaurant and Service) Allowed by Right, 3 2 03 Business (11 Drive-Through) Allowed By Special Permit	
Proposed Land Use:	Nail Salon and Starbucks with a drive-through		
Existing Land Use:	Abandoned Single Family Home Lot		

PROJECT INFORMATION, Continued

Size of Proposed Structure(s):		3,900 Square Feet (2,400 Square feet- Starbucks, 1,500 Square Feet- Nail Salon)
Total Lot Area:	.921 Acres (40,123 Square Feet)	
Water Source: (Select One)	<input type="radio"/> Private Well	<input type="radio"/> Cherry Valley & Rochdale Water District
	<input type="radio"/> Hillcrest Water District	<input checked="" type="radio"/> Leicester Water Supply District
Sewer Source: (Select One)	<input type="radio"/> Private Septic System	<input type="radio"/> Cherry Valley Sewer District
	<input type="radio"/> Hillcrest Water District	<input checked="" type="radio"/> Leicester Water Supply District
	<input type="radio"/> Oxford Rochdale Sewer District	
Brief Project Description: Please include a brief description on this form (i.e. do not write "see attached"). [Examples: New construction of a 20,000s.f. retail building and associated parking; Use of a 1,000s.f. portion of an existing structure for a proposed pet grooming clinic.] The Applicant seeks to demolish the existing abandoned single family home and construct a 3,900 square foot commercial building with 30 parking spaces and a drive-through (2,400 square feet- Starbucks, 1,500 square feet- Nail Salon)		

Application Checklist

Use this checklist to ensure you have provided all required information. See Planning Board Site Plan Review & Special Permit Regulations for details. 13 copies are required except where noted.

<input type="checkbox"/> Plans (2-full-size & 11-11"x17")	<input type="checkbox"/> Detailed Project Narrative including any waiver requests ¹	<input type="checkbox"/> Drainage Analysis/ Stormwater Report, (3 copies) <input type="checkbox"/> n/a
<input type="checkbox"/> Documentation of Availability of Water & Sewer <input type="checkbox"/> n/a	<input type="checkbox"/> Certified Abutters List (1 copy) ² <input type="checkbox"/> n/a	<input type="checkbox"/> Traffic Study (3 copies) <input type="checkbox"/> n/a
<input type="checkbox"/> Fees ³	<input type="checkbox"/> .pdf copy of all required submittals (CD or USB Drive)	

¹ See Planning Board Site Plan Regulations for details on what should be included in a Project Narrative. For special permits that don't require conformance with Site Plan Review submittal requirements, submit a narrative explaining conformance with special permit approval criteria (see Special Permit Regulations for details).

² certified abutters lists are required for all Special Permits applications and for Major Site Plan Review Applications (new construction over 30,000 s.f. and ground-mounted solar over 250,000 s.f or 2 acres or more of tree clearing)

³ Please refer to the Planning Board's Fee Regulations. Checks must be made out to the Town of Leicester

For Planning Board Use:			
Date of Submittal:			
Public Hearing/Meeting Date(s):			
Date of Planning Board Vote:			
Date Decision Filed with Town Clerk:			

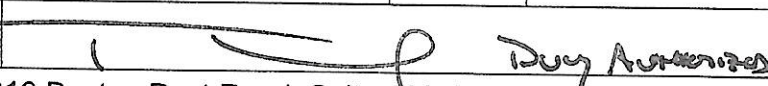
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Signature:			
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Phone:		Email:	

Primary Contact Person <i>(The person that will be contacted by Planning Board staff during the application process.)</i>			
Name:	Thomas R. Reidy, Esq.	Company Name:	Bacon Wilson, P.C.
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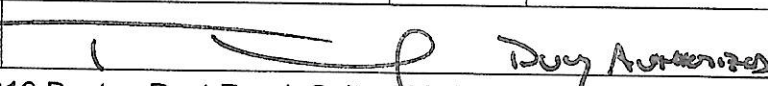
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HY VENTURES LEICESTER, LLC

1621 MAIN STREET

LEICESTER, MASSACHUSETTS

SITE PLAN REVIEW/SPECIAL PERMIT NARRATIVE

OVERVIEW

HY Ventures Leicester, LLC (the “Applicant”) is proposing the redevelopment of the parcel known as 1621 Main Street. The Site is currently comprised of an abandoned single-family home in disrepair. The Site is bounded to the west by woods, to the north by a residential property, to the east by Main Street (Route-9) and to the south by as gas station and convenience store. The Site will be an approximately .92-acre (40,123 square foot) parcel located within the HB-1 zoning district.

The proposal is for the removal of the existing structure and the redevelopment of the site to include a 3,900 square foot commercial/restaurant building, with 2,400 square of feet of the structure being a Starbucks with drive-though and 1,500 square feet Nail Salon, with a total building coverage of 10%. The Site will provide 30 parking spaces, and attendant signage, landscaping, lighting and site infrastructure. The sewer and water will be provided by the Leicester Water Supply District (“Project”).

The Starbucks and nail salon use are allowed by right under the Leicester Zoning Bylaw with Site Plan Approval by the Planning Board. The use of a drive-through is allowed by Special Permit granted by the Planning Board.

The proposed Project is for the reconstruction and alteration of the Site, which currently is comprised of an abandoned single-family home, for use as a Starbucks with a drive-through and a nail salon. The Site will include landscaping as more completely and specifically detailed in the Site Landscape Plan (Plan 7), included in the submission packet.

The Starbucks will likely not operate outside of Monday-Sunday 5 A.M. to 11 P.M. It is anticipated that there will be a total of 35 employees hired to operate the store, with 6-8 employees at peak business hours and 2-4 employees at lower intensity business hours. Majestic Nails is a nail salon that specializes in manicures, pedicures and waxing. It is anticipated that the business will operate Monday-Friday 9:30 A.M. to 7 P.M., Saturday 9 A.M. to 6 P.M. and will be closed on Sundays, and will have 8-10 employees hired to operate the business.

The proposed Site will have one right-in-only only curb cut on the northeasterly portion of the lot, with additional site access through the Site’s southerly side, leading to the southerly adjacent property (to be memorialized in an access easement), which provides access to a signalized intersection. The siting of the access site driveways allows for proper circulation of passengers and delivery vehicles.

Site illumination will be downcast LED lights which prevent light nuisance or light spillage onto adjacent properties. Adequate lighting is provided to increase public safety.

Civil Design Group has also provided a Stormwater Management Report, which evidences a system design that results in post-development peak runoff rates not exceeding pre-developments peak runoff rates. The collection system has been designed to convey runoff for the 25-year storm event and the stormwater management system incorporates both structural and non-structural BMP's to adequately treat runoff from the proposed redevelopment area in accordance with the DEP Stormwater Management Policy to the maximum extent practicable. Comprehensive computations and calculations with supporting figures and plans are attached.

The proposed signage, lighting and traffic flow ensures the safety, public health and welfare of pedestrians both on and off the site.

The proposed Project is in harmony with the uses in the HB-1 zoning district, as the intent of the district is to provide for the development and redevelopment of Leicester's highway business corridors by allowing a mix of commercial, office, research, and light industrial activities that create employment opportunities and expand the tax base.

The redevelopment of the Site will both eliminate the existing infrastructure at the Site and replace them with a state-of-the-art facility, and the Leicester tax base will be diversified and expanded (the value of the existing parcel is \$344,600). It is likely the assessed value will be significantly higher due to the proposed Project, resulting in more tax revenue for the town of Leicester. Further, the Project would be a convenience to the Town and those individuals looking for the goods that it offers, while providing additional job opportunities. Appropriate downcast lighting, building siting, and site management will ensure that the neighborhood is not detrimentally affected.

HY Ventures Leicester, LLC believes the Project will be a benefit to the community and is an appropriate development of the site.



LOCUS PLAN
SCALE: 1"=1,000'±

SITE PLAN SET

FOR

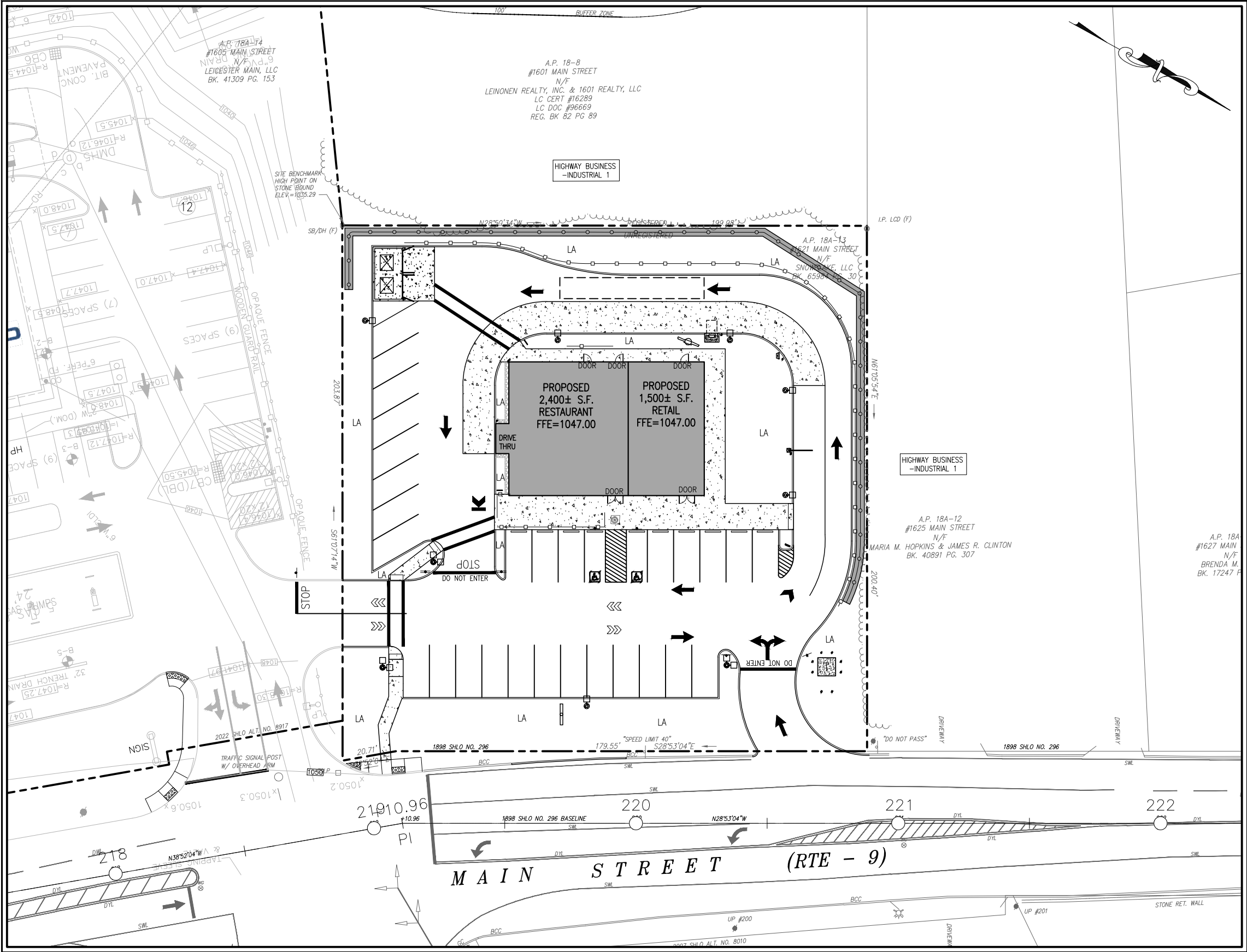
PROPOSED RESTAURANT & RETAIL DEVELOPMENT

1621 MAIN STREET (RTE-9) LEICESTER, MA 01524

APPROVED BY THE
TOWN OF LEICESTER
PLANNING BOARD

DATE SITE PLAN ENDORSED: _____

DATE	DATE REVISED	SHEET NUMBER	SHEET DESCRIPTION
09/08/2023	10/16/2023	1	COVER SHEET
06/01/2023	-	2	EXISTING CONDITIONS PLAN
09/08/2023	10/16/2023	3	DEMOLITION & EROSION CONTROL PLAN
09/08/2023	10/16/2023	4	SITE PLAN
09/08/2023	10/16/2023	5	GRADING & DRAINAGE PLAN
09/08/2023	10/16/2023	6	UTILITY PLAN
09/08/2023	10/16/2023	7	LANDSCAPE PLAN
09/08/2023	10/16/2023	8	FIRE APPARATUS CIRCULATION PLAN
09/08/2023	10/16/2023	9	CONSTRUCTION DETAILS
09/08/2023	10/16/2023	10	CONSTRUCTION DETAILS
09/08/2023	10/16/2023	11	CONSTRUCTION DETAILS
09/08/2023	10/16/2023	12	CONSTRUCTION DETAILS
09/08/2023	10/16/2023	13	CONSTRUCTION DETAILS
08/18/2023	-	RL-9076-SI	PHOTOMETRIC PLAN
08/18/2023	-	RL-9076-S1	LIGHT DETAILS
09/11/2023	-	1R2-4R2	SIGNAGE PLANS
9/11//2023	-	1	FLOOR PLAN
9/11//2023	-	2	EXTERIOR ELEVATIONS
9/11//2023	-	3	EXTERIOR ELEVATIONS



OVERALL LAYOUT PLAN
SCALE: 1"=40'

MUNICIPALITY CONTACTS:

DEPARTMENT	CONTACT	PHONE NUMBER	ADDRESS
TOWN ADMINISTRATOR	DAVID GENEREUX	508-892-7077	3 WASHBURN SQUARE, LEICESTER, MA 01524
CODE ENFORCEMENT	MICHAEL SILVA	508-892-7003	3 WASHBURN SQUARE, LEICESTER, MA 01524
ASSESSOR	LINDA BERISHA	508-892-7001	3 WASHBURN SQUARE, LEICESTER, MA 01524
FIRE CHIEF	MICHAEL WILSON	508-892-7022	3 PAXTON STREET, LEICESTER, MA 01524
PUBLIC WORKS	ROBERT PROVOST	508-892-7021	3 WASHBURN SQUARE, LEICESTER, MA 01524
PLANNING	JOHN CHARBONNEAU	508-892-7007	3 WASHBURN SQUARE, LEICESTER, MA 01524
POLICE	KENNETH ANTANAVICA	508-892-7009	90 SOUTH MAIN STREET, LEICESTER, MA 01524
CITY CLERK	LISA JOHNSON	508-892-7011	3 WASHBURN SQUARE, LEICESTER, MA 01524
BOARD OF HEALTH	FRANCIS DAGLE	508-892-7008	3 WASHBURN SQUARE, LEICESTER, MA 01524

PREPARED BY:

**CIVIL DESIGN
GROUP, LLC**

21 HIGH STREET SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400
f: 978-965-3971
CONTACT: PHILIP HENRY, P.E.

PREPARED FOR:

HY VENTURES LEICESTER, LLC
313 BOSTON POST ROAD WEST
MARLBOROUGH, MA 01752

PROPERTY:
1621 MAIN STREET (RTE-9)
LEICESTER, MA 01524

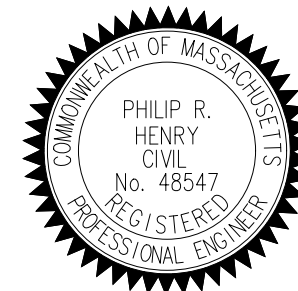
ASSESSORS MAP 18A, LOT 13

OWNER OF RECORD:
HY VENTURES LEICESTER, LLC
313 BOSTON POST ROAD WEST
MARLBOROUGH, MA 01752

NOT FOR CONSTRUCTION

ISSUED TO:
TOWN OF LEICESTER

SEAL:



Philip R. Henry
PHILIP R. HENRY, P.E.

SHEET:
COVER SHEET

1

CDG PROJECT #: 23028

PROPERTY INFORMATION:

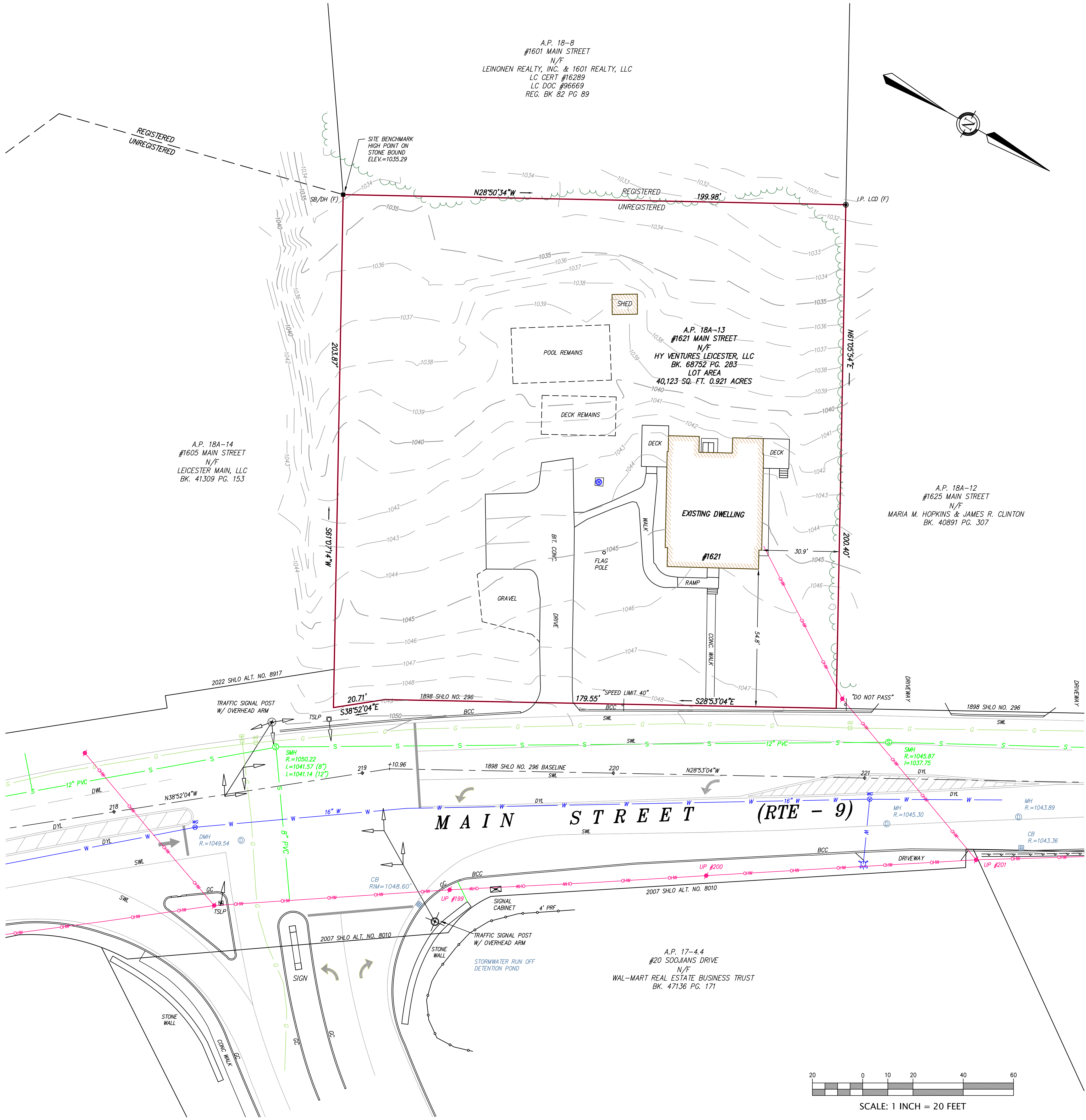
CURRENT OWNER OF RECORD: HY VENTURES LEICESTER, LLC
SITE ADDRESS: 1621 MAIN STREET, LEICESTER, MA (WORCESTER COUNTY)
ASSESSORS PARCEL: MAP 18A LOT 13
DEED REFERENCE: BOOK 68752 PAGE 283

ZONING DISTRICT: HIGHWAY BUSINESS-INDUSTRIAL DISTRICT 1 (HB-1)

TOTAL LAND AREA = 40,123 SQ. FT. 0.921 ACRES

GENERAL NOTES:

- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY ODONE SURVEY & MAPPING ON MAY 10, 2023. SURVEY BY TRIMBLE S6 TOTAL STATION.
- BASIS OF BEARINGS: 1898 SHLO NO. 296
- THE VERTICAL POSITIONS SHOWN ON THIS PLAN ARE BASED ON KEYNET RTK GPS NETWORK AND IS SUBJECT TO FURTHER ADJUSTMENT TO ANY LOCAL NGS BENCHMARKS. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- PROPERTY HAS DIRECT ACCESS TO MAIN STREET, A DESIGNATED PUBLIC WAY. THERE ARE NO PROPERTY LINES LOCATED WITHIN THE BOUNDS OF SAID STREETS.
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN COMPILED FROM AVAILABLE RECORDS AND THEREFORE, THE RELATIONSHIP BETWEEN ACTUAL FIELD LOCATION AND LOCATION SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED ON THIS PLAN. BEFORE CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233
- FLOOD NOTE: BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.MSC.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE X ON FLOOD INSURANCE RATE MAP NUMBER 2502700780E, WHICH BEARS AN EFFECTIVE DATE OF 07/04/2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



REVISIONS:		
REV.	DATE	COMMENT
1	6/1/2023	DRAFT ISSUE
2		
3		
4		
5		

SURVEYOR'S CERTIFICATION
THIS PLAN AND THE SURVEY ON WHICH IT WAS BASED WAS PREPARED IN ACCORDANCE WITH PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS (250 CMR SEC. 6.00).

GLENN D. ODONE JR.
REGISTERED LAND SURVEYOR NO. 45068
COMMONWEALTH OF MASSACHUSETTS



SURVEYED BY:
OSM **ODONE SURVEY & MAPPING**

SURVEYING ~ MAPPING ~ PLANNING & CONSULTING

291 Main Street, Suite 5
Northborough, MA 01532
Tel.: 508-351-6022 Fax: 508-351-6633

CONTACT: Glenn D. Odone, P.L.S.
email: glenn.odone@osm-pc.com
web: www.osm-pc.com

CIVIL ENGINEER:
Civil Design GROUP, LLC
21 HIGH STREET, SUITE 207
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www.cdengineering.com
p: 978-794-5400 f: 978-914-6161

PREPARED FOR:
HY VENTURES LEICESTER, LLC
313 BOSTON POST ROAD WEST
MARLBOROUGH, MA 01752

PROJECT:
PROPOSED RETAIL DEVELOPMENT

1621 MAIN STREET (RT 9)
LEICESTER, MA 01524

SHEET:
EXISTING CONDITIONS
PLAN OF LAND
2

DATE: JUNE 1, 2023
REV.:

DWG FILE: 1660-01A
PROJECT NO. 20231660

- LEGEND**
- EXISTING BUILDING
 - GAS LINE/GAS VALVE
 - OVERHEAD WIRES
 - DRAIN LINE/DRAIN MANHOLE
 - WATER LINE/WATER GATE
 - SEWER LINE/SEWER MANHOLE
 - TREE LINE
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - CATCH BASIN
 - FIRE HYDRANT
 - LIGHT POLE
 - UTILITY POLE
 - GUY WIRE
 - SIGN
 - ASSESSORS PARCEL
 - DEED BOOK/PAGE
 - BITUMINOUS CONCRETE
 - BITUM. CONCRETE CURB
 - CONCRETE SURFACE
 - CONCRETE CURB
 - DOUBLE YELLOW LINE
 - GRANITE CURB
 - CHAIN LINK FENCE
 - EDGE OF PAVEMENT
 - FOUND
 - MEASURED
 - NOW OR FORMERLY
 - RECORD
 - SOLID WHITE LINE
 - TRAFFIC SIGNAL LIGHT POLE

SITE DEMOLITION & EROSION CONTROL NOTES

- THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
- THIS PROJECT SITE IS CURRENTLY AN ABANDONED SINGLE FAMILY HOME LOT.
- EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND" PREPARED BY OGDNE SURVEY & MAPPING, DATED 06/01/2023.
- WATER, SEWER AND GAS SERVICES TO BE CUT & CAPPED AT MAIN AND SERVICE LINES SHALL BE ABANDONED IN PLACE, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- REFUELING AND ANY WORK ASSOCIATED WITH THE MAINTENANCE OF CONSTRUCTION EQUIPMENT TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE REGULATIONS.
- THE AREAS OF CONSTRUCTION SHALL REMAIN IN A STABLE CONDITION AT THE CLOSE OF EACH CONSTRUCTION DAY. EROSION CONTROLS SHALL BE CHECKED AT THIS TIME AND MAINTAINED OR REINFORCED IF NECESSARY.
- THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE MUNICIPAL DEPARTMENTS INCLUDING THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION. ALL WORK MUST BE INSPECTED BY THE MUNICIPALITY/STATE.
- ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS SHALL BE KEPT CLEAN AT ALL TIMES. TRACKED MUD OR SEDIMENT SHALL BE REMOVED (VACUUM SWEEPING) PRIOR TO THE NEXT STORM EVENT.
- PEDESTRIAN AND VEHICULAR ACCESS WITHIN ANDOVER STREET AND THE MALL DRIVEWAY SHALL BE KEPT IN GOOD CONDITION AND SHALL BE PASSABLE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
- THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
- EXISTING ONSITE BITUMINOUS PAVEMENT SHALL BE STRIPPED, PULVERIZED AND STOCKPILED ONSITE TO BE USED AS RECLAIMED ASPHALT PAVEMENT BORROW/Common FILL MATERIAL IF DEEMED SUITABLE BY THE GEOTECHNICAL RECOMMENDATIONS. IF EXISTING PAVEMENT IS NOT SUITABLE FOR REUSE, IT SHALL BE REMOVED OFFSITE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE AND SHALL BE PROPERLY MAINTAINED AND EMPTIED ON A REGULAR BASIS.
- CONTRACTOR SHALL NOT STOCKPILE OR LOCATE DUMPSTERS WITHIN WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.
- MEANS OF PROTECTING EXISTING MONITORING WELLS, IF APPLICABLE, SHALL BE COORDINATED WITH THE OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO CONSTRUCTION.
- THIS PROJECT IS INTENDED TO BE A SINGLE PHASE PROJECT WITH AN ESTIMATED OPEN AREA OF LESS THAN 1 ACRE.
- PERMANENT BEST MANAGEMENT PRACTICES ARE NOT INTENDED TO BE USED AS TEMPORARY SEDIMENT BASINS AND UPSTREAM AREAS SHALL NOT CONNECT TO THE PERMANENT BMP'S UNTIL THE SITE IS STABILIZED. HOWEVER, IF A PERMANENT BMP IS UTILIZED DURING CONSTRUCTION FOR UNFORESEEN SITE CONDITIONS, THE BMP(S) SHALL BE CLEANED AND/OR RESTORED PRIOR TO END OF CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THESE MEASURES SHALL BE FUNCTIONING AT THE START OF THE CONSTRUCTION PRIOR TO ANY EARTH DISTURBANCE INCLUDING DEMOLITION AND SHALL REMAIN IN PLACE UNTIL UPSTREAM SITE WORK IS COMPLETE AND THE GROUND COVER IS STABILIZED. PERMANENT STABILIZATION IS DEFINED AS 90% SEEDED COVERAGE.
- CONSTRUCTION DURING THE WINTER SHALL INCLUDE INSPECTIONS AFTER EACH 1" RAINFALL/SNOWFALL EVENT AND NO LESS THAN ONCE PER WEEK. ALL AREAS WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.
- THE CONTRACTOR SHALL PERFORM ALL WORK, AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- CONTRACTOR SHALL IMPLEMENT TEMPORARY AND PERMANENT STABILIZATION METHODS IN ACCORDANCE WITH THESE PLANS AND IN ACCORDANCE WITH STABILIZATION REQUIREMENTS IN THE LATEST GENERAL NPDES PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
- PROVIDE AND STORE AUXILIARY DEWATERING EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NON-WOVEN FILTER FABRIC SHALL BE SPECIFICALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.

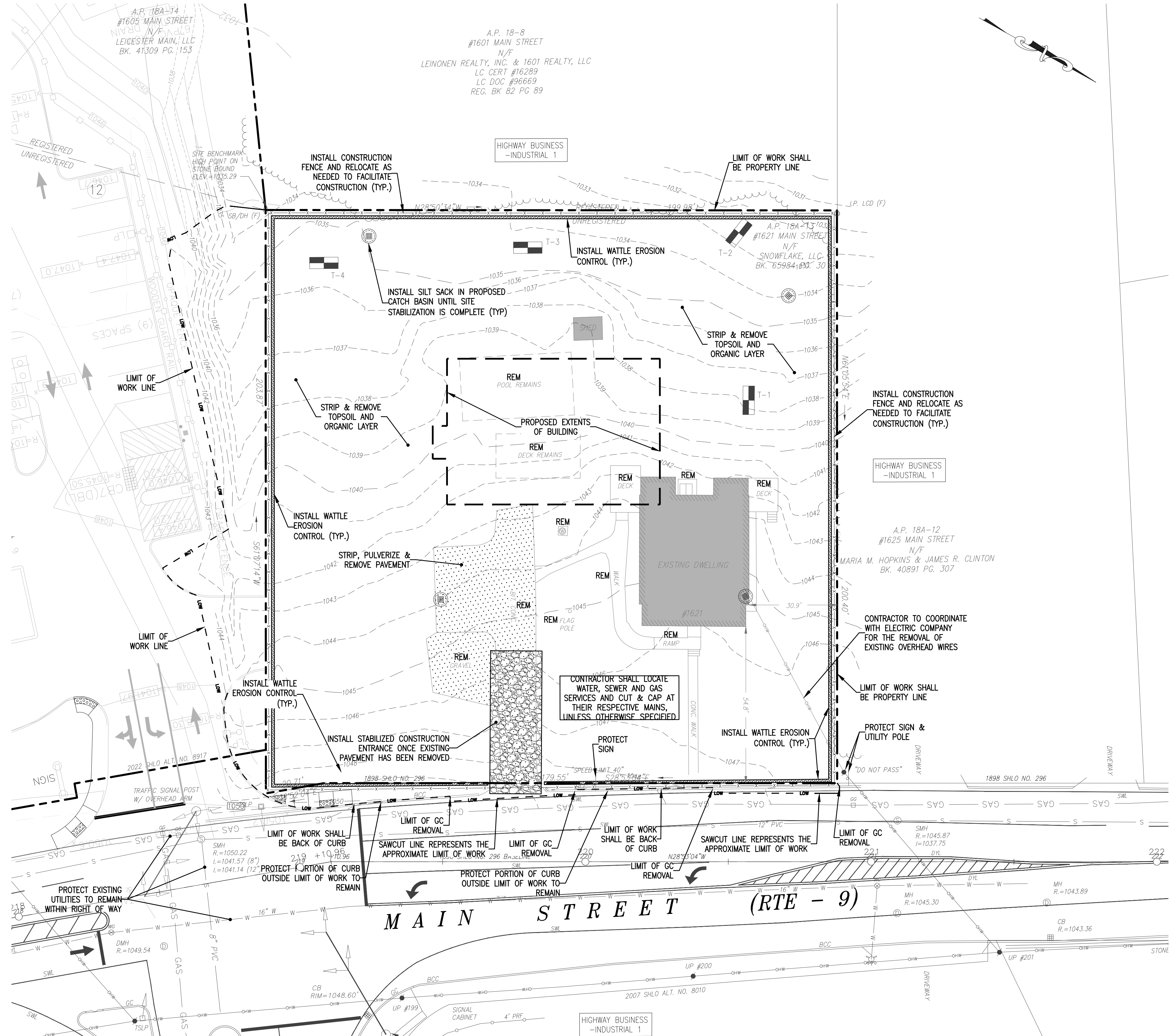
- WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS. DO NOT DISCHARGE WATER INTO ANY SANITARY SEWER SYSTEM. SILTATION BARRIERS SHALL BE UTILIZED IF NECESSARY.
- WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL AREAS OF WORK IN SUITABLE DRY CONDITION.
- DO NOT EXCAVATE UNTIL THE DEWATERING SYSTEM IS OPERATIONAL AND THE EXCAVATION MAY PROCEED WITHOUT DISTURBANCE TO THE FINAL SUBGRADE.
- UNLESS OTHERWISE SPECIFIED, CONTINUE DEWATERING UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED. WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET SUBGRADE DENSITY REQUIREMENTS DUE TO IMPROPER DEWATERING TECHNIQUES, REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE ENGINEER.
- THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
- DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
- THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED. THE CONTRACTOR SHALL KEEP ADDITIONAL EROSION CONTROL MEASURES SUCH AS WATTLES ONSITE AT ALL TIMES TO RELOCATE OR ADD SUCH MEASURES AS THE PROJECT EVOLVES OR AN UNFORESEEN CONDITION OCCURS.

- EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX SHOULD BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH SUCH AS FLY ASH OR YARD SCRAPING. LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX. THE MIX COMPOSITION SHOULD MEET THE FOLLOWING STANDARDS:
 - THE ORGANIC WASTE CONTENT SHOULD BE BETWEEN 80% AND 100% DRY WEIGHT BASIS.
 - PARTICLE SIZE BY WEIGHT SHOULD BE 100% PASSING A 6" SCREEN AND 70% TO 85% PASSING A 0.75" SCREEN.
 - THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
 - SOLUBLE SALTS CONTENT SHALL BE < 4.0 MMHOS/CM.
 - THE PH SHOULD BE BETWEEN 5.0 AND 8.0.
 - PROHIBITED AT THE BASE OF AN SLOPE STEEPER THAN 8% OR WHERE RUNOFF IS FLOWING WITHOUT THE SUPPORT OF ADDITIONAL MEASURES, SUCH AS SILT FENCE.
- STOCKPILES SHALL BE LOCATED ONSITE OUTSIDE OF ALL WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOOT OF THE STOCKPILE AND AND SHALL BE COVERED TO PREVENT WASHOUT.
- ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING AND SHALL BE HYDROSEEDDED.
- ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
- ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.
- ANY PROPOSED SURFACE OPENINGS AND EXCAVATION WORK WITHIN THE CITY RIGHT-OF-WAY LIMITS WILL REQUIRE A STREET OPENING PERMIT (SOP).
- A TRENCH OPENING PERMIT (TOP) SHALL BE OBTAINED PRIOR TO THE EXCAVATION OF ANY TRENCH.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
⊙	---	DRAIN MANHOLE
□	---	CATCH BASIN
⊙	---	SEWER MANHOLE
D	---	DRAIN PIPE
G	---	GAS LINE
OHW	---	OVERHEAD WIRES
W	---	WATER LINE
S	---	SEWER LINE
⊙	---	HYDRANT
⊙	---	SIGN
⊙	---	SITE LIGHT
⊙	---	UTILITY POLE
---	---	INDEX CONTOUR
---	---	MINOR CONTOUR
---	---	TREE LINE
---	---	CONCRETE SIDEWALK
---	---	IRON PIPE/IRON PIN
---	---	EXISTING BUILDINGS & APPURTENANCES TO BE DEMOLISHED
---	---	CONSTRUCTION FENCE
---	---	WATTLES
---	---	PROPOSED BUILDING PAD
---	---	PAVEMENT TO BE RECLAIMED (IF SUITABLE)
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	BORING LOCATION

GENERAL ABBREVIATIONS

ASSESSOR'S PARCEL
A.P.
BOTTOM OF CURB
BC
BITUMINOUS CONCRETE CURB
BCC
BITUMINOUS CONCRETE
BIT. CONC
BOTTOM OF WALL
BW
CATCH BASIN
CB
CHAIN LINK FENCE
C.L.F.
CLEANOUT
CO
CONCRETE SURFACE
CONC
DRILL HOLE FOUND
DH (F)
DRAIN MANHOLE
DMH
DOUBLE WALL FIBER GLASS
DWFG
DASHED WHITE LINE
DWL
DOUBLE YELLOW CENTERLINE
DYCL
EDGE OF PAVEMENT
EOP
EXTRUDED CONCRETE CURB
ECC
ELECTRIC HANDHOLE
EHH
FINISHED FLOOR ELEVATION
FF=
FRONT YARD
FY
VERTICAL GRANITE CURB
GC
GAS METER
GM
HIGH DENSITY
HDPE
POLYETHYLENE PIPE
INVERT ELEVATION
I=
LINEAL FEET
LF
LANDSCAPED AREA
LA
MONOLITHIC CONCRETE CURB
MCC
MATCH EXISTING
ME
INVERT NOT AVAILABLE
N/A
NOW OR FORMERLY
N/F
ON CENTER
OC
RIM ELEVATION
R=
ROOF DRAIN
RD
REMOVE
REM
REAR YARD
RY
SEWER FORCE MAIN
SFM
SOLID WHITE EDGE LINE
SWEL
SOLID WHITE LINE
SWL
SIDE YARD
SY
TOP OF CURB
TC
UTILITY POLE
UP
VITRIFIED CLAY
VC
WATER GATE
WG
WATER SHUT-OFF
WSO



NOT FOR CONSTRUCTION

CDG PROJECT #: 23028

REVISIONS:

REV	DATE	COMMENT
1	10/16/23	REVISED PER PEER REVIEW LETTER
2		
3		
4		
5		
6		
7		
8		
9		

SEAL:



Philip R. Henry, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

Civil Design Group, LLC

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PREPARED FOR:

HY VENTURES
LEICESTER, LLC

313 BOSTON POST ROAD WEST
MARLOROUGH, MA 01752

PROJECT:
PROPOSED RETAIL
DEVELOPMENT

1621 MAIN STREET (RT-9)
LEICESTER, MA 01524

SCALE:
20 0 10 20 40
GRAPHIC SCALE IN FEET

SHEET:
DEMOLITION &
EROSION CONTROL
PLAN
3

DATE: 09/08/2023



GENERAL NOTES

1. ZONING INFORMATION OBTAINED FROM THE TOWN OF LEICESTER ZONING ORDINANCE AS AMENDED THROUGH JUNE 2020.
2. THE PROJECT SITE IS LOCATED ON ASSESSOR LOT 13 ON MAP 18A AND TOTALS APPROXIMATELY 0.92 ACRES.
3. THE PROJECT LIES WITHIN THE HIGHWAY BUSINESS 1 (HB-1) DISTRICT AND DOES NOT LIE WITHIN AN OVERLAY DISTRICT.
4. MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER & MUNICIPALITY.
5. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
8. THE PROPERTY IS LOCATED WITHIN THE ZONE X FLOOD ZONE, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 25027c0780e WHICH BEARS AN EFFECTIVE DATE OF JULY 4, 2011.

SITE LAYOUT NOTES

1. THE BUILDING OUTLINE SHOWN ON THIS PLAN DEPICTS THE FINISH TO FINISH EXTENTS OF THE BUILDING. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR FOUNDATION PLANS FOR THE PURPOSE OF STAKING OUT THE BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND EXTERIOR FEATURES INCLUDING UTILITY METERS, BOLLARDS, DOORS, PILASTERS, RAMPS, ETC.
2. BUILDING SIDEWALK DIMENSIONS ARE MEASURED FROM EXTERIOR FINISH MATERIAL OF STRUCTURE.
3. ALL LIMITS OF PAVEMENT SHALL BE CURBED, UNLESS OTHERWISE NOTED.
4. ALL ONSITE CURB SHALL BE EXTRUDED CONCRETE AND MONOLITHIC CONCRETE, UNLESS OTHERWISE SPECIFIED. OFFSITE CURB SHALL BE VERTICAL GRANITE.
5. NON-ACCESSIBLE PARKING SPACE DIMENSIONS AS SHOWN ON THE PLAN ARE 10' WIDE x 20' LONG, UNLESS OTHERWISE SPECIFIED.
6. ALL PAVEMENT MARKINGS SHALL BE ACCOMPLISHED WITH USE OF PAINTING MACHINES AND/OR STENCILS. ALL PAINT FOR PAVEMENT MARKING SHALL MEET THE REQUIREMENTS OF SOLVENTBORNE APPLICATION RECOMMENDATIONS (LATEX TRAFFIC PAINT BY BENJAMIN MOORE #1D58 LOW VOC) PARKING STALL AND ISLAND STRIPING SHALL BE 4" WIDE AND SHALL BE STRAIGHT WITH A CLEAR EDGE. ALL DIRECTIONAL ARROWS, STOP BARS, ETC. SHALL CONFORM WITH MUTCD. ALL PAVEMENT MARKINGS SHALL HAVE TWO COATS OF PAINT WITH AT LEAST 14 DAYS IN BETWEEN APPLICATIONS.
7. PAVEMENT LETTERS SHALL BE 2' WIDE X 2' LONG.
8. STOP BARS SHALL BE 12" WIDE AND SOLID LINES SHALL BE 4" IN WIDTH (SEE SITE PLAN FOR LENGTH & COLOR).
9. ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ARCHITECTURAL ACCESS BOARD (AAB) AS SHOWN ON THE SITE LAYOUT PLAN.
10. ACCESSIBLE PARKING AISLE STRIPING SHALL CONSIST OF 4" SOLID LINES OF LATEX TRAFFIC PAINT BY BENJAMIN MOORE #1D58 LOW VOC ADA BLUE COLOR ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER.
11. DIRECTIONAL AND ACCESSIBLE SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE.
12. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
13. REPLACEMENT PAVEMENT AS A RESULT OF UTILITY AND DRAINAGE TRENCHING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING PAVEMENT THICKNESS.
14. SNOW SHALL NOT BE STORED IN ANY LANDSCAPED AREAS, EXCEPT FOR DESIGNATED SNOW STORAGE AREAS, AND SHALL NOT BE STORED IN ANY MANNER WHICH AFFECTS VISIBILITY FOR PEDESTRIANS AND VEHICLES. THE CLEARING OF SNOW MUST COMMENCE WHEN STOCKPILED SNOW EITHER IMPEDES THE SIDEWALK OR PARKING SPACE ACCESS. AT WHICH TIME, THE APPLICANT WOULD BE EXPECTED TO REMOVE THE SNOW WITHIN 24 HOURS.
15. SITE LIGHTS TO BE INSTALLED PER DETAIL. CONTRACTOR SHALL NOTIFY THE ENGINEER IF THIS DISTANCE CANNOT BE ACHIEVED DUE TO DRAINAGE OR UTILITY CONFLICTS. REFER TO DETAILS FOR SITE LIGHT POLE BASE DETAILS AND SPECIFICATIONS.

MUTCD REFERENCE	SIGN (METAL)
R1-1 30"x30"	
R7-8 12"x18"	
R7-8a 12"x18"	
R3-5 30"x30"	

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		BUILDING SETBACK/ BUFFER
		PARKING SPACES
		CURB RADIUS
		ACCESSIBLE PAVEMENT MARKINGS
		RAMP UPSLOPE DIRECTION
		SIGN
		LIGHT
		UTILITY POLE
		WOODEN GUIDE RAIL
		PAINTED ARROW
		DIRECTIONAL ARROW
		CONCRETE PAD/SIDEWALK
		ACCESSIBLE RAMP
		IRON PIPE/IRON PIN

GENERAL ABBREVIATIONS

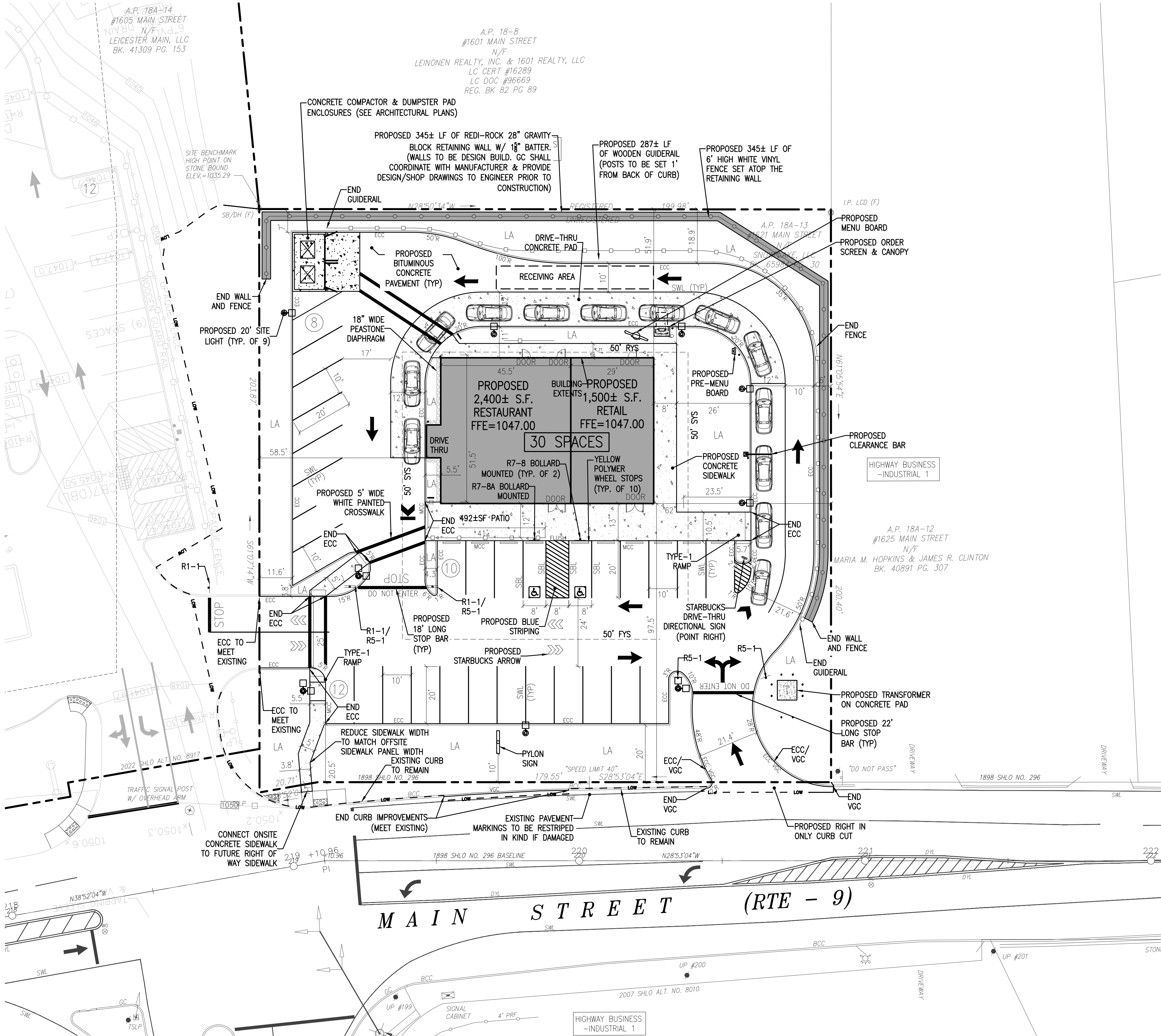
ASSESSORS PARCEL
BOTTOM OF CURB
BITUMINOUS CONCRETE CURB
BITUMINOUS CONCRETE
BOTTOM OF WALL
CATCH BASIN
CAPE COD BERM
CHAIN LINK FENCE
CLEANOUT
CONCRETE SURFACE
DRAIN MANHOLE
DOUBLE WALL FIBER GLASS
DASHED WHITE LINE
DOUBLE YELLOW CENTERLINE
EDGE OF CONCRETE
EDGE OF PAVEMENT
EXTRUDED CONCRETE CURB
FINISHED FLOOR ELEVATION
FRONT YARD
VERTICAL GRANITE CURB
SLOPED GRANITE CURB
GAS METER
HIGH DENSITY
POLYETHYLENE PIPE
INVERT ELEVATION
LINEAL FEET
LANDSCAPED AREA
MONOLITHIC CONCRETE CURB
MATCH EXISTING
INVERT NOT AVAILABLE
NOW OR FORMERLY
ON CENTER
PRECAST CONCRETE CURB
RIM ELEVATION
ROOF DRAIN
REMOVE
REAR YARD
SOLID WHITE EDGE LINE
SOLID WHITE LINE
SOLID YELLOW LINE
TOP OF CURB
TOP OF WALL
UTILITY POLE

A.P.
BC
BCC
BW
CB
CCB
C.L.F.
CO
CONC
DMH
DWF
DWL
DYCL
ECC
EOP
FF
FY
GC
GM
HDPE
I=
LF
LA
MCC
ME
N/A
N/F
OC
PCC
R=
RD
REM
RY
SWEL
SWL
SY
SYL
TC
TW
UP

ZONING INFORMATION			
ZONING DISTRICT : HIGHWAY BUSINESS-1 (HB-1)			
REGULATION	REQUIRED	EXISTING	PROPOSED LOW
MIN. LOT AREA	60,000 SF	40,123 SF±	NO CHANGE
MIN. LOT FRONTAGE	200 FT	200.2 FT±	NO CHANGE
MIN. FY SETBACK	50 FT	54.8 FT±	97.5 FT±
MIN. SY SETBACK	50 FT	30.9 FT±	58.5 FT±
MIN. RY SETBACK	50 FT	93.7 FT±	51.9 FT±
MAX. BUILDING HEIGHT	55 FT/5.5 STORIES	23 FT±	<55 FT
MAX. BUILDING COVERAGE	40%	5%±	10%±

PARKING & LOADING INFORMATION		
USE	REQUIRED	PROVIDED
PARKING: RETAIL: 1 SPACE/200 GROSS FLOOR AREA 1,500 SF/200 = 7.5 SPACES	30 SPACES	30 SPACES
RESTAURANTS: 1 SPACE/EMPLOYEE + 1 SPACE/3 SEATS ASSUME 50 SEATS/6 EMPLOYEES = 22.6 SPACES		
LOADING: ADEQUATE OFF-STREET LOADING FACILITIES AND SPACE MUST BE PROVIDED TO SERVICE ALL NEEDS CREATED BY NEW CONSTRUCTION. FACILITIES SHALL BE SO SIZED AND ARRANGED THAT NO TRUCKS NEED TO BACK ONTO OR OFF A PUBLIC WAY, OR BE PARKED ON A PUBLIC WAY WHILE LOADING OR UNLOADING.		PROVIDED

LAND COVERAGE CALCULATIONS		
TOTAL DISTURBED AREA: 0.92± ACRES		
COVER	EXISTING	PROPOSED
BUILDING	0.04± AC	0.09± AC
PAVEMENT/CONCRETE	0.08± AC	0.59± AC
OPEN SPACE	0.80± AC	0.24± AC
TOTAL	0.92± AC	0.92± AC



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SEAL:

PHILIP R. HENRY, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

Civil Design Group, LLC

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PREPARED FOR:

**HY VENTURES
LEICESTER, LLC**

313 BOSTON POST ROAD WEST
MARLOROUGH, MA 01752

PROJECT:

**PROPOSED RETAIL
DEVELOPMENT**

1621 MAIN STREET (RT-9)
LEICESTER, MA 01524

SCALE:

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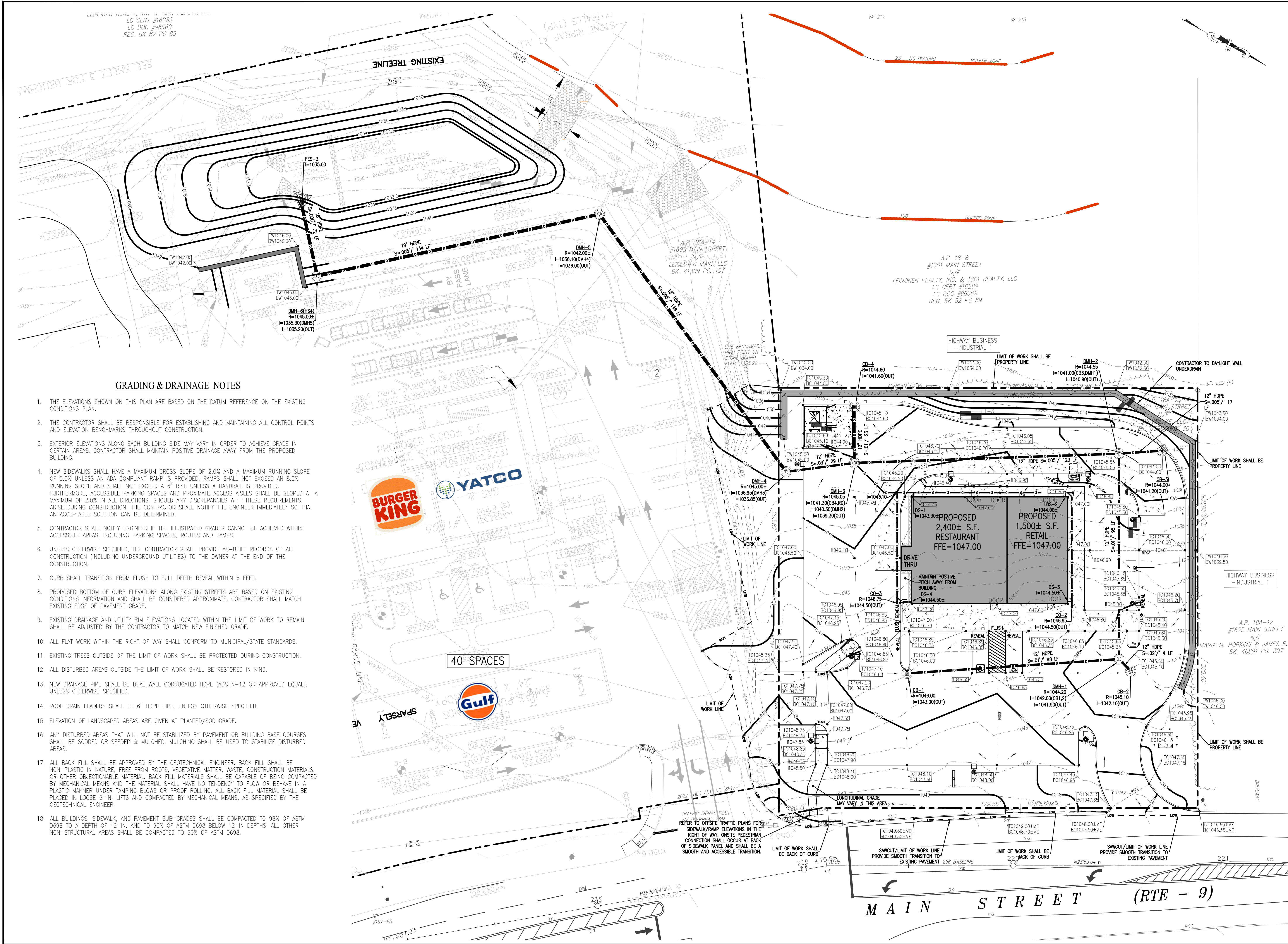
GRAPHIC SCALE IN FEET

SHEET:

**SITE
PLAN**

4

DATE: 09/08/2023



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REGISTERED PROFESSIONAL ENGINEER

PLANNING BOARD:

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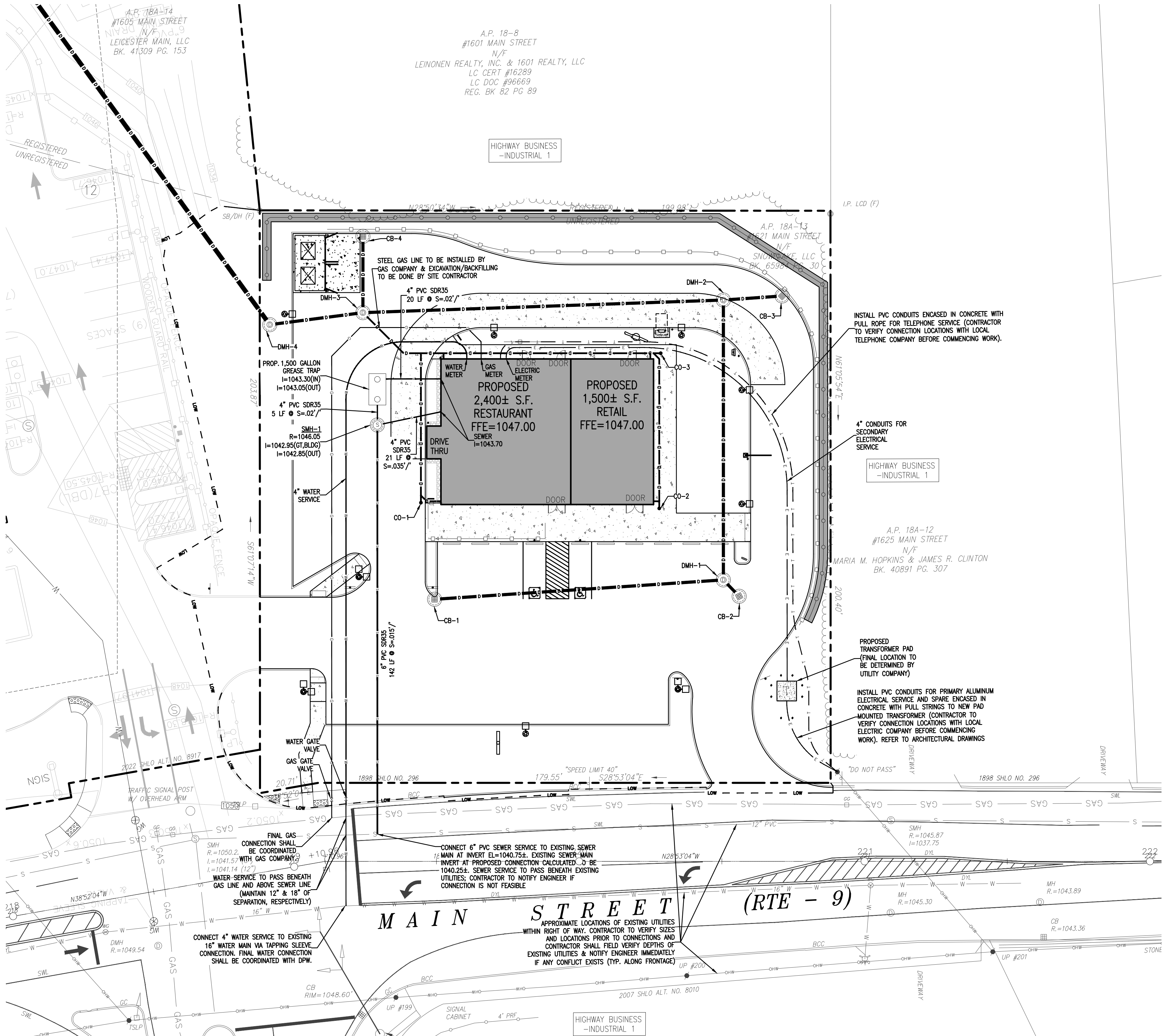
GRADING & DRAINAGE PLAN
5

DATE: 09/08/2023

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UTILITY NOTES

- ALL WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 5'-6" AND A MAXIMUM OF 6' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- ALL WATER SERVICE INSTALLATION METHODS AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- EXISTING WATER, SEWER, ELECTRICAL, TELEPHONE AND GAS LINES DEPICTED ON THIS PLAN ARE BASED ON RECORD DRAWINGS. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONNECTION.
- PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND COMPACTION FOR THE GAS LINE.
- DUE TO THE SCALE OF THE SITEWORK DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
- ALL UTILITIES, PIPE MATERIALS, STRUCTURES, AND INSTALLATION METHODS SHALL CONFORM TO MUNICIPALITY STANDARDS AND REQUIREMENTS.
- SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
- WATER & SEWER SERVICE CONNECTIONS SHALL BE INSPECTED BY THE MUNICIPAL WATER & SEWER DEPARTMENT.
- ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING UTILITIES ALONG THE PATH OF THE PROPOSED UTILITY CONNECTIONS AND NOTIFY ENGINEER IMMEDIATELY IF A CONFLICT EXISTS.
- EXCAVATION, CONDUIT INSTALLATION AND BACKFILLING FOR ELECTRICAL AND TELEPHONE SERVICES TO BE PERFORMED BY SITE CONTRACTOR.
- EXISTING WATER, SEWER AND GAS SERVICES SHOULD BE EVALUATED TO DETERMINE IF SUITABLE FOR REUSE BY THE CONTRACTOR AND SHALL NOTIFY THE ENGINEER OF THE SAME. IF EXISTING UTILITIES ARE DEEMED TO NOT BE SUITABLE, THEY ARE TO BE CUT & CAPPED AT THE MAIN AND SERVICE LINES SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED BY THE MUNICIPALITY AND/OR UTILITY COMPANY. AS SUCH, THE SANICUT LINES SHOWN ON THESE PLANS DO NOT ACCOUNT FOR THE REMOVAL OF THE EXISTING UTILITIES BUT THE CONTRACTOR SHALL ASSUME REMOVAL FOR THE PURPOSES OF BIDDING THE PROJECT.



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SHEET:
UTILITY
PLAN

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PLANT MATERIAL LIST				
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS AND ORNAMENTAL TREES				
LS	5	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2-2 1/2"
TC	3	TSUGA CANADENSIS	CANADIAN HEMLOCK	2-2 1/2"
TGG	3	TILIA CORDATA GREENSPIRE	GREENSPIRE LITTLE LEAF LINDEN	2-2 1/2"
SHRUBS				
AZ	4	AZALEA DELAWARE VALLEY WHITE	AZALEA DELAWARE VALLEY WHITE	#5
VIB	2	VIBURNUM CARLESI	MAYFLOWER VIBURNUM	#5
PERENNIALS AND GRASSES				
CA	46	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL
FE	44	FESTUCA G. 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	1 GAL
HH	46	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILIES	1 GAL
IS	46	IRIS SIBERICA 'CAESAR'S BROTHER'	CAESAR'S BROTHER'S IRIS	1 GAL

PERENNIAL, LAWN + NATURALIZED GRASS				
SCALE: N.T.S.				
NOTES: SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE				

GENERAL NOTES

- CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS FOR THEMSELVES. CONTRACTOR TO FAMILIARIZE THEMSELVES WITH DESIGN DOCUMENTS, NOTES & DETAILS AND THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, CURRENT EDITION.
- CONTRACTOR SHALL NOTIFY/COORDINATE WITH THE MUNICIPALITY PRIOR TO PLANT MATERIAL INSTALLATION.
- PRIOR TO THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL CONTACT DIG SAFE @ 1-888-344-7233 TO HAVE THE EXISTING UTILITIES MARKED.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. SEE SPECIFICATION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1-CURRENT EDITION.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN. NO PLASTIC BURLAP.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- HEAL ALL CONSTRUCTION SCARS WITH NATURALIZED GRASS, LAWN OR MULCH AS INDICATED ON PLAN.
- "DRY ROOTS" SHALL BE ADDED TO ALL NEW TREE PLANTING PITS. ALL NEW LOAM SHALL BE TESTED AND AMENDED AS STATED IN THE LOAM REPORT PROVIDED BY LOAM SUPPLIER.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A WATERING SCHEDULE PROGRAM FOR THE 60 DAY MAINTENANCE PERIOD TO OWNER FOR ALL PROPOSED PLANT MATERIAL.
- PROTECT EXISTING PLANT MATERIAL WITHIN CONSTRUCTION LIMITS. PROVIDE WATERING PROGRAM FOR ALL PROPOSED PLANT MATERIAL DURING CONSTRUCTION.

IRRIGATION NOTES

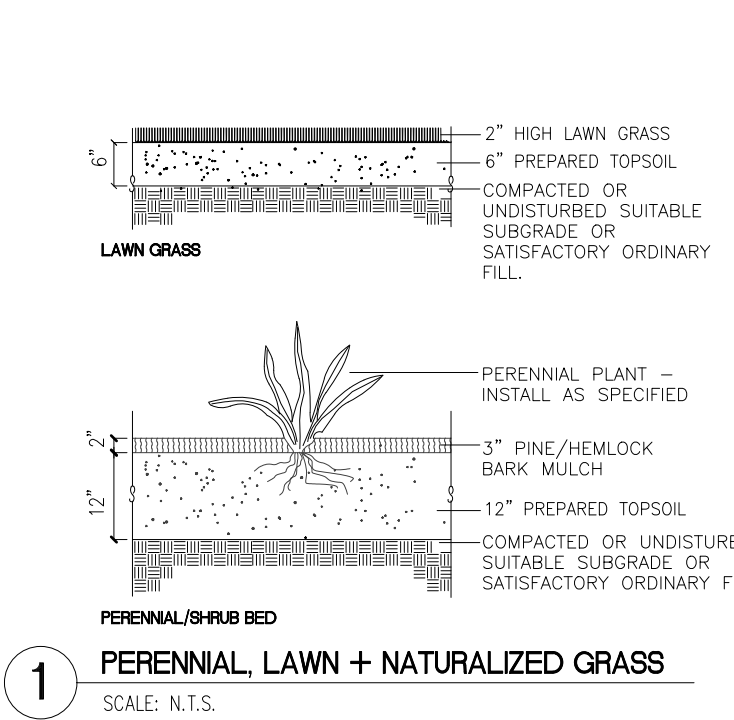
- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. SHOP DRAWINGS SHALL BE PROVIDED AT A SUITABLE SCALE TO ILLUSTRATE THAT THE DESIGNATED PLANT MATERIALS WILL BE IRRIGATED BY EITHER SPRAY HEADS, MIST HEADS OR DRIP IRRIGATION TUBING.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER-SPRAY ONTO THE PAVEMENT.
- ALL TREES, SHRUBS AND GROUND COVER SHALL BE DRIP IRRIGATED/IRRIGATED WITH SHRUB MIST HEADS. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTINGS AND PLANTERS AROUND THE BUILDING.
- THE IRRIGATION LAYOUT AND ALL OF THE COMPONENTS SHALL CONFORM TO THE SPECIFICATIONS. THE SPECIFICATIONS CALL FOR SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL, AS WELL AS CONFORMANCE TO THE MATERIALS SPECIFIED.
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- SLEEVING UNDER PAVEMENTS MUST BE AVAILABLE AND IN THE PROPER LOCATION PRIOR TO PAVING.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- THE IRRIGATION ALTERNATE SHALL INCLUDE THE COST OF CONNECTING TO THE BUILDING WATER SERVICE DOWN STREAM OF THE BACK FLOW PREVENTER OF THE IRRIGATION WELL.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE, GRANITE, PAVEMENT & CURBS.

LEGEND

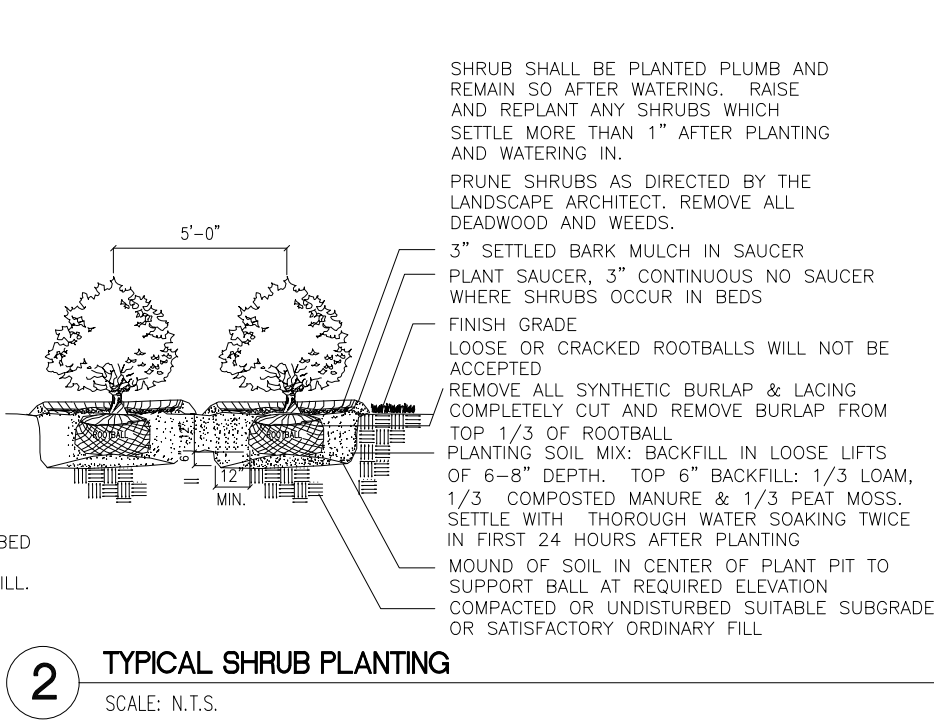
	PROTECT EXISTING TREES TO REMAIN, TYP.		SEEDED LAWN (SPRAY-HEAD IRRIGATION)
	ORNAMENTAL & FLOWERING TREES (DRIP OR MIST HEAD IRRIGATION)		IRRIGATION SLEEVES
	PERENNIALS (DRIP OR MIST HEAD IRRIGATION)		

LANDSCAPE NOTES

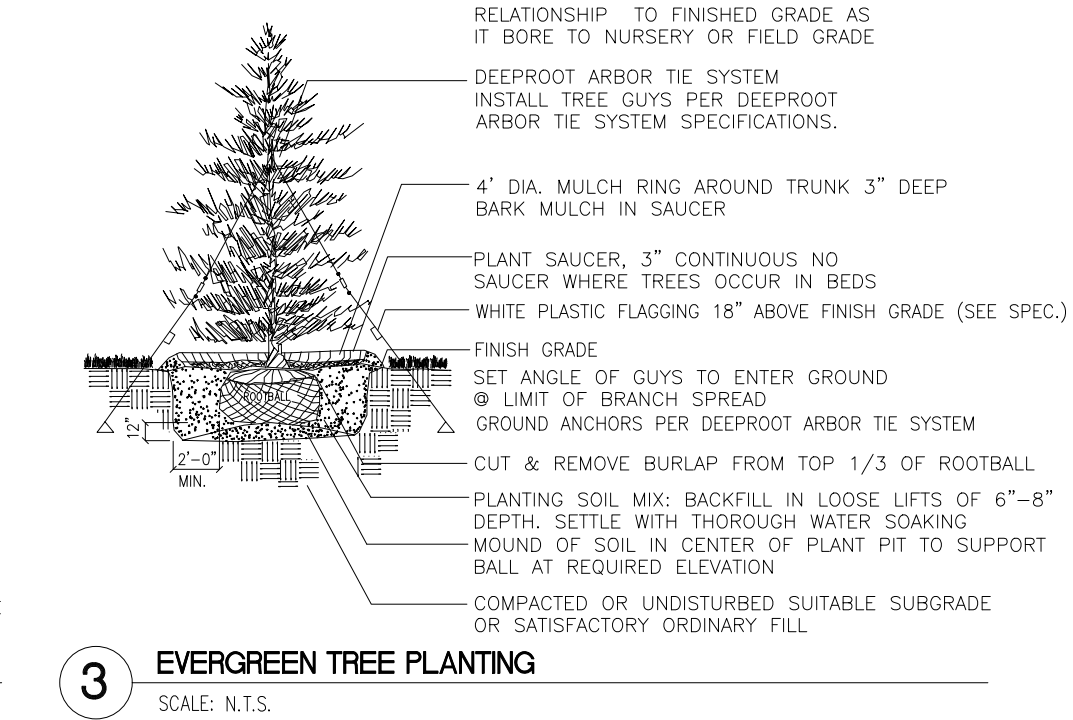
- LOAM DEPTHS SHALL BE AS FOLLOWS:
 - LAWN AREAS: 6" ROLLED THICKNESS
 - PLANT BEDS: 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH
 - ISOLATED PLANTED ISLANDS: 1'-0" LOAM DEPTH
- LAWN GRASS SHALL BE LANDSCAPE/UTILITY MIXTURE FOR SUN/SHADE AND MAY INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING SPECIES:
 - ENCHANTED PERENNIAL RYEGRASS
 - CREeping RED FESCUE
 - GOLDRUSH KENTUCKY BLUEGRASS



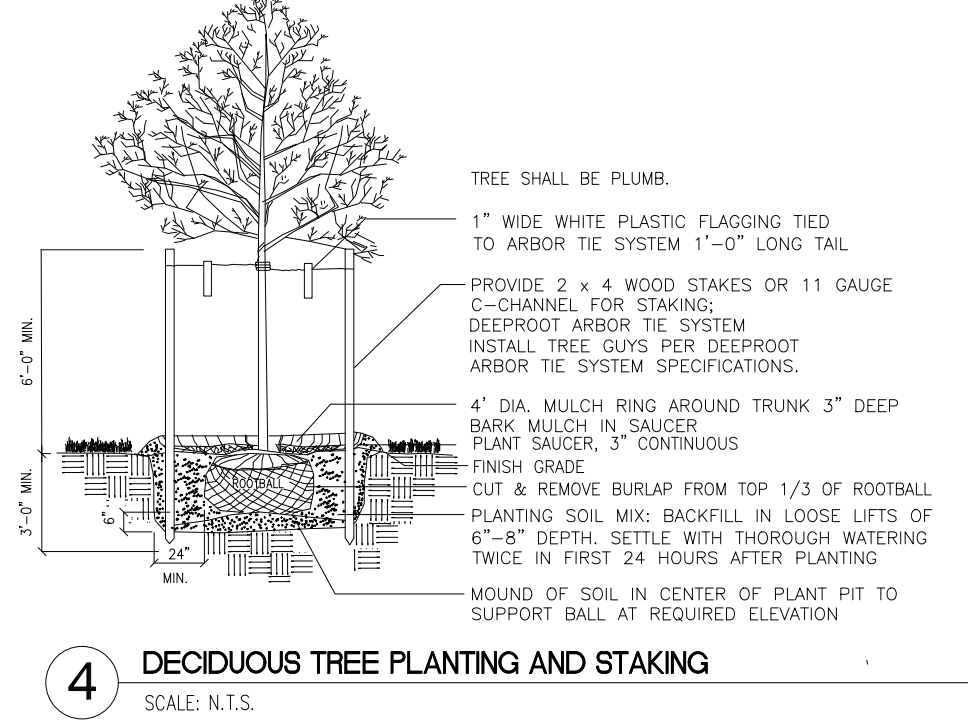
1 PERENNIAL, LAWN + NATURALIZED GRASS
SCALE: N.T.S.



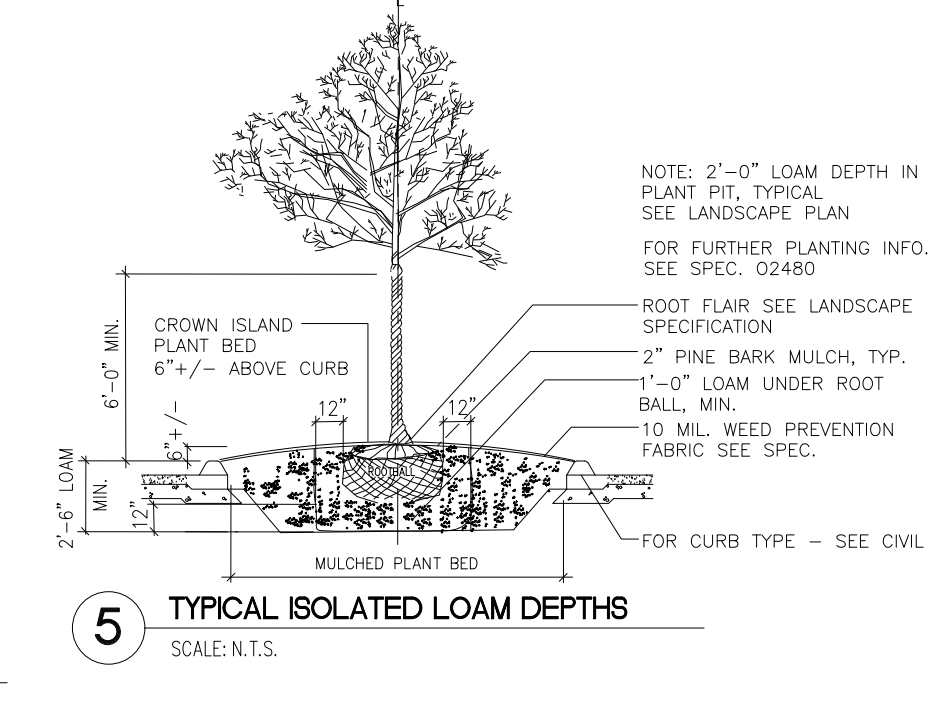
2 TYPICAL SHRUB PLANTING
SCALE: N.T.S.



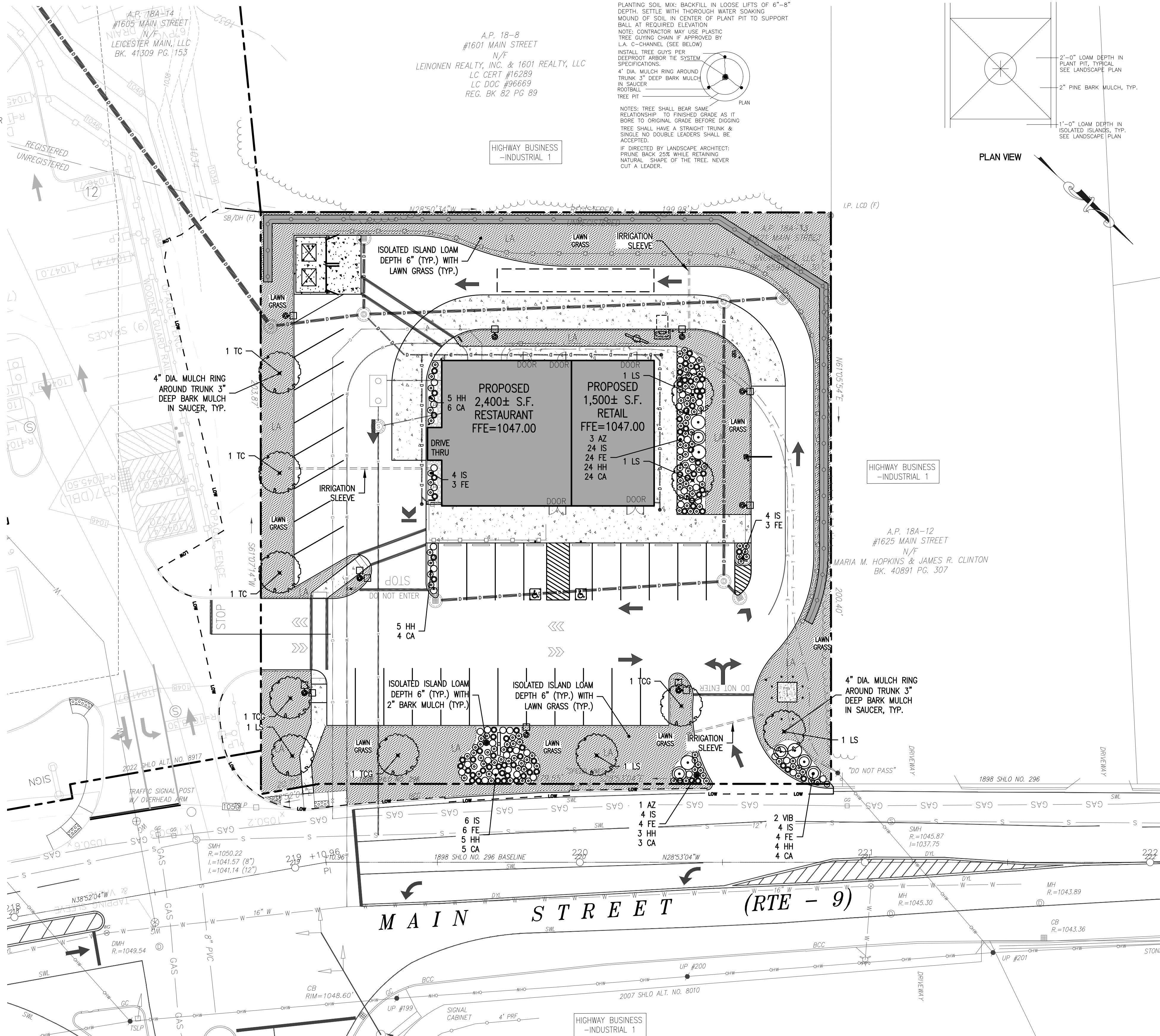
3 EVERGREEN TREE PLANTING
SCALE: N.T.S.



4 DECIDUOUS TREE PLANTING AND STAKING
SCALE: N.T.S.



5 TYPICAL ISOLATED LOAM DEPTHS
SCALE: N.T.S.



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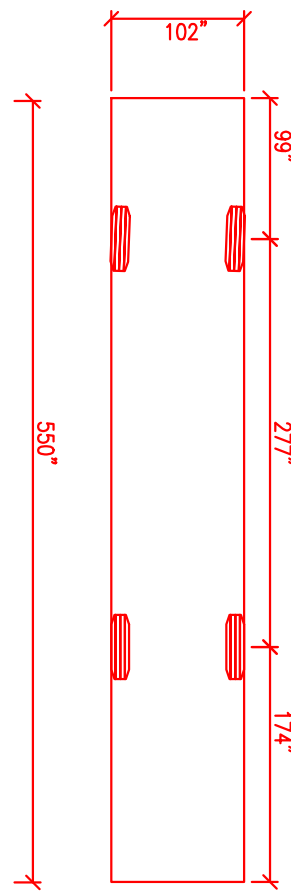
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LANDSCAPE
PLAN
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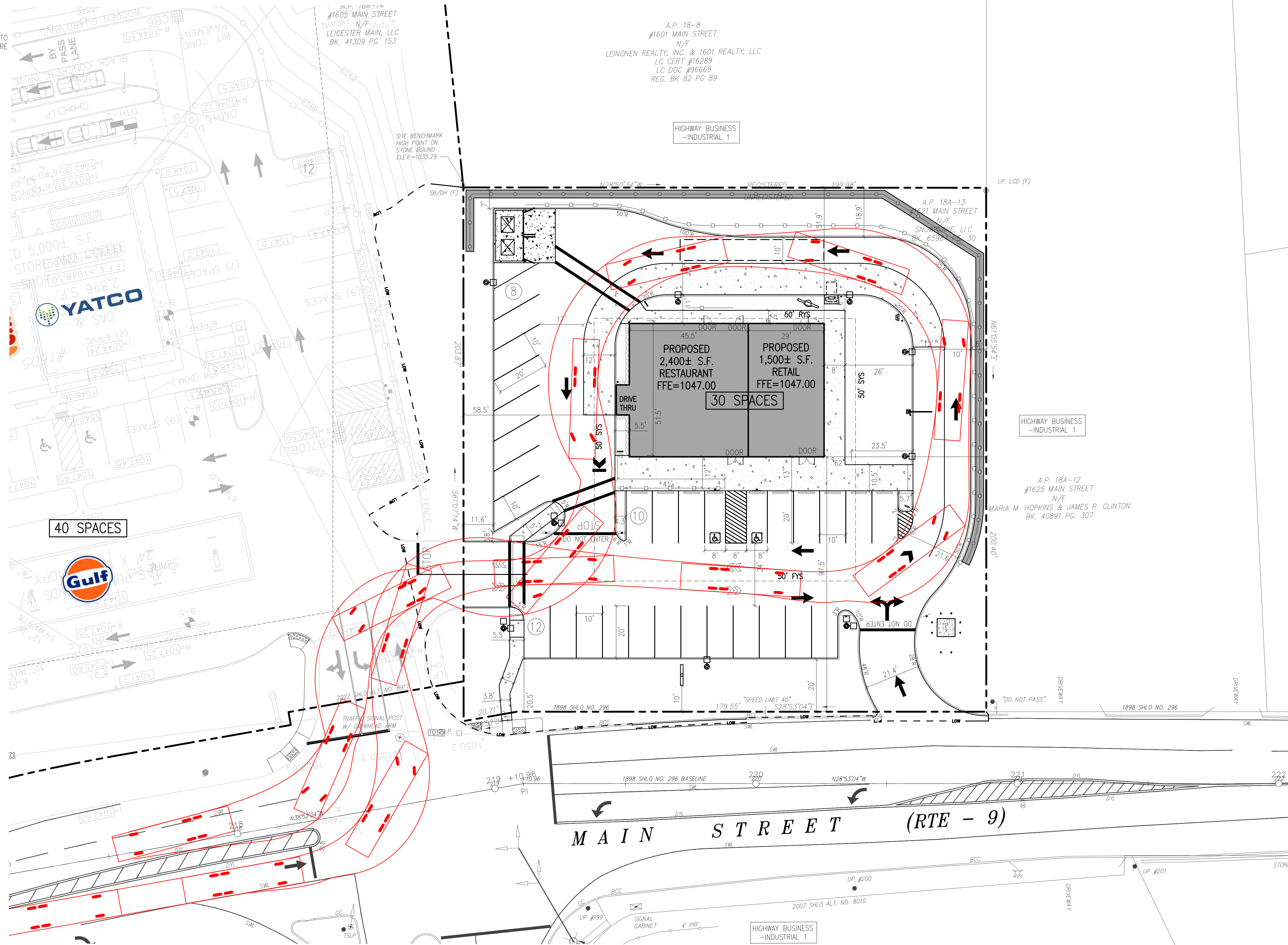
DATE: 09/08/2023

BOARD OF FIRE PREVENTION REGULATION COMPLIANCE

1. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.1.1.4, FIRE APPARATUS MANEUVERS / VEHICLE SWEEP PATHS HAVE BEEN PROVIDED.
2. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.1.1.5, THIS PLAN BEARS THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER.
3. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.2.1.1, ACCESS ROADS EXTEND TO WITHIN 150' OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE.
4. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.2.2.1, ANY PORTION OF THE EXTERIOR WALL OF THE FIRST STORY OF EACH BUILDING IS WITHIN 250' OF AN ACCESS ROAD.
5. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.1.1, ACCESS ROADS HAVE BEEN PROVIDED WITH UNOBSTRUCTED WIDTHS OF NOT LESS THAN 20'.
6. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.1.2, ACCESS ROADS HAVE BEEN PROVIDED WITH UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6".
7. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.3.1, INSIDE TURNING RADII HAVE BEEN PROVIDED EQUAL TO OR GREATER THAN THE EQUIVALENT OF 25' RADII FOR A 20' WIDE ACCESS ROAD.
8. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.2, ACCESS ROADS HAVE BEEN DESIGNED TO SUPPORT FIRE APPARATUS AND ARE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE.
9. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.4, TURNAROUND PROVISIONS HAVE BEEN MADE FOR DEAD-END ACCESS ROADS.
10. IN ACCORDANCE WITH 527 CMR 1 SECTION 18.2.3.4.6.1, ACCESS ROAD GRADES DO NOT EXCEED 10%.
11. CIVIL DESIGN GROUP RECOMMENDS THAT THE FIRE TRUCK MANUEVERING BE FIELD VERIFIED AS SOON AS PRACTICABLE WITH THE AMHERST FIRE DEPARTMENT PRESENT TO WITNESS THE SAME. CDG SHALL NOT BE HELD LIABLE FOR THE INABILITY OF THE FIRE TRUCK TO ACCESS AND EXIT THE SITE.



LEICESTER TOWN LADDER 53
TRUCK DIMENSIONS



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**HY VENTURES
LEICESTER, LLC**

313 BOSTON POST ROAD WEST
MARLOROUGH, MA 01752

PROJECT:

**PROPOSED RETAIL
DEVELOPMENT**

1621 MAIN STREET (RT-9)
LEICESTER, MA 01524

SCALE:

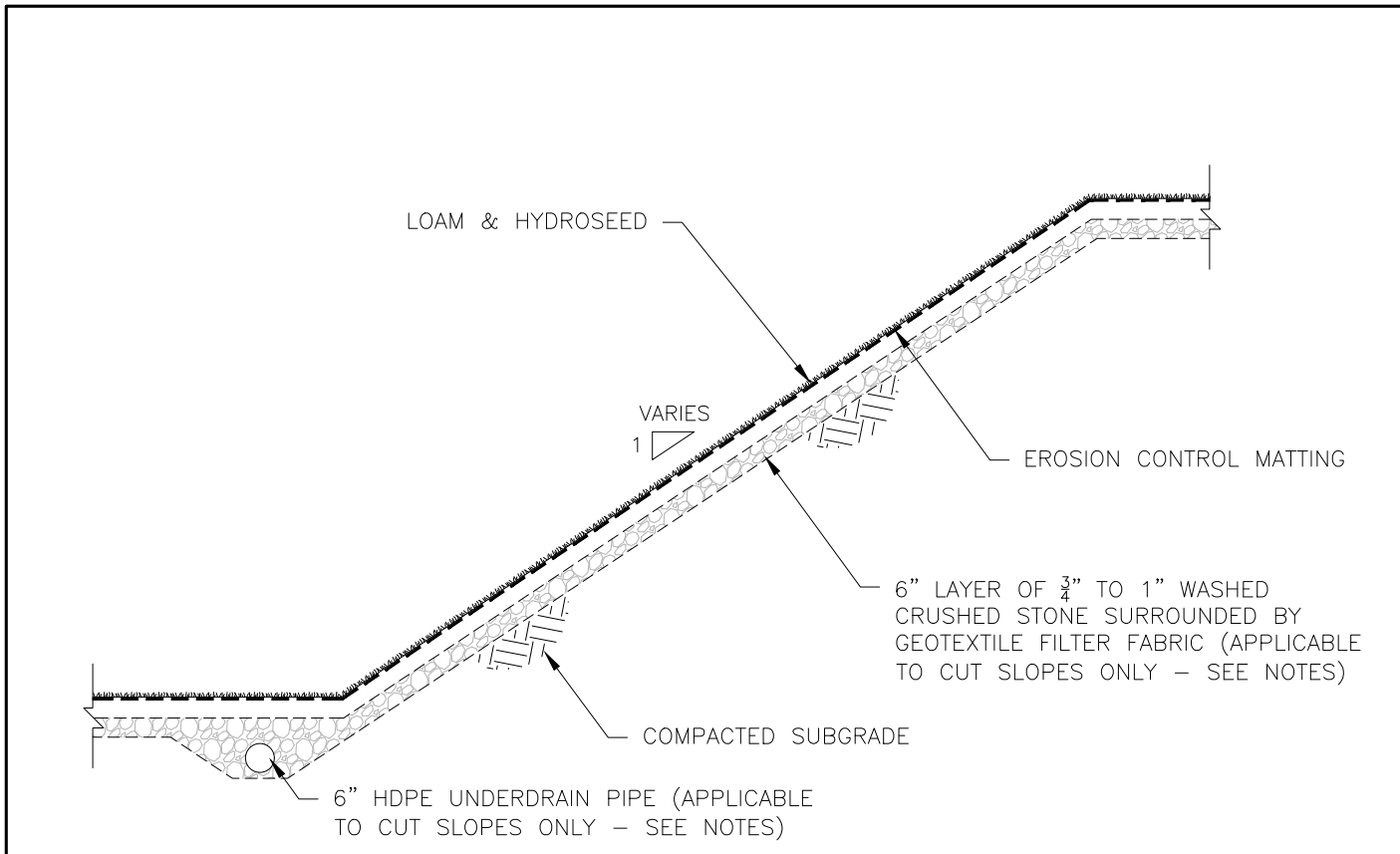
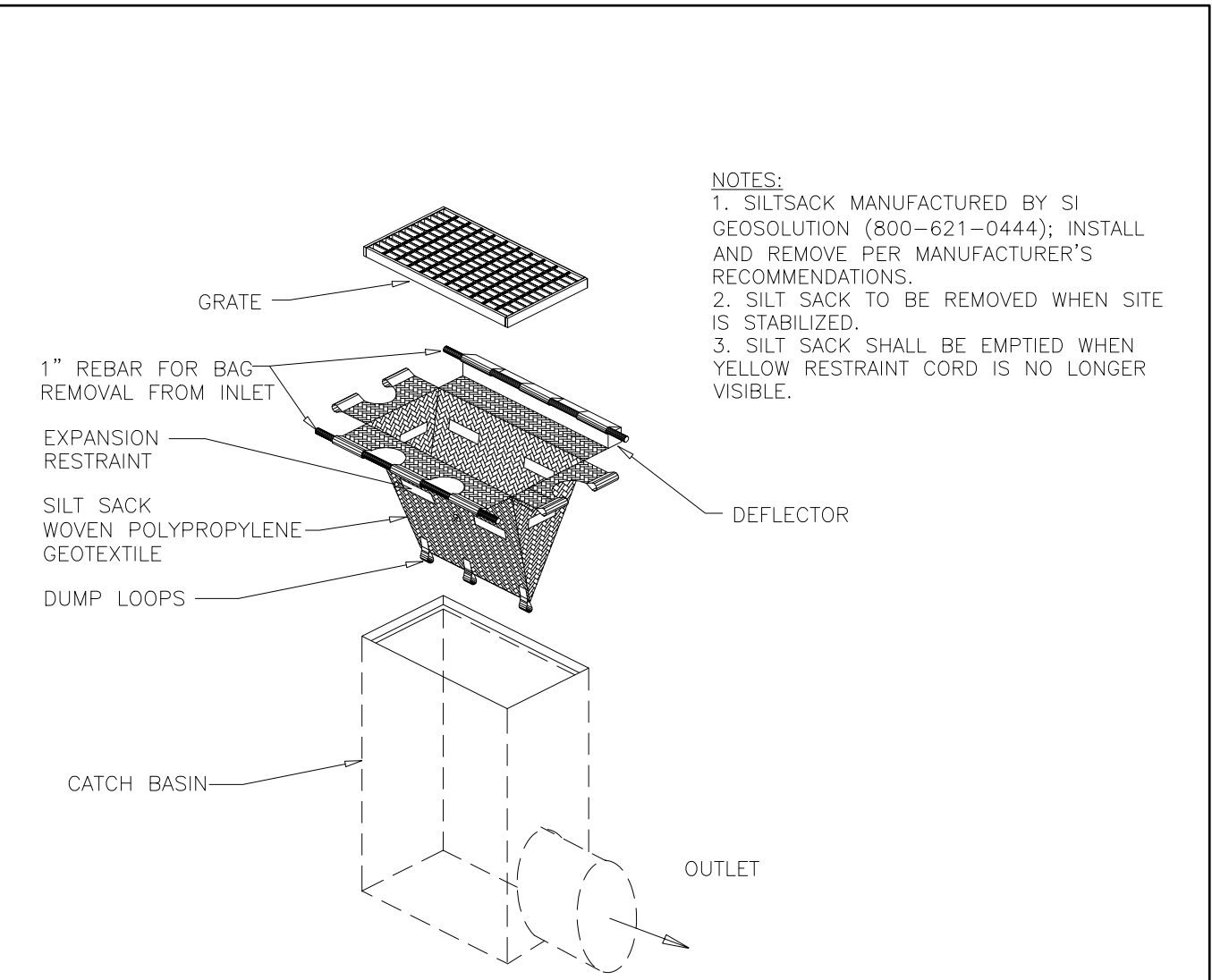
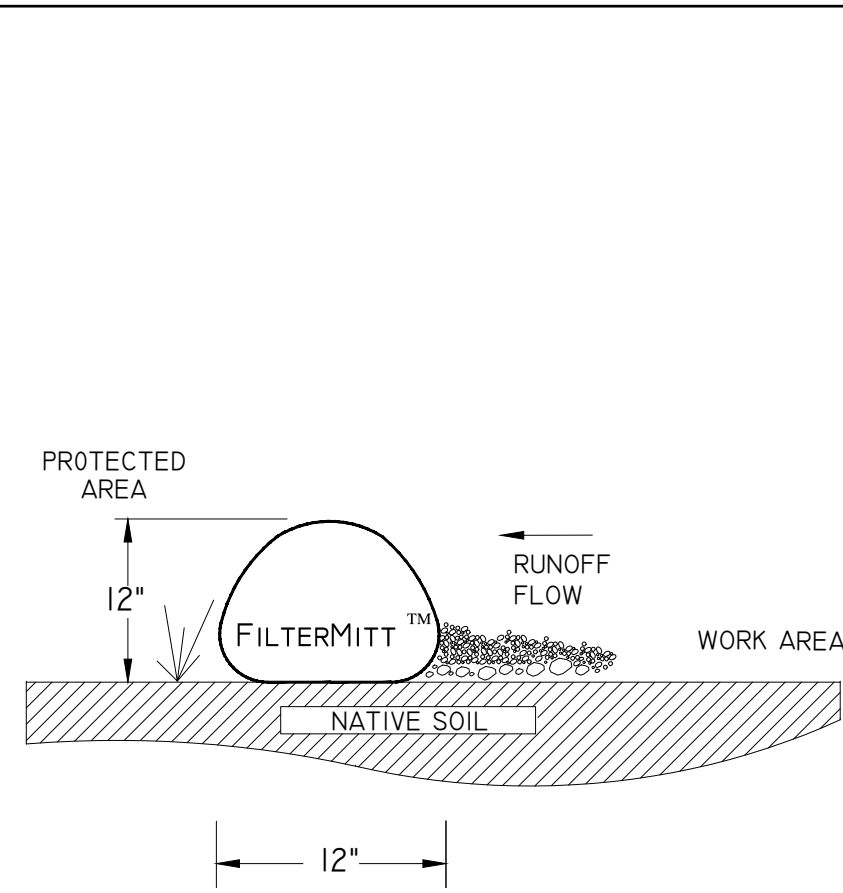
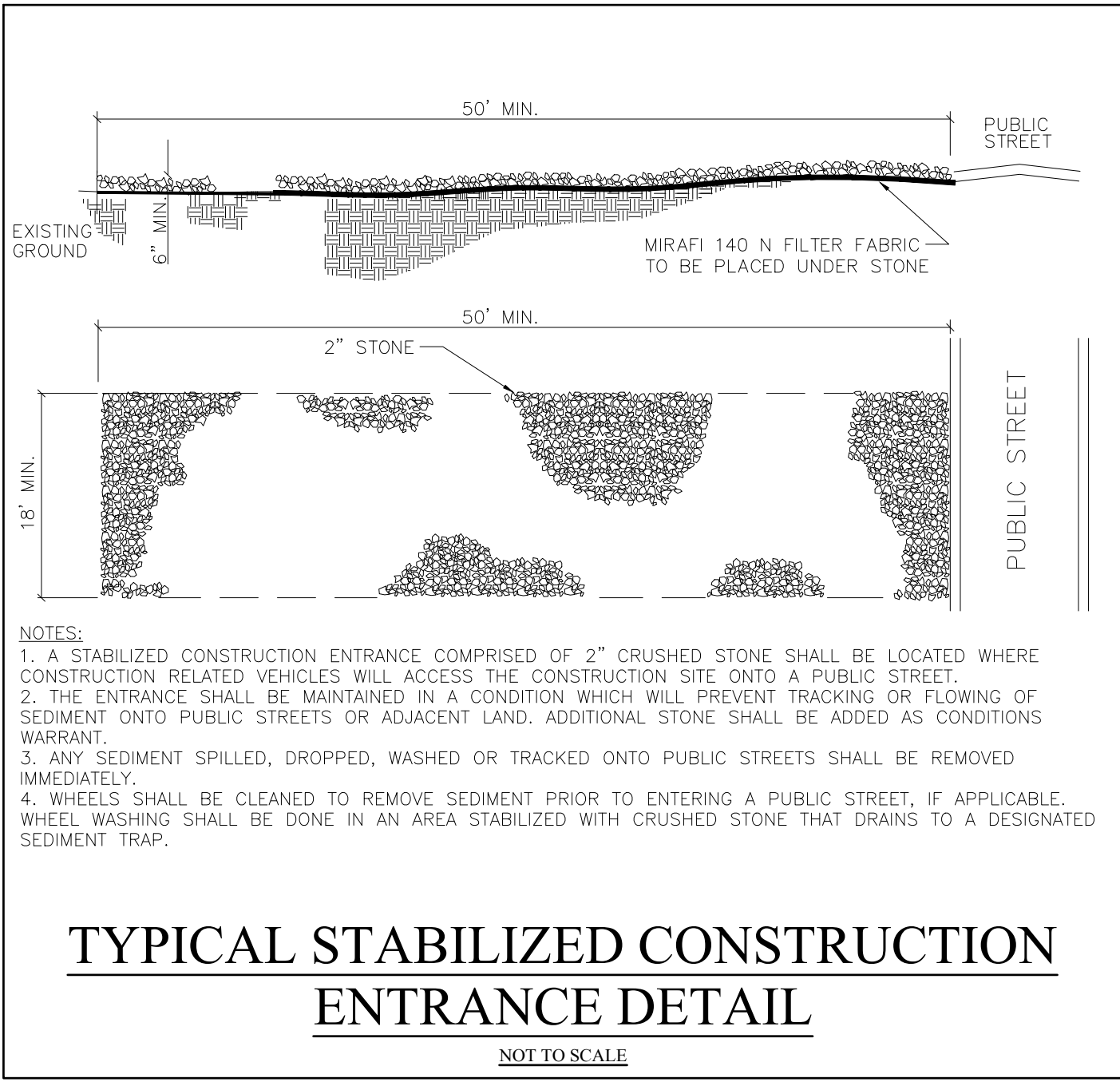
GRAPHIC SCALE IN FEET

SHEET:

**FIRE APPARATUS
CIRCULATION PLAN**

8

DATE: 09/08/2023



NOT FOR CONSTRUCTION

CDG PROJECT #: 23028

REVISIONS:

REV	DATE	COMMENT
1	10/16/23	REVISED PER PEER REVIEW LETTER
2		
3		
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5		
6		
7		
8		
9		

SEAL:

COMMONWEALTH OF MASSACHUSETTS

PHILIP R. HENRY

CIVIL

No. 48547

REGISTERED PROFESSIONAL

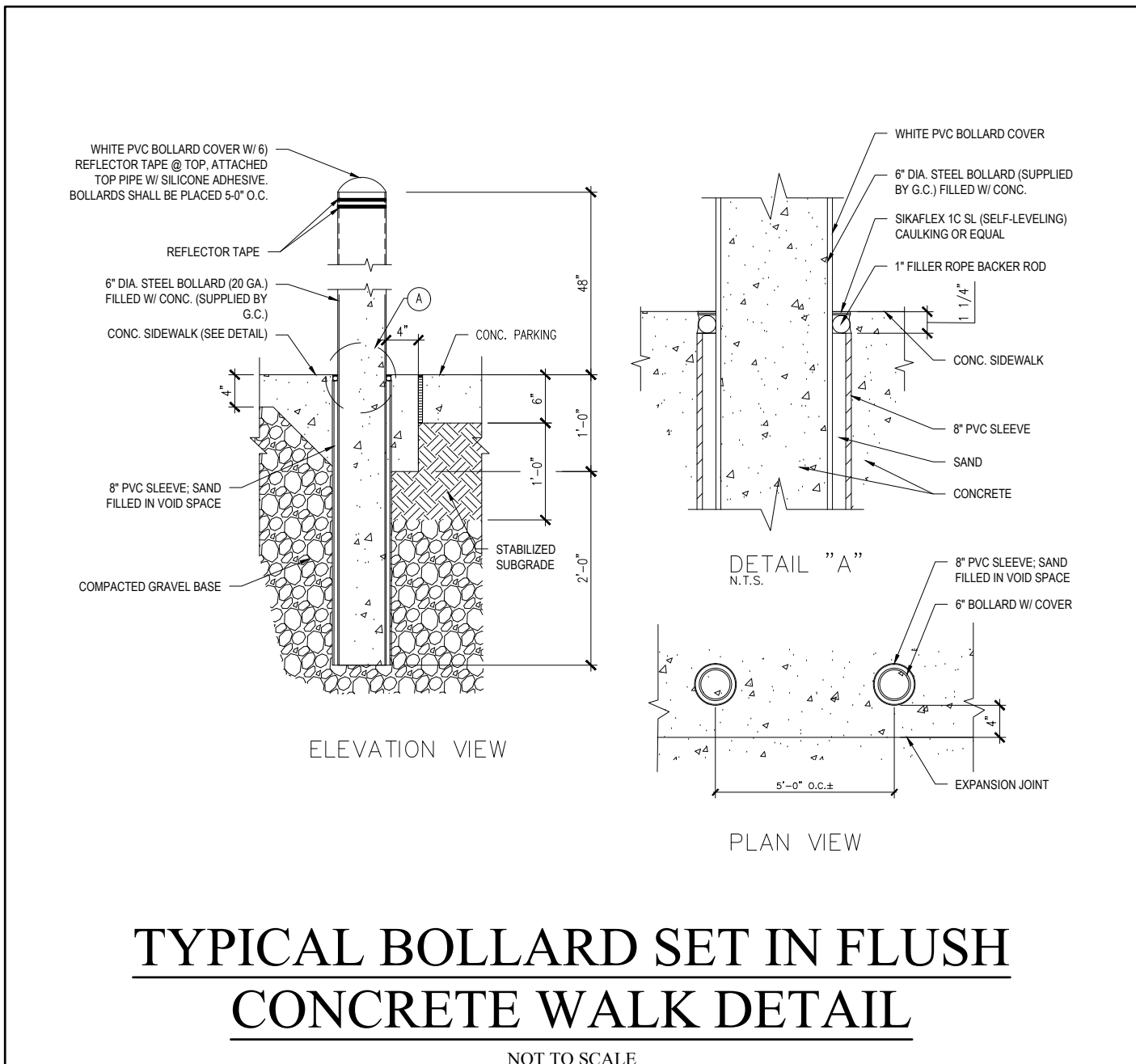
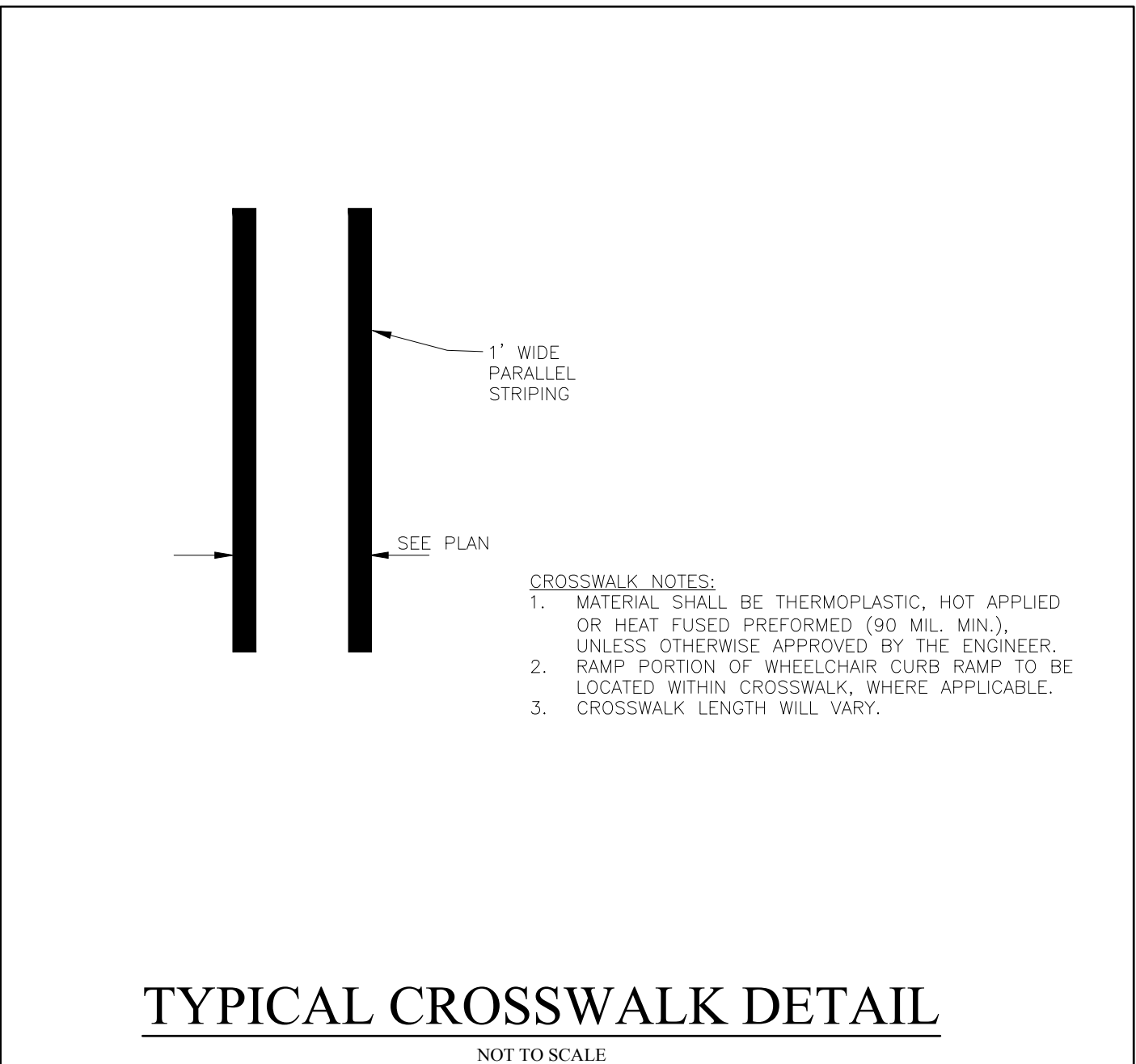
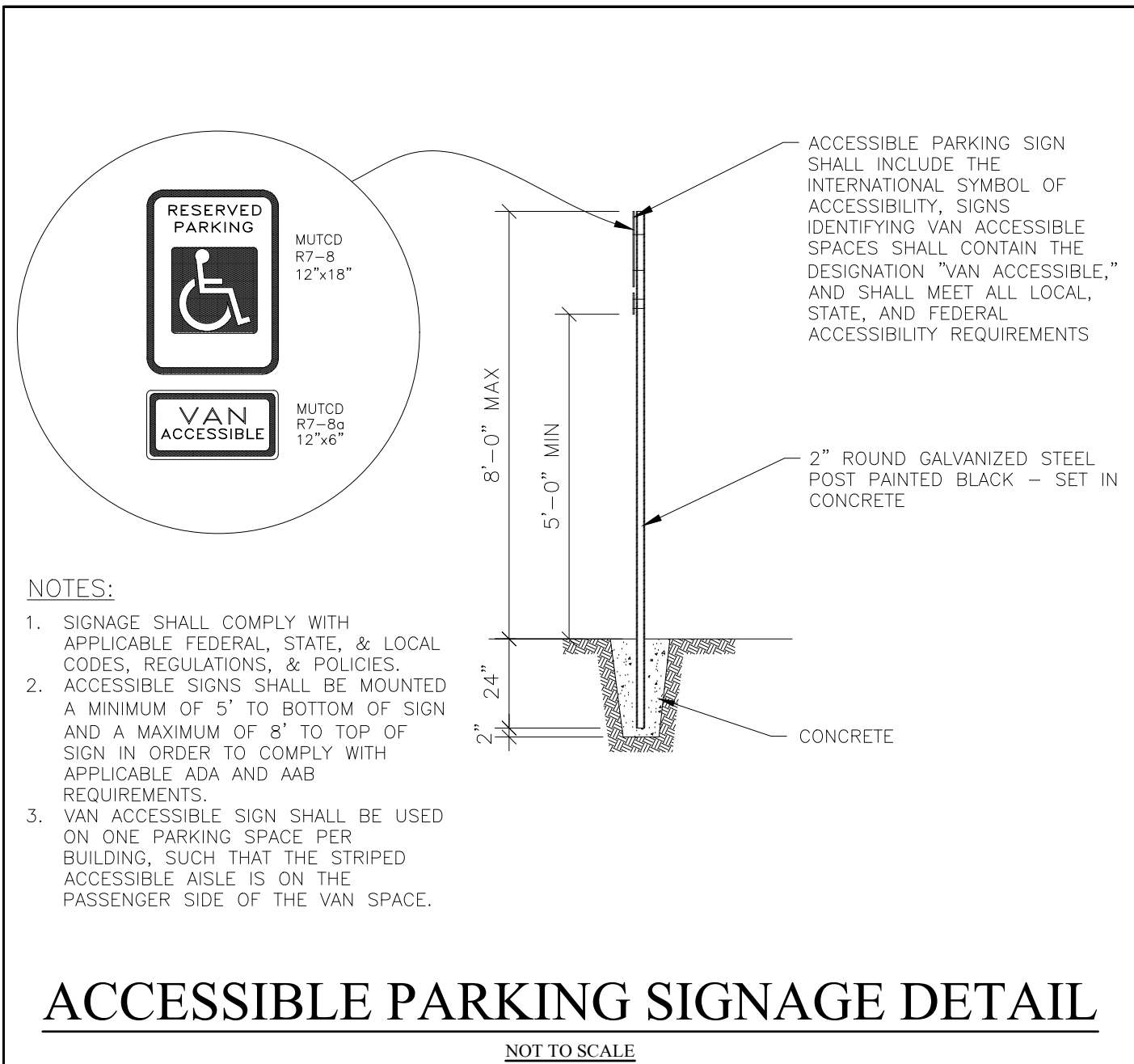
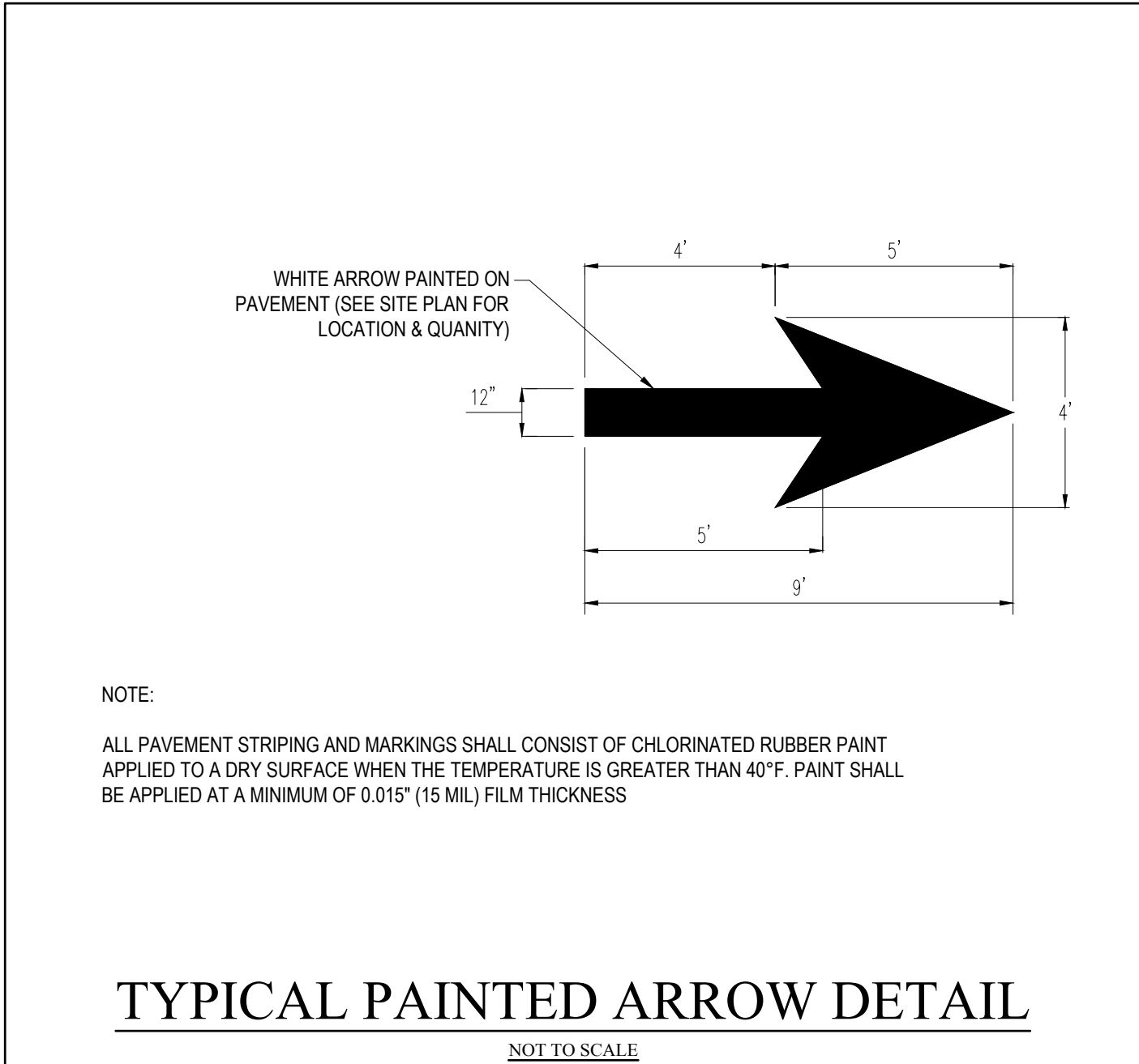
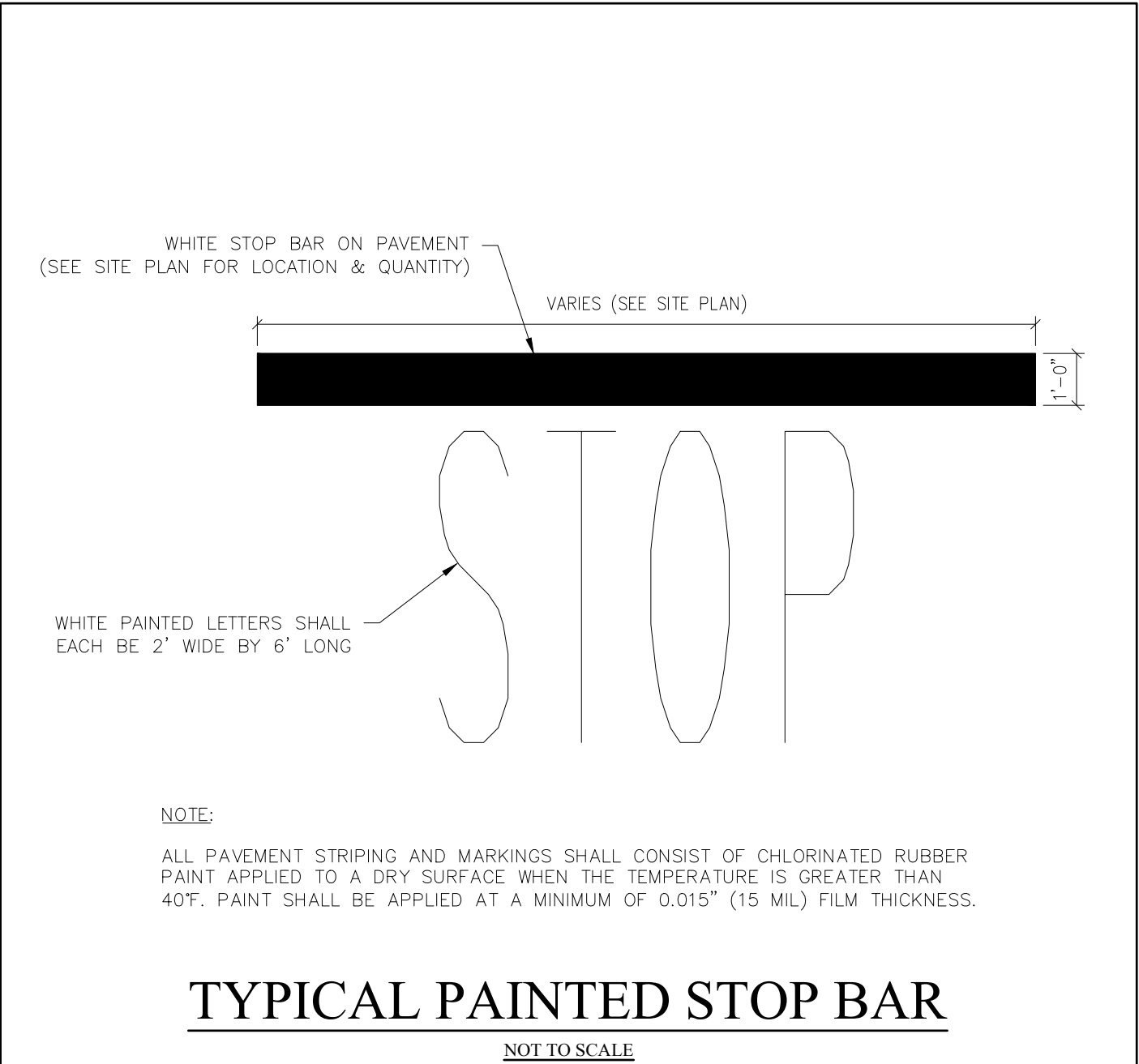
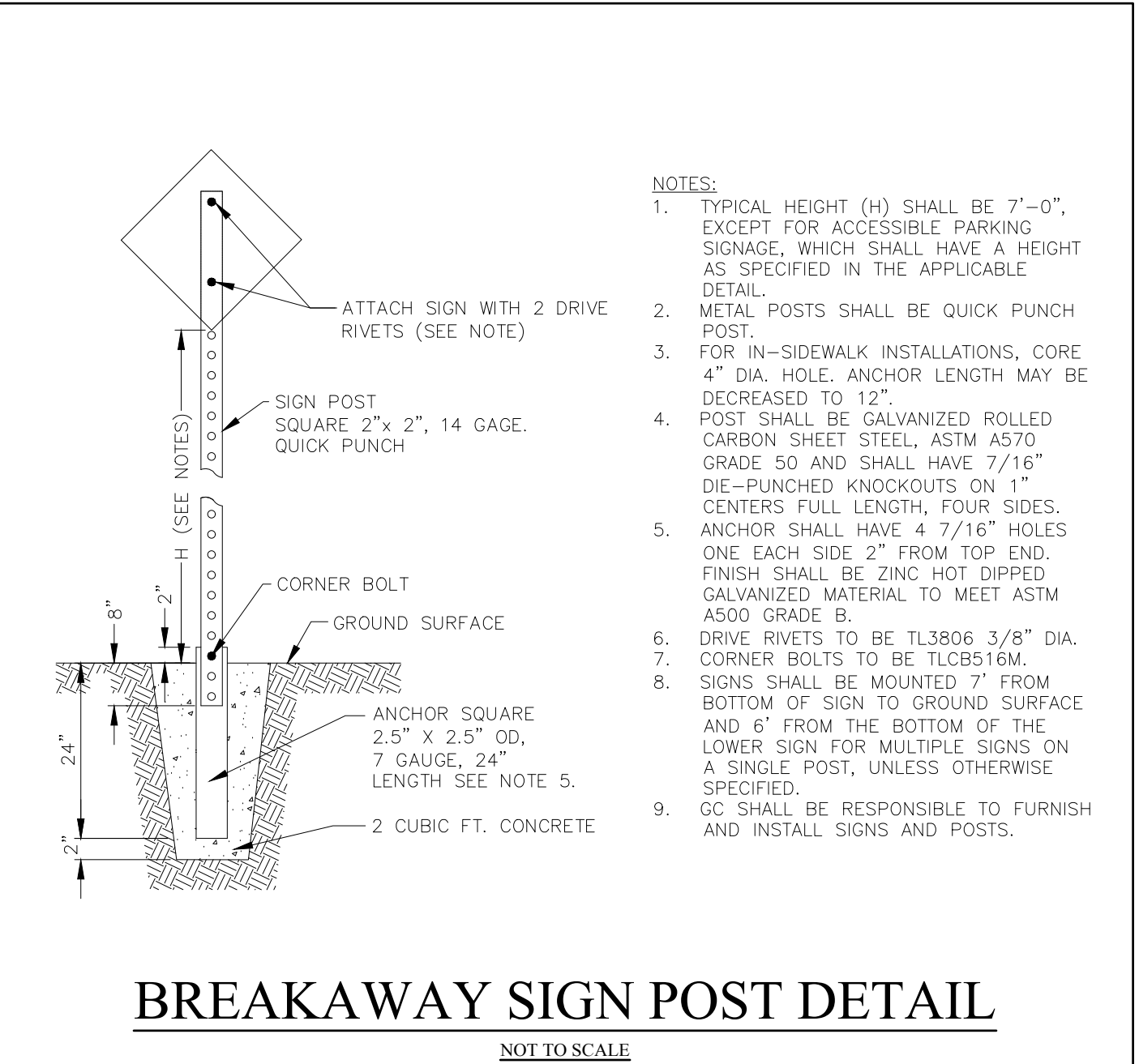
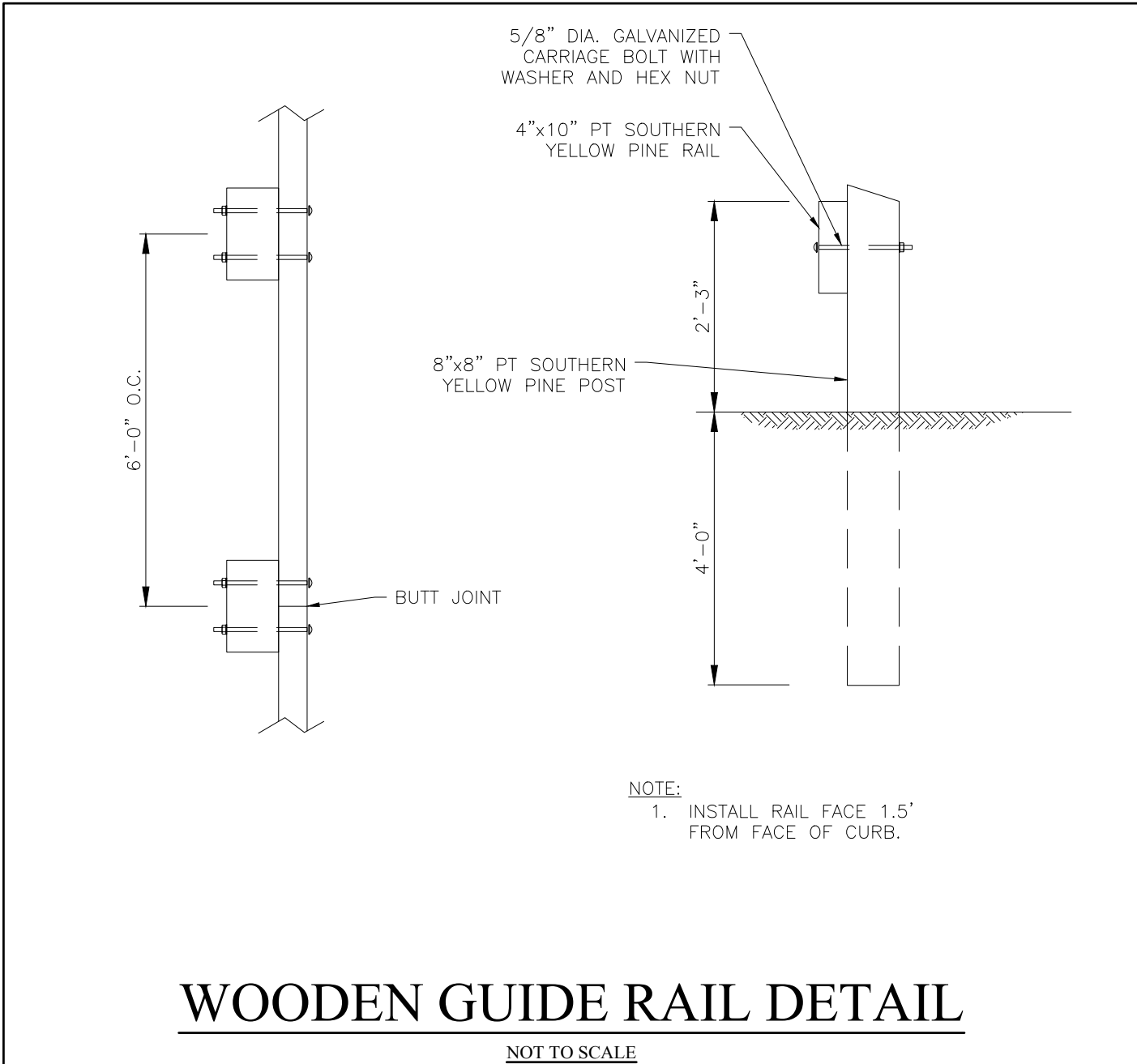
PHILIP R. HENRY, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

Civil Design Group, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971



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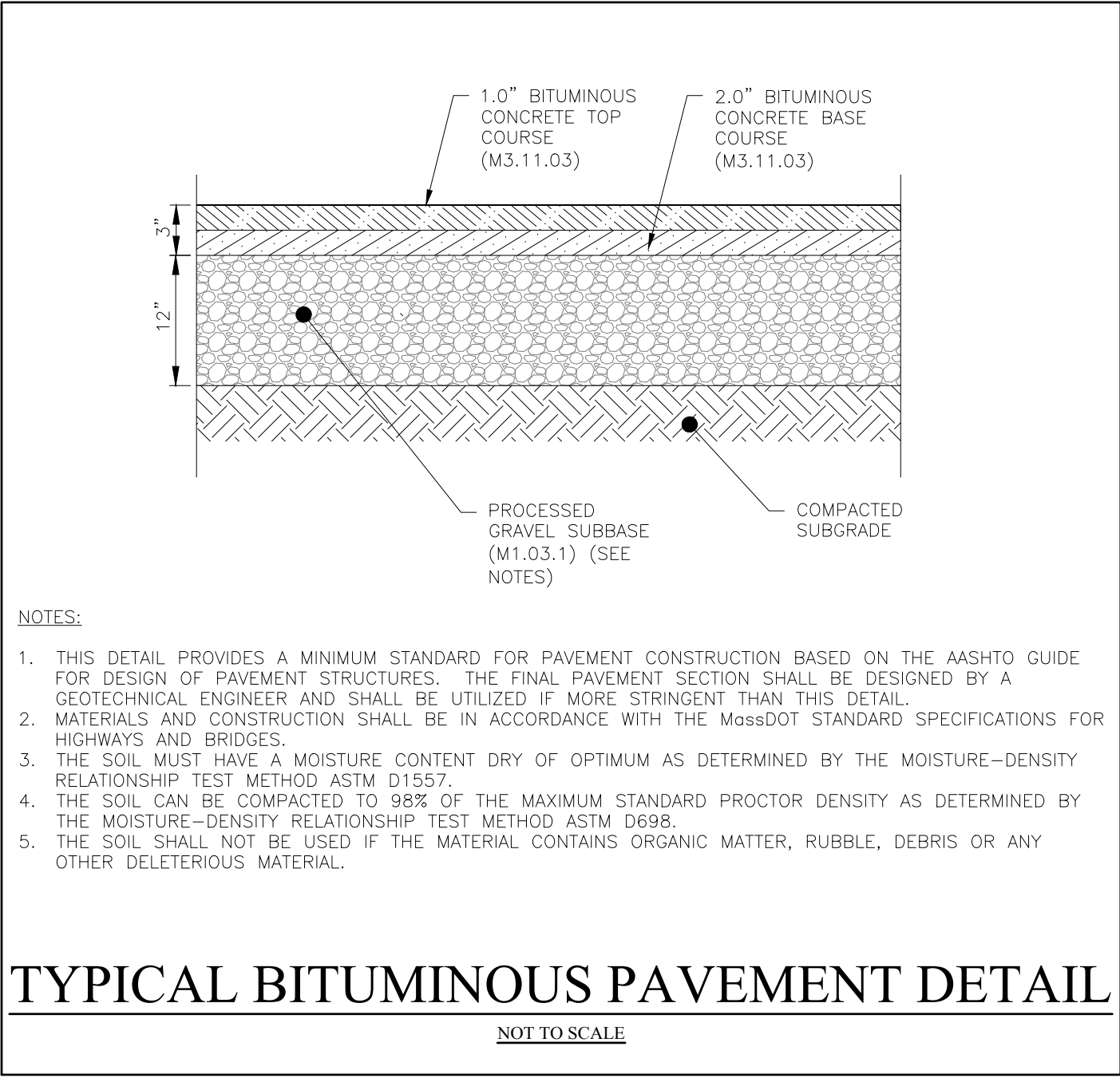
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CONSTRUCTION DETAILS

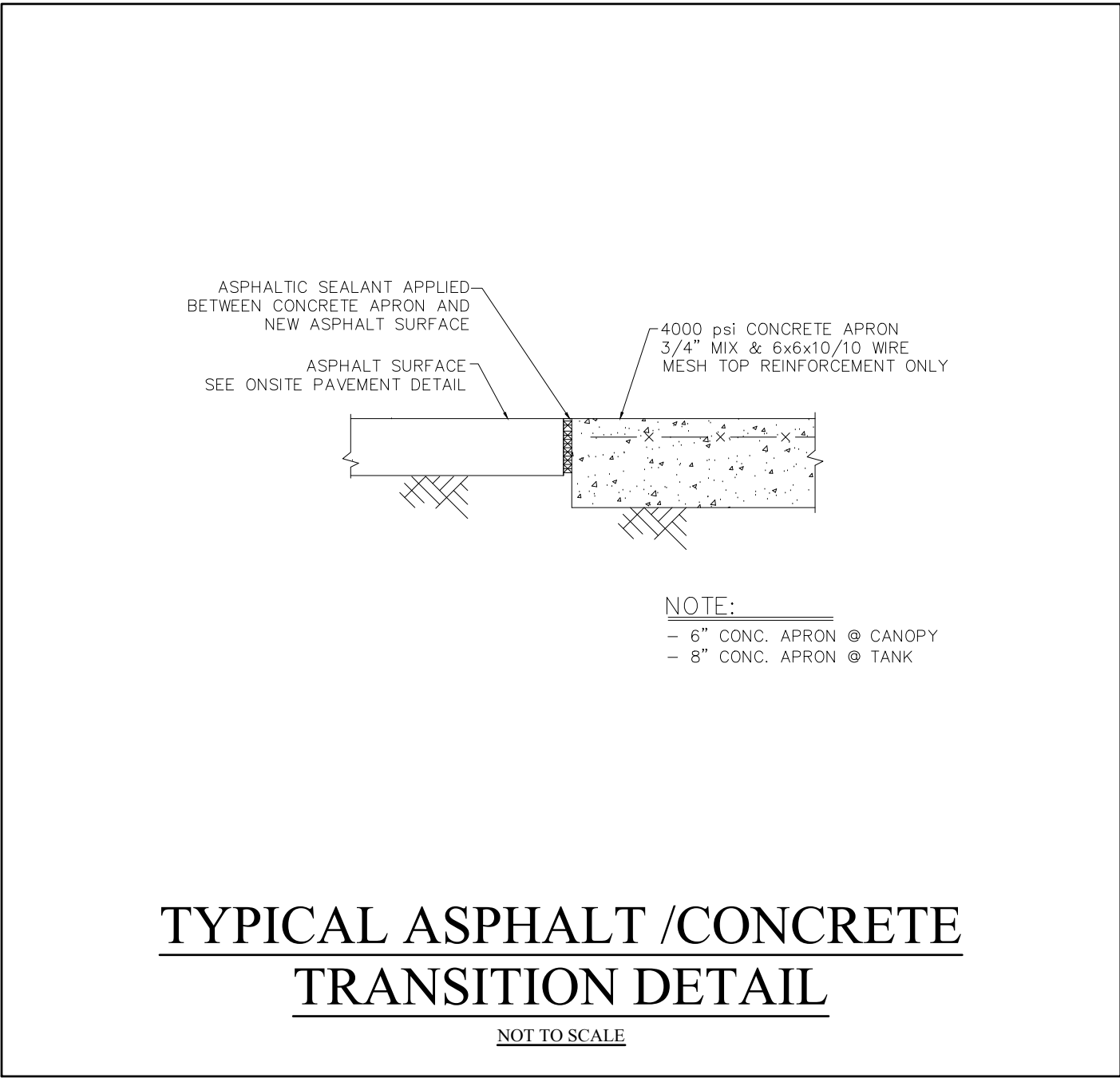
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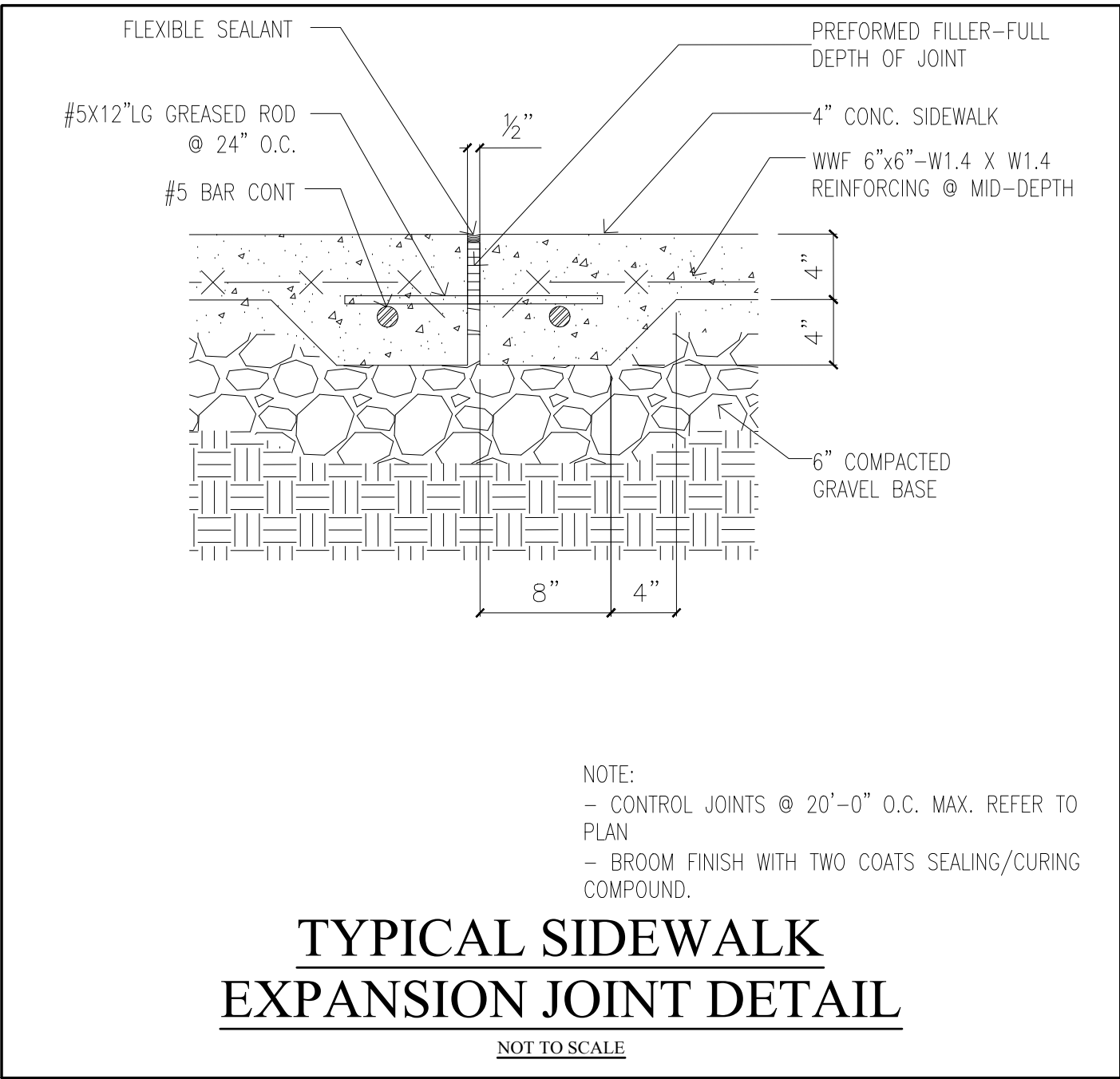
09/08/2023



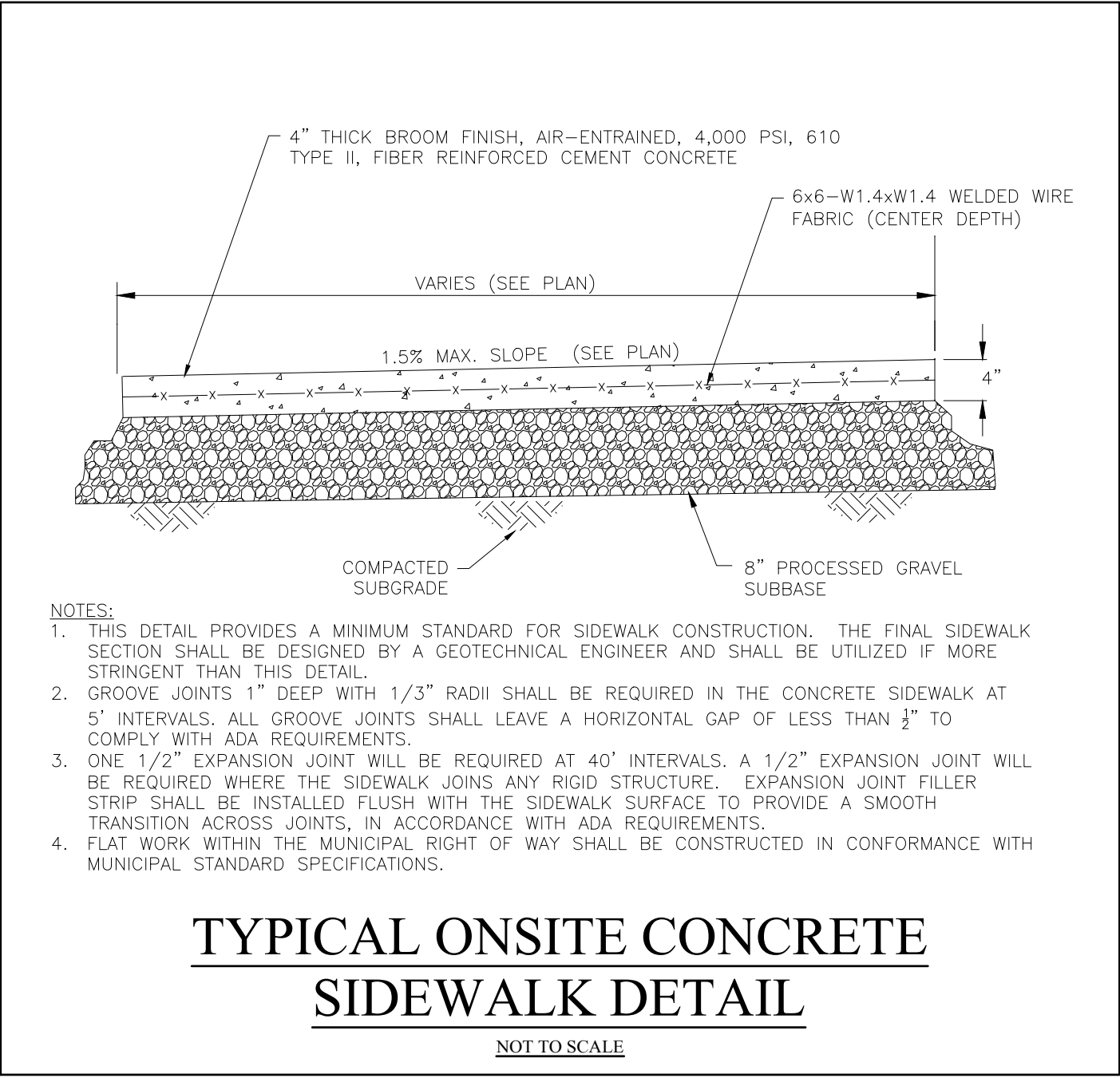
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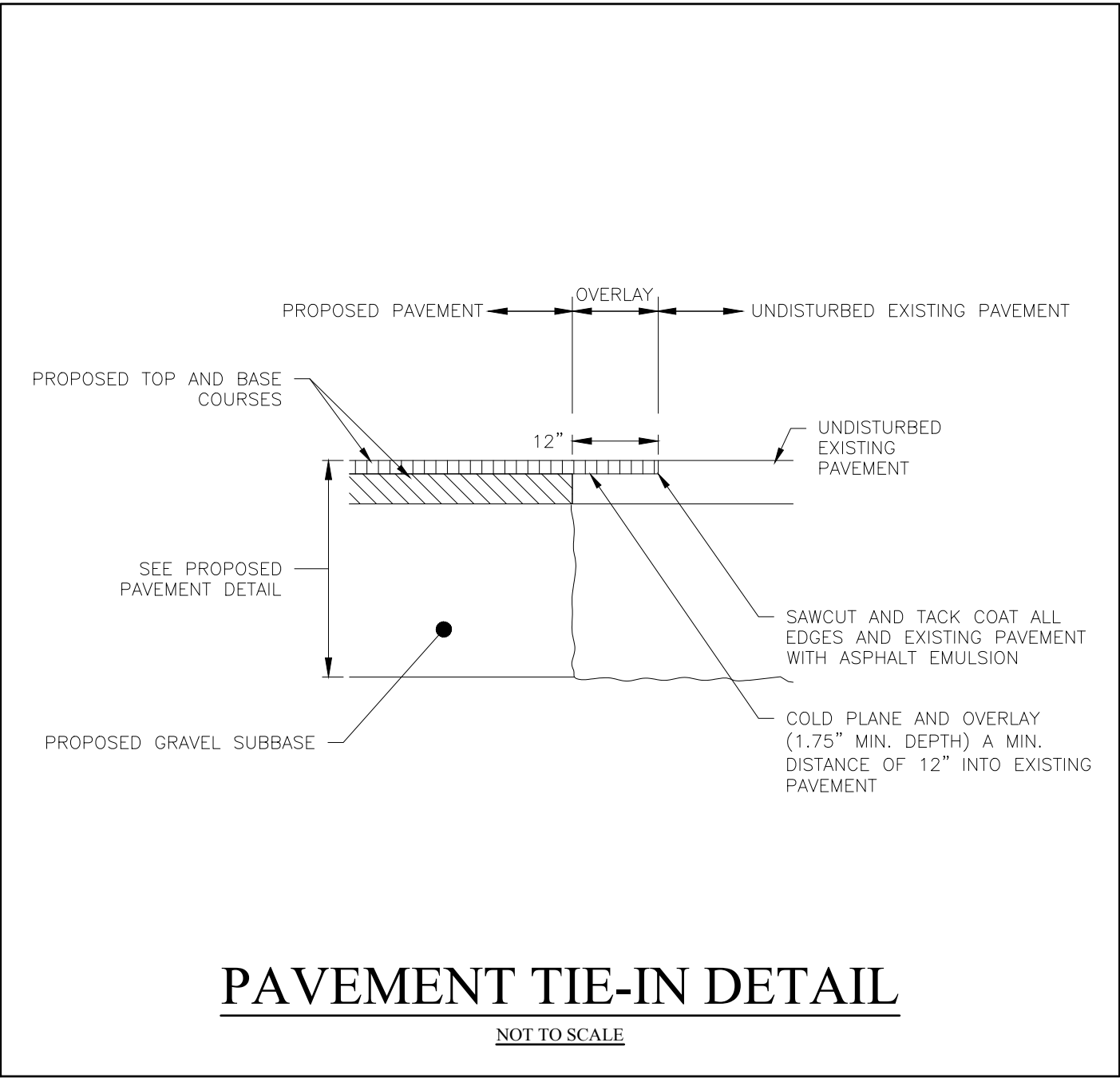
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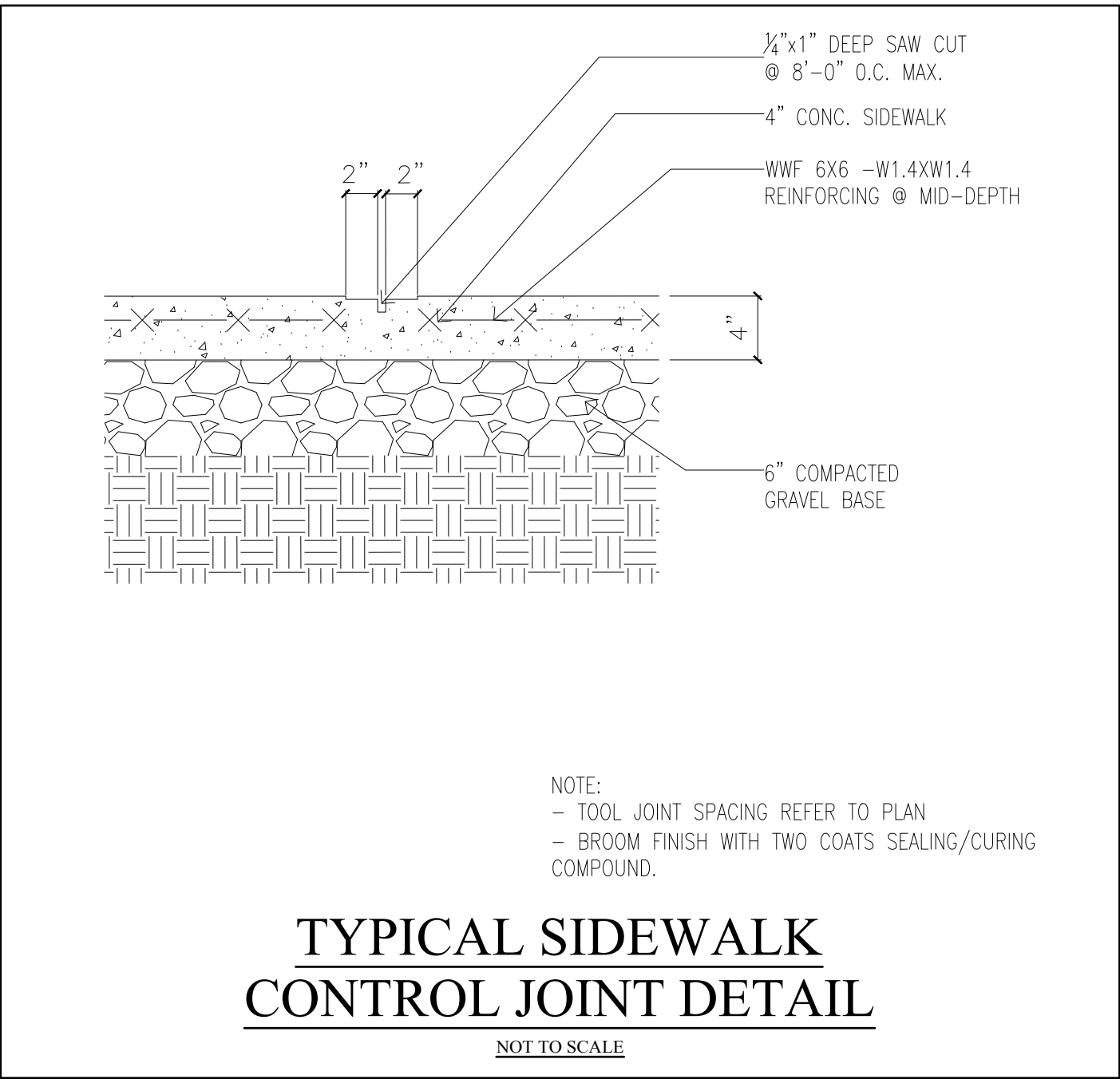
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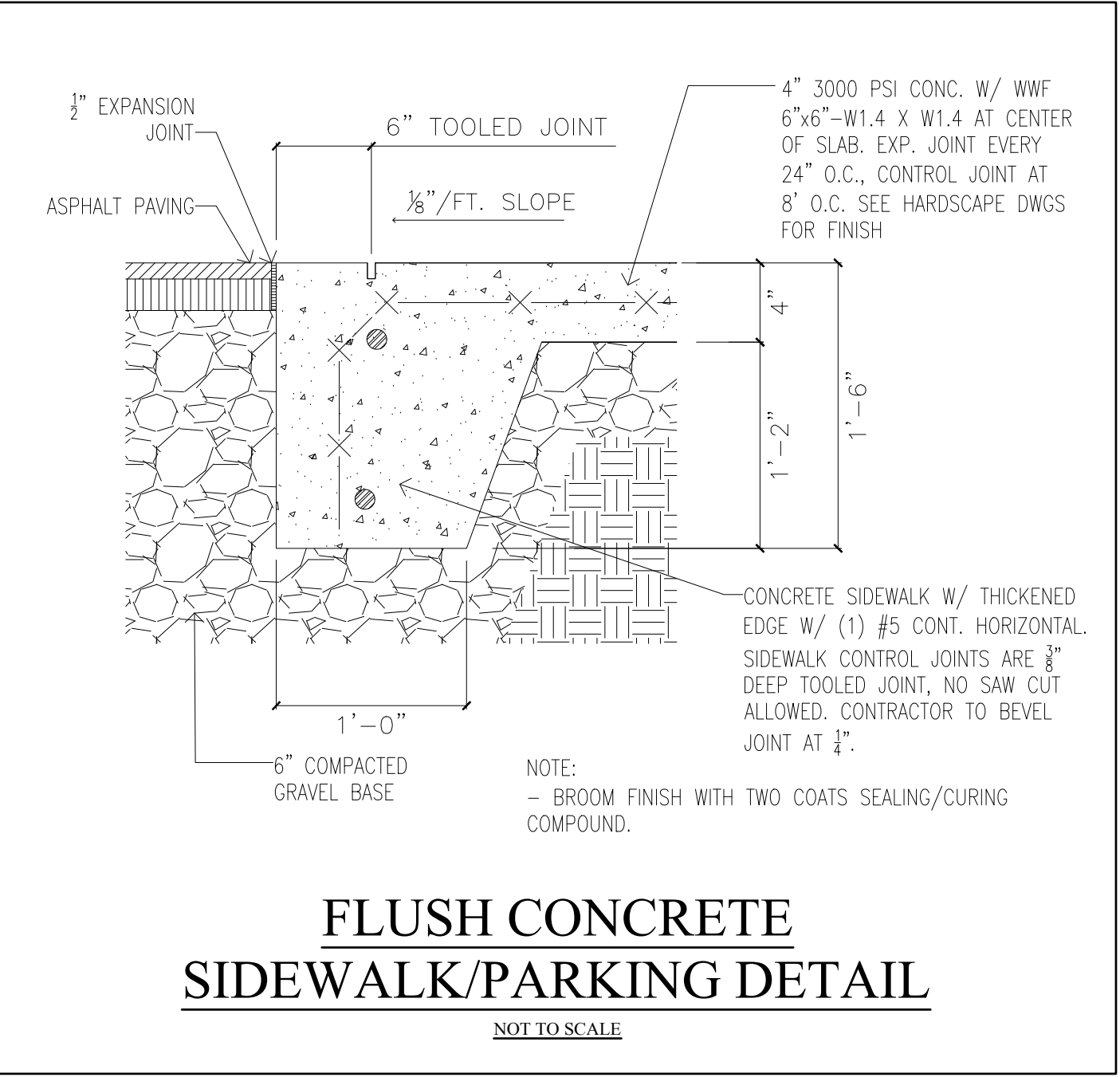
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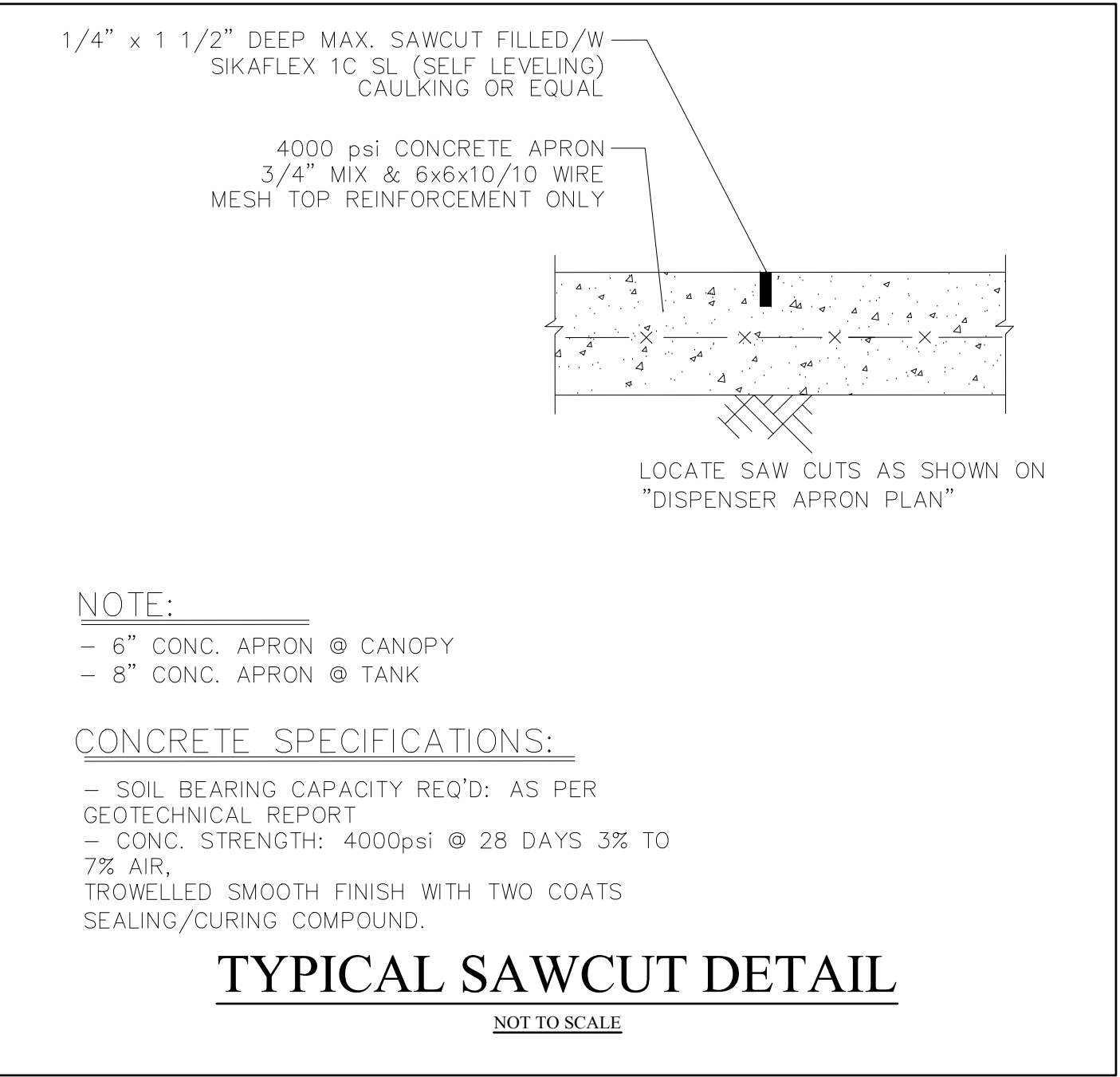
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NOT TO SCALE



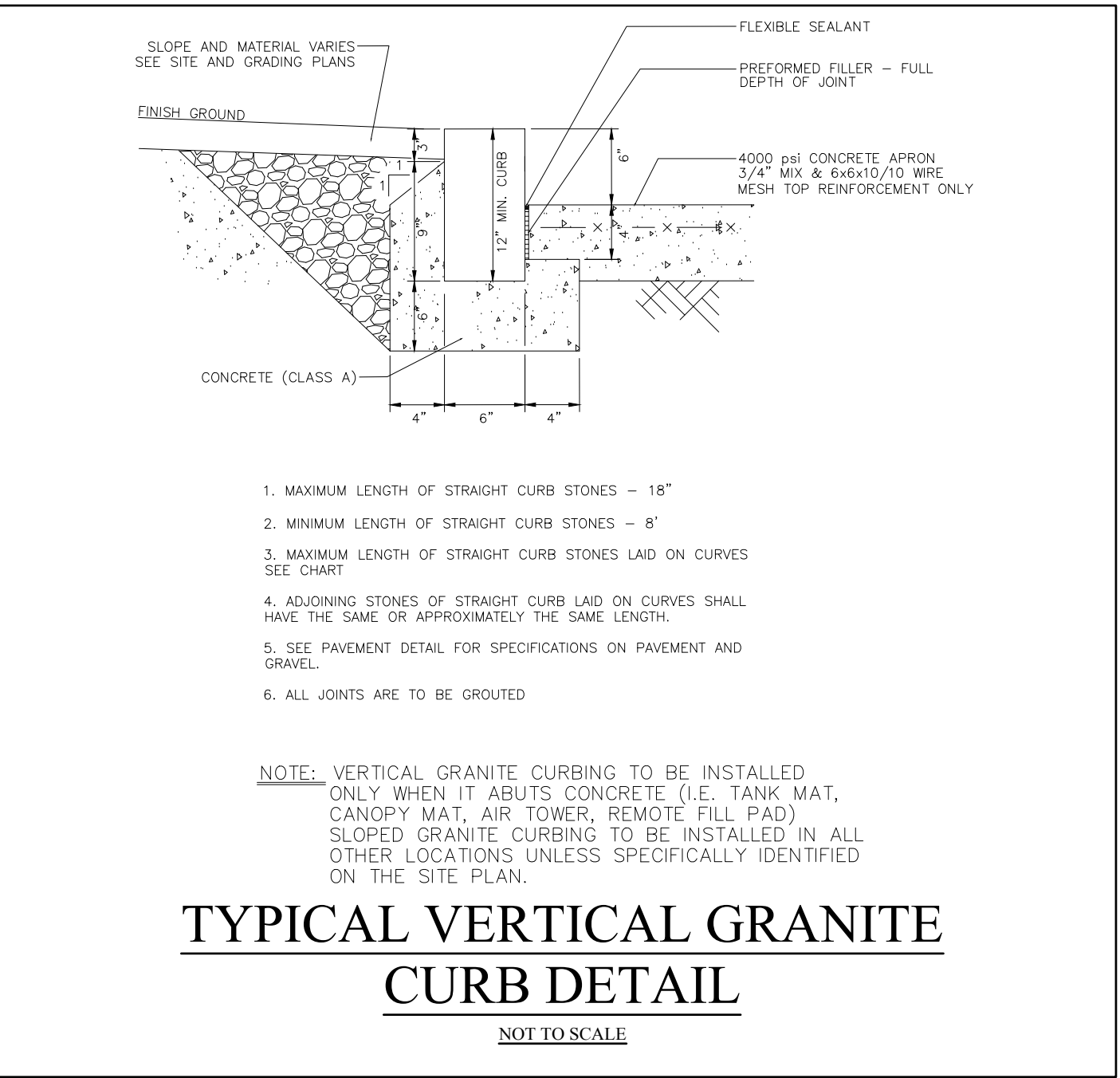
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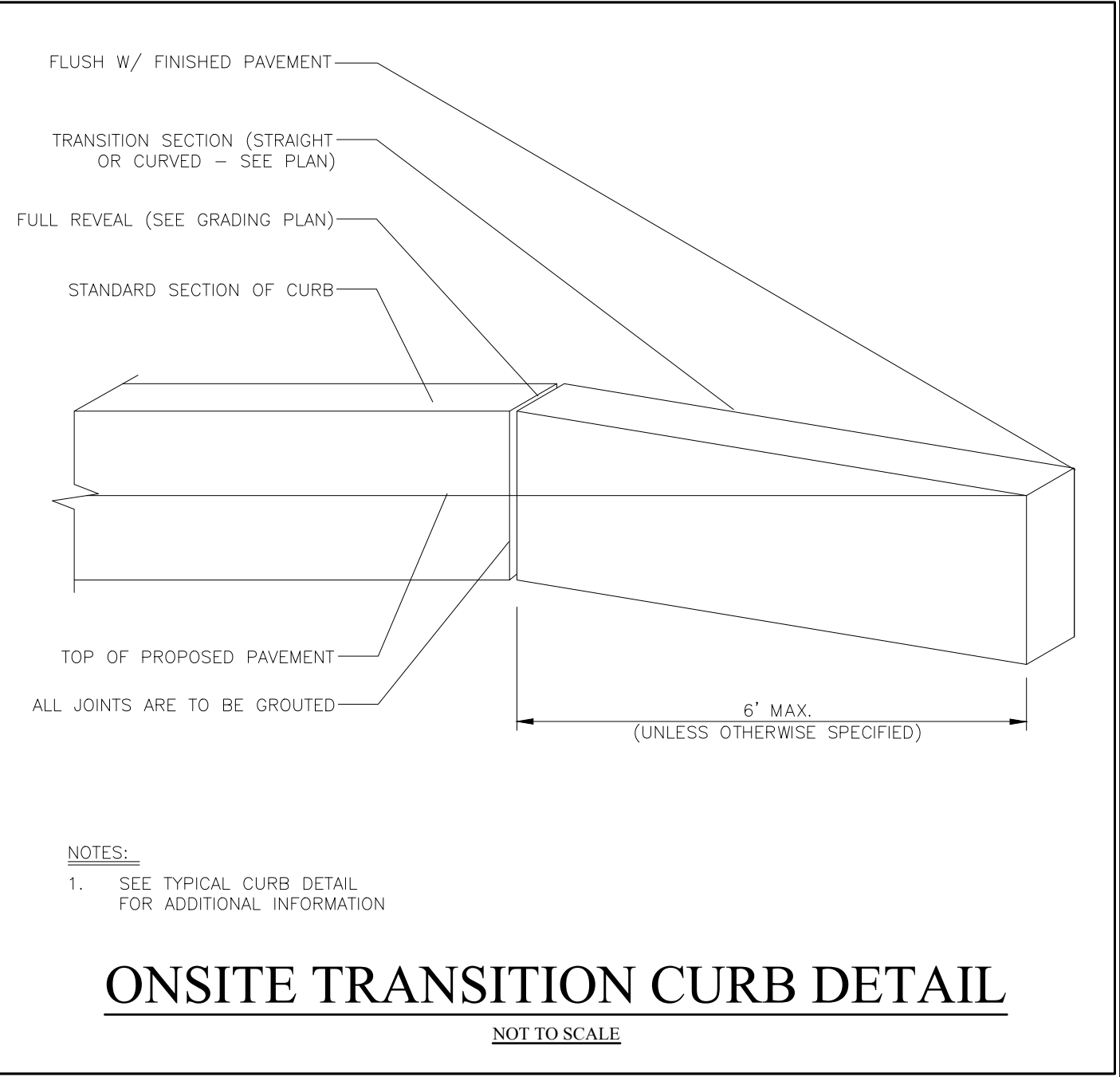
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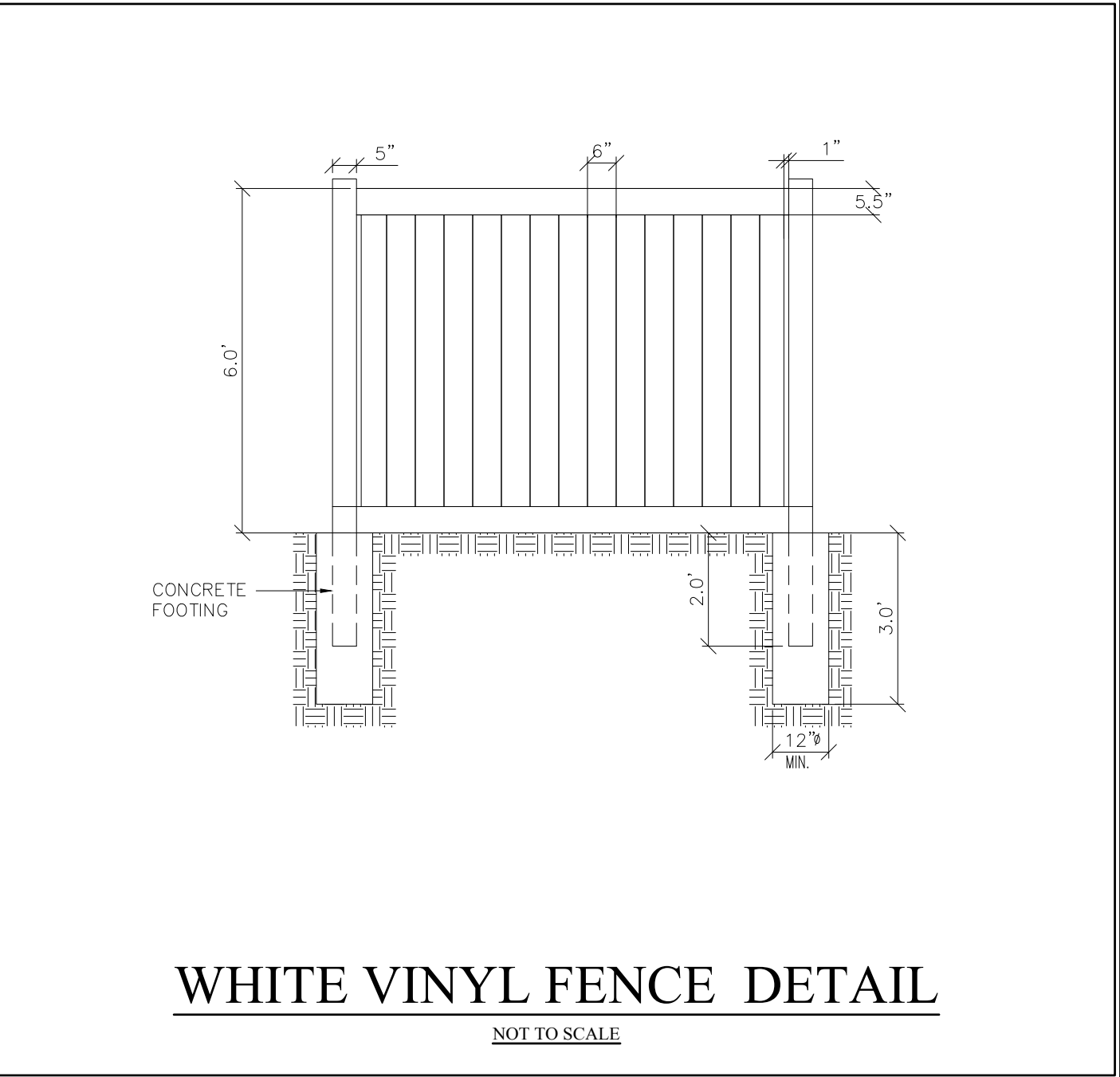
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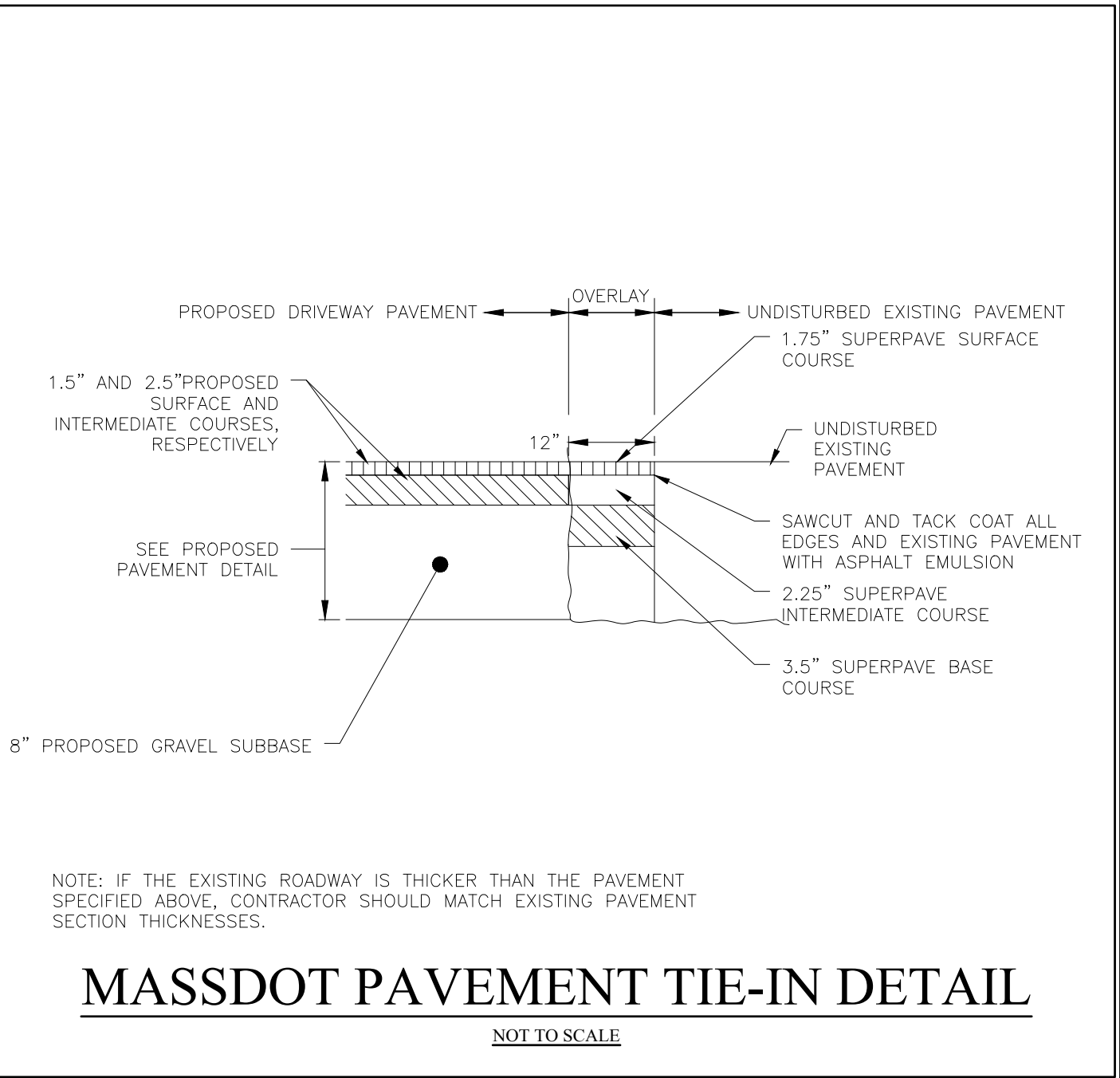
TYPICAL VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



ONSITE TRANSITION CURB DETAIL
NOT TO SCALE



WHITE VINYL FENCE DETAIL
NOT TO SCALE



MASSDOT PAVEMENT TIE-IN DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION

CDG PROJECT #: 23028

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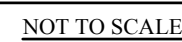
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CONSTRUCTION DETAILS

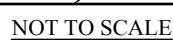
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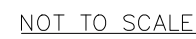
09/08/2023

SEAL:

PLANNING BOARD



PREPARED FOR:



NOT TO SCALE

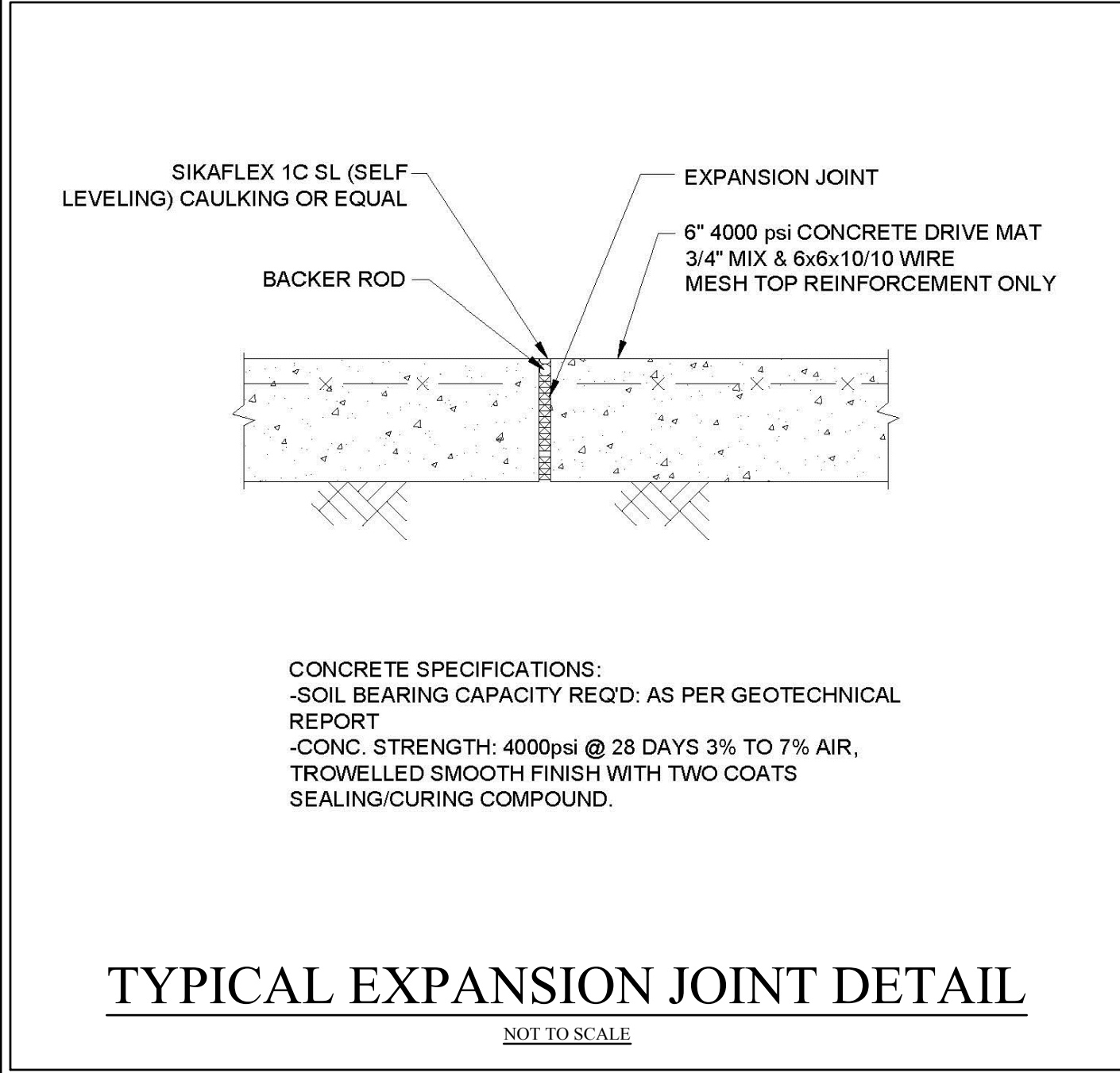


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SHEET:

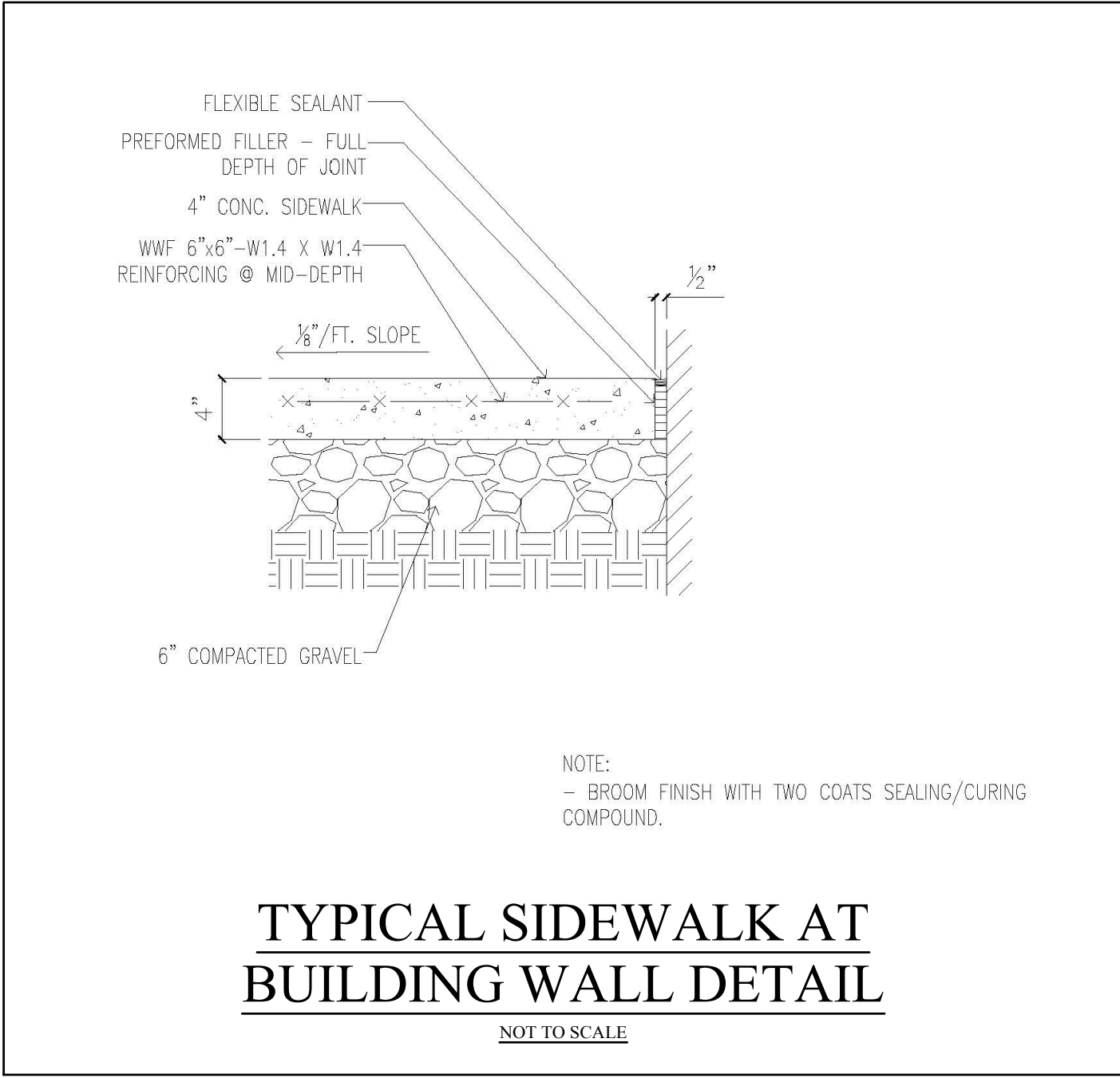
DATE: _____

09/08/2023



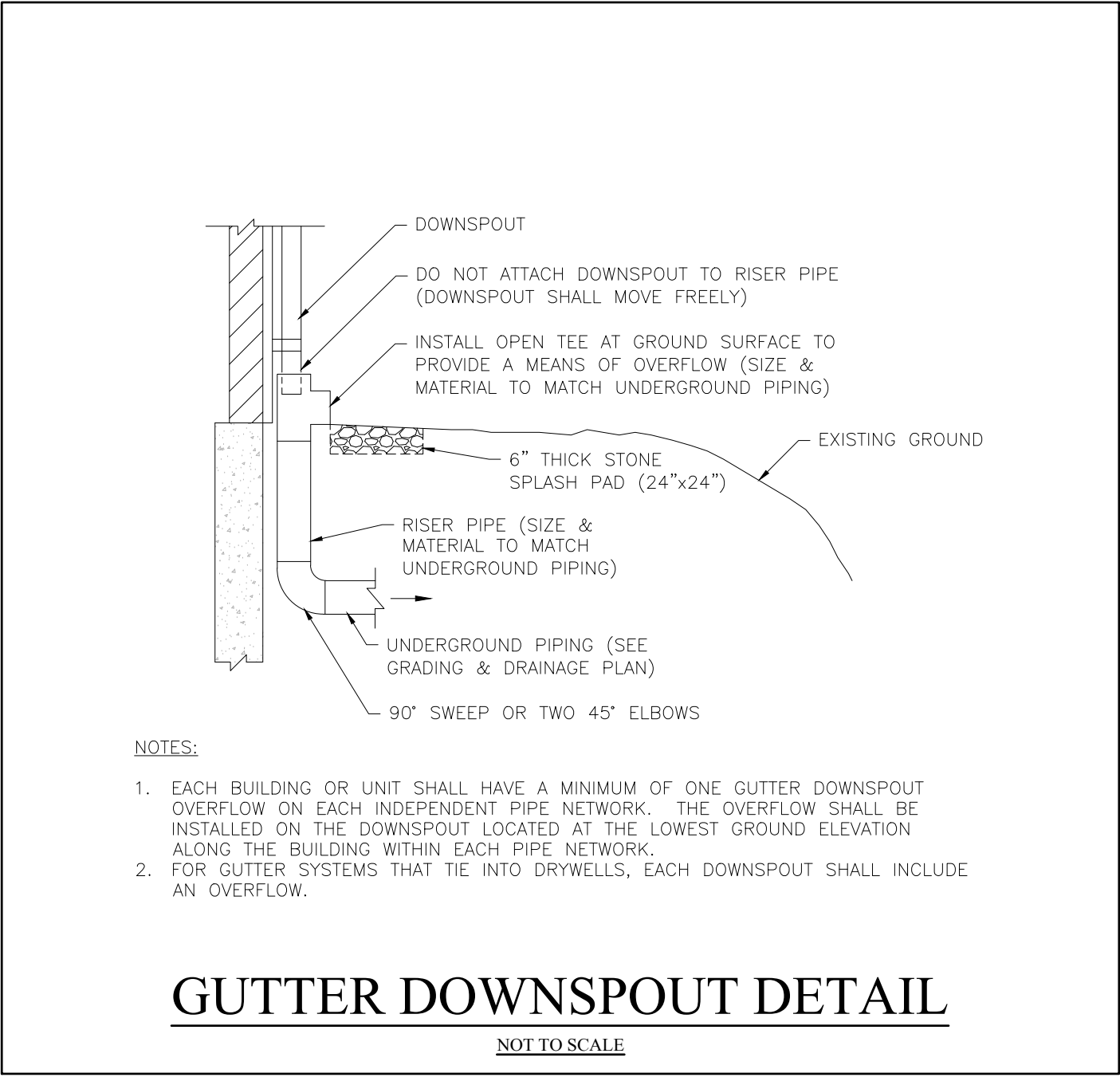
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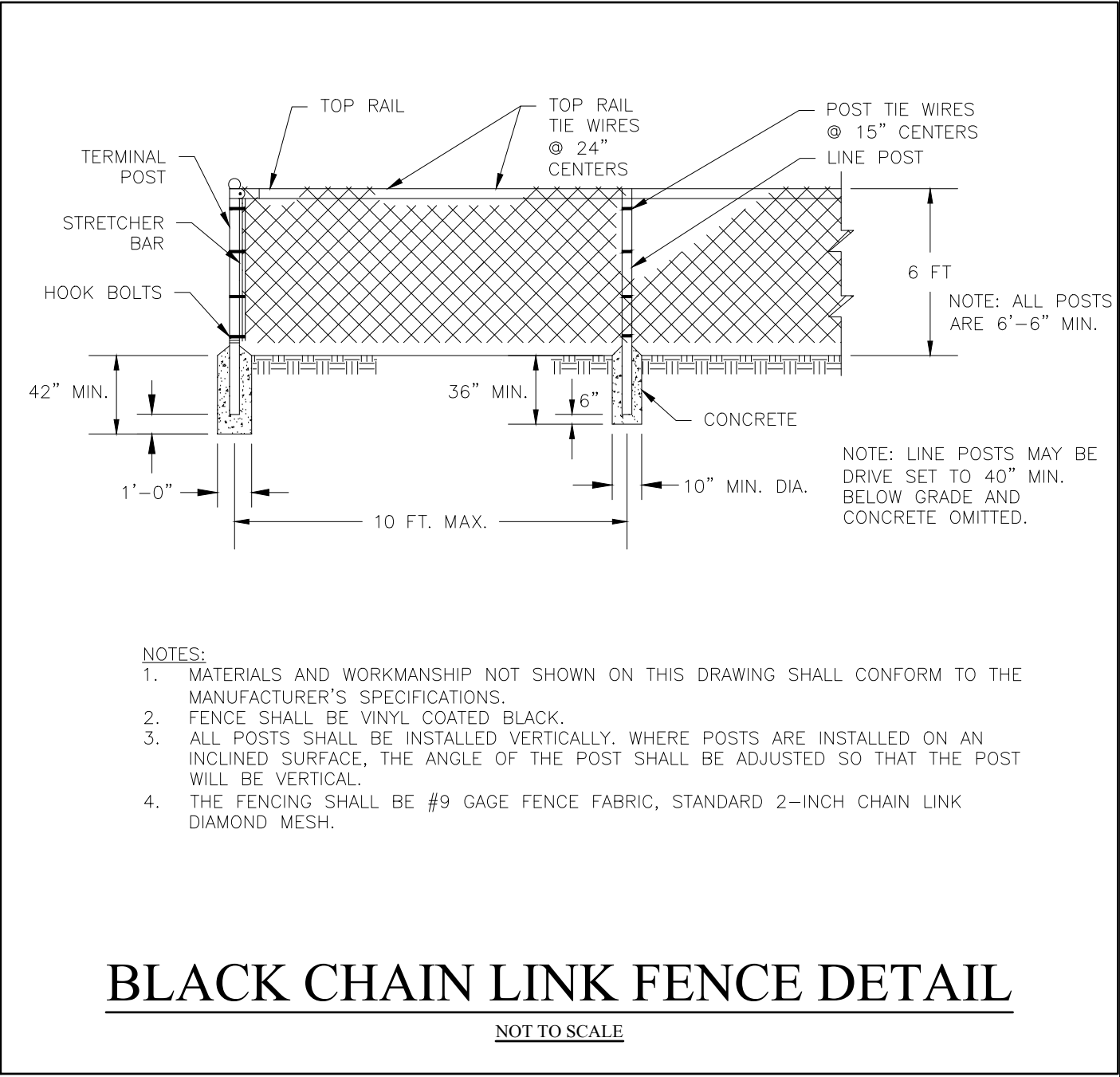
TYPICAL SIDEWALK AT BUILDING WALL DETAIL

NOT TO SCALE



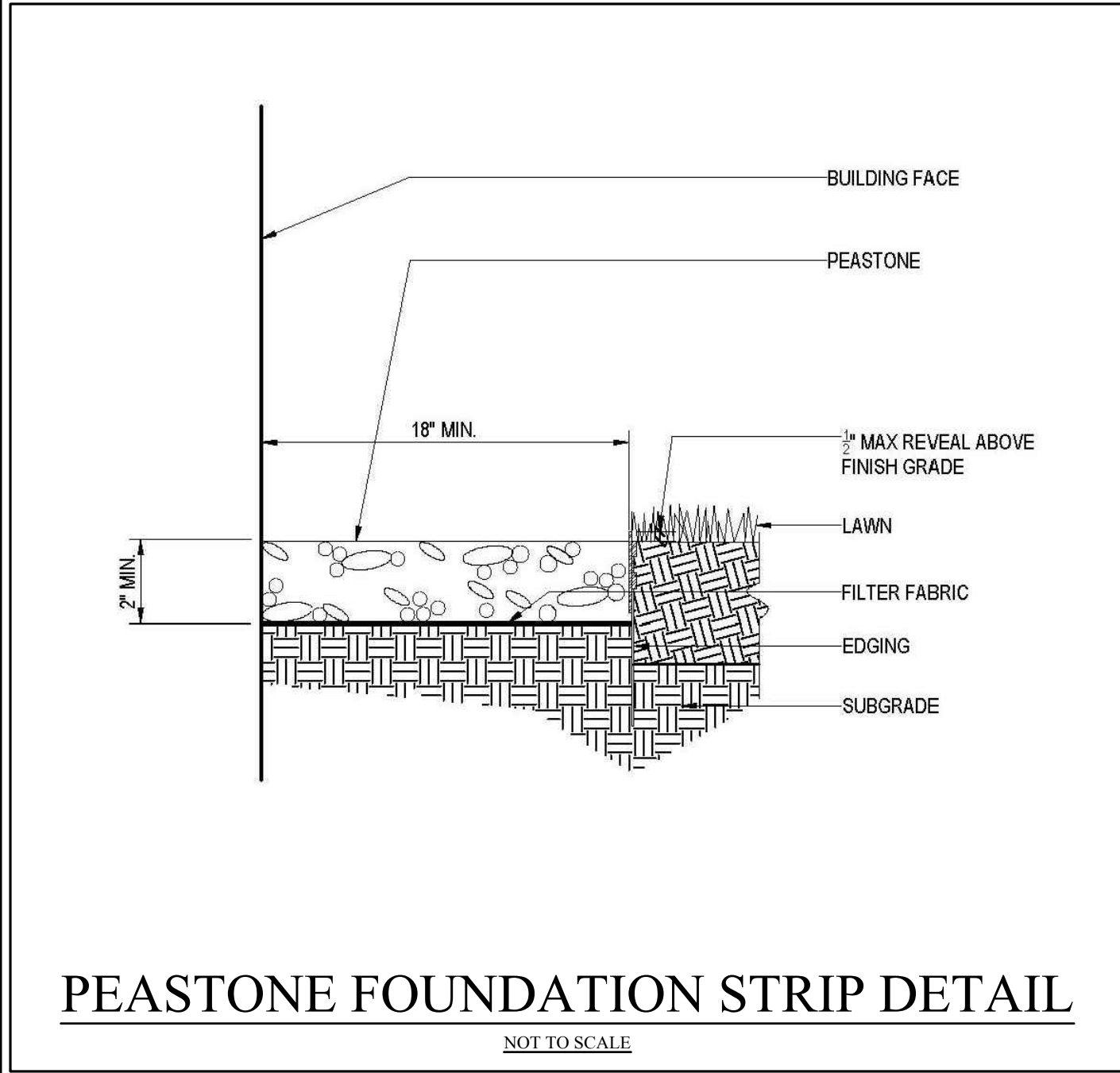
GUTTER DOWNSPOUT DETAIL

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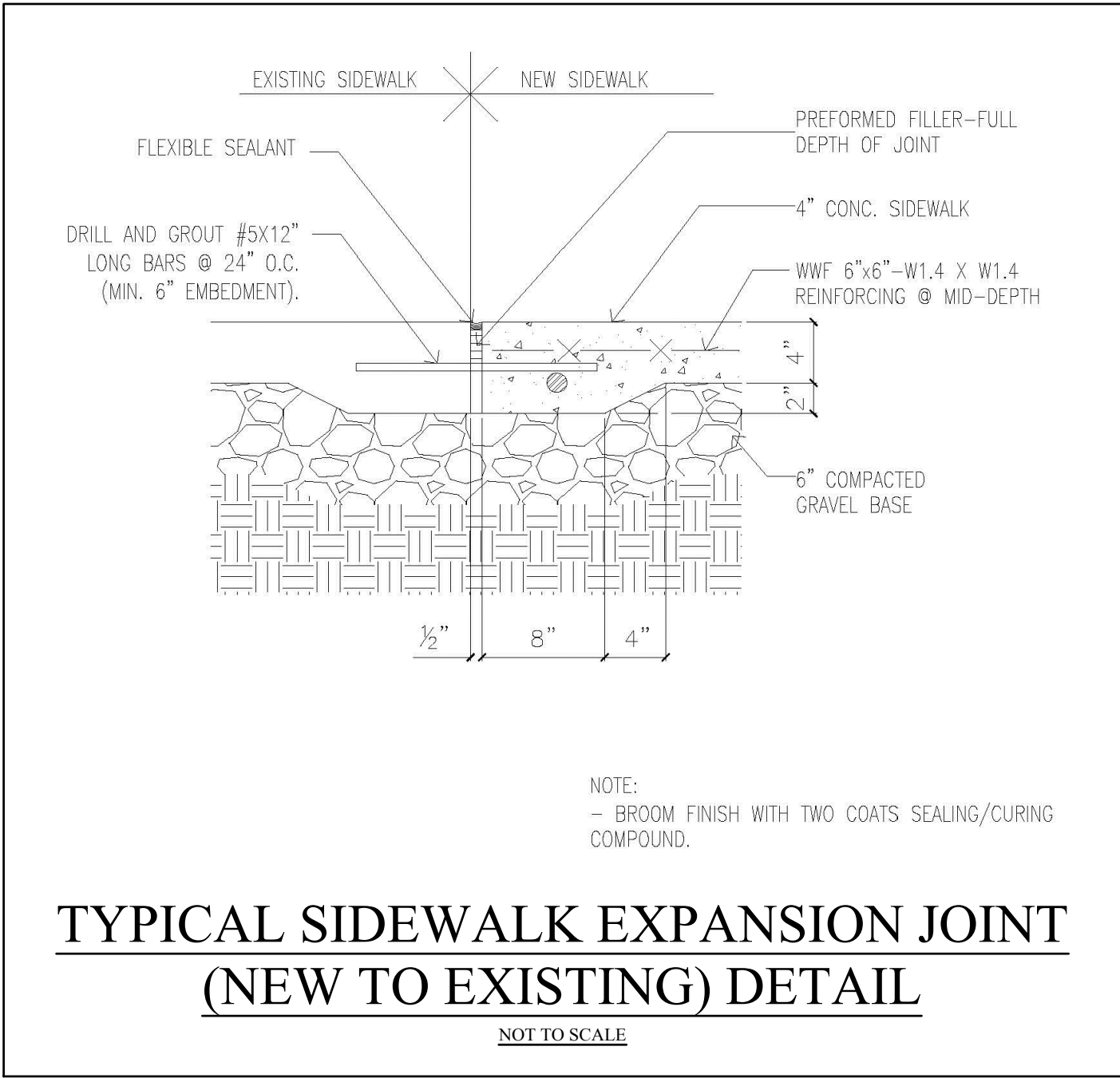
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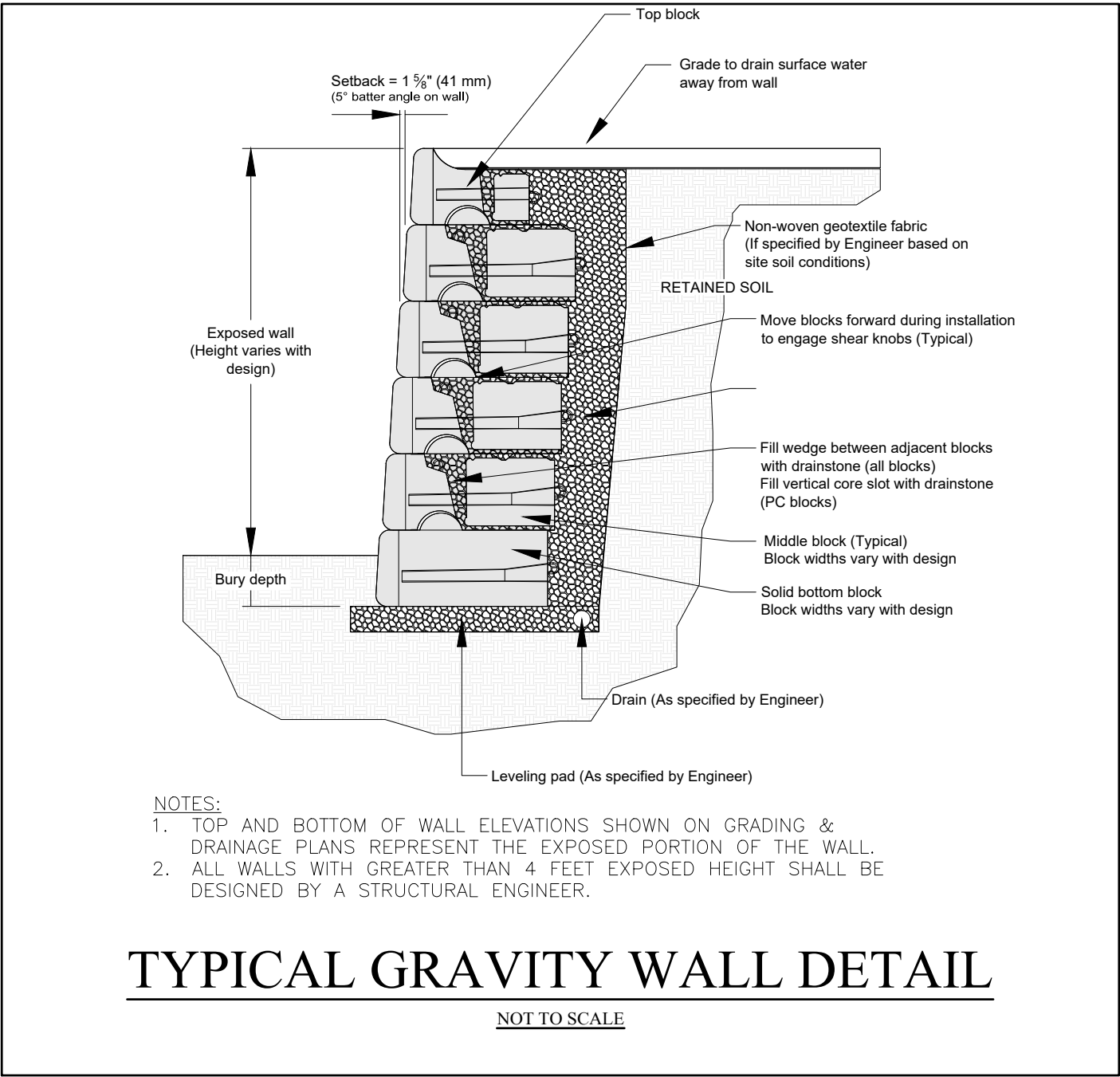
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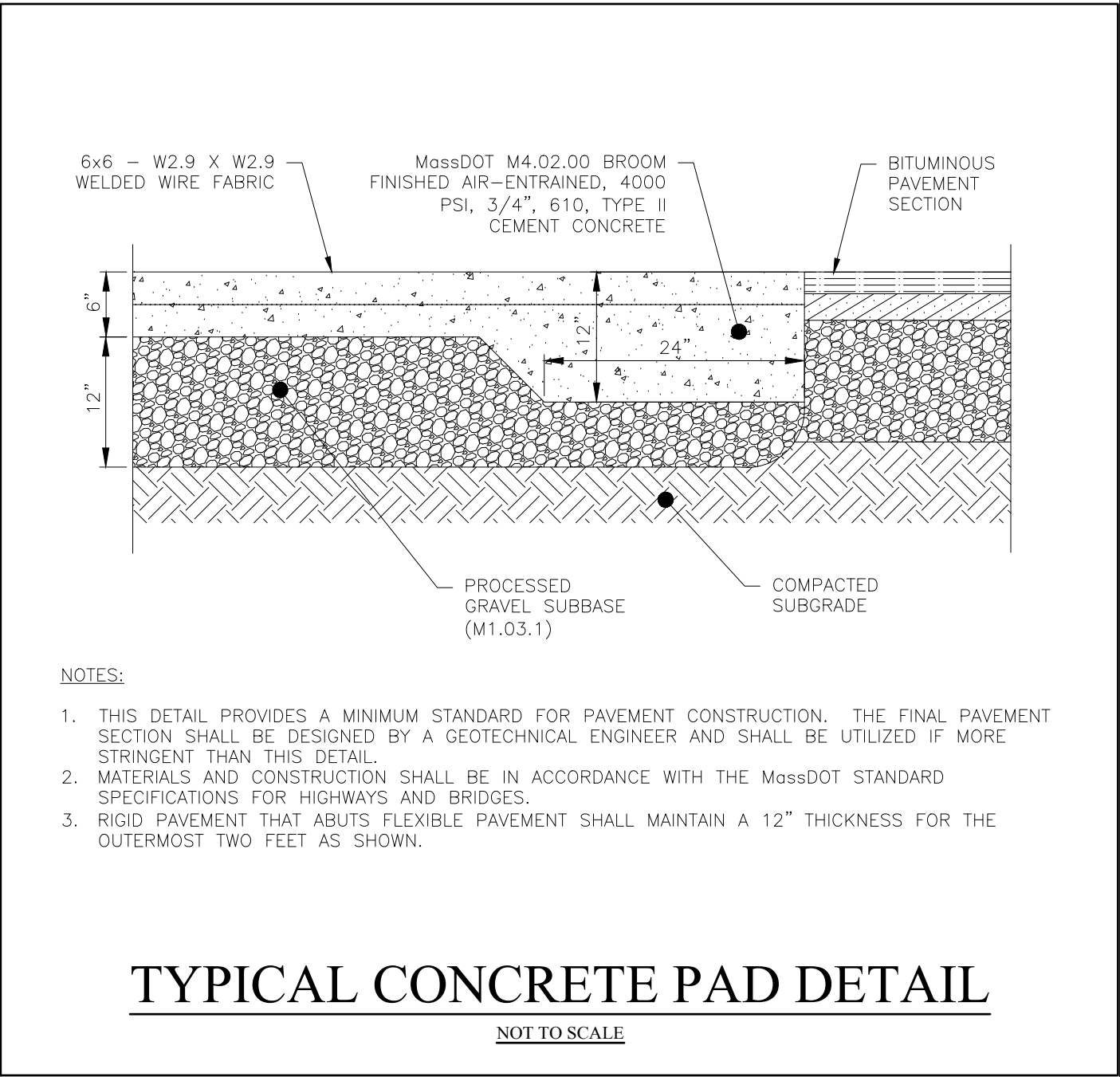
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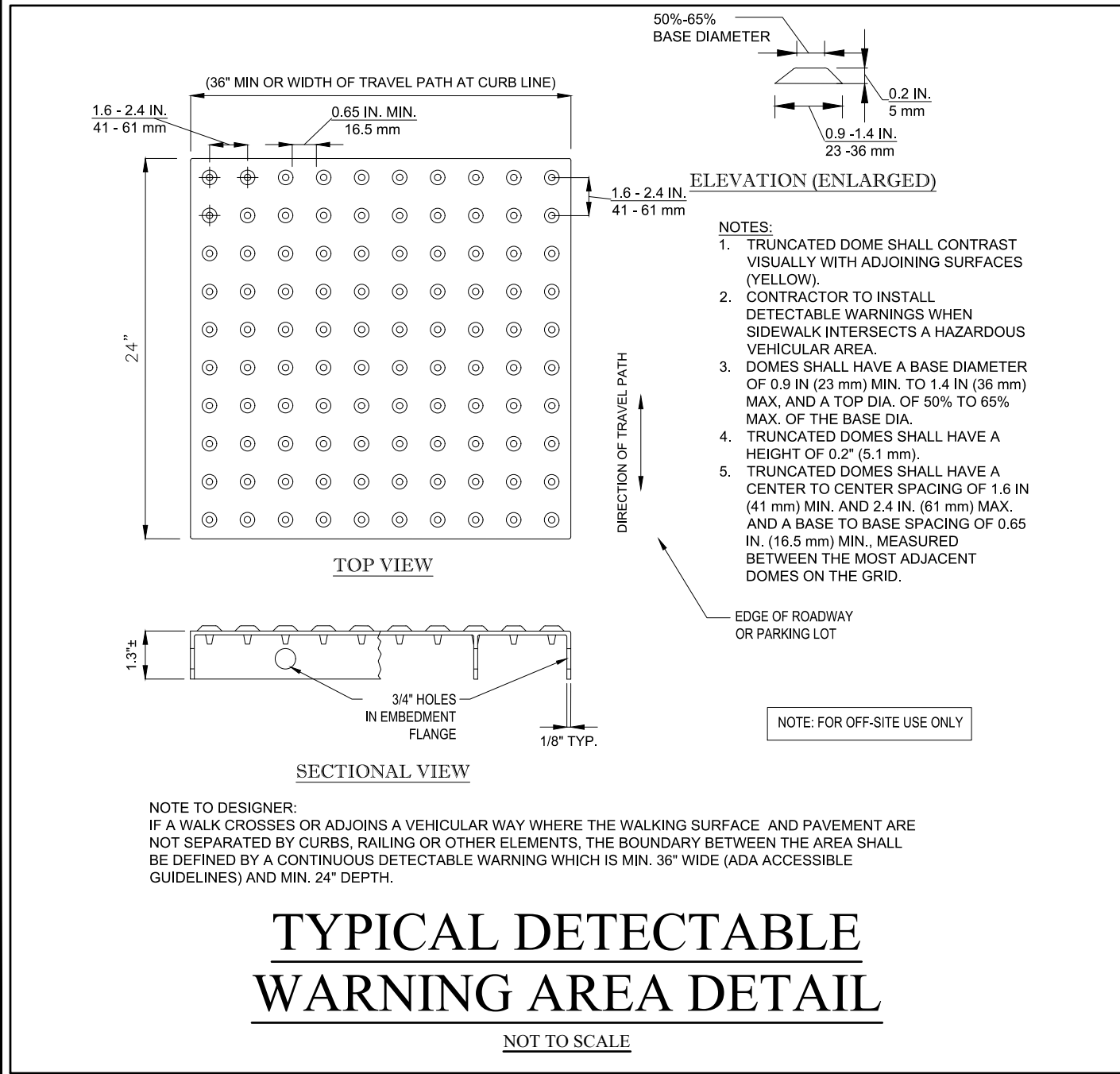
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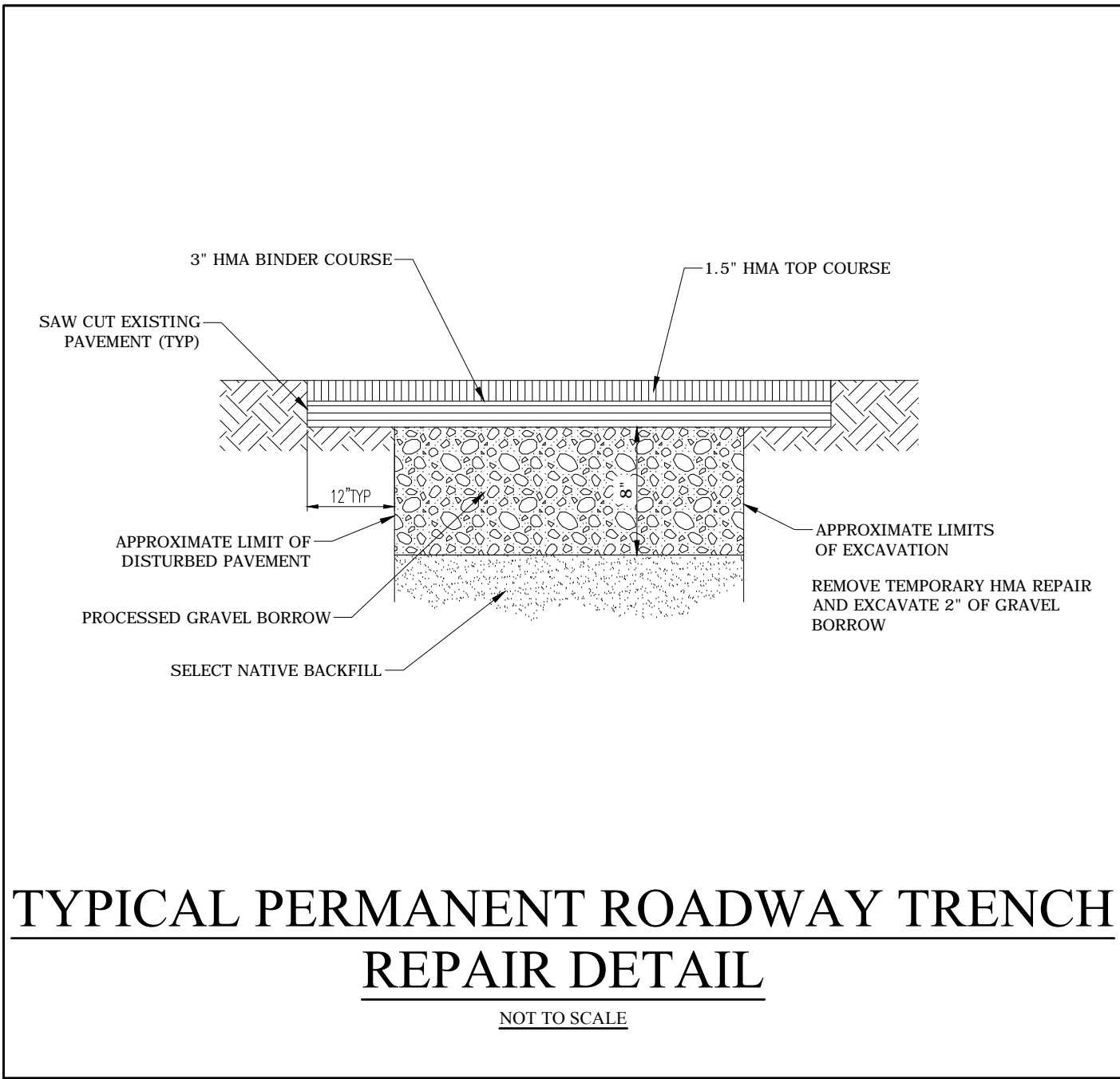
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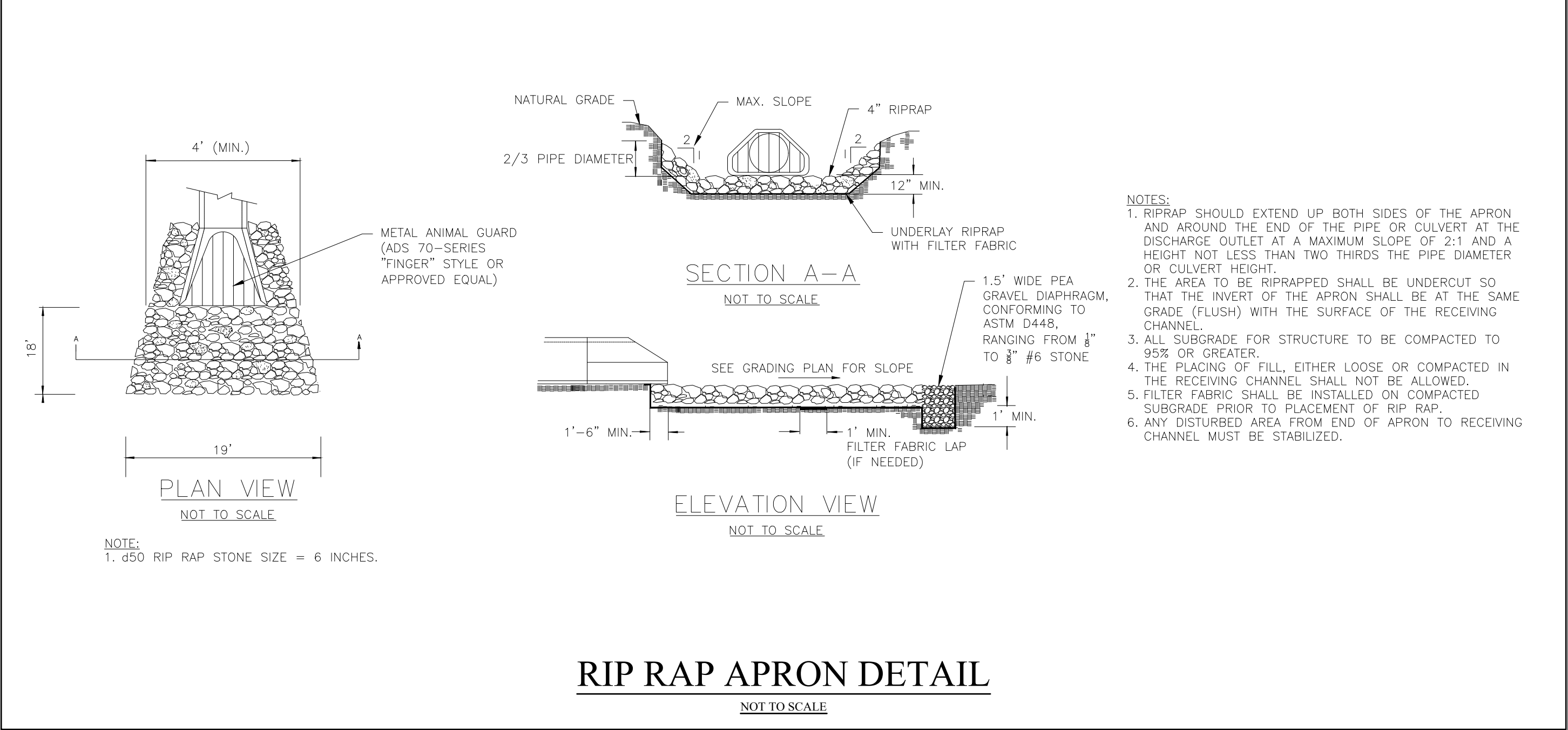
TYPICAL DETECTABLE WARNING AREA DETAIL

NOT TO SCALE



TYPICAL PERMANENT ROADWAY TRENCH REPAIR DETAIL

NOT TO SCALE



RIP RAP APRON DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION

CDG PROJECT #: 23028

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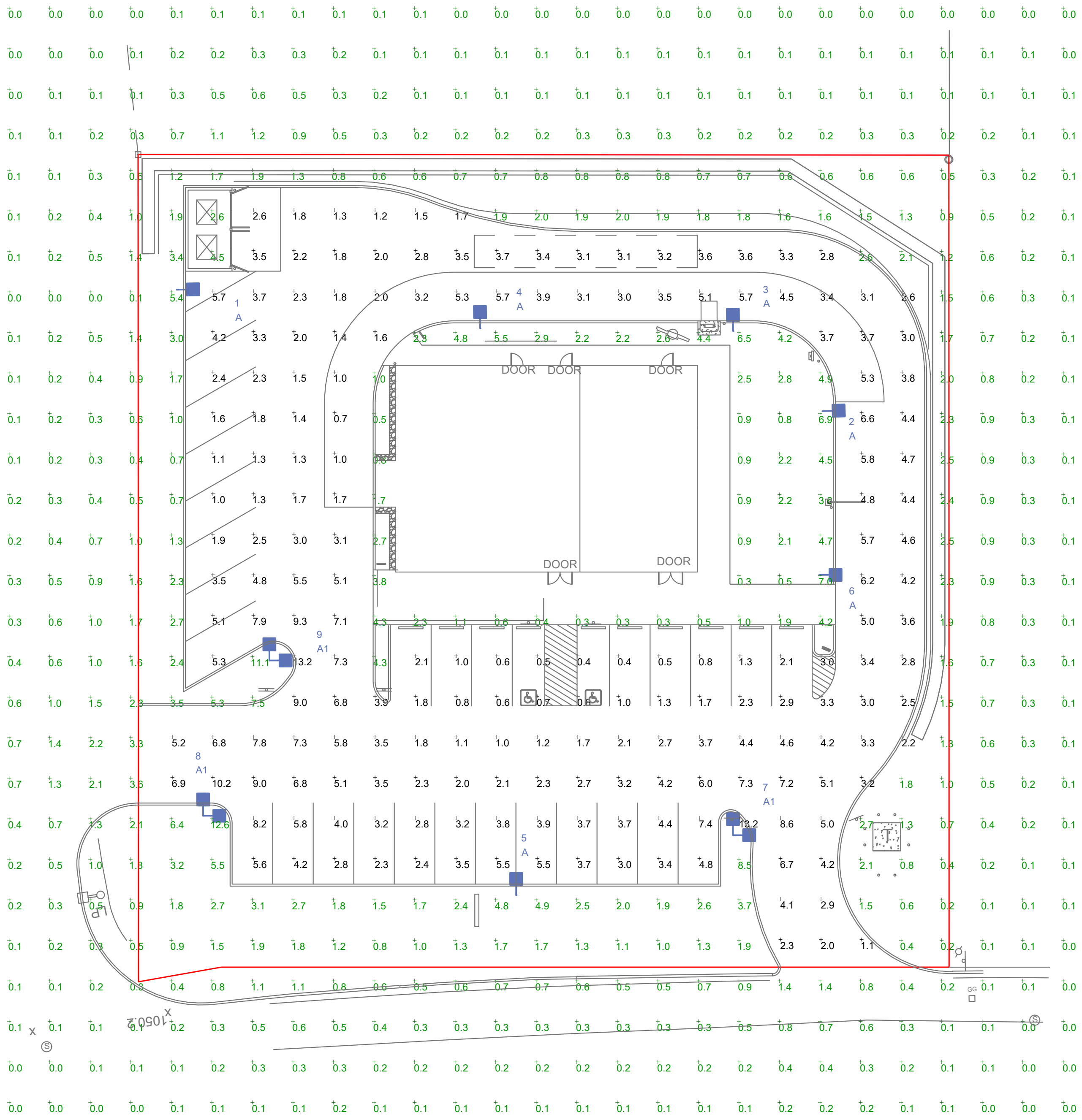
SHEET:

CONSTRUCTION DETAILS

13

DATE:

09/08/2023





MAIN STREET

- POLE MOUNTED FIXTURES ARE MOUNTED ON A 17FT POLE
ATOP A 36 INCH HIGH CONCRETE BASE.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A	20
2	A	20
3	A	20
4	A	20
5	A	20
6	A	20
7	A1	20
8	A1	20
9	A1	20

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVEDAREA	3.61	13.2	0.5	7.22	26.40
UNDEFIND AREA	0.93	12.6	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURE	DESCRIPTION
	6	A	Single	10450	1.000	B2-U0-G2	68	408	Cree Lighting	OSQ-ML-C-DA-XX + OSQM-C-11L-57K7-3M-UL-NM-XX-Q9
	3	A1	2 @ 90 DEG	10450	1.000	B2-U0-G2	68	408	Cree Lighting	OSQ-ML-C-DA-XX + OSQM-C-11L-57K7-3M-UL-NM-XX-Q9

REV.	BY	DATE	DESCRIPTION

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SCALE:
1" = 20'

DWG SIZE:
D

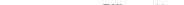
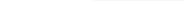
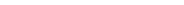
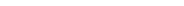
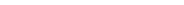
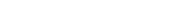
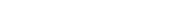
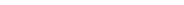
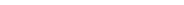
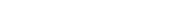
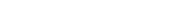
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TAS

DATE:
8/18/23

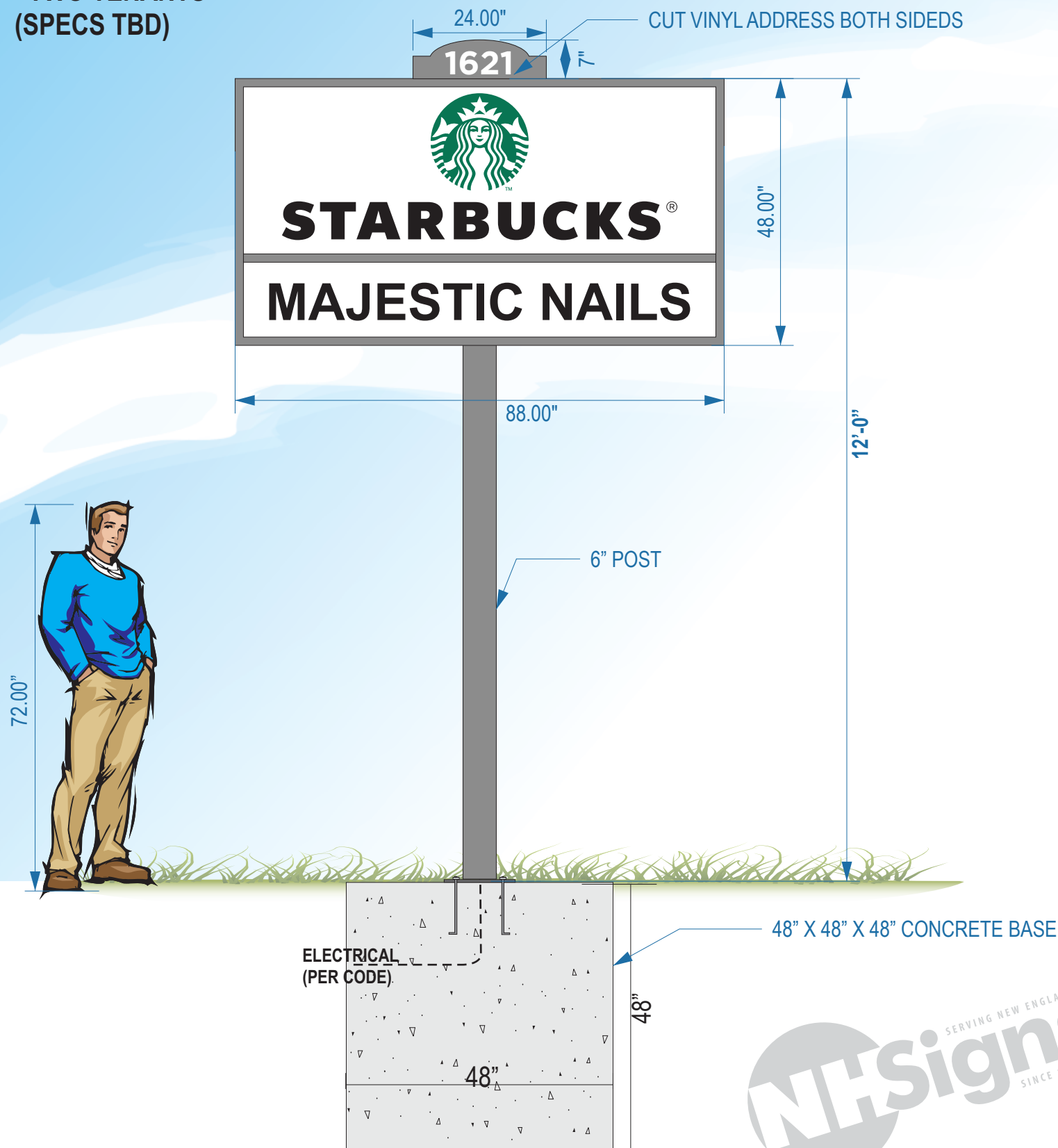
PROJECT NAME:
**STARBUCKS
LEICESTER, MA**
DRAWING NUMBER:
RL-9076-S1



AREA	QTY	LABEL	DESCRIPTION
	6	A	OSQ-ML-C-DA-XX + OSQM-C-11L-57K7-3M-UL-NM-XX-Q9
	3	A1	OSQ-ML-C-DA-XX + OSQM-C-11L-57K7-3M-UL-NM-XX-Q9



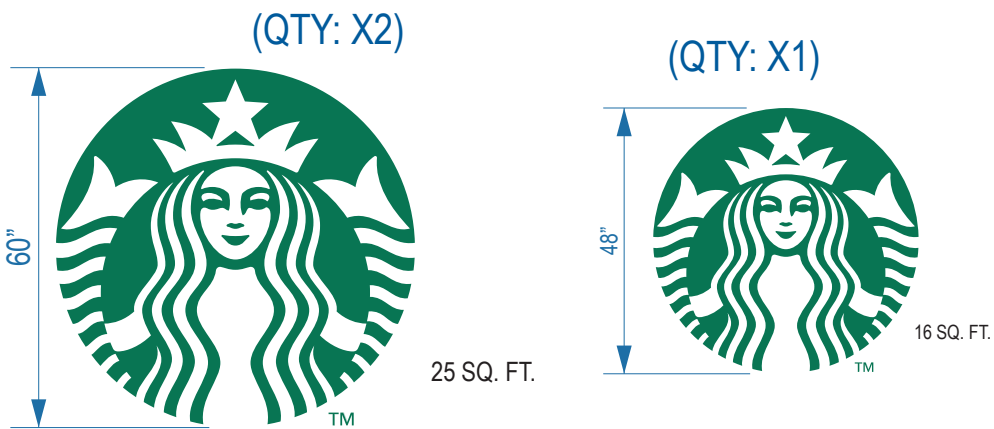
DOUBLE SIDED MID:
SCALE 1/2"=1'-0": 29.3 SQ. FT.
(1) D/F LED CABINET _WHITE LEXAN FACES AND TRANSLUCENT VINYL GRAPHICS.
TWO TENANTS
(SPECS TBD)



BUILDING SIGNAGE:

- (3) STARBUCK LOGO CHANNEL CANS (SPECS. TBD)
- (3) SETS "DRIVE THRU" CHANNEL LETTERS (SPECS. TBD)
- (3) SETS "MAJESTIC NAILS" CHANNEL LETTERS (SPECS. TBD)

APPROX SCALE" 3/8"=1'-0"



8" HEIGHT LETTERS (QTY: X3)

DRIVE THRU

ARTWORK REQUIRED BY CLIENT ; APPROX AREA: 36" X 96"
(QTY: X3)



SEE PAGE 2 FOR BLDG LOCATION



66 Gold Ledge Avenue,
Auburn, NH 03032

603.437.1200
FAX 603.437.1222
www.nhsigns.com

- DESIGN
- MANUFACTURE
- INSTALL
- SERVICE

CLIENT:

YATCO STARBUCKS
LICESTER, MA MID

LOCATION:

1621 MAIN ST
LICESTER, MA

DATE:

09/7/23

ACCT. REP:

FP

DESIGNER:

KAREN DAVIS

Rev#	Date:
1. new fasica	9/7/23
2. new archit. dwg	9/11/23

FILE NAME LOC:

YATCO STARBUCKS (1621)
LICESTER, MA MID & CL

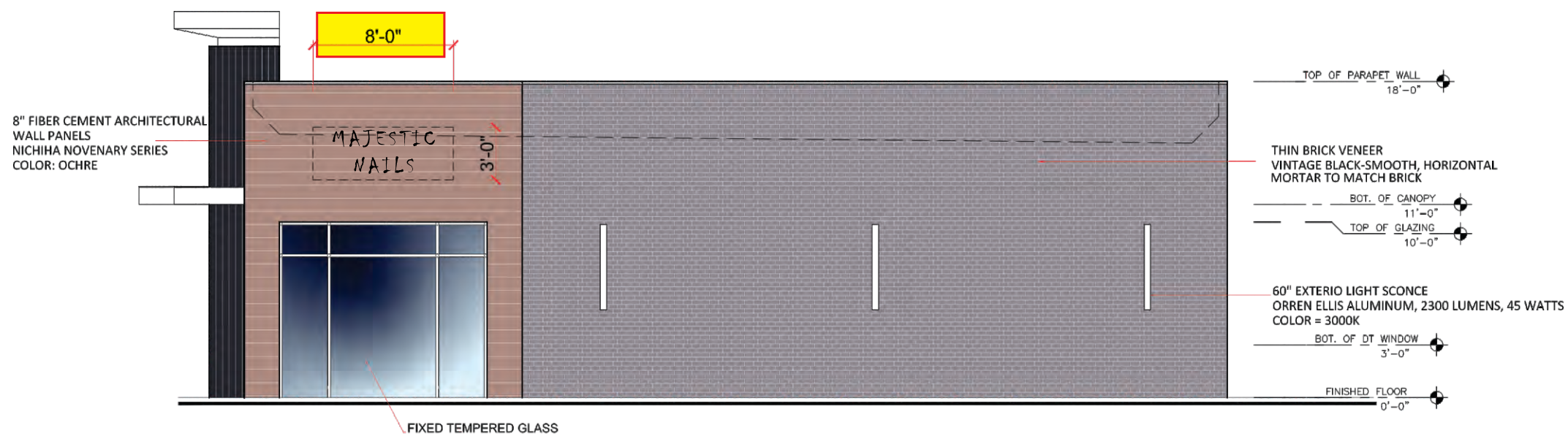
Please Note: it is the customers responsibility to
provide primary electrical service (including ground wiring)
directly from panel box, to within six ft. of sign(s).
Installation to comply with N.E.C.600

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PAGE: 1-r2



NORTH-EAST FACADE



NORTH-WEST FACADE



66 Gold Ledge Avenue,
Auburn, NH 03032

603.437.1200

FAX 603.437.1222

www.nhsigns.com

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- MANUFACTURE
- INSTALL
- SERVICE

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YATCO STARBUCKS
LICESTER, MA MID

LOCATION:

1621 MAIN ST
LICESTER, MA

DATE:

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ACCT. REP:

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directly from panel box, to within six ft. of sign(s).
Installation to comply with N.E.C.600

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SCALE: NTS

PAGE: 2-r2

A.P. 18-8
#1601 MAIN STREET
N/F
LENNON REALTY, INC. & 1601 REALTY, LLC
LC CERT #16289
LC DEC #16669
REG. BK 82 PG 89

A.P. 18A-14
#1601 MAIN STREET
N/F
LENNON REALTY, INC. & 1601 REALTY, LLC
LC CERT #16289
LC DEC #16669
REG. BK 82 PG 89

A.P. 18-8
#1601 MAIN STREET
N/F
LENNON REALTY, INC. & 1601 REALTY, LLC
LC CERT #16289
LC DEC #16669
REG. BK 82 PG 89

A.P. 18A-12
#1625 MAIN STREET
N/F
MARIA M. HOPKINS & JAMES R. CLINTON
BK. 40891 PG. 307

A.P. 18A-11
#1627 MAIN STREET
N/F
BRENDA M. ROSS
BK. 17247 PG. 323

A.P. 18-81
#1603 MAIN STREET
N/F
LENNON REALTY, INC. & 1601 REALTY, LLC
LC CERT #16289
LC DEC #16669
REG. BK 85 PG 156
AREA=2,608 SQ. FT.

A.P. 18-1
#1600 MAIN STREET
N/F
FRANK H. CAREY, JR. & PHYLLIS A. CAREY
BK. 4301 PG. 302

A.P. 17-44
#20 SOUMANS DRIVE
N/F
WAL-MART REAL ESTATE BUSINESS TRUST
BK. 47136 PG. 171

A.P. 17-44
#20 SOUMANS DRIVE
N/F
WAL-MART REAL ESTATE BUSINESS TRUST
BK. 47136 PG. 171

A.P. 17-81
#1626 MAIN STREET
N/F
ALFONSO GUZMAN CARRON & LIZETTE
BRENDO
BK. 66814 PG. 330

66 Gold Ledge Avenue,
Auburn, NH 03032

603.437.1200

FAX 603.437.1222

www.nhsigns.com

- DESIGN
- MANUFACTURE
- INSTALL
- SERVICE

CLIENT:

**YATCO STARBUCKS
LICESTER, MA MID**

LOCATION:

**1621 MAIN ST
LICESTER, MA**

DATE:

09/7/23

ACCT. REP:

FP

DESIGNER:

KAREN DAVIS

Rev# Date:

- | | |
|--------------------|---------|
| 1. new fasica | 9/7/23 |
| 2. new archit. dwg | 9/11/23 |

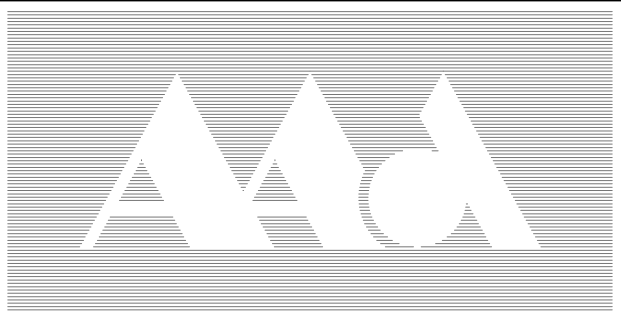
FILE NAME LOC:

**YATCO STARBUCKS (1621
LICESTER, MA MID & CL**

Please Note: it is the customers responsibility to provide primary electrical service (including ground wiring) directly from panel box, to within six ft. of sign(s). Installation to comply with N.E.C.600

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PAGE: 4-r2



ARCHITECTURE . PLANNING . DESIGN

AADesign SERVICES L.L.C.
43 MONROE AVE, WORCESTER, MA 01602
TEL: 508-769-0579 . FAX: 508-754-5415

OWNER:

PROJECT NAME:

**MIXED USE
BUILDING**

PROJECT NO: C2348

PROJECT ADDRESS:

**1621
MAIN STREET
LEICESTER, MA**

SHEET TITLE:

FLOOR PLAN

STAMP:

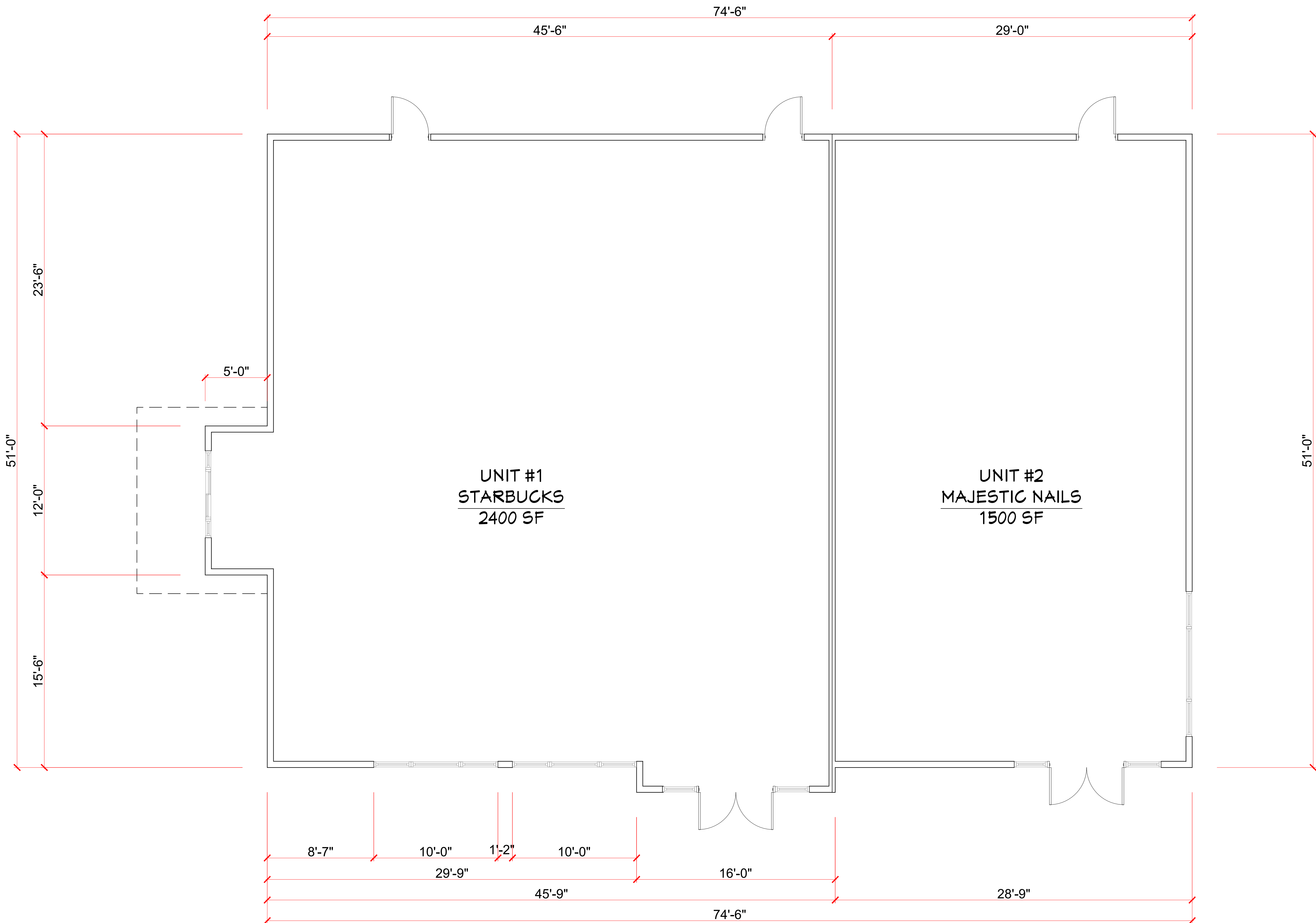
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DATE: 9-12-2023

REVISIONS:

SHEET NO:

1



FLOOR PLAN

OWNER:

PROJECT NAME:

MIXED USE
BUILDING

PROJECT NO: C2348

PROJECT ADDRESS:

1621
MAIN STREET
LEICESTER, MA

SHEET TITLE:

EXTERIOR
ELEVATIONS

STAMP:

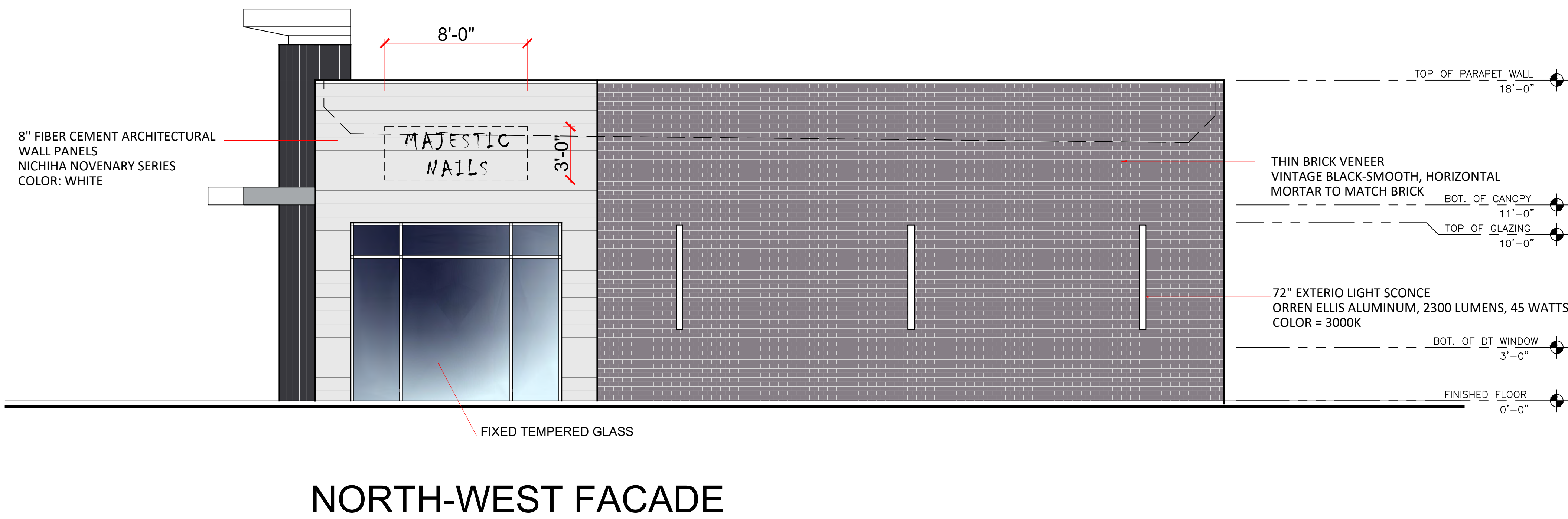
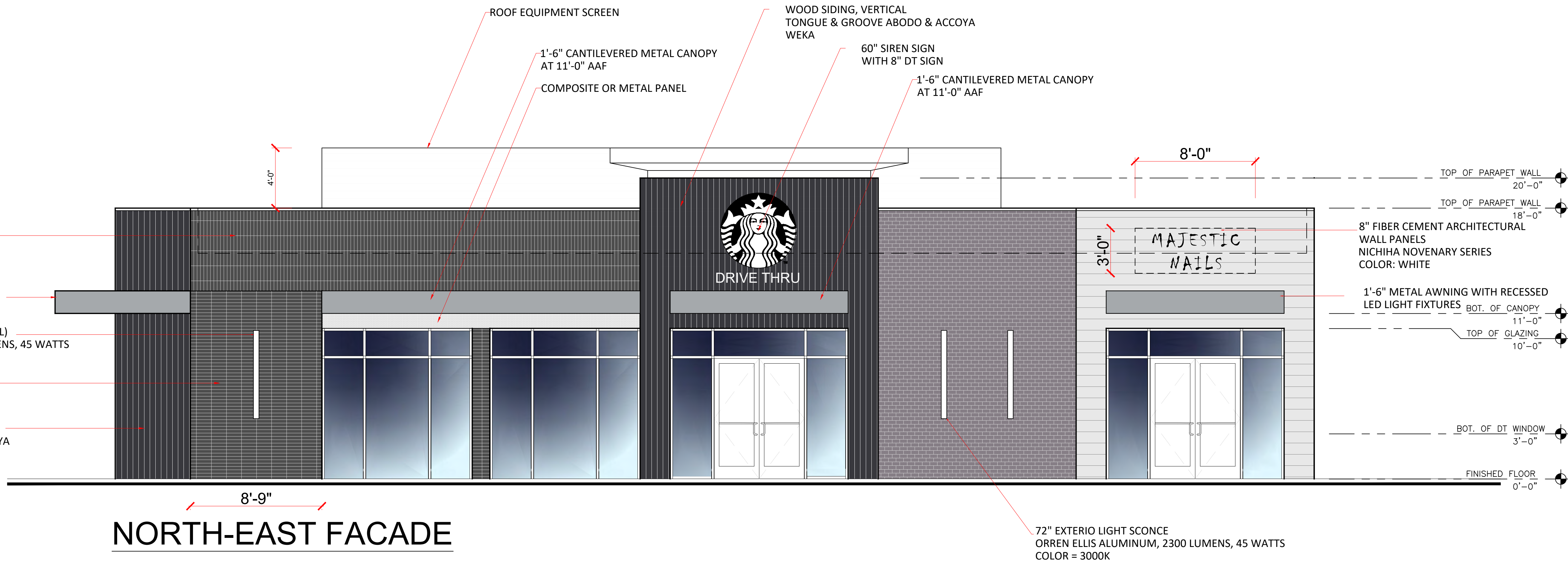
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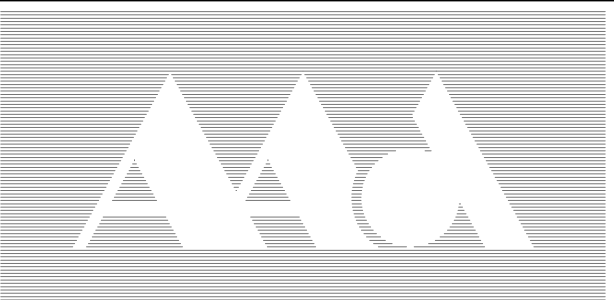
DATE: 9-12-2023

REVISIONS:

SHEET NO:

2





ARCHITECTURE . PLANNING . DESIGN

AADesign SERVICES L.L.C.
43 MONROE AVE, WORCESTER, MA 01602
TEL: 508-769-0579 . FAX: 508-754-5415

OWNER:

PROJECT NAME:

**MIXED USE
BUILDING**

PROJECT NO: C2348

PROJECT ADDRESS:

**1621
MAIN STREET
LEICESTER, MA**

SHEET TITLE:

**EXTERIOR
ELEVATIONS**

STAMP:

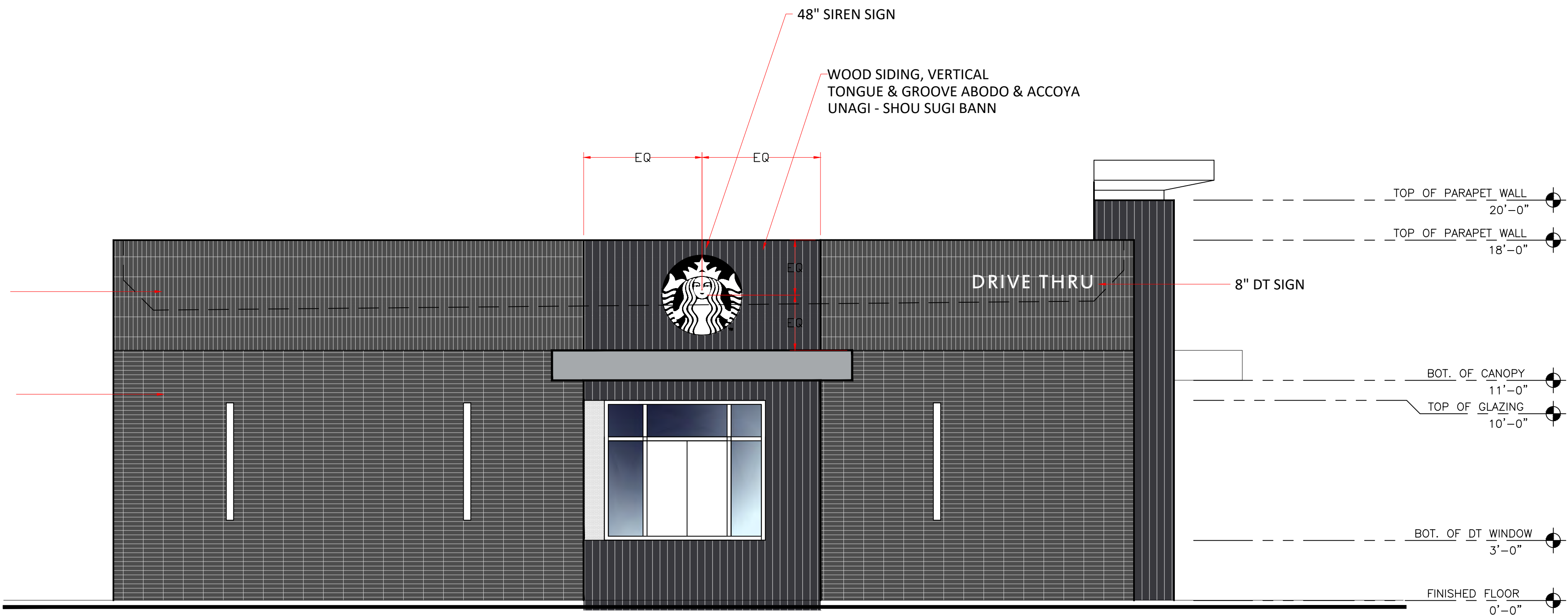
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DATE: 9-11-2023

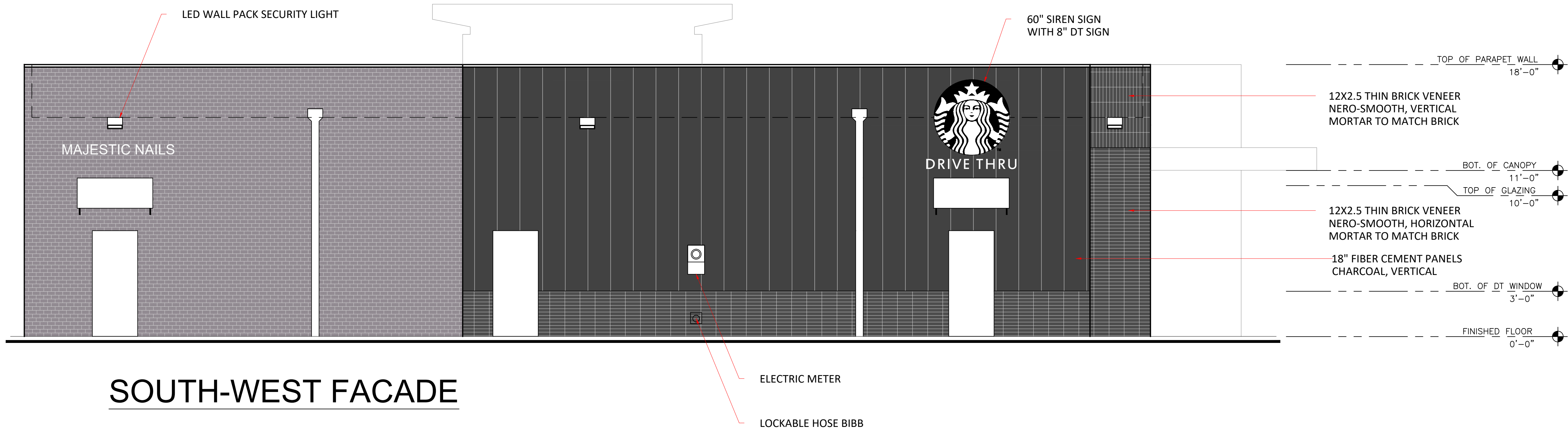
REVISIONS:

SHEET NO:

3



SOUTH EAST FACADE



SOUTH-WEST FACADE

October 10, 2023

Leicester Planning Board
Town of Leicester
3 Washburn Square
Leicester, Massachusetts 01524

Re: 1621 Main Street
Site Plan Review, Special Permit

To the Planning Board:

We are in receipt of the following information package submitted in reference to a proposed commercial development located at 1621 Main Street:

- Plans entitled “Site Plan Set for Proposed Restaurant & Retail Development, 1621 Main Street (RTE-9), Leicester Ma 01524”, consisting of 19 sheets, prepared by Civil Design Group, LLC of North Andover, MA.
- A package of information, including
 - a submission letter addressed to Leicester Planning Board dated September 13, 2023, from Thomas R. Reidy, Esq; Bacon/Wilson
 - Applications for Site Plan Review and Special Permit
 - Site Plan Review/Special Permit Narrative, undated
 - Stormwater Management Report, dated August 2023 prepared by Civil Design Group, LLC of North Andover, MA.
- Memorandum addressed to Mr. Hussein Yatim, HY Ventures Leicester, LLC, dated September 14, 2023, regarding “Proposed Starbucks w/ Drive Through & Retail Facility”. Memorandum addresses traffic impacts.

At the request of the Board, we have reviewed plans of for conformance with §5.2.03, *Site Plan Review* and other appropriate sections of the Leicester Zoning Bylaw, *Site Plan Review Regulations*, *Special Permit Regulations*, *Parking Regulations* and *Stormwater Regulations*.

Our comments on the submitted information follows:

1. The submitted information should include the anticipated schedule for development. (REF: Site Plan Review Regulations, II, E, 4)
2. Leicester Planning Board may wish to request the Engineer address pedestrian access. (REF: §5.5.02.2, A, 8)
3. Accessible parking spaces are called out to be 8 feet wide; minimum parking space width is 10 feet, (REF: §5.5.02.2,B, 1, and *Leicester Parking Regulations* IV, A)
4. The abutting property at 1625 Main Street appears to be in residential use. §5.5.02.2, B requires a 50 foot landscape buffer on sites where a non-residential use abuts a residential use. Per §5.5.02.2, E, access drives may be allowed in the buffer areas, except that Leicester Planning Board may require an opaque fence and/or other plantings. In the area where the site abuts this property, no landscape buffer is found, however, an access drive is proposed. Leicester Planning Board may wish to request the Engineer address compliance with these bylaws.
5. Parking spaces are proposed within 50 feet of the of the property line with 1625 Main Street. Parking is not allowed within buffer areas. (REF: 5.5.02.2, H)

6. The entrance drive from 1603/1605 Main Street is 24 feet in width. Drives which serve access/egress must be a minimum of 25 feet in width. (REF: §5.5.02.2, C, 2; also Leicester Parking Regulations IV, C).
7. Plans should document areas of site which are to be cut or filled. It is believed that the entire site will be filled. (REF: Leicester Stormwater Regulations 4.0, A)
8. Engineer should document that landscaping area complies with 5% area requirement identified in §5.5.02.2, I.
9. Site lighting plan indicates that minimal light spill (less than 1 fc) will occur on the neighboring parcels to the north and west. In the area of the driveway to the proposed commercial development at 1603/1605 Main Street, peak lighting intensity of 2.2 fc is found. At the entrance ramp from Main Street, the peak lighting intensity is 1.4 fc. Site lighting is not regulated in Leicester; it is the opinion of this office that the lighting in these areas is appropriate.
10. The Narrative on the site plan indicates that during times of peak demand, the restaurant may be staffed with 6 – 8 employees. The parking calculation is based on a maximum of 6 employees. Leicester Planning Board may wish to request an opinion from the Leicester Zoning Enforcement Officer as to parking adequacy.
11. The Fire Apparatus Circulation plan indicates that maneuvering apparatus may conflict with parked vehicles and with a light post. Leicester Planning Board may wish to request the input of Leicester Fire Department.

12. Stormwater collected from this site will be discharged to a stormwater basin which will be shared in common with the development at 1603/1605 Main Street.

This shared use should be governed by an agreement or easement which will:

- Define how maintenance or repair responsibilities and costs will be shared by parties which use the basin.
- Provide deeded rights which ensure the ongoing use of common stormwater facilities by both parties.

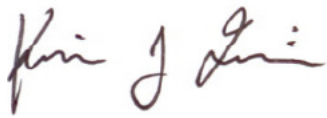
13. Plans for the stormwater basin should depict and identify the (separate) stormwater basin improvements proposed for 1603/1605 Main Street.

14. The drive-through has a queue line which accommodates thirteen vehicles. While this queue line is considered to be optimal for the site, it remains possible that at times of peak demand, customer vehicles may extend beyond this queue line.

Please don't hesitate to contact this office with questions you may have.

Sincerely,

QUINN ENGINEERING, INC.

A handwritten signature in dark ink, appearing to read "Kevin J. Quinn".

Kevin J. Quinn, P.E.

President

October 16, 2023

Leicester Planning Board
Town of Leicester
3 Washburn Square
Leicester, MA 01524

RECEIVED via email

OCT 17 2023

Town of Leicester
Planning Department

**Re: Proposed Restaurant and Retail Development
1621 Main Street, Leicester, MA
Quinn Peer Review- Response to comments**

Dear Planning Board Members:

On behalf of the applicant, HY Ventures Leicester, LLC, Civil Design Group, LLC (CDG) is in receipt of the peer review comment letter, dated 10/10/2023. Our responses to the comments are provided in **bold** below the original comments and are in part based on our teleconference call on 10/13/2023. Supporting plans, calculations and additional information are enclosed herein:

1. The submitted information should include the anticipated schedule for development.
(REF: Site Plan Review Regulations, II, E, 4).

CDG Response: Site improvements: 6 weeks after final approval from all state and local authorities - (house demo to be completed in November if favorable outlook from planning board meeting)

- **Construction start: 2 weeks after site work commences**
- **Building shell: Completed within 4 months of construction start**
- **Building interior fit-out: Completed within 3 months of building shell completion.**
- **Project completion: Completed within 2 months of interior fit-out completion.**

2. Leicester Planning Board may wish to request the Engineer address pedestrian access.
(REF: §5.5.02.2, A, 8).

CDG Response: The pedestrian access has been extended to Main Street.

3. Accessible parking spaces are called out to be 8 feet wide; minimum parking space width is 10 feet, (REF: §5.5.02.2,B, 1, and *Leicester Parking Regulations* IV, A).

CDG Response: Our office is aware that the parking space requirements are 10'x20'. Our office interpreted this regulation to be intended for non-accessible parking spaces, as accessible parking spaces are regulated under 521 CMR – Architectural Access Board Code, as referenced in Section 5.5.02.B.4. As such, the accessible space is 8' wide with an 8' striped area, thereby having an effective width of 16' per the requirements.

4. The abutting property at 1625 Main Street appears to be in residential use. §5.5.02.2, B requires a 50 foot landscape buffer on sites where a non-residential use abuts a residential use. Per §5.5.02.2, E, access drives may be allowed in the buffer areas, except that Leicester Planning Board may require an opaque fence and/or other plantings. In the area where the site abuts this property, no landscape buffer is found, however, an access drive is proposed. Leicester Planning Board may wish to request the Engineer address compliance with these bylaws.

CDG Response: The Applicant met with the previous town planner during initial designs, discussed the restrictive nature of this provision on the subject property, and was advised to design it as presently presented. The Applicant has added a 6-foot high, white vinyl fence approximately one-foot off of the property line for appropriate screening.

5. Parking spaces are proposed within 50 feet of the of the property line with 1625 Main Street. Parking is not allowed within buffer areas. (REF: 5.5.02.2, H).

CDG Response: The Applicant met with the previous town planner during initial designs, discussed the restrictive nature of this provision on the subject property, and was advised to design it as presently presented.

6. The entrance drive from 1603/1605 Main Street is 24 feet in width. Drives which serve access/egress must be a minimum of 25 feet in width. (REF: §5.5.02.2, C, 2; also Leicester Parking Regulations IV, C).

CDG Response: The entrance driveway has been modified to reflect a 25' width.

7. Plans should document areas of site which are to be cut or filled. It is believed that the entire site will be filled. (REF: Leicester Stormwater Regulations 4.0, A).

CDG Response: The entire site will be a fill site ranging from at grade along Main Street up to 10' along the rear of the property.

8. Engineer should document that landscaping area complies with 5% area requirement identified in §5.5.02.2, I.

CDG Response: As discussed, the above referenced interior parking lot landscape regulation is required for parking lots exceeding 30 spaces, therefore the regulation is not applicable. However, there are areas internal to the exterior portions of pavement that are landscaped including the right side yard of the building and end caps that book end parking rows.

9. Site lighting plan indicates that minimal light spill (less than 1 fc) will occur on the neighboring parcels to the north and west. In the area of the driveway to the proposed

commercial development at 1603/1605 Main Street, peak lighting intensity of 2.2 fc is found. At the entrance ramp from Main Street, the peak lighting intensity is 1.4 fc. Site lighting is not regulated in Leicester; it is the opinion of this office that the lighting in these areas is appropriate.

CDG Response: Acknowledged. It's our understanding that the light fixture's intensity is also adjustable in the field.

10. The Narrative on the site plan indicates that during times of peak demand, the restaurant may be staffed with 6 – 8 employees. The parking calculation is based on a maximum of 6 employees. Leicester Planning Board may wish to request an opinion from the Leicester Zoning Enforcement Officer as to parking adequacy.

CDG Response: The Applicant believes that there is sufficient parking for the proposed uses on site and requests a waiver in accordance with the Planning Board's Parking Regulations Section V. (A) as the Starbucks is a primarily drive-through use (and not a traditional sit-down restaurant).

11. The Fire Apparatus Circulation plan indicates that maneuvering apparatus may conflict with parked vehicles and with a light post. Leicester Planning Board may wish to request the input of Leicester Fire Department.

CDG Response: The light pole location and fire truck circulation has been modified.

12. Stormwater collected from this site will be discharged to a stormwater basin which will be shared in common with the development at 1603/1605 Main Street. This shared use should be governed by an agreement or easement which will:
- Define how maintenance or repair responsibilities and costs will be shared by parties which use the basin.
 - Provide deeded rights which ensure the ongoing use of common stormwater facilities by both parties.

CDG Response: Acknowledged. An easement agreement will be executed upon approval of the project that will outline maintenance responsibilities, access and stormwater uses. We respectfully request that this easement be a condition to request a Building Permit.

13. Plans for the stormwater basin should depict and identify the (separate) stormwater basin improvements proposed for 1603/1605 Main Street.

CDG Response: As discussed, the above ground infiltration basin that was part of the Site Development Plan for 1603 & 1605 Main Street, Leicester, MA and approved as part of the November, 30, 2021 Special Permit/Site Plan Review & Stormwater Permit Decision is proposed to be modified. The proposed development located at 1621 Main

Street abuts the 1603/1605 project to west and plans to convey stormwater to the previously approved infiltration basin via catch basins, drain manholes and associated piping. The basin's volumetric capacity is proposed to be expanded to account for the increase in stormwater runoff, however, the peak flow rate out of the basin as well as the high water level has been either maintained or slightly decreased as compared to the approved stormwater characteristics. The outlet control structure, infiltration rate and the overflow spillway also remained unchanged from the approved development, therefore, the expanded basin footprint and capacity is intended to function in similar fashion to the approved design.

14. The drive-through has a queue line which accommodates thirteen vehicles. While this queue line is considered to be optimal for the site, it remains possible that at times of peak demand, customer vehicles may extend beyond this queue line.

MDM Response: Detail assessment of the drive-thru operations indicates that the critical 13 vehicle queue during the Saturday midday peak hour will be fully accommodated within the drive-thru area with limited impact on traffic flow within the Site. As outlined in full detail in the traffic impact assessment (TIA) dated October 16, 2023; in order to quantify existing maximum queuing for peak drive-thru window operations, an industry-standard queuing model was applied using an average throughput for the window of 72 vehicles per hour (50 seconds per transaction) based on empirical data collected at other Starbucks facilities with drive-thru windows. The analysis incorporates the vehicular trip increases for the Starbucks as described under "Trip Generation – ITE Basis" and for planning purposes assumes 55% of site trip activity is drive-thru related, consistent with typical Starbucks statistics for similar facilities with drive-thru lanes. A detailed trip generation summary for the site including a breakdown of vehicular trips by drive-thru and customers using counter service are presented in Table R1 and is described below.

TABLE R1
TRIP-GENERATION SUMMARY – STARBUCKS OR SIMILAR
(DRIVE-THRU vs. COUNTER TRIPS)

Period/Direction	SITE TRIPS		
	Total Trips ¹	Drive-Thru Trips ²	Counter Trips ³
<i>Weekday Morning Peak Hour:</i>			
Entering	105	57	48
<u>Exiting</u>	<u>101</u>	<u>57</u>	<u>44</u>
Total	206	114	92
<i>Weekday Evening Peak Hour:</i>			
Entering	47	26	21
<u>Exiting</u>	<u>47</u>	<u>26</u>	<u>21</u>
Total	94	52	42
<i>Saturday Midday Peak Hour:</i>			
Entering	105	58	47
<u>Exiting</u>	<u>106</u>	<u>58</u>	<u>48</u>
Total	211	116	95

¹Based on ITE LUC 937 (Coffee/Donut Shop with Drive-Through Window) trip rates applied to 2,400 sf.

²Estimated at 55% of entering trips based on observations.

³Estimated at 45% of entering trips based on observations.

As summarized in Table R1, the proposed development is estimated to generate approximately 57 drive-through trips during the weekday morning peak hour, 26 drive-through trips during the weekday evening peak hour and 58 drive-through trips during the Saturday midday peak hour.

Queue projections for the facility are estimated using peak drive through trip generation for the site. An industry-standard queuing model was applied using an empirical processing capacity of 72 vehicles per hour during the weekday morning and Saturday midday peak hours and a processing capacity of 41 vehicles per hour during weekday evening peak hour as observed at other Starbucks locations. The analysis Corresponding queue results for the peak hour periods are summarized in Table R2.

TABLE R2
PROJECTED DRIVE-THROUGH QUEUE CHARACTERISTICS
STARBUCKS OR SIMILAR

Period	Drive- Through Volume (veh)	Average Queue (veh)	Maximum Queue (veh)
<i>Weekday Morning Peak Hour¹</i>	57	2	12
<i>Weekday Evening Peak Hour²</i>	26	<1	6
<i>Saturday Midday Peak Hour¹</i>	58	3	13

¹Based on a service rate of 72 vehicles per hour based on empirical data for Starbucks.

²Based on a service rate of 41 vehicles per hour based on empirical data for Starbucks during the evening peak period.

As presented in Table R2, projected queue results indicate a maximum (95th percentile) queue of 12 vehicles during the critical weekday morning peak hour and 13 vehicles during the critical Saturday midday peak hour. This peak queuing remains within the vehicle capacity of the proposed drive-through storage lane and will have limited impact on traffic flow within the Site. Specifically, the proposed drive-thru configuration may accommodate up to 14 vehicles with no impact to site access, circulation, or parking, up to 16 vehicles prior to any potential impact with the Route 9 entrance driveway and up to 23 vehicles prior to any potential impact with the adjacent mixed-use fuel facility project. MDM recommends that Starbucks implement a drive-through management plan to actively manage its drive-through customer demands as follows:

- ***Drive-Thru Management Plan.*** The operator should confirm that the window will be properly staffed and managed during peak demand periods to meet applicable processing times and commit to monitoring actual drive-through demand and queuing to ensure impacts to site circulation and Route 9 are avoided. To the extent needed the facility should enhance staffing/management of the drive-through window to minimize processing times and associated vehicle queuing, and designation of parking for drive-through patrons whose orders may be lengthy and require additional processing time. Likewise, designated parking for employees should be provided in areas where longer-term parking (i.e., lower turnover spaces) are preferred within the Site to facilitate higher turnover patron accommodation.

CIVIL DESIGN GROUP, LLC

ENGINEERING. LAND USE. PLANNING. PERMITTING.

21 High Street, Suite 207
North Andover, MA 01845
Tel 978.794.5400
www.cdengineering.com

We trust the responses provided above and the enclosed plans and documentation sufficiently address the comments issued by the peer reviewer. Please feel free to contact our office if you have any questions or required further clarification.

Sincerely,
CIVIL DESIGN GROUP, LLC



Philip R. Henry, P.E.
Principal

cc. Mr. Hussein Yatim, Applicant
Mr. Thomas Reidy, Esq.
Mr. Robert Michaud, P.E.
Mr. Dennis Darveau

Enclosures

November 16, 2023

Leicester Planning Board
Town of Leicester
3 Washburn Square
Leicester, Massachusetts 01524

Re: 1621 Main Street
Site Plan Review, Special Permit

To the Planning Board:

We are in receipt of the following information package submitted in reference to a proposed commercial development located at 1621 Main Street:

- Plans entitled “Site Plan Set for Proposed Restaurant & Retail Development, 1621 Main Street (RTE-9), Leicester Ma 01524”, consisting of 19 sheets with revision date of 10/16/23, prepared by Civil Design Group, LLC of North Andover, MA.
- Letter to Leicester Planning Board dated October 16, 2023, from Civil Design Group, LLC identifying responses to review letter dated 10/10/2023.
- A package of information, including
 - a submission letter addressed to Leicester Planning Board dated September 13, 2023, from Thomas R. Reidy, Esq; Bacon/Wilson
 - Applications for Site Plan Review and Special Permit
 - Site Plan Review/Special Permit Narrative, undated
 - Stormwater Management Report, dated August 2023 prepared by Civil Design Group, LLC of North Andover, MA.

- Memorandum addressed to Mr. Hussein Yatim, HY Ventures Leicester, LLC, dated September 14, 2023, regarding “Proposed Starbucks w/ Drive Through & Retail Facility”. Memorandum addresses traffic impacts.

We have reviewed the plans in relation to comments contained in our letter to the Planning Board dated October 10, 2023; any other changes made not in response to our comments must be identified by the applicant.

In the comments, items identified as “**Resolved**” have received sufficient response. “**Comment Stands**” refers to an issue not satisfactorily resolved. “**No Further Comment**” refers to an issue that has been brought to the attention of the Planning Board.

Our comments are found below:

1. **No Further Comment.** The submitted information includes the anticipated schedule for development. (REF: Site Plan Review Regulations, II, E, 4)
2. **No Further Comment.** Plans have been revised to include a pedestrian walk to Main Street. (REF: §5.5.02.2, A, 8)
3. **Comment Stands.** Accessible parking spaces are called out to be 8 feet wide; minimum parking space width is 10 feet. (REF: §5.5.02.2,B, 1, and *Leicester Parking Regulations* IV, A). Accessible parking spaces 10 feet wide are not a violation of Massachusetts Architectural Access Board (MAAB) or Americans with Disabilities Act (ADA) standards. Per 521 CMR 23.4.1, MAAB Regulations, “Width: Accessible parking spaces shall be *at least* eight feet wide”.
4. **No Further Comment.** The abutting property at 1625 Main Street appears to be in residential use. §5.5.02.2, B requires a 50 foot landscape buffer on sites where a non-residential use abuts a residential use. Per §5.5.02.2, E, access drives may be allowed in the buffer areas, except that Leicester Planning Board may require an opaque fence and/or other plantings. In the area where the site abuts this property, no landscape buffer is found, however, an access drive is proposed.

Leicester Planning Board may wish to request the Engineer address compliance with these bylaws.

5. **No Further Comment.** Parking spaces are proposed within 50 feet of the of the property line with 1625 Main Street. Parking is not allowed within buffer areas. (REF: 5.5.02.2, H). Applicant may seek relief from this requirement.
6. **Resolved.** The entrance drive from 1603/1605 Main Street has been revised to 25 feet in width. (REF: §5.5.02.2, C, 2; also Leicester Parking Regulations IV, C).
7. **Resolved.** Engineer has documented that the entire site will be filled. (REF: Leicester Stormwater Regulations 4.0, A)
8. **Resolved.** The Engineer has correctly noted that §5.5.02.2, I pertains to parking areas with *greater than* 30 parking spaces; the subject parking area has 30 spaces. §5.5.02.2 does not apply to this plan.
9. **No Further Comment.** Site lighting plan indicates that minimal light spill (less than 1 fc) will occur on the neighboring parcels to the north and west. In the area of the driveway to the proposed commercial development at 1603/1605 Main Street, peak lighting intensity of 2.2 fc is found. At the entrance ramp from Main Street, the peak lighting intensity is 1.4 fc. Site lighting is not regulated in Leicester; it is the opinion of this office that the lighting in these areas is appropriate.
10. **No Further Comment.** The Narrative on the site plan indicates that during times of peak demand, the restaurant may be staffed with 6 – 8 employees. The parking calculation is based on a maximum of 6 employees. Leicester Planning Board may wish to request an opinion from the Leicester Zoning Enforcement Officer as to parking adequacy.

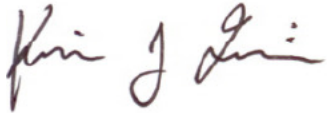
11. **No Further Comment.** The Fire Apparatus Circulation plan has been revised to eliminate conflicts between fire apparatus and parked vehicles and with a light post. Leicester Planning Board may wish to request the input of Leicester Fire Department.
12. **No Further Comment.** Stormwater collected from this site will be discharged to a stormwater basin which will be shared in common with the development at 1603/1605 Main Street. This shared use should be governed by an agreement or easement which will:
- Define how maintenance or repair responsibilities and costs will be shared by parties which use the basin.
 - Provide deeded rights which ensure the ongoing use of common stormwater facilities by both parties.
13. **No Further Comment.** Plans for the stormwater basin should depict and identify the (separate) stormwater basin improvements proposed for 1603/1605 Main Street.
14. **No Further Comment.** Engineer has documented that the drive-through queue line is designed to accommodate the maximum number of vehicles expected and has been optimized for this site. Using the best design tools available, it is still not possible to guarantee that the number of vehicles in the queue line will *never* exceed the line.

Leicester Planning Board
1621 Main Street
November 16, 2023
Page 5 of 5

Please don't hesitate to contact this office with questions you may have.

Sincerely,

QUINN ENGINEERING, INC.

A handwritten signature in dark ink, appearing to read "Kevin J. Quinn". The signature is fluid and cursive, with the first name "Kevin" and last name "Quinn" clearly distinguishable.

Kevin J. Quinn, P.E.

President

Sign In Sheet

November 14, 2023

Tech Review

1621 Main Street

Name	Department
Kris Lauzon	DPW
Barry Allen	Yatco
Murson Yatum	Yatco
Tarek Yatum	Yatco
Ken Antanavicius	LPD
PHILIP HENRY	Civil Design Group, LLC.
DAN DUMAIS	MDM

SP2021-03 WorcShop Amendment

Lisa Westwell

From: The WorcShop <theworshop@gmail.com>
Sent: Thursday, November 30, 2023 9:23 AM
To: Lisa Westwell
Cc: Kristen Jacobsen
Subject: Re: 11 Hankey Street

Hi Lisa

We are not ready yet. We're still working on it.

Can we get put on the January agenda?

Best regards
Randal

On Wed, Nov 29, 2023, 3:48 PM Lisa Westwell <westwell@leicesterma.org> wrote:

Good afternoon Randal,

I'm sending a reminder that the Planning Board continued the public hearing for 11 Hankey Street to December 5, 2023, agenda attached. Please let us know if you will be able to attend.

Sincerely,

Lisa Westwell

Administrative Assistant

to the Planning Department

Town of Leicester

3 Washburn Square

Leicester, MA 01524

508.892.7007 x 120

westwell@leicesterma.org

SPR-2022-01 0,90,92 Huntoon Project Closeout

RECEIVED

SEP 28 2023

Town of Leicester
Development & Inspectional Services



September 28, 2023

Mr. Joshua Campbell, Chairman
Leicester Planning Board
3 Washburn Square
Leicester, MA 01524

Re: Completion of Warehouse Development Project at
0, 90, and 92 Huntoon Memorial Highway (Rt. 56)

Mr. Campbell,

On behalf of our client, JMC/TBG Leicester, LLC and its successor owner, BP Leicester Fee Owner LLC for the above referenced Project, VHB respectfully submits this package documenting that the work depicted on the approved Leicester Central Site Plans (the Plans) has been completed in substantial conformance to the Plans with the insignificant adjustments listed below. For reference, attached please find two copies of the as-built plan titled Record Survey, dated August 8, 2023, prepared by Control Point Associates and the Site Plan Approval & Stormwater Permit Order of Conditions.

- Additional trees and shrubs beyond those proposed on the site plans were planted in various locations around the site as an overall landscaping enhancement
- An added tenant entrance island at the east end of the building which displaced 3 parking stalls
 - The Site still contains more parking than required by zoning
- Clearing north of the surface stormwater retention pond restored with seeding and tree plantings
- Loam and seed was replaced with crushed stone in interior parking lot islands and perimeter areas, and around electrical transformers
 - Despite the change in surface material, these areas remain pervious and are not expected to impact the stormwater management design

Please forward an acknowledgement letter that the work completed substantially conforms to the plans and conditions. Let me know if you have any questions and advise on the next steps.

Sincerely,

Vanasse Hangen Brustlin, Inc.

A handwritten signature in blue ink, appearing to read "Justin Dufresne".

Justin Dufresne, P.E.
Managing Director

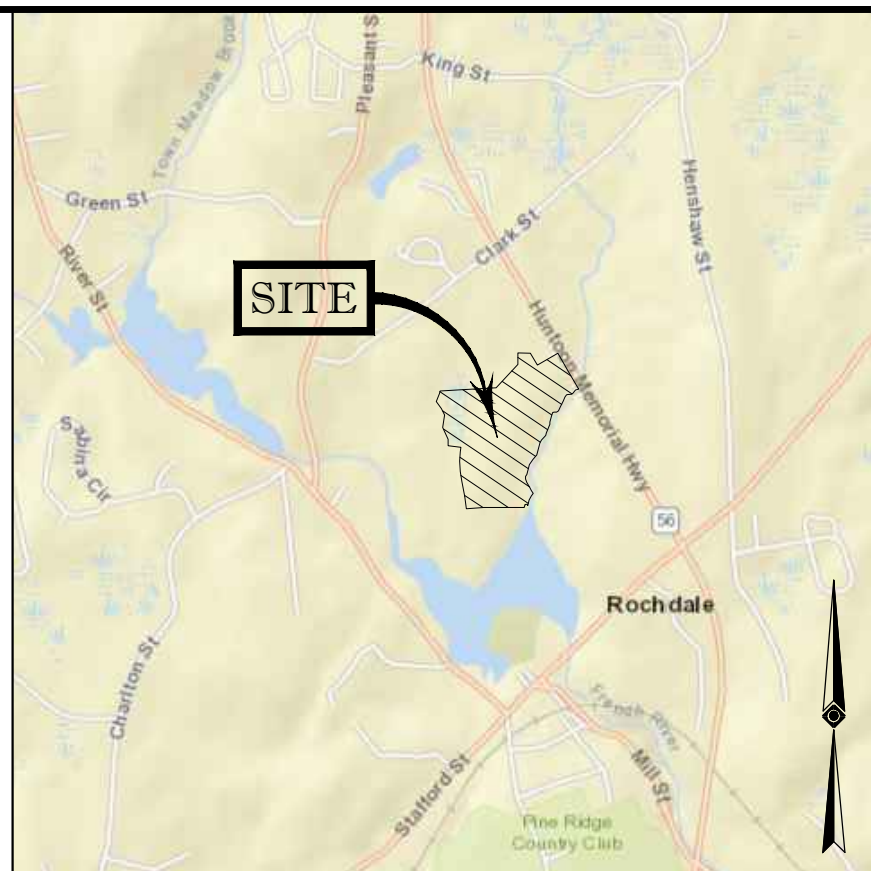
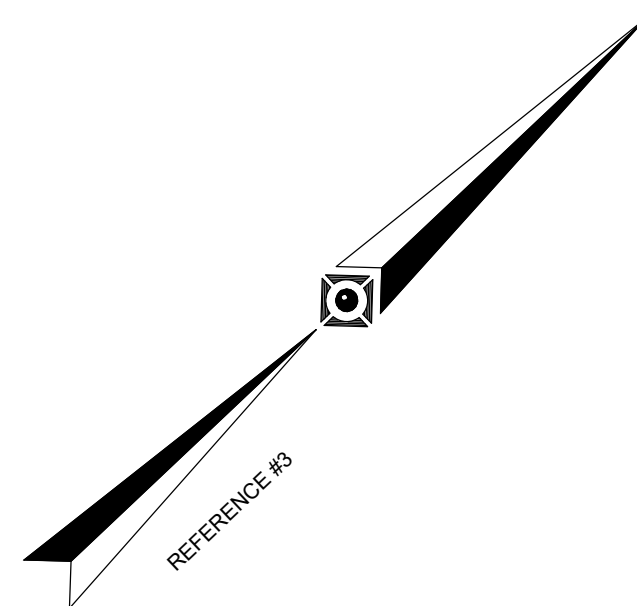
RECEIVED
2023 OCT -3 PM 3:37
TOWN CLERK'S OFFICE
LEICESTER, MASS.

Engineers | Scientists | Planners | Designers

120 Front Street, Suite 500, Worcester, Massachusetts 01608

P 508.752.1001 F 508.459.0877 www.vhb.com

<i>BLDG</i>	BUILDING
<i>BFFA</i>	BUILDING FOOTPRINT AREA
<i>SBDH</i>	STONE BOUND w/DRILL HOLE



LOCUS MAP
NOT TO SCALE

NOTES:

1. PROPERTY KNOWN AS LOTS A4.1, A5 & A6 AS SHOWN ON THE TOWN OF LEICESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 44.
2. LOT A4.1 AREA = 277,780 SQUARE FEET OR 6.377 ACRES.
LOT A5 AREA = 14,225 SQUARE FEET OR 0.327 ACRES.
LOT A6 AREA = 1,891,016 SQUARE FEET OR 43.412 ACRES.
TOTAL AREA = 2,183,021 SQUARE FEET OR 50.116 ACRES.

3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM.

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING
INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY

4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
6. EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREA OF MINIMAL FLOOD HAZARD), PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X-SHADED (0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE), PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE A (WITHOUT BASE FLOOD ELEVATION (BFE)) & PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE AE (WITH BFE OR DEPTH), PER REF. #2.
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:

TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 780.26'

TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 756.80'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS PLAN ARE NOT REQUIRED TO BE RELOCATED. IF THEIR ELEVATIONS HAVE BEEN CONFIRMED ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
9. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
10. THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT CONDITIONS OF THE SITE.

TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 780.26

TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 756.80

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE OR PERMANENT ADDITION, ETC.
9. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
10. THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT CONDITIONS OF THE SITE.

SEE SHEET 2 THRU 4 OF 4 FORTOPOGRAPHIC & FEATURE


THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



8-08-2023
DATE

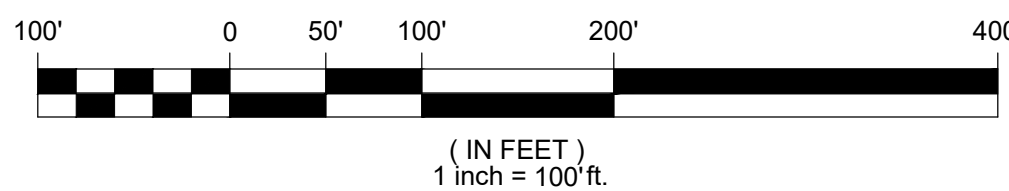
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #

FIELD DATE 7-27-2023	RECORD SURVEY ARCO NATIONAL NEW ENGLAND, L.L.C. 0, 90 & 92 HUFTON MEMORIAL DRIVE MAP 44, LOTS A4.1, A6 & A5 TOWNSHIP OF TOWN OF LEICESTER, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS				
FIELD BOOK NO. 23-10	 CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 ~ 508.948.3003 FAX WWW.CPASURVEY.COM				
FIELD BOOK PG. 24					
FIELD CRAW J.S.A.					
DRAWN: R.A.B.	WARREN, NJ 908-686-0099 MT LAUREL, NJ 609-857-2099 ALBANY, NY 518-712-0880 ROCHESTER, NY 585-750-1746 PHILADELPHIA, PA 800-668-1819 CHALFONTE, PA 215-712-0880 HANNA PAULINE, NY 631-580-2645 MANHATTAN, NY 646-780-0411				
REVIEWED: B.A.V.	APPROVED: G.L.H.	DATE 08-08-2023	SCALE 1"=100'	FILE NO. 03-2230300-00	DWG. NO. 1 OF 4

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF TOWN OF LEICESTER, WORCESTER COUNTY, MAP 44.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, PANEL 784 OF 1075," MAP NUMBER 25027C0784F, MAP REVISED, JUNE 21, 2023.
3. ELECTRONIC CAD FILE OF CIVIL EXISTING CONDITIONS & PROPOSED MANUFACTURING, INDUSTRIAL OR WAREHOUSE, CALLED 15392.00 - PR, PROVIDED BY THE CLIENT.
4. ELECTRONIC CAD FILE CONTAINING THE AS-BUILT UTILITY INFORMATION, PROVIDED BY CLIENT.

GRAPHIC SCALE



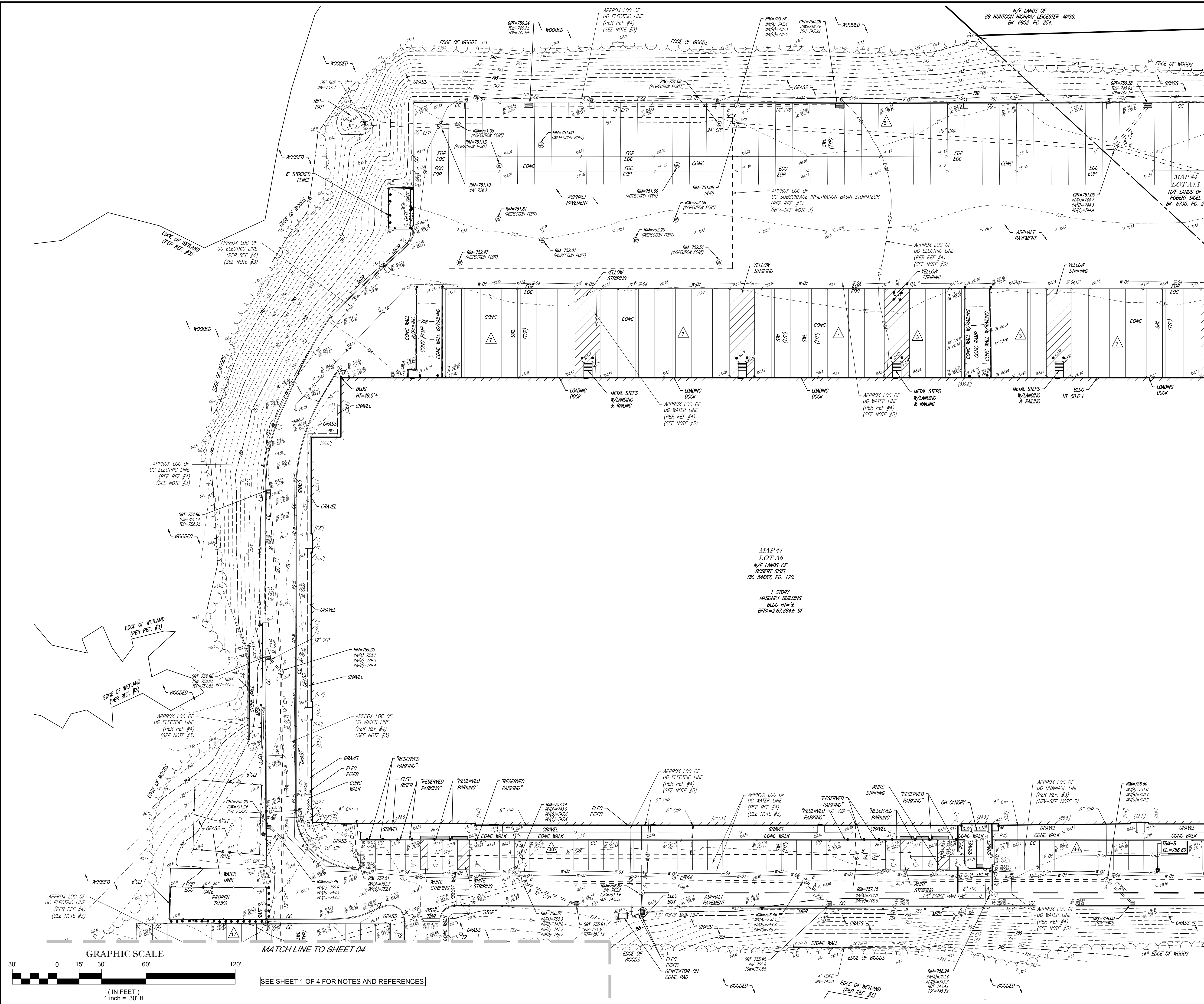
(IN FEET)
1 inch = 100'ft



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION
BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO
DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH

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- LEGEND**
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - × 123.45 EXISTING TOP OF CURB ELEVATION
 - × 123.45 EXISTING BOTTOM OF CURB ELEVATION
 - × 123.45 EXISTING TOP OF WALL ELEVATION
 - × 122.45 EXISTING BOTTOM OF WALL ELEVATION
 - HYDRANT
 - WV WATER VALVE
 - UNKNOWN VALVE
 - SM GAS METER
 - EM ELECTRIC METER
 - OH OVERHEAD WIRES
 - UG --- APPROX. LOC. UNDERGROUND WATER LINE
 - E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - D --- APPROX. LOC. UNDERGROUND DRAINAGE LINE
 - S --- APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
 - CATCH BASINS
 - PAINTED HANDICAPPED
 - SIGN
 - AREA LIGHT
 - BOLLARD
 - METAL GUIDE RAIL
 - PARKING SPACE COUNT
 - CLEAN OUT
 - UNKNOWN TERMINUS
 - ROOF DRAIN
 - DMH DRAINAGE/STORM MANHOLE
 - EMH ELECTRIC MANHOLE
 - MH UNKNOWN MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - SWL SOLID WHITE LINE
 - UG UNDER GROUND
 - CLF CHAIN LINK FENCE
 - DC DEPRESSURE CURB
 - EDC EDGE OF CONCRETE
 - EOP EDGE OF PAVEMENT
 - BLDG BUILDING
 - BFP BUILDING FOOTPRINT AREA
 - SBWH STONE BOUND W/DRILL HOLE
 - EL ELEVATION
 - PVC POLYVINYL CHLORIDE PIPE
 - CPV CORRUGATED PLASTIC PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - BOT BOTTOM ELEVATION
 - 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
 - SUBSURFACE UTILITY QUALITY LEVEL D
 - TREE & TRUNK SIZE
 - CONIFEROUS TREE & TRUNK SIZE

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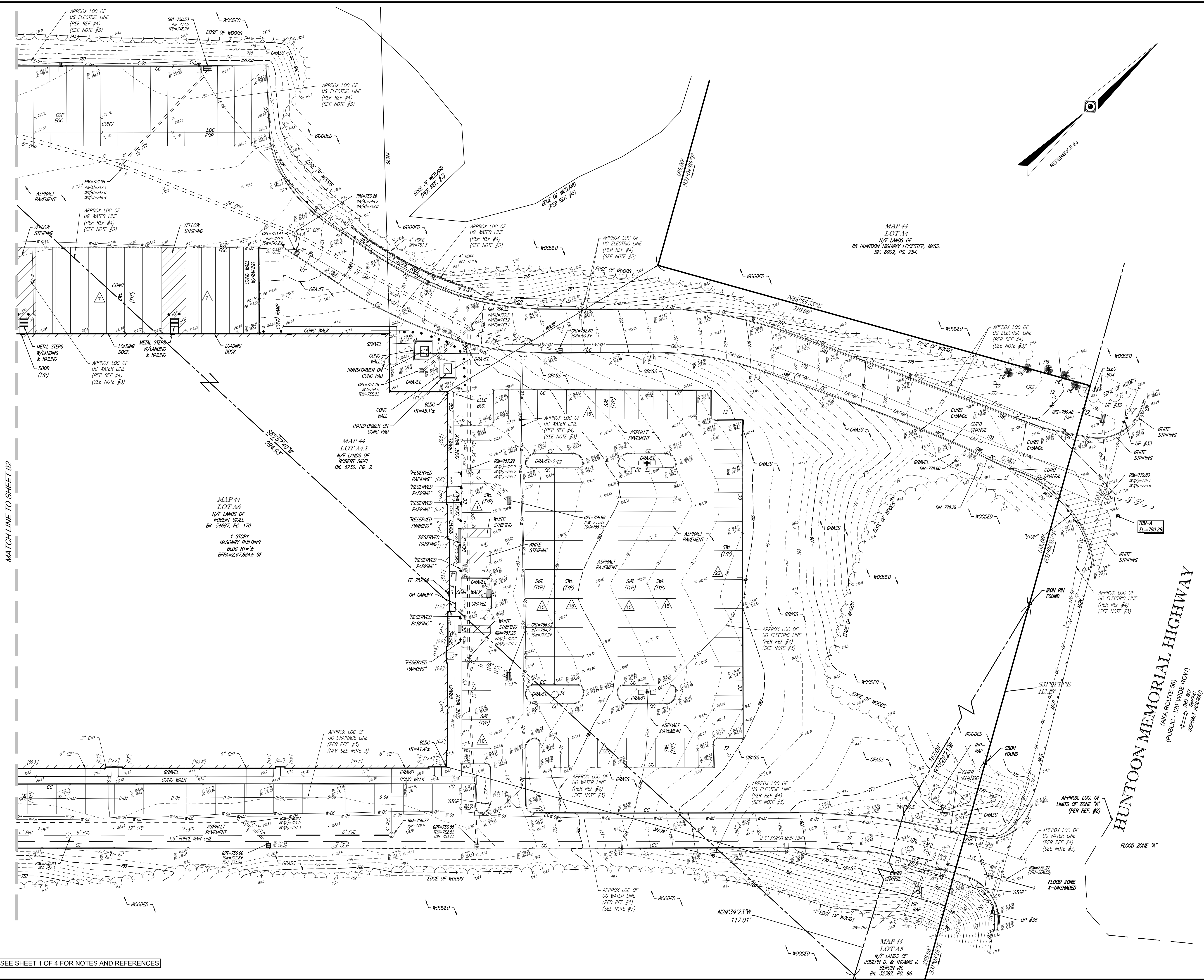
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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

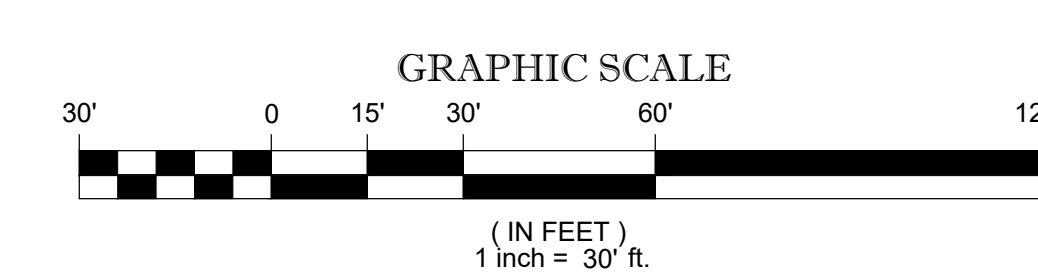
8-08-2023
DATE

FIELD DATE 7-27-2023	RECORD SURVEY ARCO NATIONAL NEW ENGLAND, L.L.C.
FIELD BOOK NO. 23-10	0, 90 & 92 HUNTOON MEMORIAL DRIVE MAP 44, LOTS A4.1, A6 & A5
FIELD BOOK PG. 24	TOWNSHIP OF TOWN OF LEICESTER, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS
FIELD CREW J.S.A.	CONTROL POINT ASSOCIATES, INC. WARREN, NJ 908-668-0099 MT LAUREL, NJ 609-857-2099 ALBANY, NY 518-217-5010 ROCHESTER, NY 585-250-1764 PHILADELPHIA, PA 800-668-1819 CHALFONTE, PA 215-712-8988 HAUPPAUGE, NY 631-580-2645 MANHATTAN, NY 646-780-0411
DRAWN: R.A.B.	352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 • 508.948.3003 FAX WWW.CPASURVEY.COM
REVISED: B.A.V.	APPROVED: G.L.H.
DATE 8-08-2023	SCALE 1"=30'
FILE NO. 03-220300-00	DWG. NO. 2 OF 4

MATCH LINE TO SHEET 02



- LEGEND
- 124 EXISTING CONTOUR
 - 125 EXISTING SPOT ELEVATION
 - 123.45 EXISTING TOP OF CURB ELEVATION
 - 123.45 EXISTING BOTTOM OF CURB ELEVATION
 - 123.45 EXISTING TOP OF WALL ELEVATION
 - 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - HYDRANT
 - WATER VALVE
 - UNKNOWN VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND WATER LINE
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 - EOC EDGE OF CONCRETE
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 - BLDG BUILDING
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 - CPP CORRUGATED PLASTIC PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - BOT BOTTOM ELEVATION
 - 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
 - SUS SUBSURFACE UTILITY QUALITY LEVEL D
 - 16" TREE & TRUNK SIZE
 - 16" CONIFEROUS TREE & TRUNK SIZE



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

8-08-2023
DATE

RECORD SURVEY
ARCO NATIONAL NEW ENGLAND, L.L.C.
0, 90 & 92 HUNTON MEMORIAL DRIVE
MAP 44, LOTS A4.1, A6 & A5
TOWN/CITY OF TOWN OF LEICESTER, WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

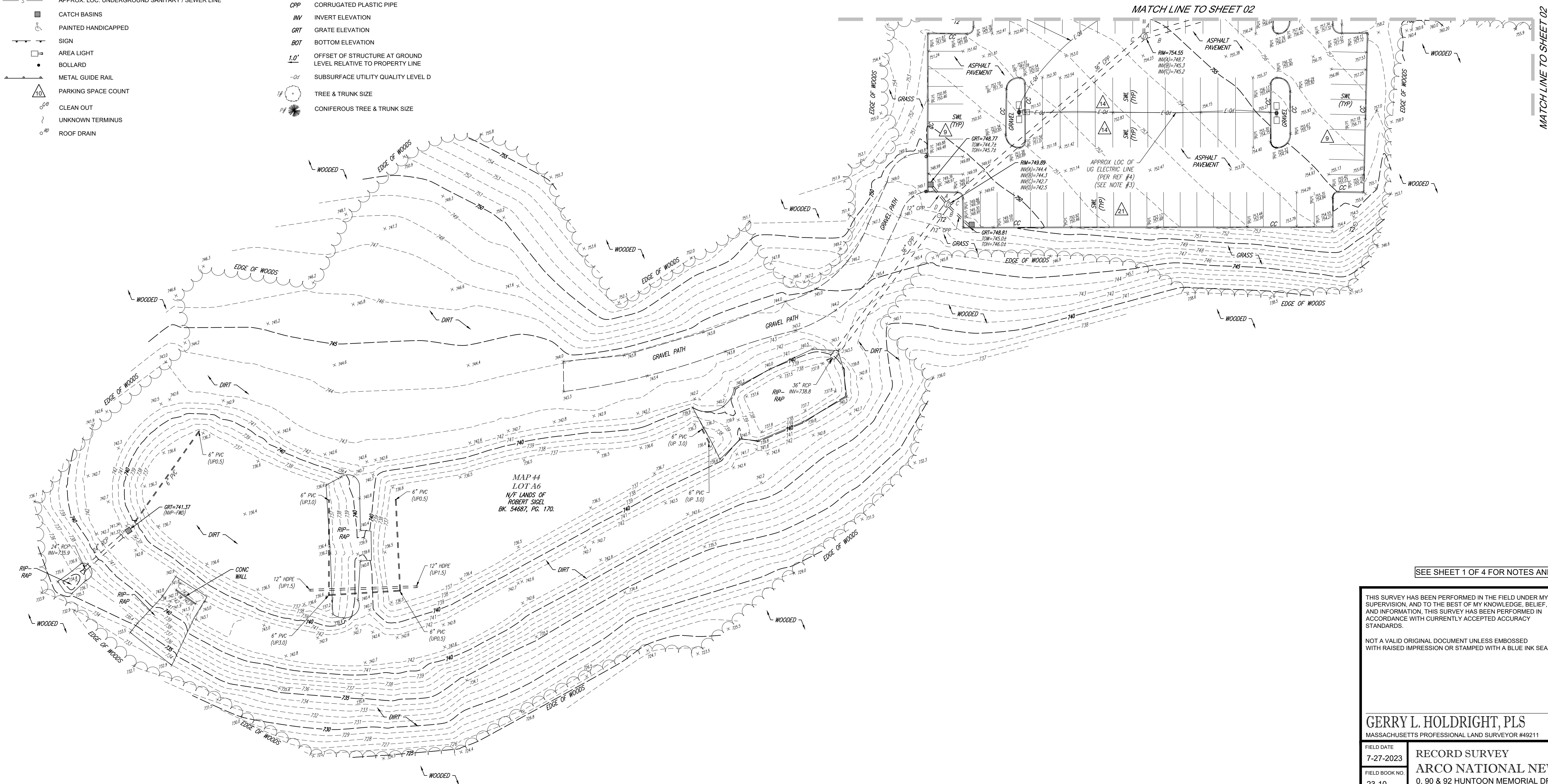
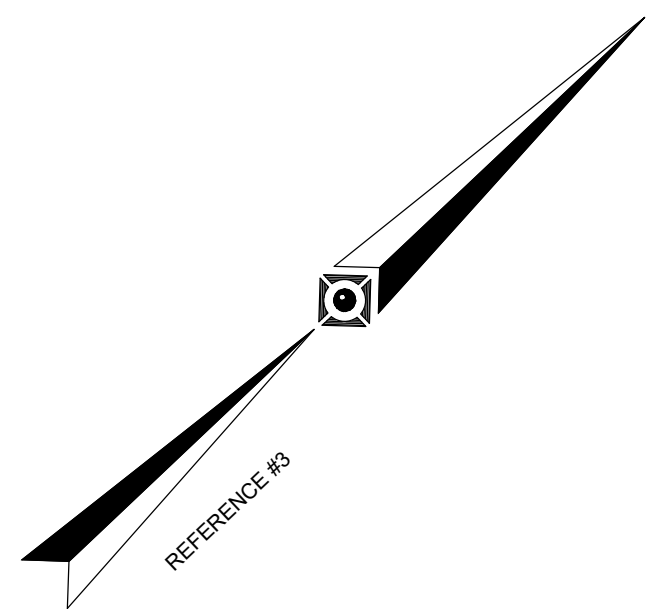
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ALBANY, NY 518-217-5010
ROCHESTER, NY 585-250-1764
352 TURNPIKE ROAD
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WWW.CPASURVEY.COM
CHALFONTE, PA 215-712-9888
HAUPPAUGE, NY 631-580-2645
MANHATTAN, NY 646-780-0411

FIELD DATE: 7-27-2023
FIELD BOOK NO: 23-10
FIELD BOOK PG: 24
FIELD CREW: J.S.A.
DRAWN: R.A.B.
REVIEWED: B.A.V.
APPROVED: G.L.H.
DATE: 8-08-2023
SCALE: 1"=30'
FILE NO: 03-220300-00
DWG. NO: 3 OF 4

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SEE SHEET 1 OF 4 FOR NOTES AND REFERENCES

LEGEND			
	EXISTING CONTOUR		① DMH DRAINAGE/STORM MANHOLE
	EXISTING SPOT ELEVATION		② EMH ELECTRIC MANHOLE
	EXISTING TOP OF CURB ELEVATION		③ MH UNKNOWN MANHOLE
	EXISTING BOTTOM OF CURB ELEVATION		④ SMH SANITARY/SEWER MANHOLE
	EXISTING TOP OF WALL ELEVATION		SWL SOLID WHITE LINE
	EXISTING BOTTOM OF WALL ELEVATION		UG UNDER GROUND
	HYDRANT		CLF CHAIN LINK FENCE
	WATER VALVE		DC DEPRESSED CURB
	UNKNOWN VALVE		EOC EDGE OF CONCRETE
	GAS METER		EOP EDGE OF PAVEMENT
	ELECTRIC METER		BLDG BUILDING
	OVERHEAD WIRES		BFPA BUILDING FOOTPRINT AREA
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	APPROX. LOC. UNDERGROUND ELECTRIC LINE		EL ELEVATION
	APPROX. LOC. UNDERGROUND DRAINAGE LINE		PVC POLYVINYL CHLORIDE PIPE
	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE		CPP CORRUGATED PLASTIC PIPE
	CATCH BASINS		INV INVERT ELEVATION
	PAINTED HANDICAPPED		GRT GRATE ELEVATION
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	UNKNOWN TERMINUS		
	ROOF DRAIN		



SEE SHEET 1 OF 4 FOR NOTES AND REFERENCES

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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

8-08-2023
DATE

FIELD DATE
7-27-2023
FIELD BOOK NO.
23-10
FIELD BOOK PG.
24

RECORD SURVEY
ARCO NATIONAL NEW ENGLAND, L.L.C.
0, 90 & 92 HUNTOON MEMORIAL DRIVE
MAP 44, LOTS A4.1, A6 & A5
TOWN/CITY OF TOWN OF LEICESTER, WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

FIELD CREW
J.S.A.
DRAWN
R.A.B.
REVIEWED
B.A.V.

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
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508.948.3000 - 508.948.3003 FAX
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HAUPPAUGE, NY 631-580-2645
MANHATTAN, NY 646-780-0411

SCALE
1"=30'

FILE NO.
03-220300-00

DWG. NO.
4 OF 4

GRAPHIC SCALE



(IN FEET)
1 inch = 30' ft.

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November 17, 2023

Leicester Planning Board
Town of Leicester
3 Washburn Square
Leicester, Massachusetts 01524

Re: 0, 90 & 92 Huntoon Memorial Highway, Leicester Central
Construction Compliance

To the Board:

On November 7 and November 17, 2023, I walked the site at Leicester Central, located at 0, 90 & 92 Huntoon Memorial Highway, to observe the status of the site as to construction completion and suitability.

I am in receipt of plans entitled "Record Survey, ARCO National New England, LLC, 0, 90 & 92 Huntoon Memorial Highway", prepared by Control Point Associates, Inc of Southborough, Massachusetts, and dated 8-08-2023.

Based on visual inspection and review of the Record Plan of the site, it is my opinion that the site development work was constructed in substantial compliance with the approved site plan, with the following exception, believed to be minor:

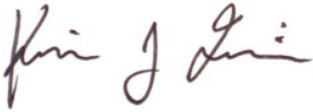
- An exterior buffer strip around the south and east sides of the building was constructed of graded crushed stone in lieu of loam and seed. This finish is considered durable and low maintenance. I have no objection to it.

This review and inspection were conducted in relation to site development work only, and does not include the building or underground utilities (including sewer, water or gas mains).

Leicester Planning Board
0, 90 & 92 Huntoon Memorial Highway
November 17, 2023
Page 2 of 2

Please contact this office should you have questions.

Sincerely,
QUINN ENGINEERING, INC.

A handwritten signature in dark ink, appearing to read "Kevin J. Quinn". The signature is fluid and cursive, with the first name "Kevin" and last name "Quinn" clearly distinguishable.

Kevin J Quinn, P.E.
President

2024 Meeting Dates



Town of Leicester

PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

PLANNING BOARD

2024 Meeting Dates

January 2, 2024	July 2, 2024
January 16, 2024	July 16, 2024
February 6, 2024	August 6, 2024
February 20, 2024	August 20, 2024
March 5, 2024	September 3, 2024
March 19, 2024	September 17, 2024
April 2, 2024	October 1, 2024
April 16, 2024	October 15, 2024
May 7, 2024	November 5, 2024
May 21, 2024	November 19, 2024
June 4, 2024	December 3, 2024
June 18, 2024	December 17, 2024

Notes: January 2, 2024- Day after New Years Day

July 2, 2024- Week of July 4th

September 3, 2024 – Day after Labor Day