

LOCUS MAP  
NOT TO SCALE

AGENT:  
RE/MAX PATRIOT REALTY  
55 MEAD STREET  
LEOMINSTER, MA 01453

APPLICANT  
MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

OWNER  
E F G REALTY TRUST  
EDGAR GREENEY, JR - TRUSTEE  
76 MCCLELLAN STREET  
AMHERST, MA 01002

CIVIL ENGINEER / SURVEYOR:  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY, SUITE 5  
WOBURN, MA 01801

ENVIRONMENTAL CONSULTANT  
GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DR BLDG 2 UNIT H  
EXETER NH 03833-7507

LEICESTER PLANNING BOARD WAIVERS REQUESTED

SECTION V.A.1.f – MINIMUM CENTER LINE RADII. 200’ MIN. REQUIRED TO ALLOW CENTER LINE RADIUS OF 75’ AND 100’

SECTION V.A.3.a – MAXIMUM STREET GRADE. 10% TO ALLOW FOR A STREET GRADE OF 14% BETWEEN STA 1+00 & STA 5+00 ALONG ALIGNMENT #9 AND 20% BETWEEN STA 13+50 & STA 16+00 ALONG ALIGNMENT #7

SECTION V.I.B.1A –REINFORCED CONCRETE STORM DRAINAGE PIPING REQUIRED  
A WAIVER IS REQUESTED TO UTILIZE HIGH DENSITY POLYPROPYLENE (HDPE) DRAINAGE LINES OR APPROVED EQUAL WITHIN THE DRAINAGE SYSTEM OF THE SUBDIVISION.

SECTION V.I.E.3 – STREET LIGHTING REQUIRED  
TO ALLOW STREET LIGHTING TO BE INSTALLED AS PRIVATE DRIVEWAY LIGHT

SECTION V.I.L STREET TREES SHALL BE INSTALLED ON BOTH SIDES OF THE ROADWAY  
TO ALLOW FOR STREET TREE PLANTINGS TO BE INSTALLED ON ONE SIDE ONLY

SECTION V.I.G.1 – SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN A SUBDIVISION  
A WAIVER IS REQUESTED TO INSTALL SIDEWALKS ON ONLY 1 SIDE OF THE ROADWAY DUE TO THE STEEP TERRAIN OF THE PROPOSED SUBDIVISION AND LACK OF CONNECTION TO A MUNICIPAL SIDEWALK ALONG MAIN STREET (AKA ROUTE 9)

GENERAL NOTES

1. THE OWNER OF RECORD:

LOT 21–B5.1  
EFG REALTY TRUST  
76 MCCLELLAN STREET  
AMHERST, MA 01002  
BOOK 16761, PAGE 78

2. ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST

LOT SIZE: 22,500 SF  
LOT FRONTAGE: 100 FT.  
FRONT SETBACK: 25 FT.  
SIDE SETBACK: 15 FT.  
REAR SETBACK: 25 FT.

3. EXISTING USE OF LOT 21–B5.1 IS VACANT LAND.

4. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.

DEFINITIVE SUBDIVISION PLANS FOR  
SKYVIEW ESTATES  
MAIN STREET  
LEICESTER, MA 01611

FOR REGISTRY USE ONLY

CONDITIONS OF APPROVAL ARE CONTAINED IN THE WRITTEN DECISION OF THE PLANNING BOARD ENTITLED, "CERTIFICATE OF APPROVAL OF A DEFINITIVE SUBDIVISION PLAN" DATED 2021 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK PAGE

THE CONSTRUCTION OF WAYS AND INSTALLATION OF SERVICES SHOWN ON THIS PLAN ARE SECURED BY WAY OF A COVENANT, DATED TO BE RECORDED HERewith.

APPROVAL OF THE LEICESTER PLANNING BOARD IS FOR YEARS ONLY. IN THE EVENT THE WAYS AND SERVICES SHOWN ON THIS PLAN ARE NOT CONSTRUCTED AND INSTALLED WITHIN YEARS FROM THE DATE OF ENDORSEMENT, THE BOARD'S APPROVAL IS RESCINDED, AND THIS PLAN IS AND SHALL BE NULL AND VOID.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET THE REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO THE CURRENT TOWNS OF LEICESTER ASSESSOR'S RECORDS.

I CERTIFY THIS PLAN HAS BEEN PREPARED IN CONFORMITY THE THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR FOR  
ALLEN & MAJOR ASSOCIATES, INC.

LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	V-101	07-16-21	-
SITE PREPARATION PLAN	C-100	09-17-21	-
SUBDIVISION LAYOUT KEY PLAN	C-101	09-17-21	-
DEFINITIVE LAYOUT PLAN	C-101A	09-17-21	-
DEFINITIVE LAYOUT PLAN	C-101B	09-17-21	-
DEFINITIVE LAYOUT PLAN	C-101C	09-17-21	-
OVERALL GRADING & DRAINAGE PLAN	C-102	09-17-21	-
GRADING & DRAINAGE PLAN	C-102A	09-17-21	-
GRADING & DRAINAGE PLAN	C-102B	09-17-21	-
GRADING & DRAINAGE PLAN	C-102C	09-17-21	-
OVERALL UTILITIES PLAN	C-103	09-17-21	-
UTILITIES PLAN	C-103A	09-17-21	-
UTILITIES PLAN	C-103B	09-17-21	-
UTILITIES PLAN	C-103C	09-17-21	-
ROADWAY PROFILES ALIGNMENTS (8) & (9)	C-201	09-17-21	-
ROADWAY PROFILES ALIGNMENT (7)	C-202	09-17-21	-
DETAILS	C-501	09-17-21	-
DETAILS	C-502	09-17-21	-
DETAILS	C-503	09-17-21	-
DETAILS	C-504	09-17-21	-

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HERewith.

DATE:

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

PRELIMINARY  
ISSUED FOR REVIEW  
SEPTEMBER 17, 2021

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

PROJECT:  
SKYVIEW ESTATES  
RESIDENTIAL SUBDIVISION  
MAIN STREET  
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21  
SCALE: NONE DWG. : C-2889-01\_Cover  
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.  
civil engineering ♦ land surveying  
environmental consulting ♦ landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
FAX: (781) 935-2896  
WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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DRAWING TITLE: COVER SHEET No. C  
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ISSUED FOR DEFINITIVE SUBDIVISION: JULY 16, 2021



LEGEND

PROP. PROPERTY LINE

CURB

SIDEWALK

BASELINE

SIGN

GRAVEL ACCESS

ZONING DISTRICT LINE

SHEET C

DIG SAFE

BEFORE YOU DIG

CALL 811 OR

1-888-DIG-SAFE

1-888-344-7233

FOR REGISTRY USE ONLY

GENERAL NOTES

1. THE OWNER OF RECORD:  

LOT 21-B5.1

EFG REALTY TRUST

76 MCCLELLAN STREET

AMHERST, MA 01002

BOOK 16761, PAGE 78
2. ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST  

LOT SIZE: 22,500 SF

LOT FRONTAGE: 100 FT.

FRONT SETBACK: 25 FT.

SIDE SETBACK: 15 FT.

REAR SETBACK: 25 FT.
3. EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
4. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
5. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MAEPD, MUTCD, AND AASHTO.
6. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
7. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
8. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
9. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTORS EXPENSE.
10. IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS. ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
11. A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
12. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE TOWN, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
13. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
14. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
15. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
18. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

KEY MAP  
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

PRELIMINARY  
ISSUED FOR REVIEW  
SEPTEMBER 17, 2021

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT:

MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES  
RESIDENTIAL SUBDIVISION  
MAIN STREET  
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09-17-21
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SCALE:	1" = 80'	DWG. :	C2889-01_Layout & Materials
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DESIGNED BY:	SM	CHECKED BY:	MAM
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PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
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DEFINITIVE SUBDIVISION  
KEY PLAN

C-101

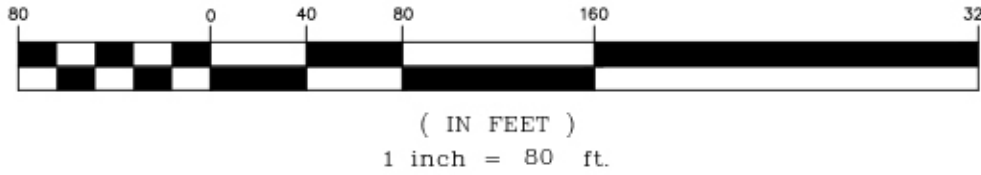
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3 OF 21

SHEET A

SHEET B

GRAPHIC SCALE





LEGEND

PROP. PROPERTY LINE

CURB

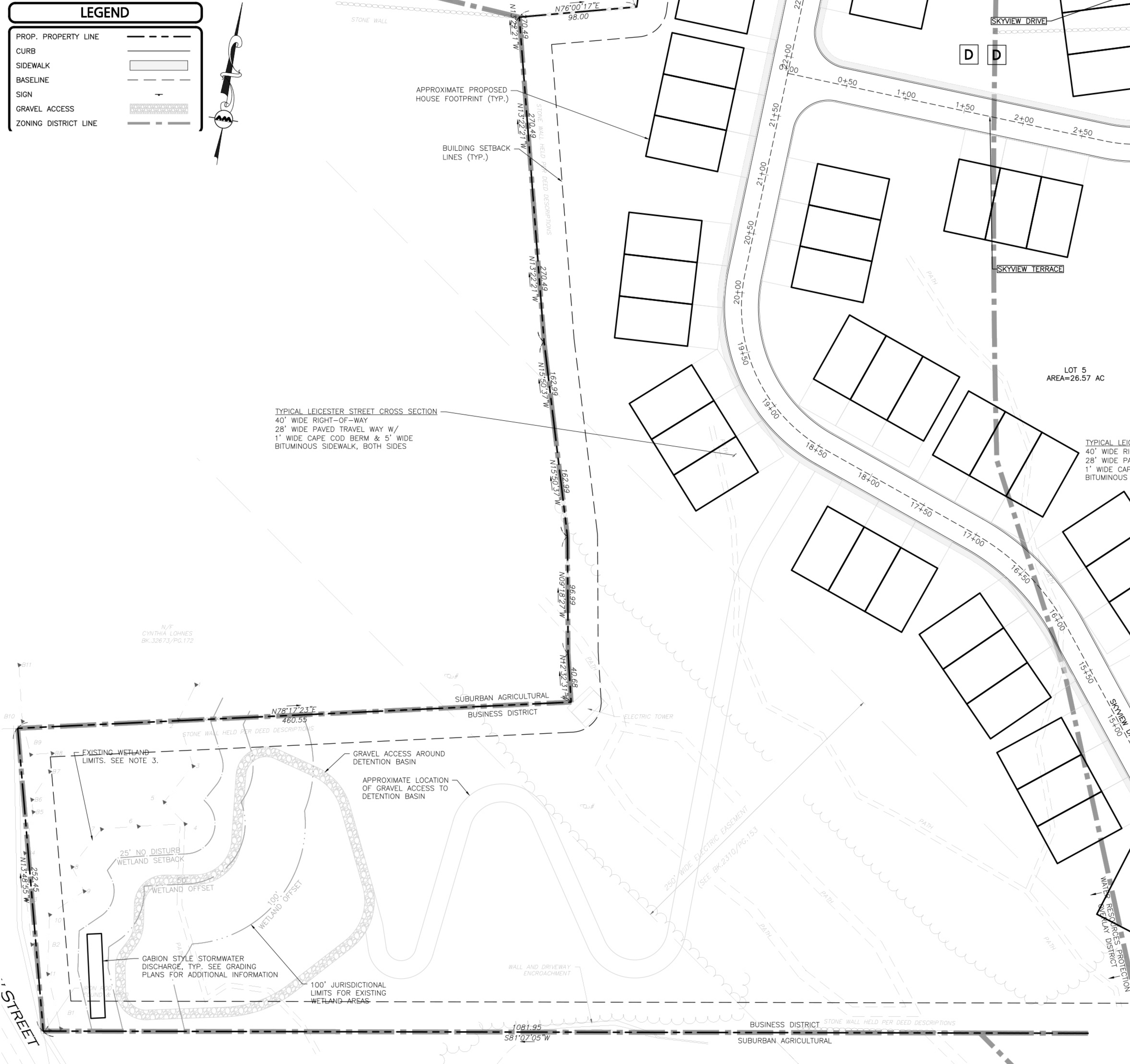
SIDEWALK

BASELINE

SIGN

GRAVEL ACCESS

ZONING DISTRICT LINE



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1-888-DIG-SAFE  
1-888-344-7233

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CONDITIONS OF APPROVAL ARE CONTAINED IN THE WRITTEN DECISION OF THE PLANNING BOARD ENTITLED, "CERTIFICATE OF APPROVAL OF A DEFINITIVE SUBDIVISION PLAN" DATED 2021 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK PAGE

THE CONSTRUCTION OF WAYS AND INSTALLATION OF SERVICES SHOWN ON THIS PLAN ARE SECURED BY WAY OF A COVENANT, DATED

APPROVAL OF THE LEICESTER PLANNING BOARD IS FOR YEARS ONLY. IN THE EVENT THE WAYS AND SERVICES SHOWN ON THIS PLAN ARE NOT CONSTRUCTED AND INSTALLED WITHIN YEARS FROM THE DATE OF ENDORSEMENT, THE BOARD'S APPROVAL IS RESCINDED, AND THIS PLAN IS AND SHALL BE NULL AND VOID.

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I CERTIFY THIS PLAN HAS BEEN PREPARED IN CONFORMITY THE THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

ISSUED FOR  
PLANNING BOARD REVIEW  
SEPTEMBER 17, 2021

PROFESSIONAL LAND SURVEYOR FOR  
ALLEN & MAJOR ASSOCIATES, INC.

ZONING BUSINESS (B) & SUBURBAN AGRICULTURAL (SA)	
ITEM	REQUIRED
LOT AREA	22,500 S.F.
FRONTAGE	100 FEET
FRONT YARD	25 FEET
REAR YARD	25 FEET
SIDE YARD	15 FEET

- GENERAL NOTES
1. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.

2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.

3. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.

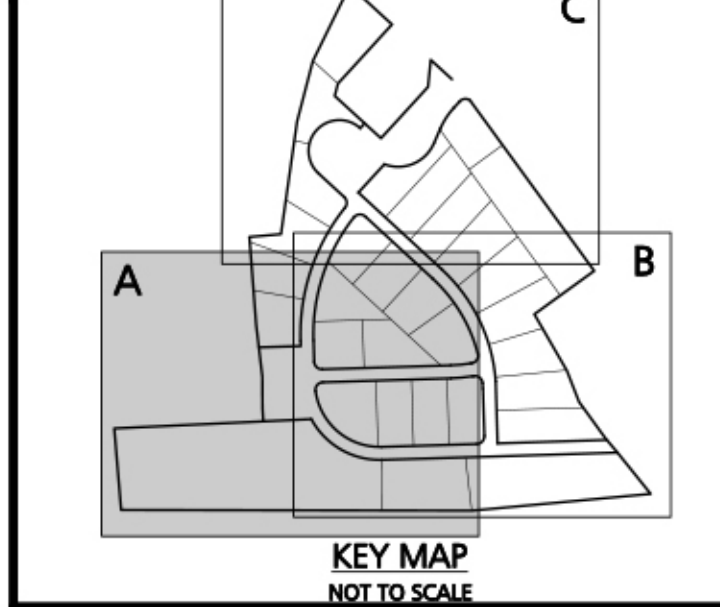
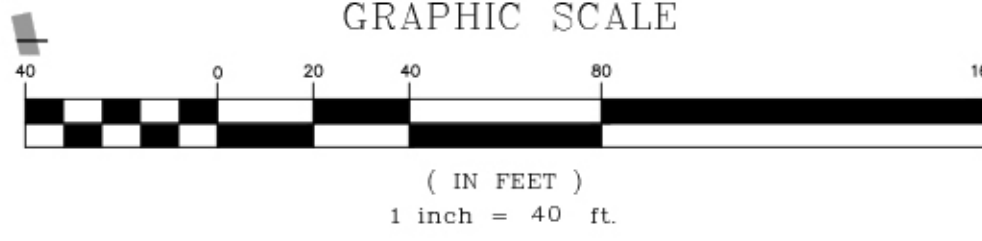
4. A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT. THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.

5. IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS. ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.

6. THE DRAINAGE AND UTILITY EASEMENTS DEPICTED HEREON ARE REQUIRED BY THE TOWN OF LEICESTER DEPARTMENT OF PUBLIC WORKS IN ORDER TO MAINTAIN THE DRAINAGE INFRASTRUCTURE (LINES, MANHOLES, SWALES, PONDS, ETC.) AND SHALL BE GRANTED TO THE TOWN OF LEICESTER.

7. ALL PROPOSED LOTS TO BE SERVICED BY MUNICIPAL WATER (LEICESTER WATER SUPPLY DISTRICT) AND MUNICIPAL SEWER (CHERRY VALLEY SEWER DISTRICT).

8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: \_\_\_\_\_

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LEICESTER PLANNING BOARD

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TOWN CLERK - TOWN OF LEICESTER

PRELIMINARY  
ISSUED FOR REVIEW  
SEPTEMBER 17, 2021

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.


REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES  
RESIDENTIAL SUBDIVISION  
MAIN STREET  
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09-17-21
SCALE:	1" = 40'	DWG. :	C:2889-01_Layout & Materials
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR  
ASSOCIATES, INC.

civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
DEFINITIVE LAYOUT PLAN	C-101A











EROSION CONTROL NOTES

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT "ORDER OF CONDITIONS" AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION/ON. ALL CATCH BASINS SHALL HAVE A SILT SAC CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEWATER/NG OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT IS TO NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.

SHEET A



SHEET C

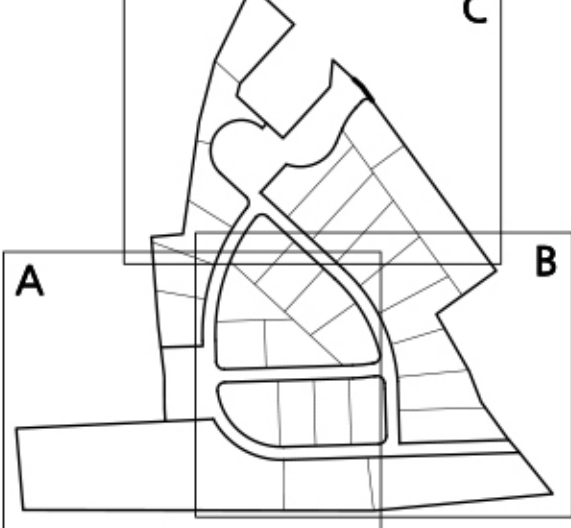
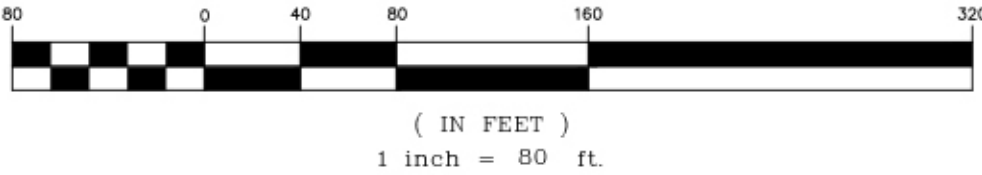
GRADING & DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE.
3. ALL ELEVATIONS REFER TO NAVD 88.
4. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
7. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
8. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT
9. ROOF DRAINS SHALL CONNECT TO NEAREST DRAIN STRUCTURE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
10. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
11. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
14. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
15. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
17. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
18. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
19. ALL DRAINAGE SHALL CONFORM TO LOCAL AND MADEP REQUIREMENTS.
20. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
21. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
22. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- DETENTION CHAMBER
- FLOW DIRECTION

GRAPHIC SCALE



KEY MAP  
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL  
REQUIRED. SUBJECT TO A COVENANT TO BE  
RECORDED HEREWITH.

DATE: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL  
WAS RECEIVED DURING THE TWENTY (20)  
RECORDING DAYS NEXT AFTER RECEIPT  
AND OF NOTICE FROM THE PLANNING  
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**PRELIMINARY**  
**ISSUED FOR REVIEW**  
**SEPTEMBER 17, 2021**

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:

MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

PROJECT:

**SKYVIEW ESTATES**  
**RESIDENTIAL SUBDIVISION**  
**MAIN STREET**  
**LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C2889-01\_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
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DRAWING TITLE:  
**OVERALL GRADING &  
DRAINAGE PLAN**

SHEET No.

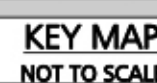
**C-102**

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7 OF 21



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1-888-344-7233

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**SEPTEMBER 17, 2021**


MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

SKYVIEW ESTATES  
RESIDENTIAL SUBDIVISION  
MAIN STREET  
LEICESTER, MA



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ASSOCIATES, INC.**

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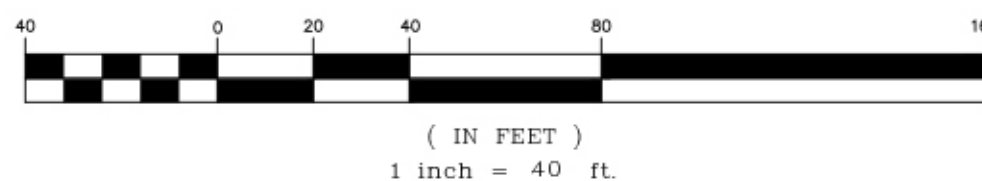
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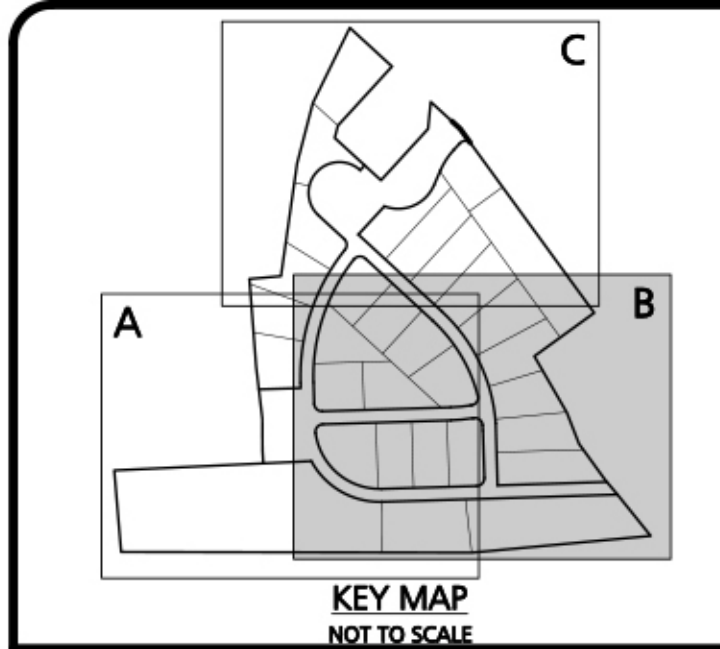
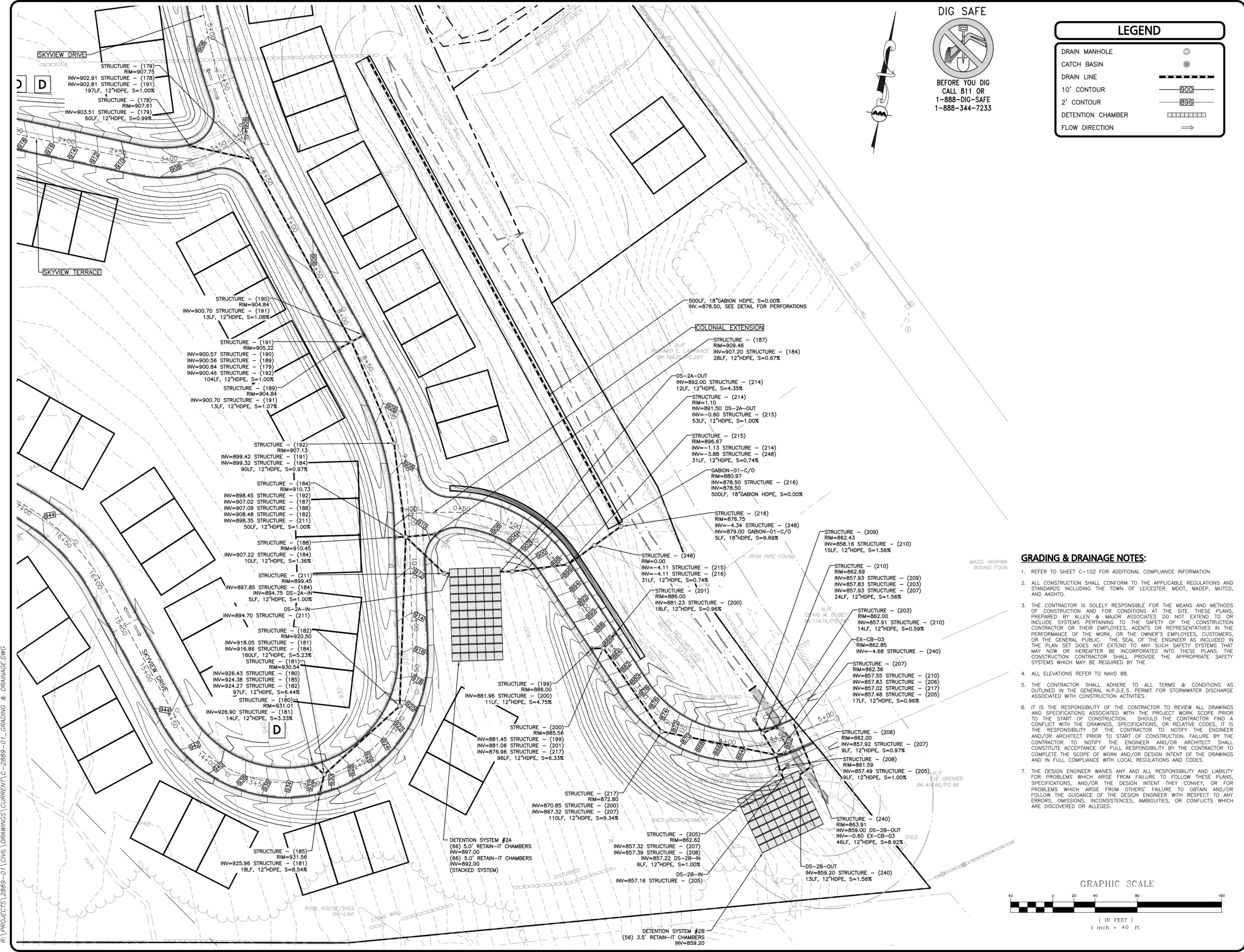
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8 OF 21



1. REFER TO SHEET C-102 FOR ADDITIONAL COMPLIANCE INFORMATION.
2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY BE USED OR REQUIRED TO BE INSTALLED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
4. ALL ELEVATIONS REFER TO NAVD 88.
5. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
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APPROVAL UNDER SUBDIVISION CONTROL  
REQUIRED. SUBJECT TO A COVENANT TO  
BE RECORDED HEREWITH.

DATE: \_\_\_\_\_

LEICESTER PLANNING BOARD

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RECORDING DAYS NEXT AFTER RECEIPT  
AND OF NOTICE FROM THE PLANNING  
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**PRELIMINARY**  
**ISSUED FOR REVIEW**  
**SEPTEMBER 17, 2021**

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:  
**MKEP 770 LLC**  
**265 SUNRISE HIGHWAY, SUITE 1368**  
**ROCKVILLE CENTER, NY 11570**

PROJECT:  
**SKYVIEW ESTATES**  
**RESIDENTIAL SUBDIVISION**  
**MAIN STREET**  
**LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21  
SCALE: 1" = 40' DWG.: c2889-01\_grading & drainage  
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:  
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DRAWING TITLE:  
**GRADING & DRAINAGE**  
**PLAN**

SHEET No.  
**C-102B**

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9 OF 21







LEGEND

SEWER MANHOLE

SEWER LINE

WATER LINE

ELEC/TELE/CABLE CONDUIT

GAS LINE

HYDRANT

UTILITY POLE



SHEET C

- UTILITY NOTES:
1.

A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2.

IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
3.

THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
4.

WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
5.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MADOT, MADEP, MUTCD, AND AASHTO.
6.

THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
7.

ALL ELEVATIONS REFER TO NAVD 88.
8.

PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
9.

CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
10.

LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE CITY OF DOVER REGULATIONS AND ELECTRIC COMPANY.
11.

LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
12.

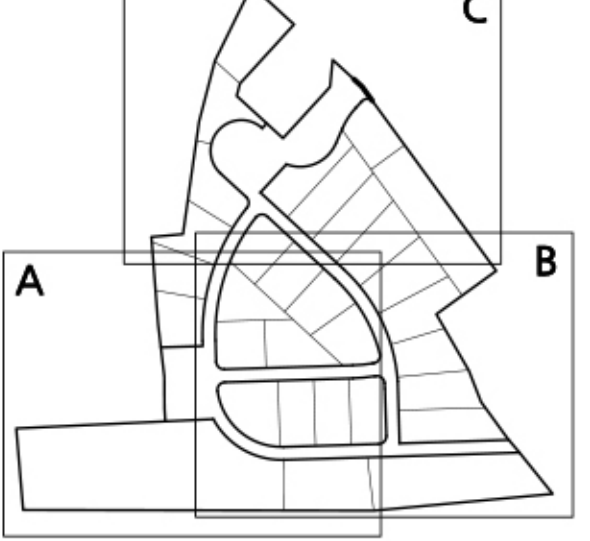
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13.

THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

- STREET/LOT LIGHTING NOTES:
1.

EACH LOT SHALL BE PROVIDED WITH A STANDARD LAMP POST LIGHT ON THE LOT NEAR THE INTERSECTION OF THE DRIVEWAY WITH THE STREET RIGHT-OF-WAY LINE. THE TYPE AND INSTALLATION SHALL BE AS DIRECTED BY THE TOWN OF LEICESTER PLANNING BOARD AND IN ACCORDANCE WITH THE STATE ELECTRICAL CODES.
2.

EACH LOT LIGHT SHALL BE PLACED ON A DUSK TO DAWN TIMER AND SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER AND MAINTAINED IN PERPETUITY AS STATED IN THE RECORDED COVENANTS.



KEY MAP  
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL  
REQUIRED. SUBJECT TO A COVENANT TO BE  
RECORDED HEREWITH.

DATE: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

LEICESTER PLANNING BOARD

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BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**PRELIMINARY**  
**ISSUED FOR REVIEW**  
**SEPTEMBER 17, 2021**

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.


REV	DATE	DESCRIPTION
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APPLICANT:

MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

PROJECT:  
**SKYVIEW ESTATES**  
**RESIDENTIAL SUBDIVISION**  
**MAIN STREET**  
**LEICESTER, MA**

PROJECT NO.	2889-01	DATE:	09-17-21
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SCALE:	1" = 80'	DWG. :	C-2889-01_Utillities
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DESIGNED BY:	SM	CHECKED BY:	MAM
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PREPARED BY:

ALLEN & MAJOR  
ASSOCIATES, INC.  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
FAX: (781) 935-2896

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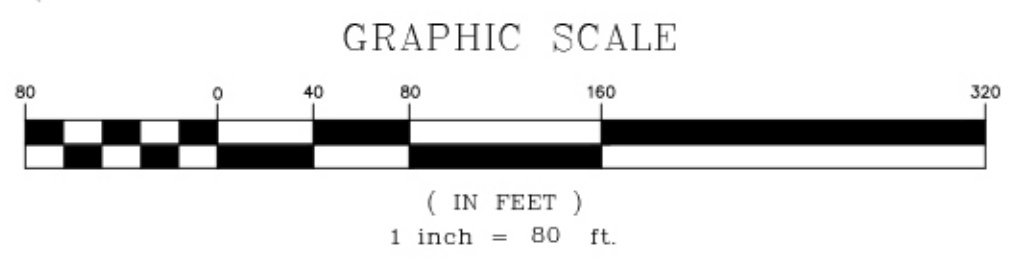
OVERALL UTILITIES PLAN C-103

SHEET A

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SHEET B





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1-888-344-7233

STONE WALL

STONE WALL HELD PER DEED DESCRIPTIONS

TYPICAL LEICESTER UTILITY CROSS SECTION  
GAS - 16' LEFT OF C  
WATER - 13' LEFT OF C  
SEWER - VARIES  
ELECTRIC/TELE/DATA - 13' RIGHT OF C  
COORDINATE WITH UTILITY PROVIDERS

N/F  
CYNTHIA LOHNES  
BK.32673/PG.172

STONE WALL HELD PER DEED DESCRIPTIONS

ELECTRIC TOWER

250' WIDE ELECTRIC EASEMENT  
(SEE BK.2310/PG.153)

WALL AND DRIVEWAY ENCROACHMENT

STONE WALL HELD PER DEED DESCRIPTIONS

## LEGEND

SEWER MANHOLE



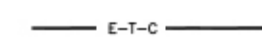
SEWER LINE



WATER LINE



ELEC/TELE/CABLE CONDUIT



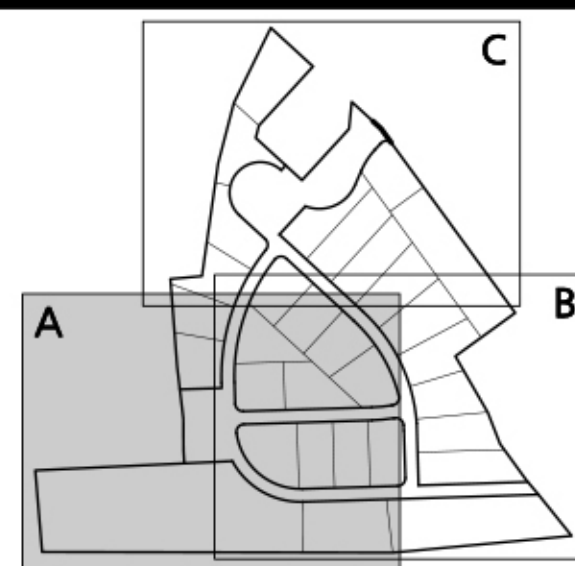
GAS LINE



HYDRANT



UTILITY POLE



KEY MAP  
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL  
REQUIRED. SUBJECT TO A COVENANT TO  
BE RECORDED HEREWITH.

DATE: \_\_\_\_\_

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL  
WAS RECEIVED DURING THE TWENTY (20)  
RECORDING DAYS NEXT AFTER RECEIPT  
AND OF NOTICE FROM THE PLANNING  
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**PRELIMINARY**  
**ISSUED FOR REVIEW**  
**SEPTEMBER 17, 2021**

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT:

MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

PROJECT:

**SKYVIEW ESTATES**  
**RESIDENTIAL SUBDIVISION**  
**MAIN STREET**  
**LEICESTER, MA**

PROJECT NO.	2889-01	DATE:	09-17-21
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SCALE:	1" = 40'	DWG. : C-2889-01_Utillities
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DESIGNED BY:	SM	CHECKED BY:	MAM
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DRAWING TITLE:

**GRADING & DRAINAGE  
PLAN**

SHEET No.

**C-103A**

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12 OF 21

GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.

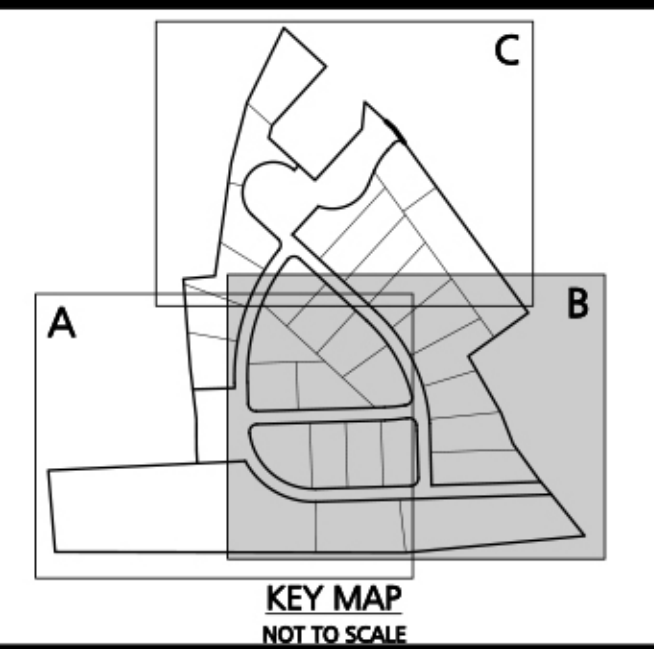




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LEGEND	
SEWER MANHOLE	⊙
SEWER LINE	—
WATER LINE	— W —
ELEC/TELE/CABLE CONDUIT	— E-T-C —
GAS LINE	— GAS —
HYDRANT	⊕
UTILITY POLE	⊙



APPROVAL UNDER SUBDIVISION CONTROL  
REQUIRED. SUBJECT TO A COVENANT TO  
BE RECORDED HEREWITH.

DATE: \_\_\_\_\_

LEICESTER PLANNING BOARD

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**265 SUNRISE HIGHWAY, SUITE 1368**  
**ROCKVILLE CENTER, NY 11570**

PROJECT:

**SKYVIEW ESTATES**  
**RESIDENTIAL SUBDIVISION**  
**MAIN STREET**  
**LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C-2889-01\_Utilities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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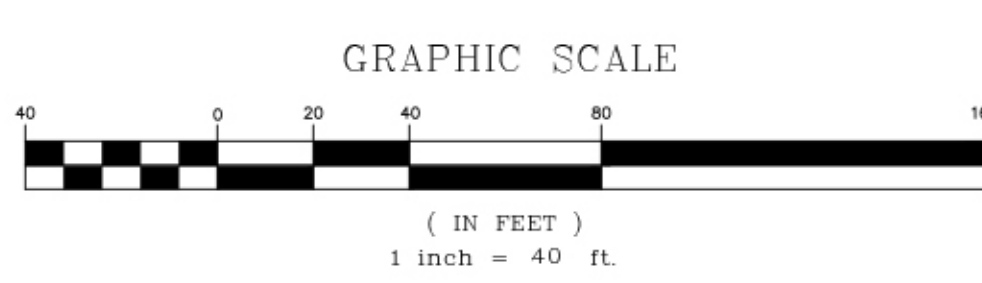
DRAWING TITLE: **UTILITY PLAN**

SHEET No. **C-103B**

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13 OF 21

- GENERAL PLAN NOTES:**
- REFER TO SHEET C-103 FOR ADDITIONAL COMPLIANCE INFORMATION.
  - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
  - ALL ELEVATIONS REFER TO NAVD 88.
  - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
  - THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.





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PL. BK. 25/PL. 4

N/F  
ROBERT MERCER  
BK.12150/Pg.247

## LEGEND

SEWER MANHOLE

SEWER LINE

WATER LINE

ELEC/TELE/CABLE CONDUIT

GAS LINE

HYDRANT

UTILITY POLE

## GENERAL PLAN NOTES:

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7. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

COORDINATE GAS &  
WATER CONNECTIONS  
WITH UTILITY PROVIDERS

SAW CUT LINE

SMH-01  
RIM=854.90  
INV=847.25 SMH-02  
INV=847.15 EX-SMH-01 (V.I.F.)  
39LF, 6"PVC, S=0.00%

RELOCATED UTILITY POLE  
CONNECT ELECTRIC &  
TELE/DATA CONDUIT WITH  
RISERS. COORDINATE WITH  
UTILITY PROVIDERS

MAIN STREET ROUTE 9  
(PUBLIC - 55' WIDE - 1934 S.H.L.D.)

LOT 2  
AREA=0.52 AC

SMH-02  
RIM=866.99  
INV=860.82 SMH-03  
INV=858.08 SMH-01  
130LF, 6"PVC, S=8.35%

SMH-03  
RIM=880.77  
INV=871.25 SMH-15  
INV=874.63 SMH-04  
INV=871.15 SMH-02  
97LF, 6"PVC, S=10.66%

SMH-04  
RIM=889.25  
INV=883.73 SMH-05  
INV=880.59 SMH-03  
60LF, 6"PVC, S=10.00%

SMH-05  
RIM=906.45  
INV=887.20 SMH-06  
INV=886.10 SMH-04  
152LF, 6"PVC, S=1.56%

SMH-06  
RIM=907.91  
INV=899.95 SMH-08  
INV=899.32 SMH-07  
INV=899.22 SMH-05

SMH-16  
RIM=907.26  
INV=901.05 SMH-17  
INV=900.93 SMH-15  
123LF, 6"PVC, S=4.19%

SMH-15  
RIM=901.32  
INV=895.80 SMH-16  
INV=878.68 SMH-03  
74LF, 6"PVC, S=10.00%

SMH-17  
RIM=910.40  
INV=904.86 SMH-18  
INV=903.83 SMH-16  
79LF, 6"PVC, S=3.54%

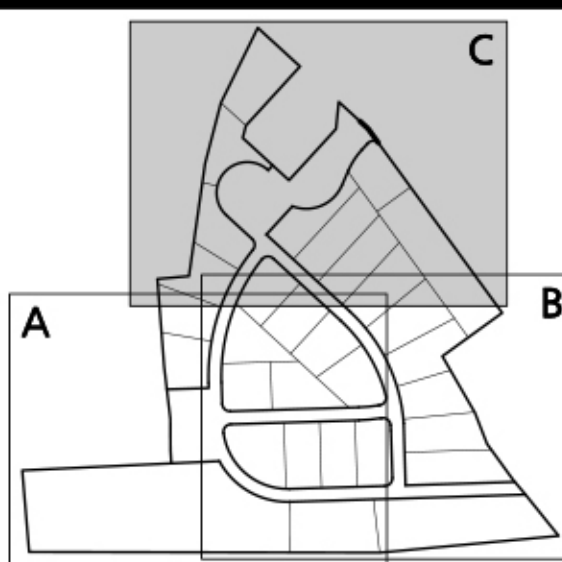
SMH-18  
RIM=919.48  
INV=911.97 SMH-17  
236LF, 6"PVC, S=3.02%

SMH-10  
RIM=920.46  
INV=912.85 SMH-11  
INV=912.75 SMH-09  
145LF, 6"PVC, S=1.50%

GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.



KEY MAP  
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL  
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SKYVIEW ESTATES  
RESIDENTIAL SUBDIVISION  
MAIN STREET  
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C-2889-01\_Utillities

DESIGNED BY: SM CHECKED BY: MAM

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DRAWING TITLE:

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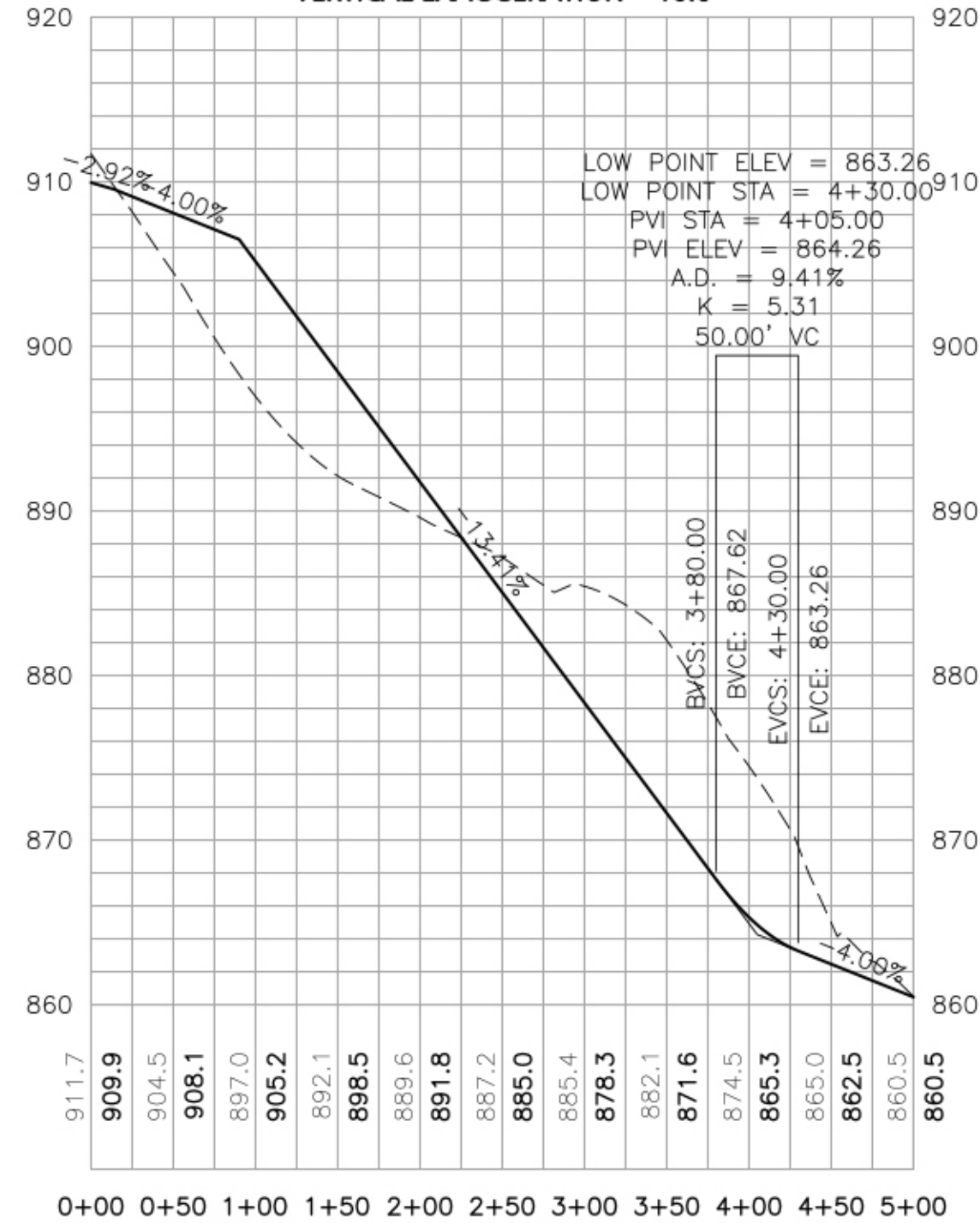
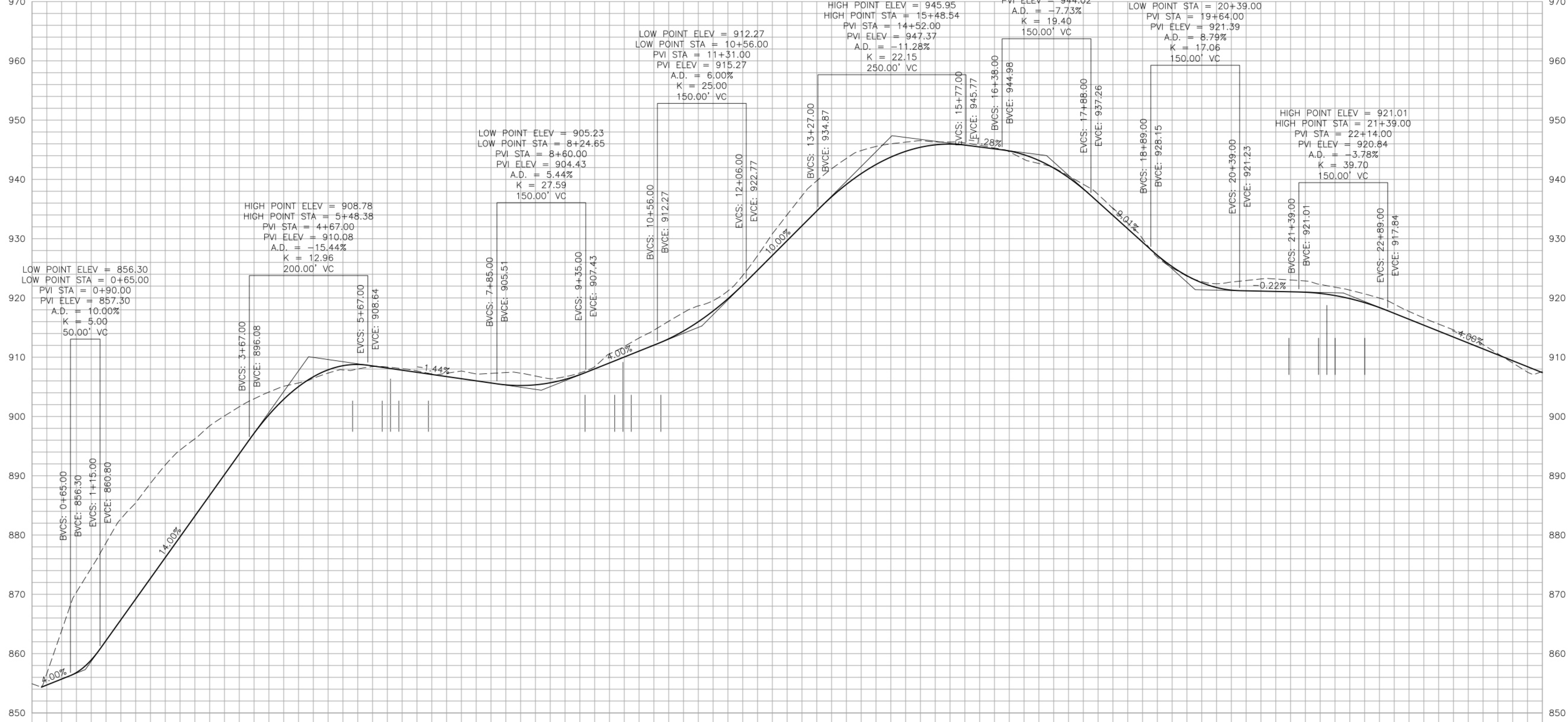
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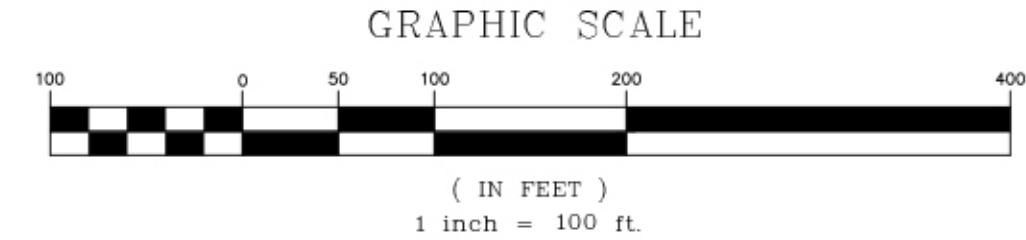
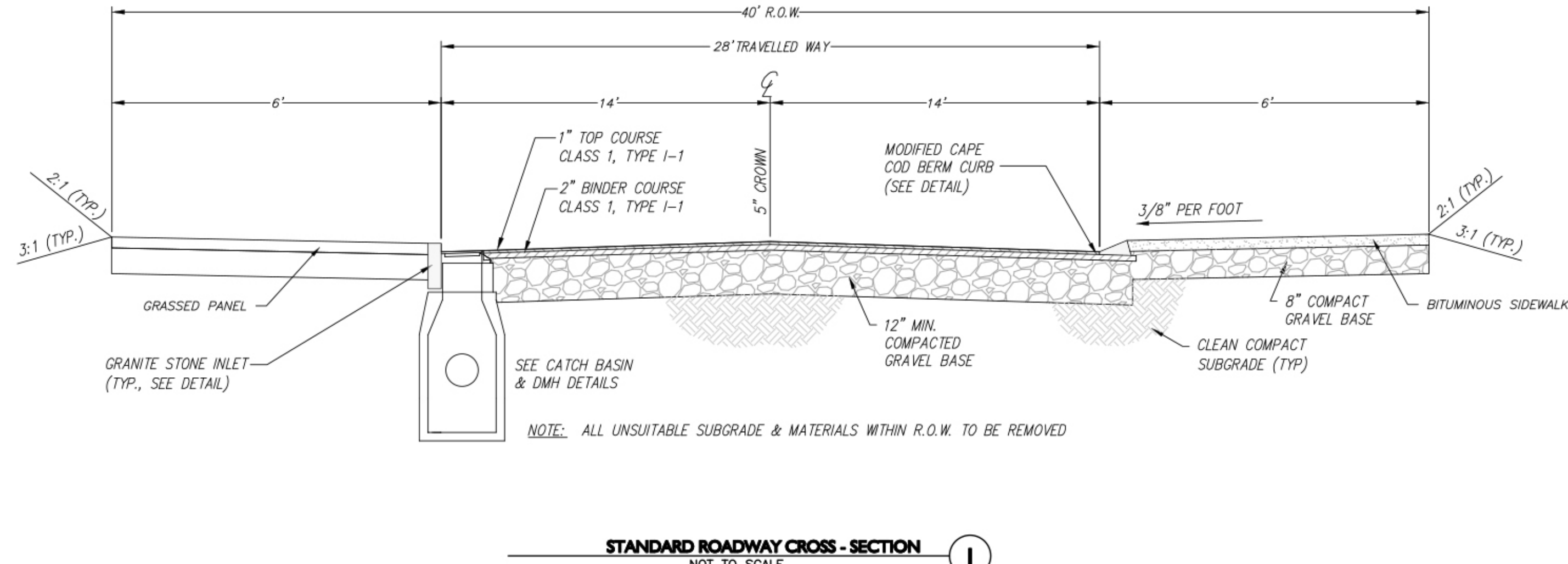
14 OF 21





## GENERAL NOTES

2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND ASHTO.
3. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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MAIN STREET  
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09-17-21
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SCALE: 1" = 100' DWG. : C-2889-01\_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAN

**PREPARED BY**

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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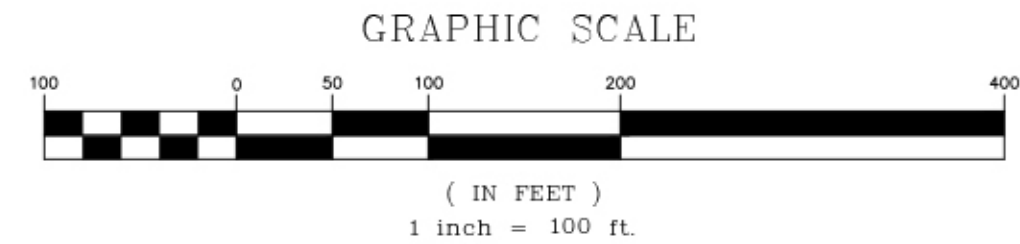
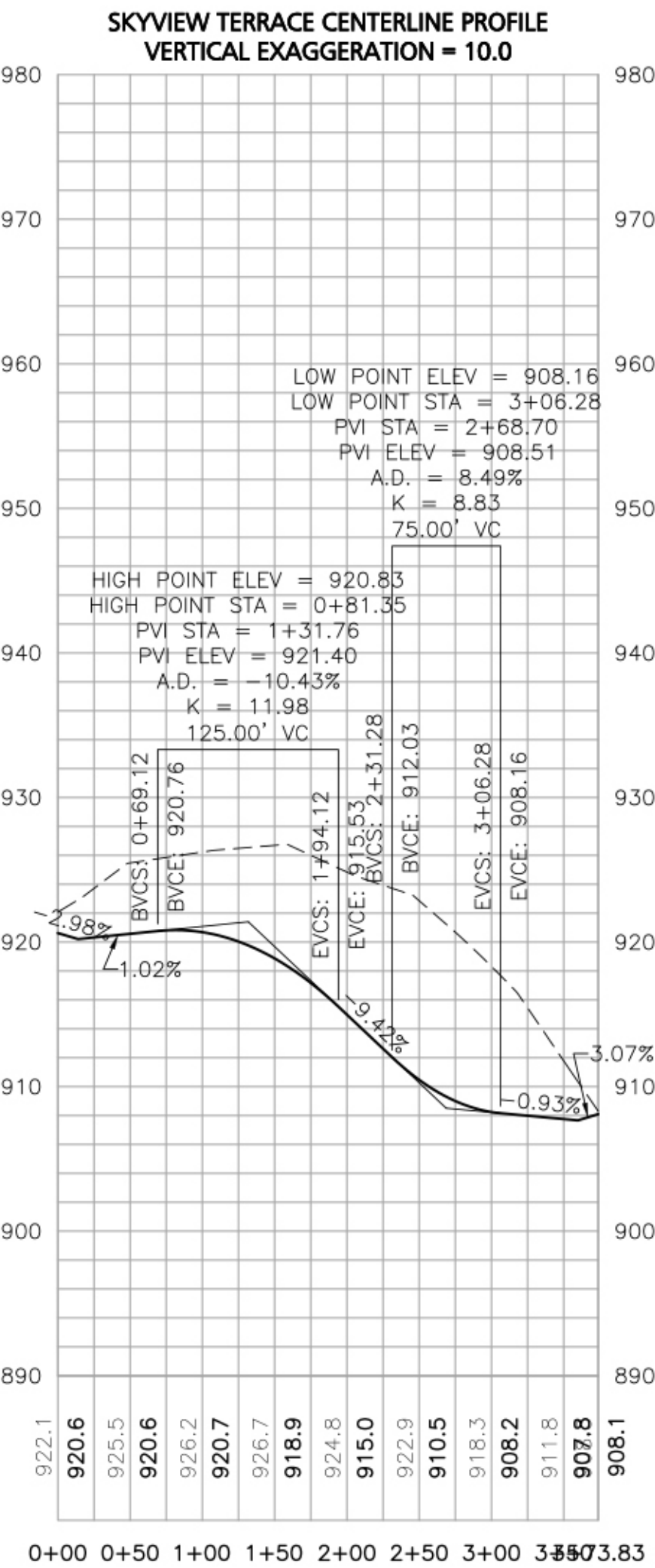
**DRAWING TITLE:**  
**ROADWAY PROFILES**  
**SKYVIEW DRIVE &**  
**COLONIAL EXTENSION**  
*Copyright ©2021 Allen & Major Associates, Inc.*  
*11 Rindge Road, Suite 200, Westborough, MA 01581*

SHEET No.

C-20:



2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND MSHTO.
3. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE A WAIVER OF ALL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

[illegible]

TOWN CLERK – TOWN OF LEICESTER

**PRELIMINARY**  
**ISSUED FOR REVIEW**  
**SEPTEMBER 17, 2021**

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT: \_\_\_\_\_

MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 13  
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES  
RESIDENTIAL SUBDIVISION  
MAIN STREET  
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09
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SCALE: 1" = 100' DWG. : C-2889-01\_Grading &

DESIGNED BY: SM CHECKED BY:

PREPARED BY: \_\_\_\_\_



ALLEN & MAJOR  
ASSOCIATES, INC.

civil engineering ♦ land surveying  
environmental consulting ♦ landscape architecture  
www.allenmajor.com

100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
FAX: (781) 935-2896

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER

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<b>DRAWING TITLE:</b> <b>ROADWAY PROFILES</b> <b>SKYVIEW TERRACE &amp;</b> <b>EMERGENCY ACCESS</b> <i>Copyright ©2021 Allen &amp; Major Associates, Inc.</i> <i>All Rights Reserved.</i>	SHEET NO.
	<b>C-21</b>  <b>3 OF 3</b>

SHEET N

C-20

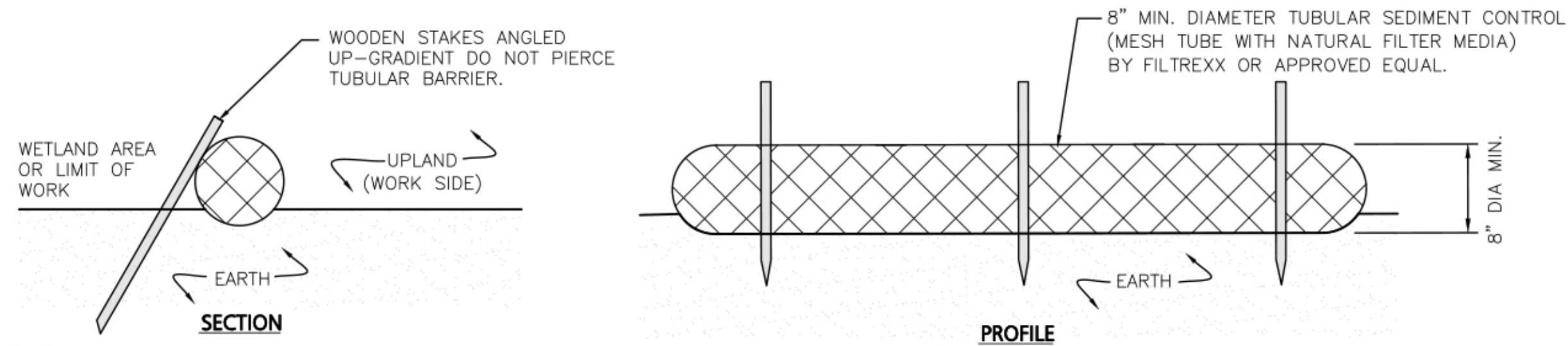
3 OF

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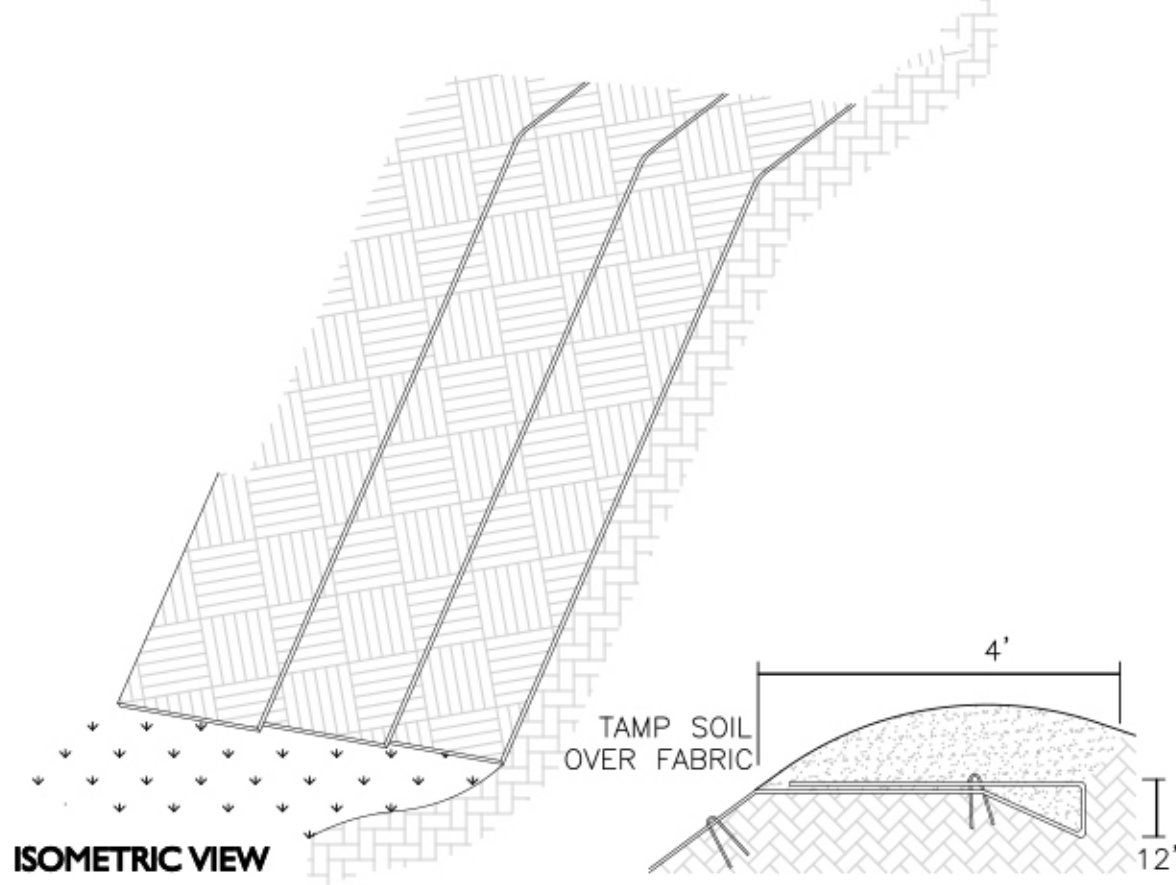




- NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 8" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
  2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
  3. INSTALL WOODEN STAKES ANGLED UP—GRADIENT EVERY 8' ON CENTER
  4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
  5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
  6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
  7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

**TUBULAR SEDIMENT BARRIER**  
NOT TO SCALE

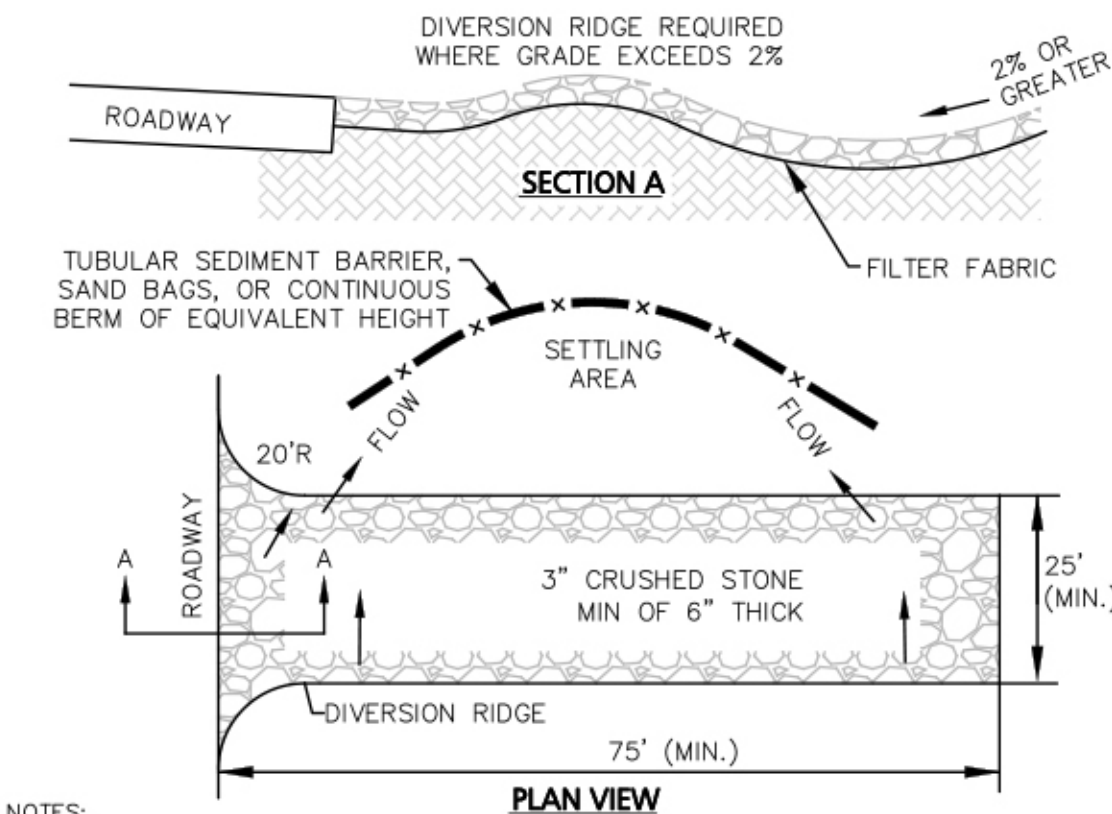
1



- NOTE:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS.
  2. APPLY PERMANENT SEEDING BEFORE PLACING FABRIC.
  3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

**EROSION CONTROL FABRIC**  
NOT TO SCALE

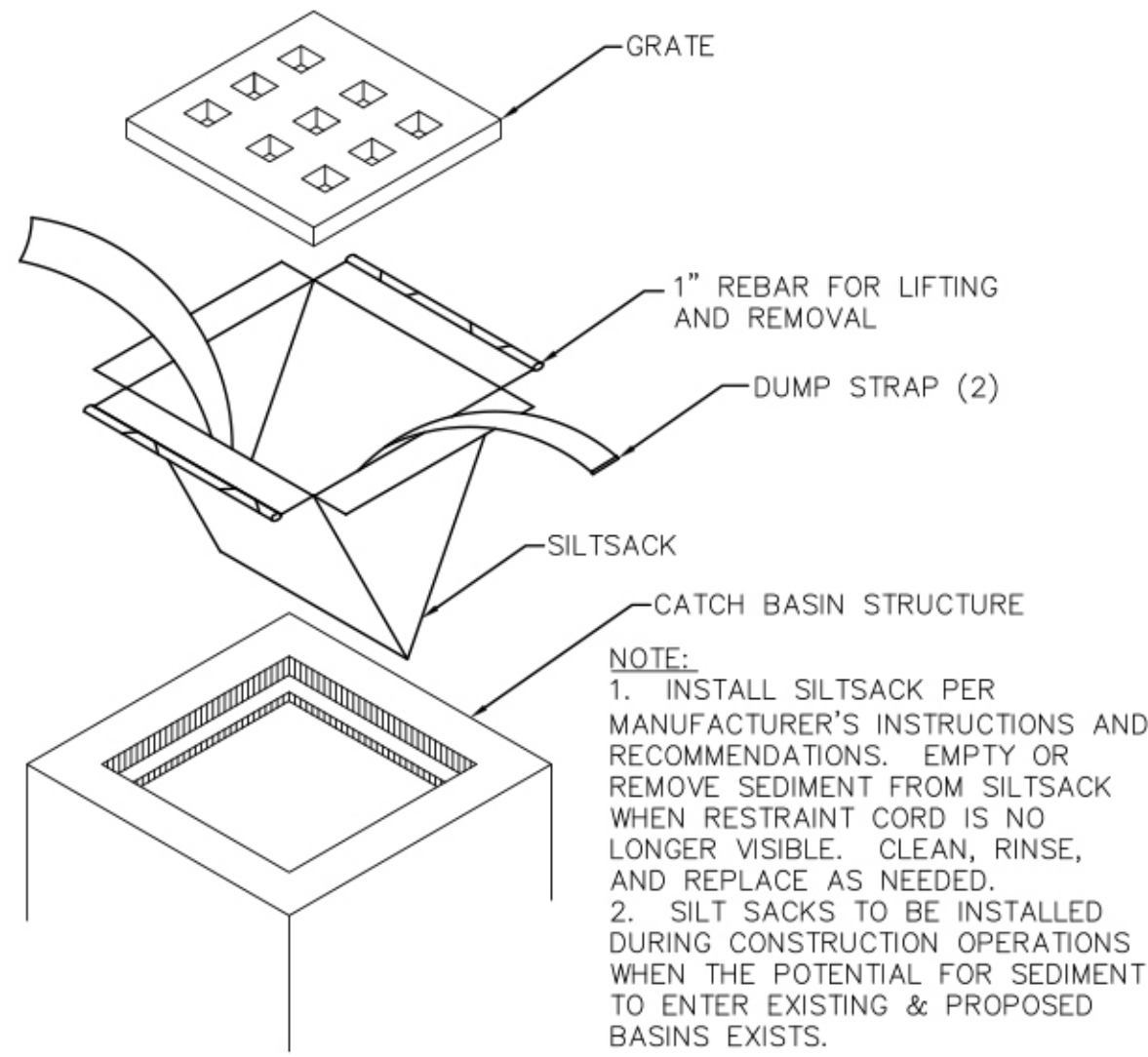
2



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

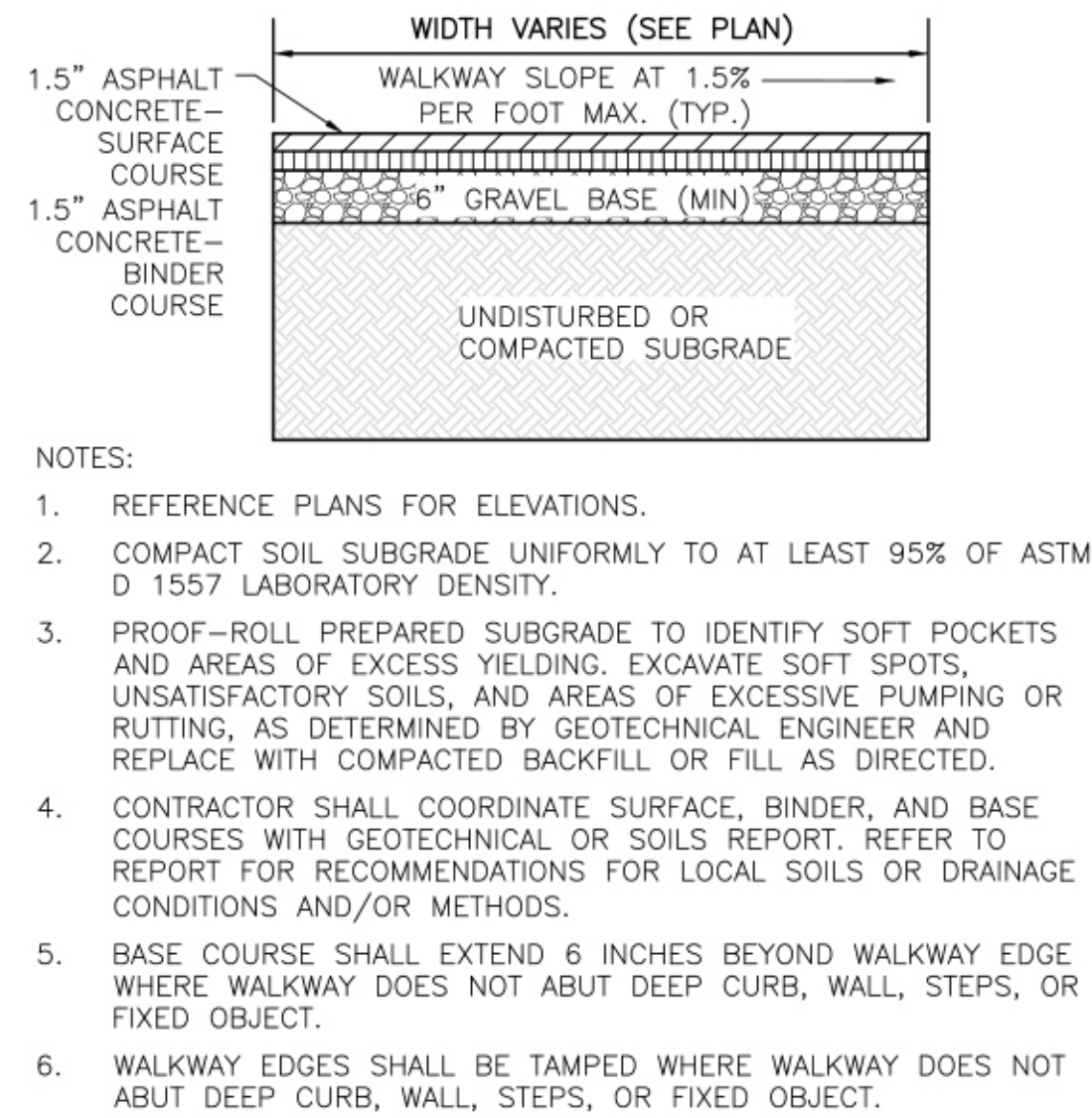
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

3



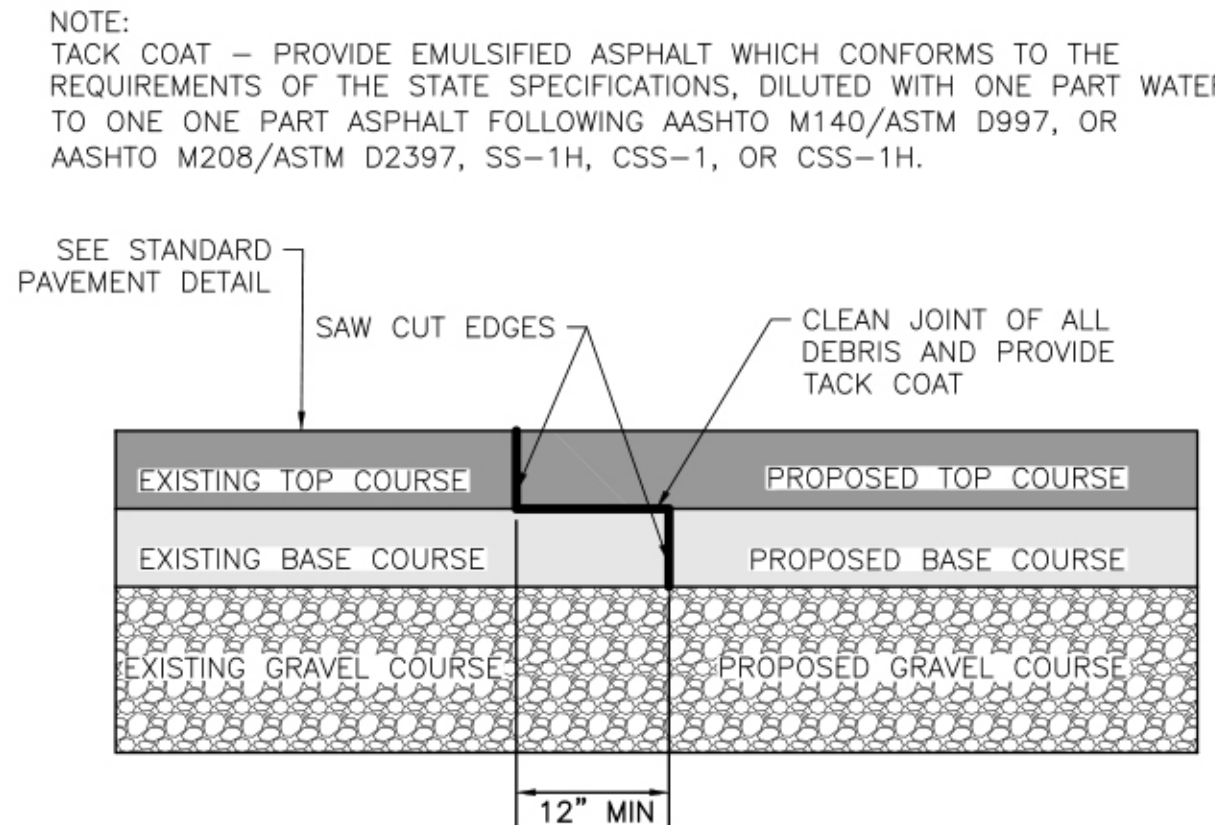
**CATCH BASIN INLET PROTECTION**  
NOT TO SCALE

4



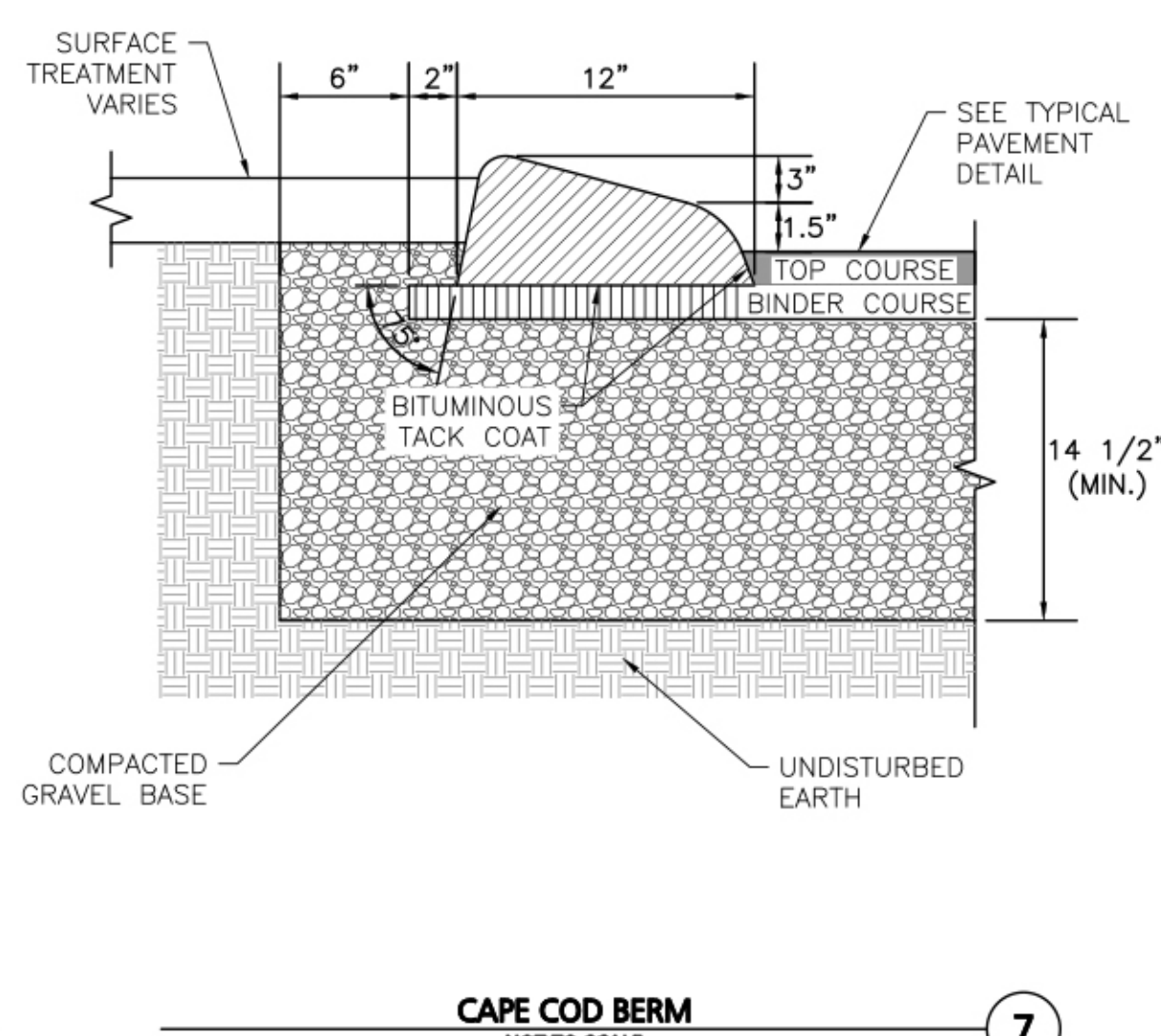
**BITUMINOUS WALKWAY**  
NOT TO SCALE

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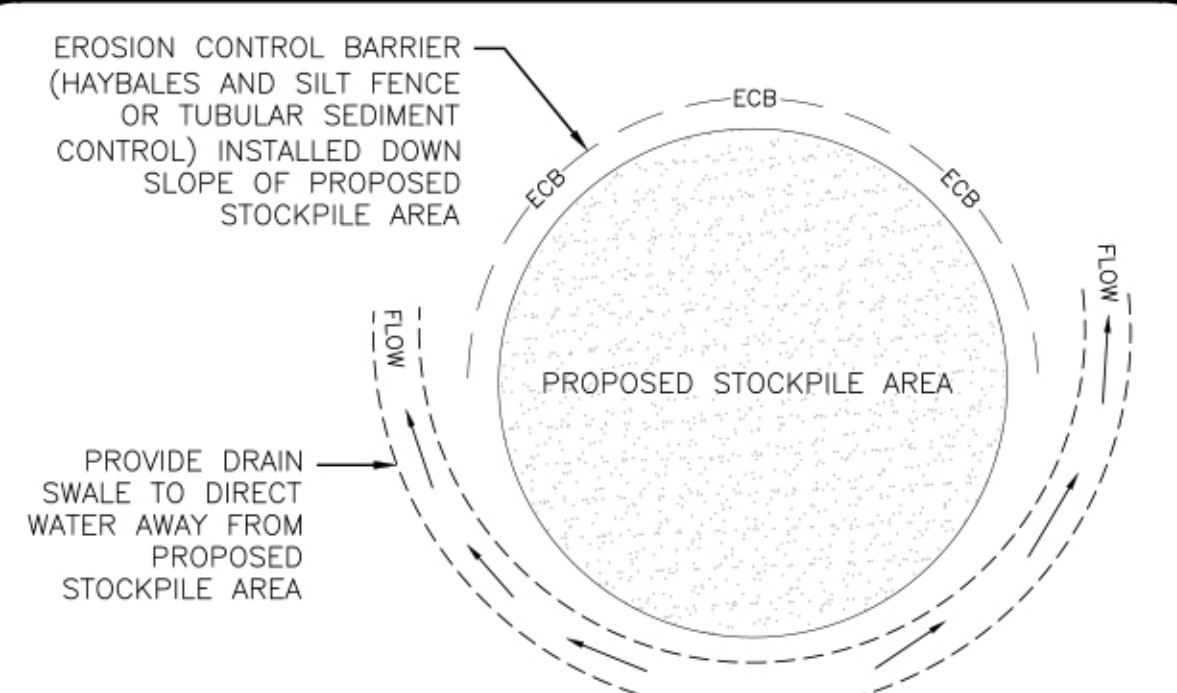
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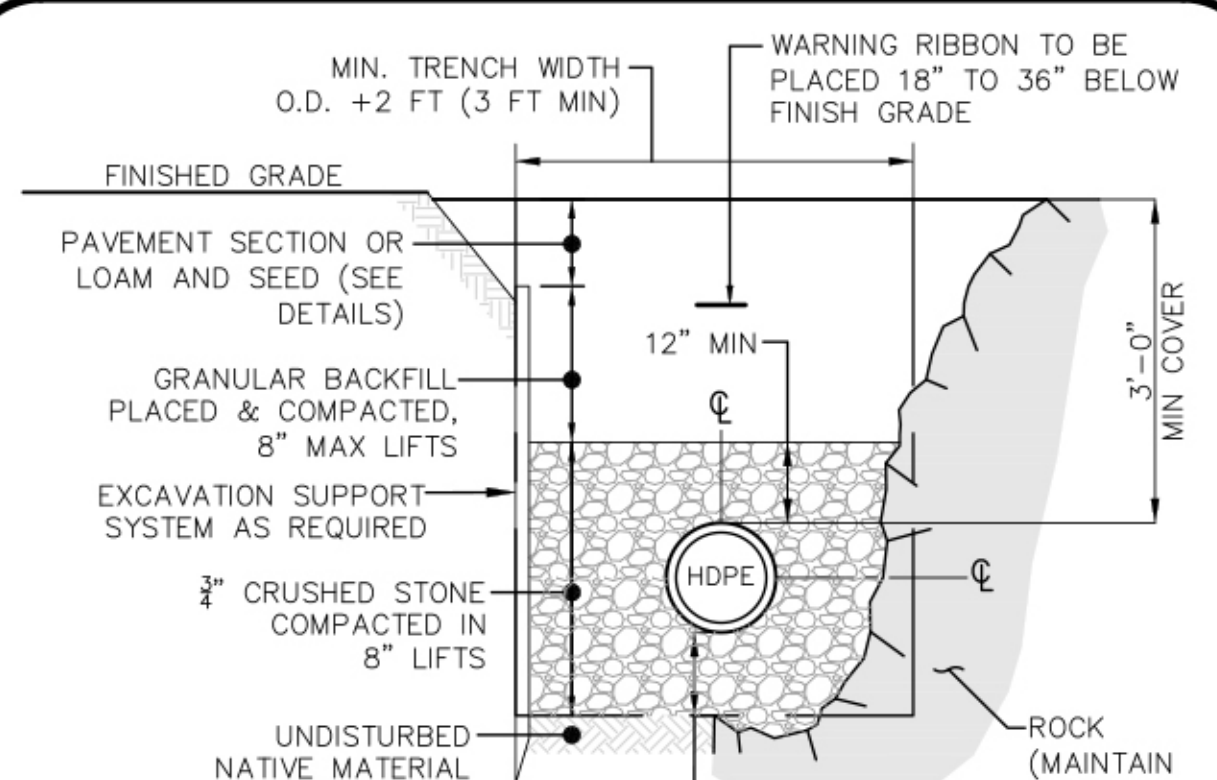
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7



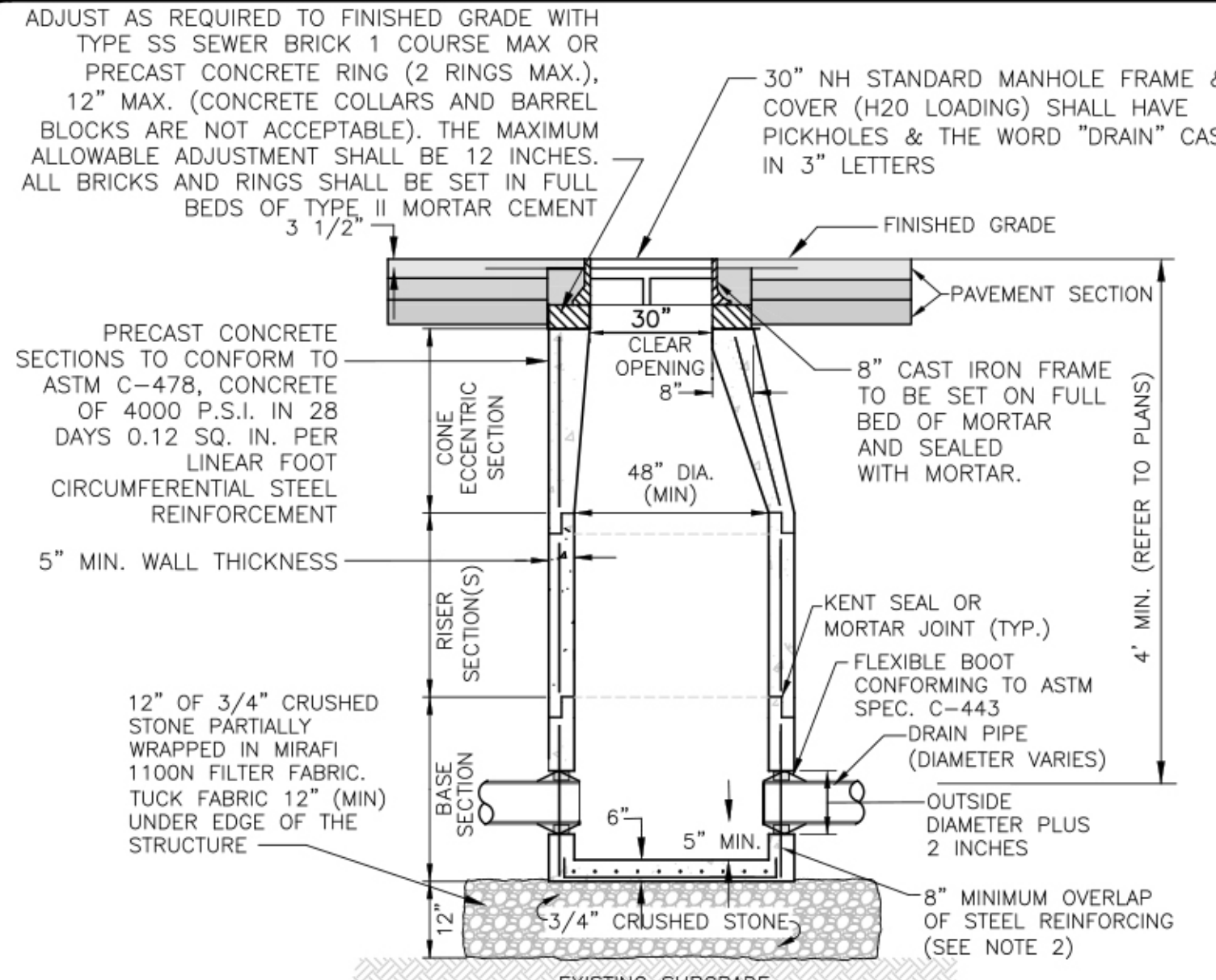
**STOCKPILE PROTECTION**  
NOT TO SCALE

8



**DRAIN TRENCH DETAIL**  
NOT TO SCALE

9



**DRAIN MANHOLE**  
NOT TO SCALE

10

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK — TOWN OF LEICESTER

**PRELIMINARY**  
**ISSUED FOR REVIEW**  
**SEPTEMBER 17, 2021**

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

**MKEP 770 LLC**  
**265 SUNRISE HIGHWAY, SUITE 1368**  
**ROCKVILLE CENTER, NY 11570**

PROJECT:

**SKYVIEW ESTATES**  
**RESIDENTIAL SUBDIVISION**  
**MAIN STREET**  
**LEICESTER, MA**

PROJECT NO. **2889-01** DATE: **09-17-21**

SCALE: **AS SHOWN** DWG.: **C-2889-01\_Details**

DESIGNED BY: **SM** CHECKED BY: **MAM**

PREPARED BY:



**ALLEN & MAJOR ASSOCIATES, INC.**

civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
FAX: (781) 935-2896

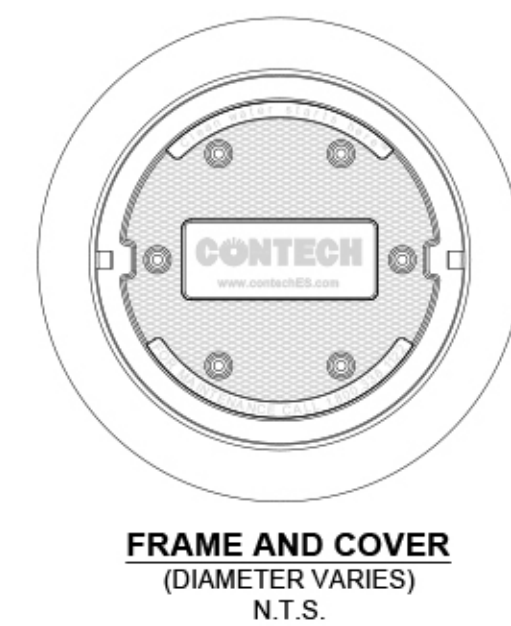
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DRAWING TITLE: **DETAILS** SHEET No. **C-501**



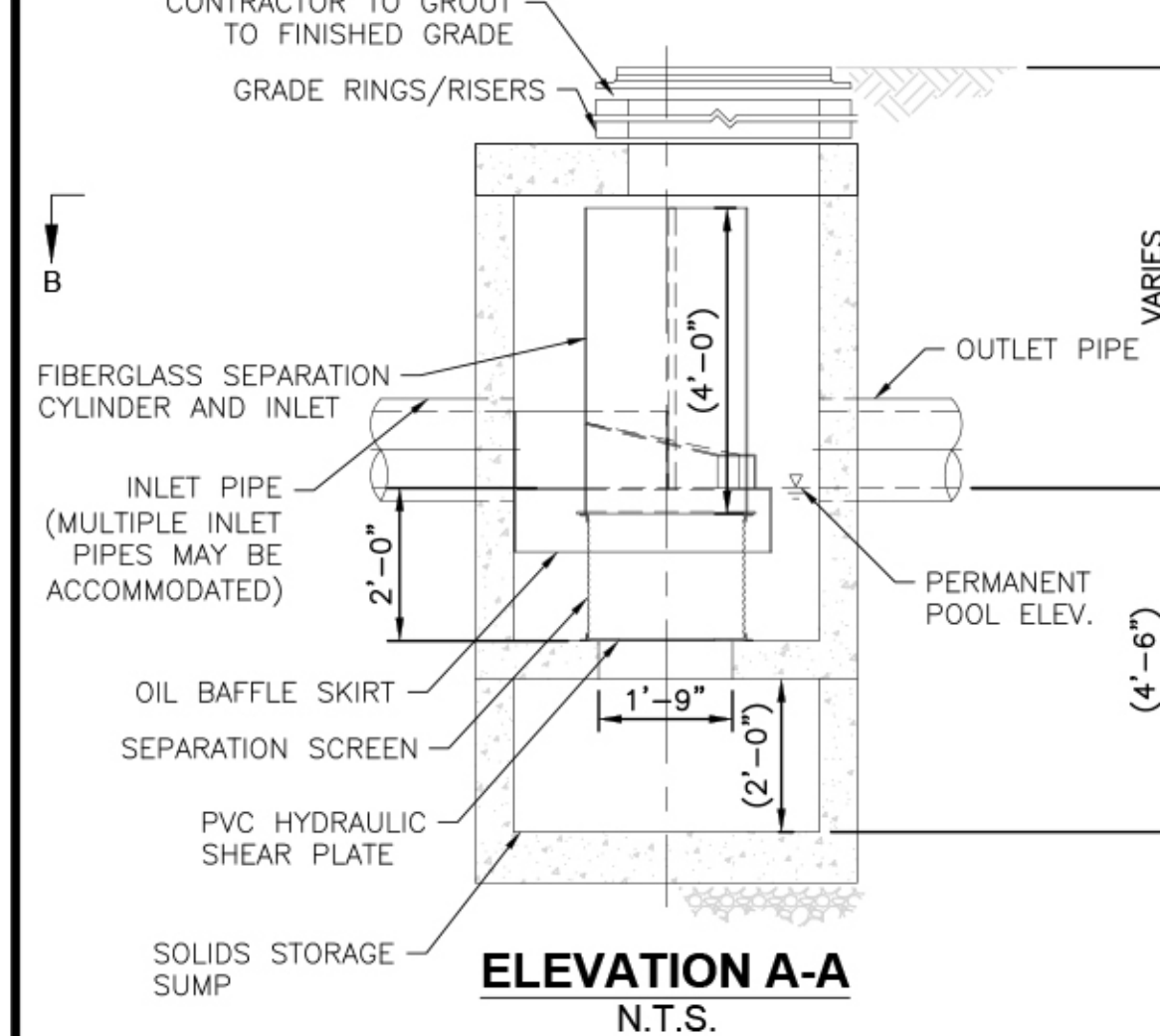
CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.  
THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



**CDS1515-3-C STANDARD DETAIL**  
NOT TO SCALE

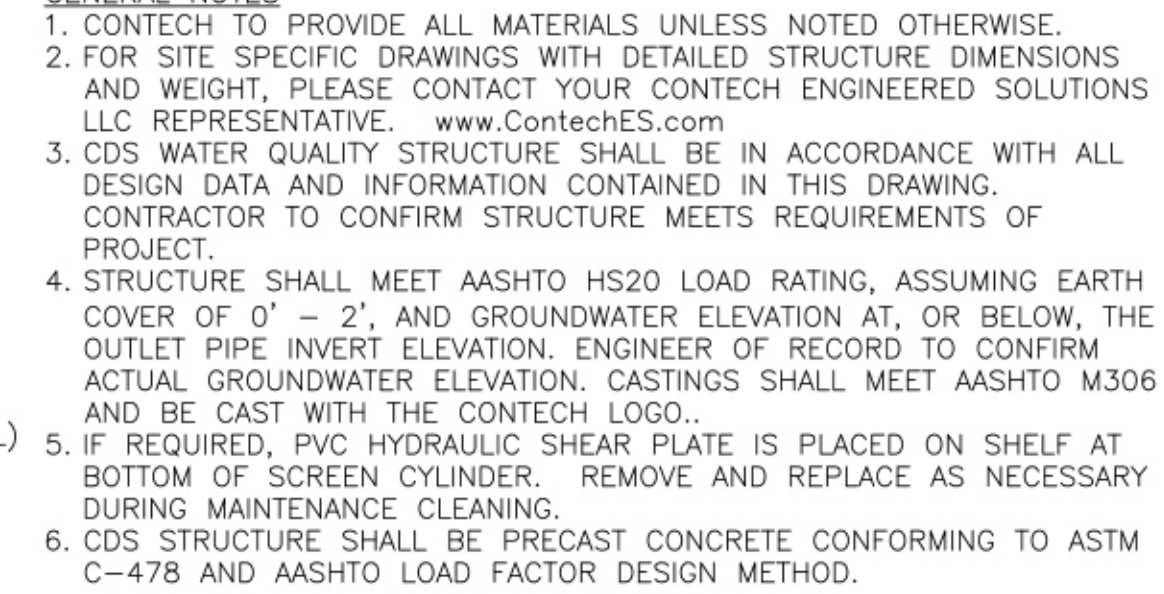
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.ContechES.com](http://www.ContechES.com)
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO..
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND PROVIDE SUFFICIENT SURROUNDING SUPPORT.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

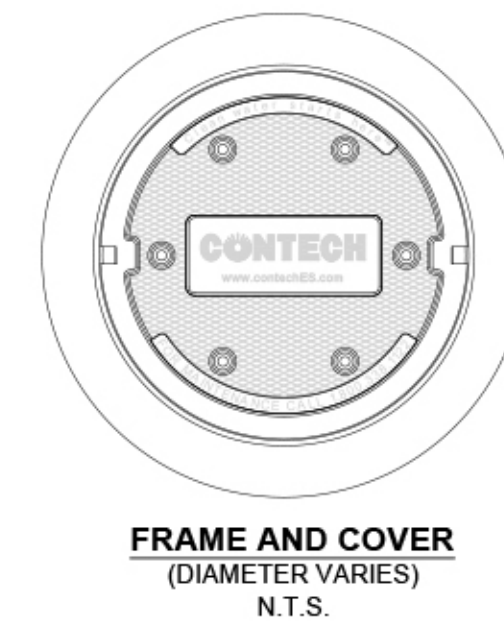


**CDS2015-4-C STANDARD DETAIL**  
NOT TO SCALE

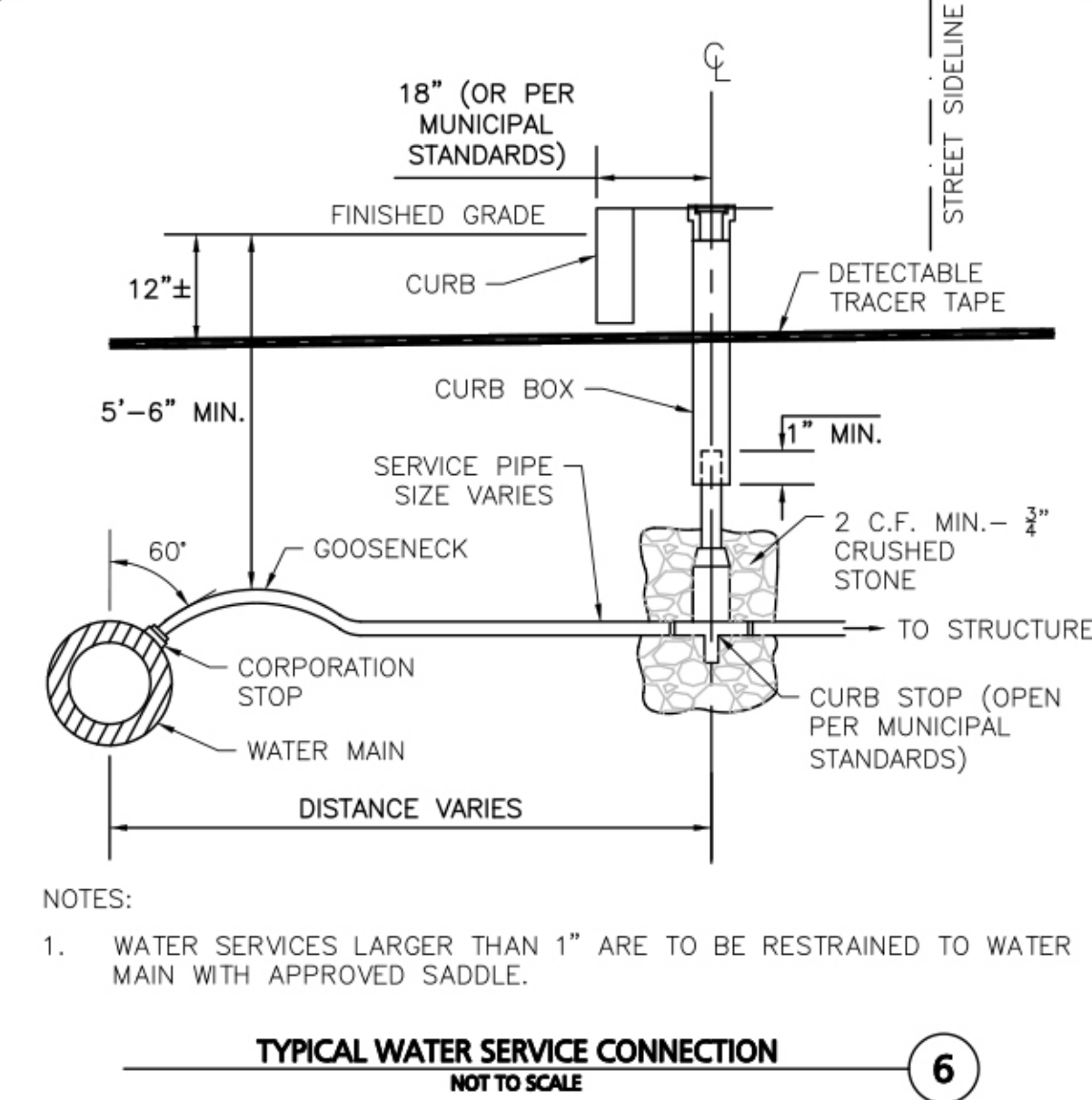
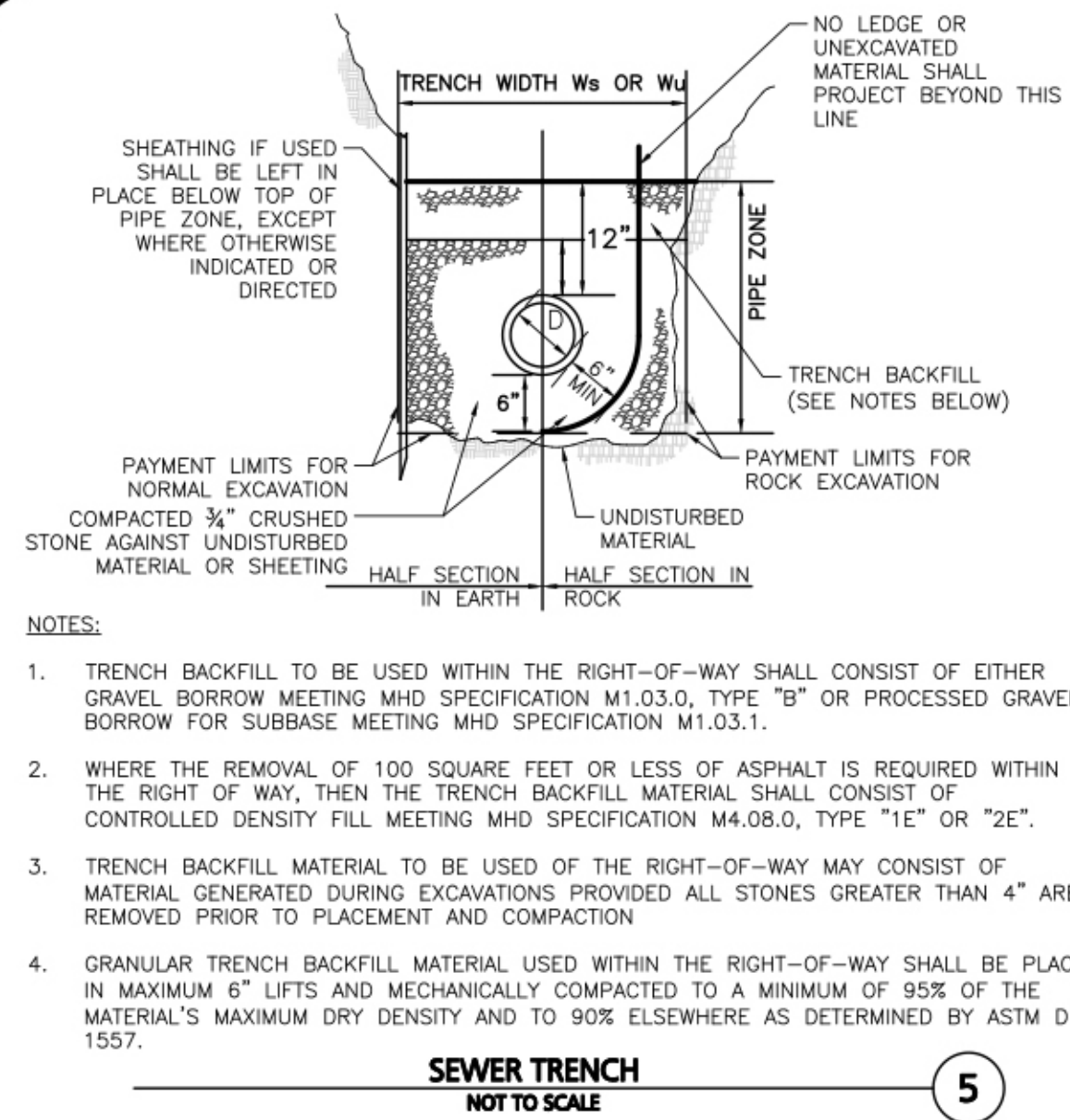
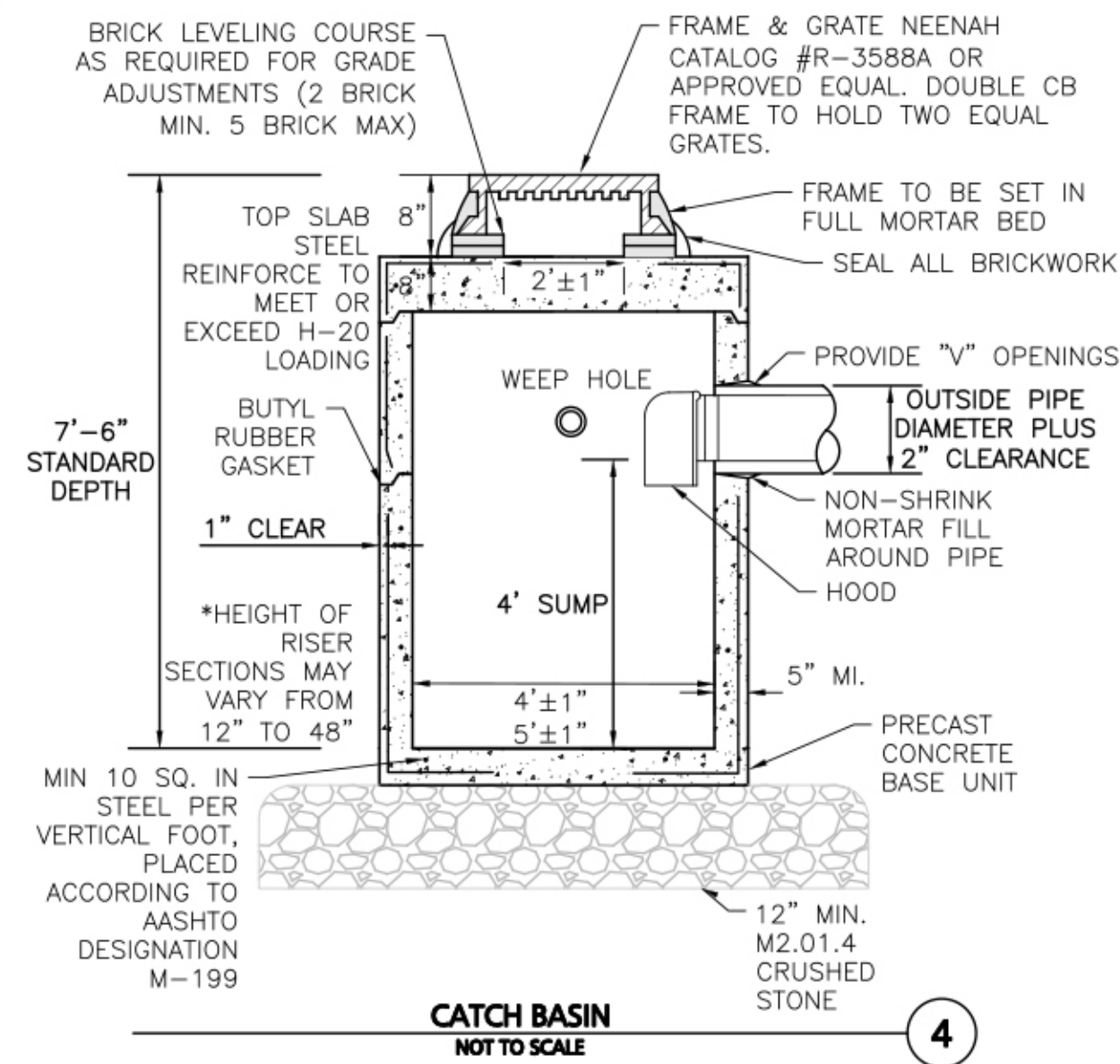
CONFIGURATION	DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	



- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND GRAD CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEAMANT BETWEEN ALL STRUCTURE JOINTS AND ASSURE THE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.



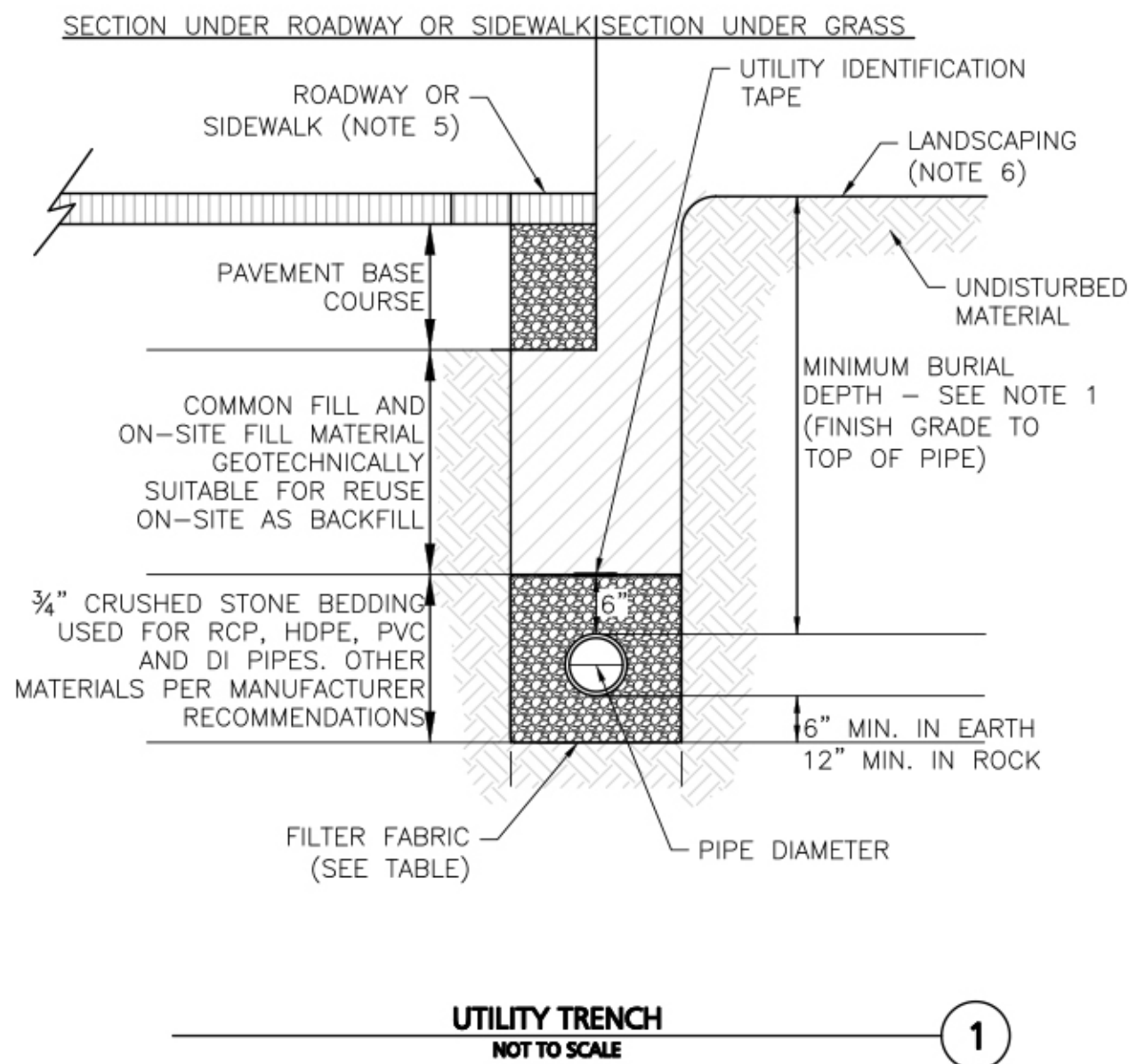
C-502



NOTES:

1. MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)  
GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE  
PRESSURE PIPE UNDER PAVING - 4'  
PRESSURE PIPE BENEATH UNPAVED - 3'  
WATER PIPE - 5'
2. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
3. TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
4. WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED, THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).
5. REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.
6. REFER TO LANDSCAPING DETAILS.

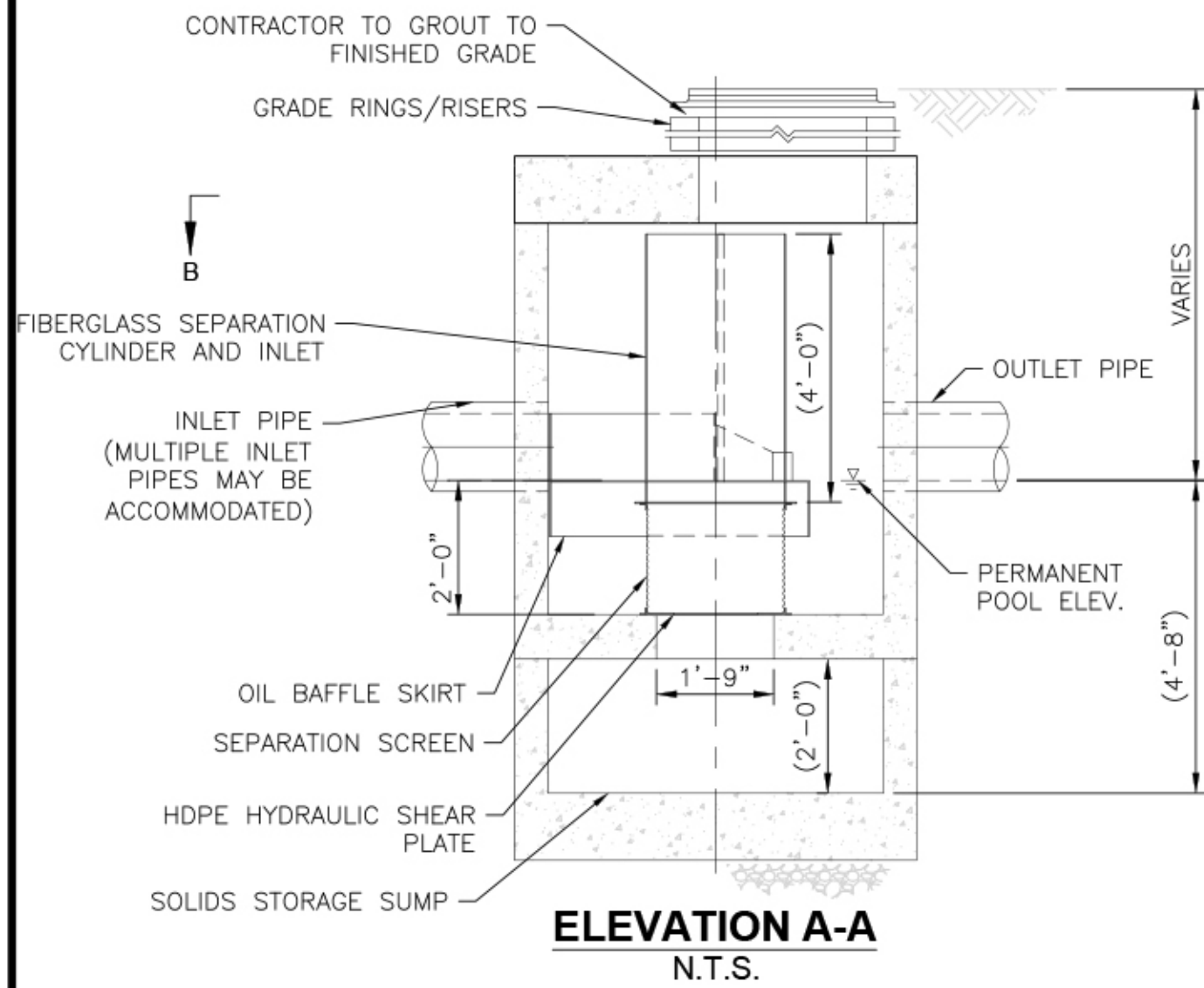
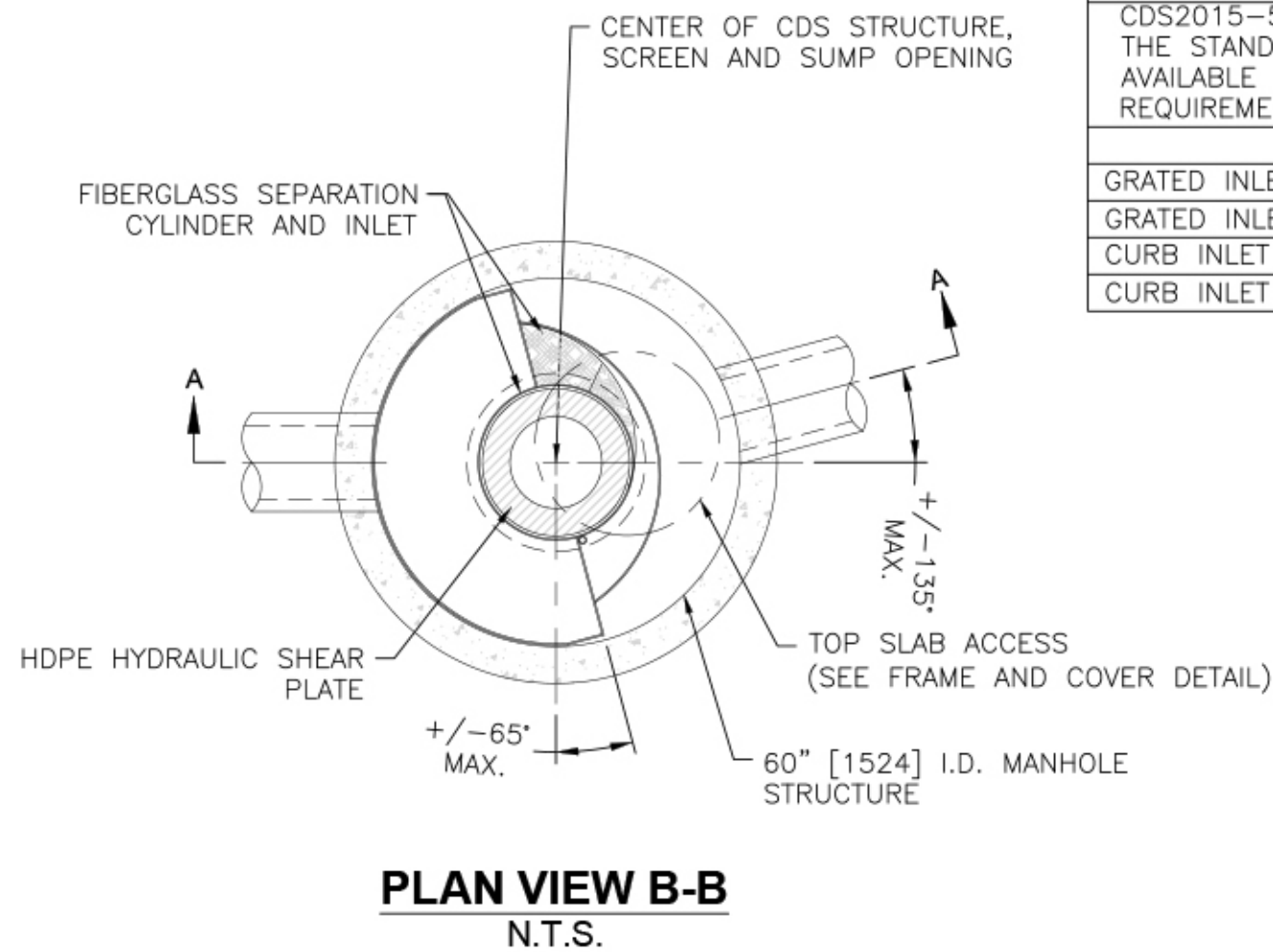
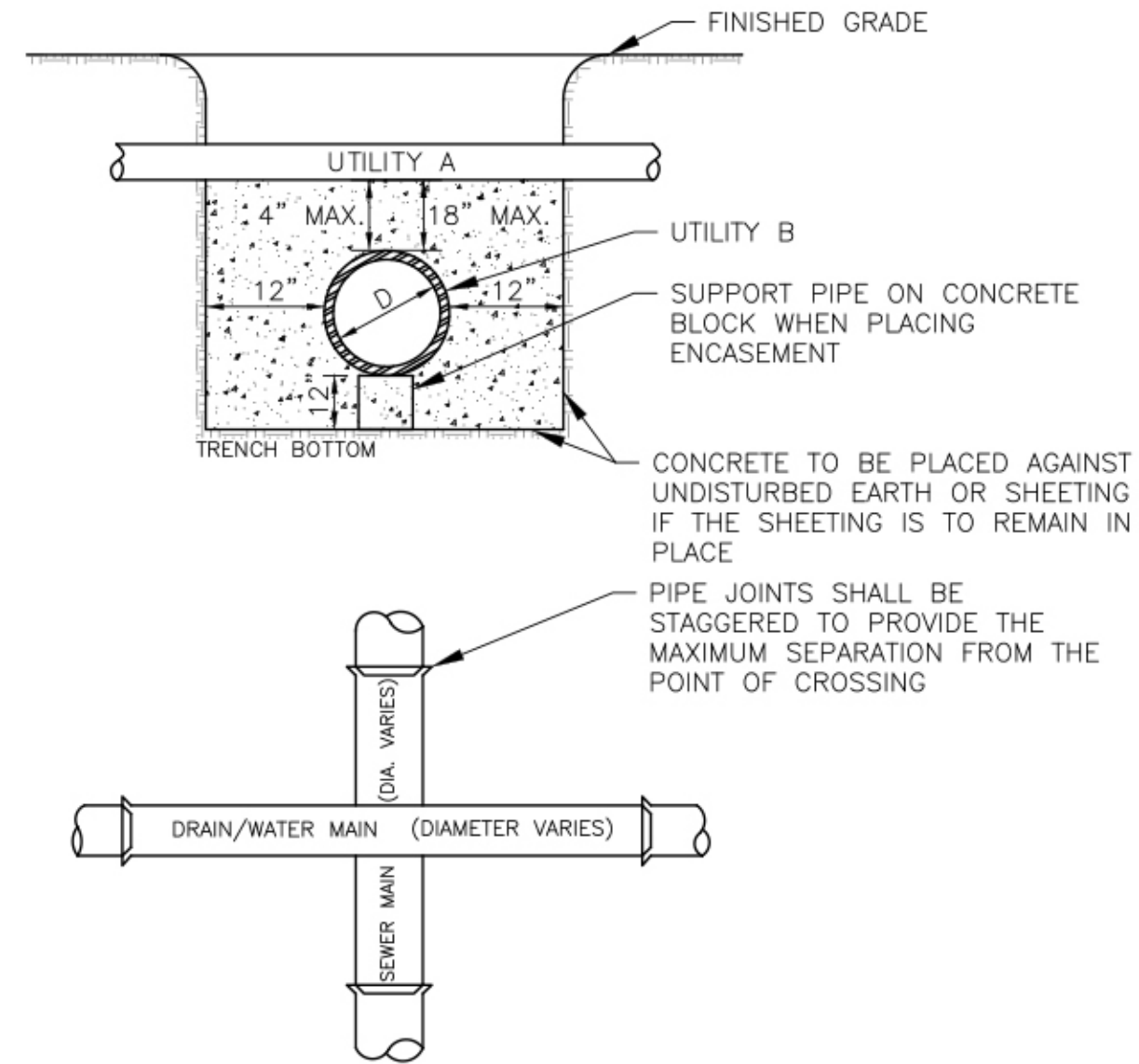
	FILTER FABRIC USE	
	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED



NOTES:

WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/DRAIN MAIN:

1. THE WATER/DRAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/DRAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
3. THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
4. THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
5. UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
6. WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
7. ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
8. PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.



CDS2015-5-C STANDARD DETAIL  
NOT TO SCALE

3

CDS2015-5-C DESIGN NOTES

CDS2015-5-C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2015-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS

CONFIGURATION DESCRIPTION

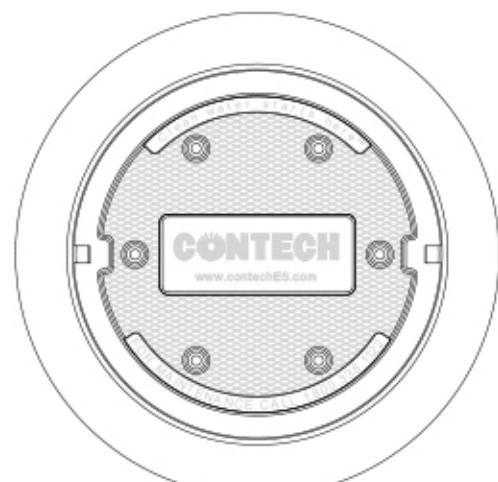
- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES

GENERAL NOTES

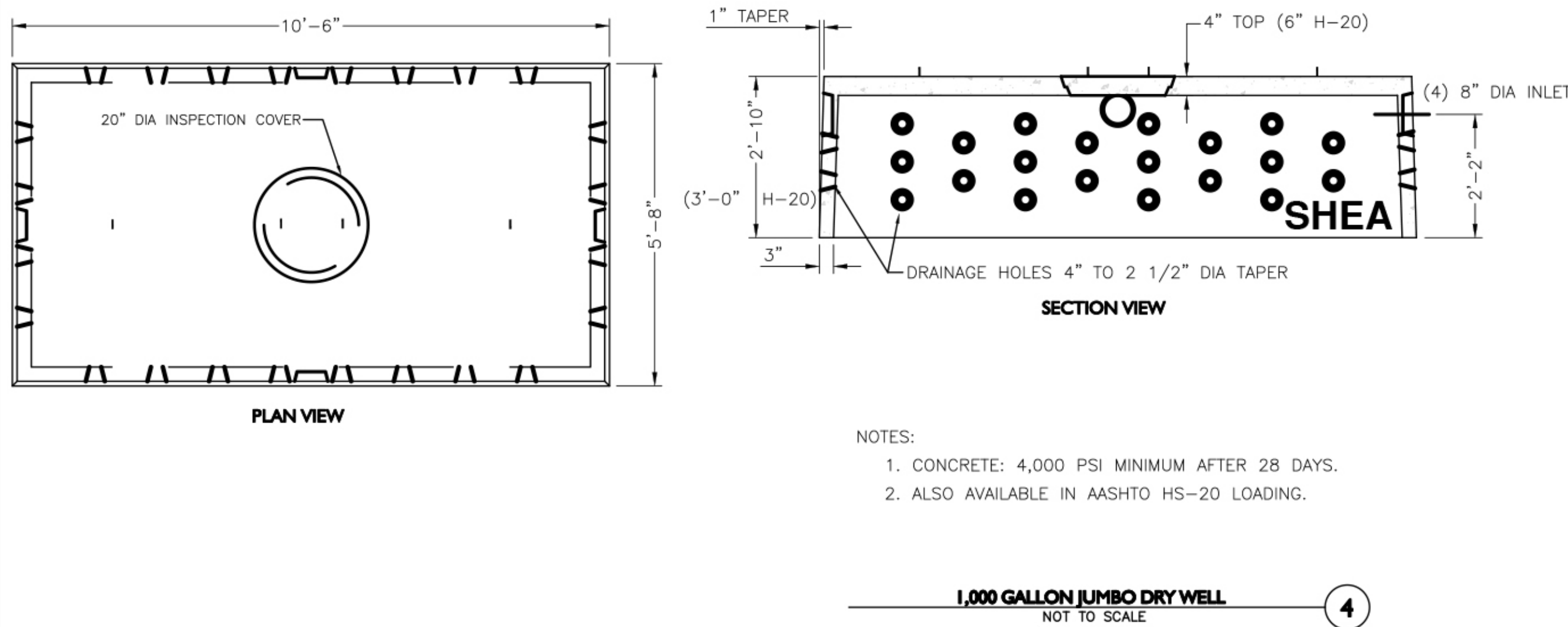
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3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO..
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

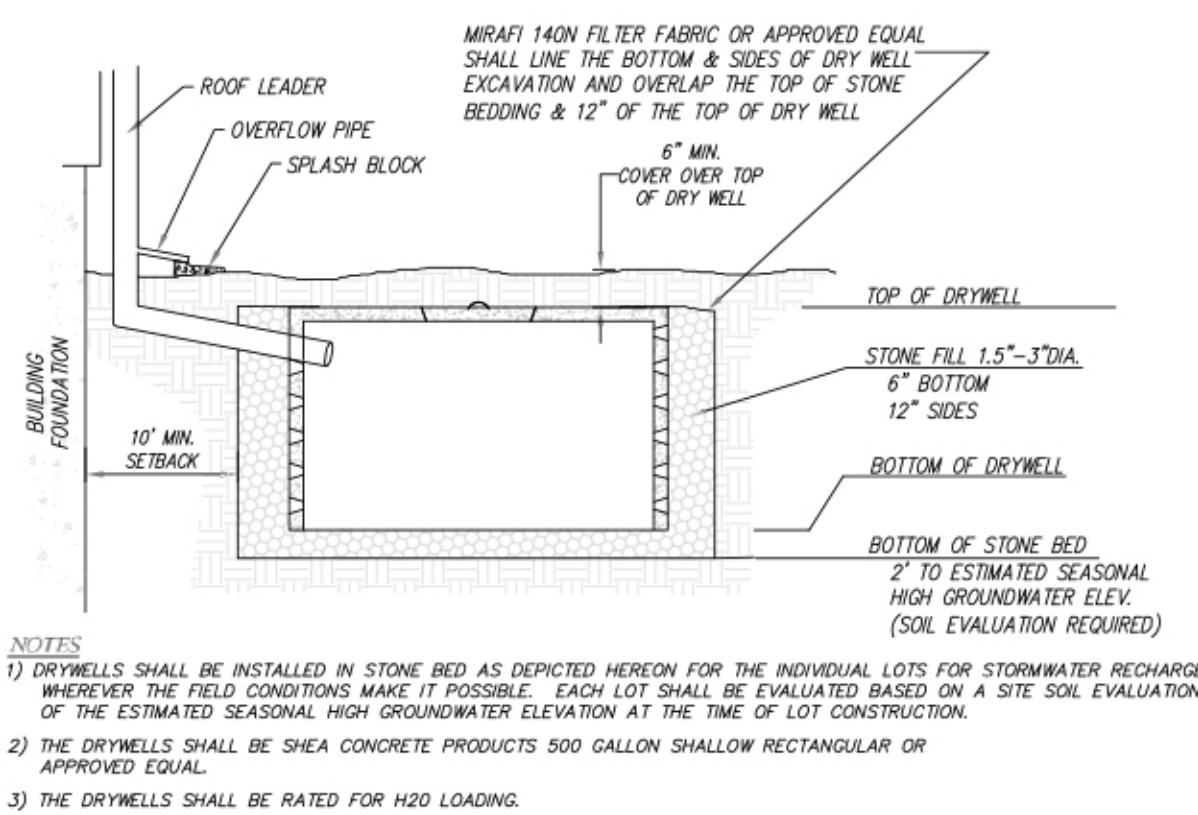


FRAME AND COVER  
(DIAMETER VARIES)  
N.T.S.

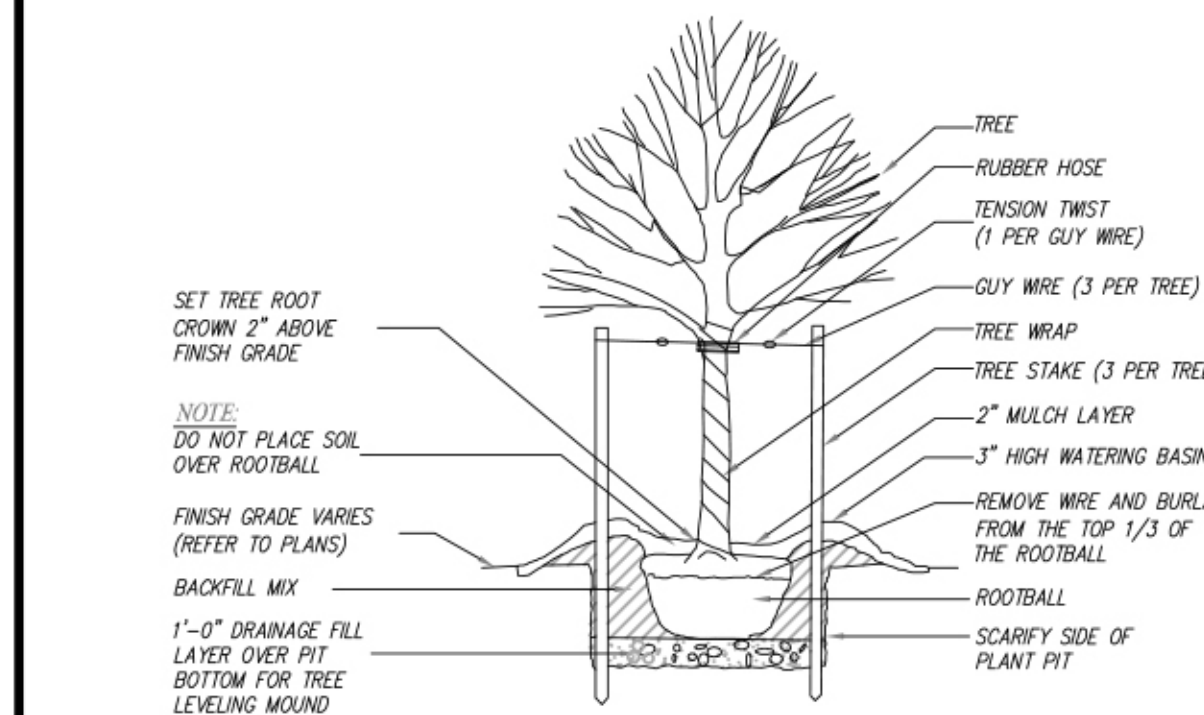


NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. ALSO AVAILABLE IN AASHTO HS-20 LOADING.



- NOTES:
- 1) DRYWELLS SHALL BE INSTALLED IN STONE BED AS DEPICTED HEREON FOR THE INDIVIDUAL LOTS FOR STORMWATER RECHARGE WHEREVER THE FIELD CONDITIONS MAKE IT POSSIBLE. EACH LOT SHALL BE EVALUATED BASED ON A SITE SOIL EVALUATION OF THE ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION AT THE TIME OF LOT CONSTRUCTION.
  - 2) THE DRYWELLS SHALL BE SHEA CONCRETE PRODUCTS 500 GALLON SHALLOW RECTANGULAR OR APPROVED EQUAL.
  - 3) THE DRYWELLS SHALL BE RATED FOR H20 LOADING.



APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: \_\_\_\_\_

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**PRELIMINARY**  
**ISSUED FOR REVIEW**  
**SEPTEMBER 17, 2021**

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT:

MKEP 770 LLC  
265 SUNRISE HIGHWAY, SUITE 1368  
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES  
RESIDENTIAL SUBDIVISION  
MAIN STREET  
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: AS SHOWN DWG.: C-2889-01\_Details

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
[www.allenmajor.com](http://www.allenmajor.com)  
100 COMMERCE WAY, SUITE 5  
WOBURN MA 01801  
TEL: (781) 935-6889  
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:

DETAILS

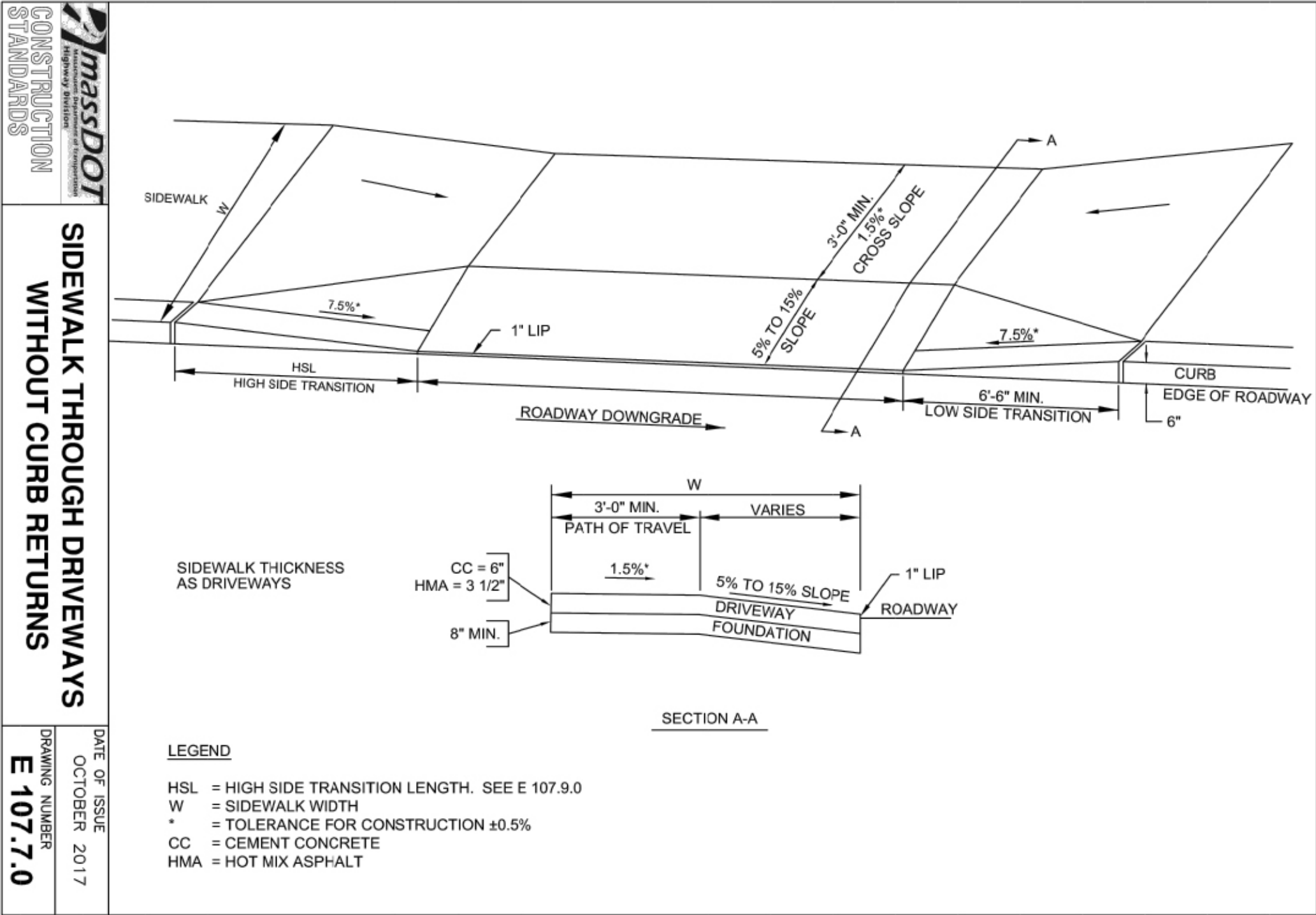
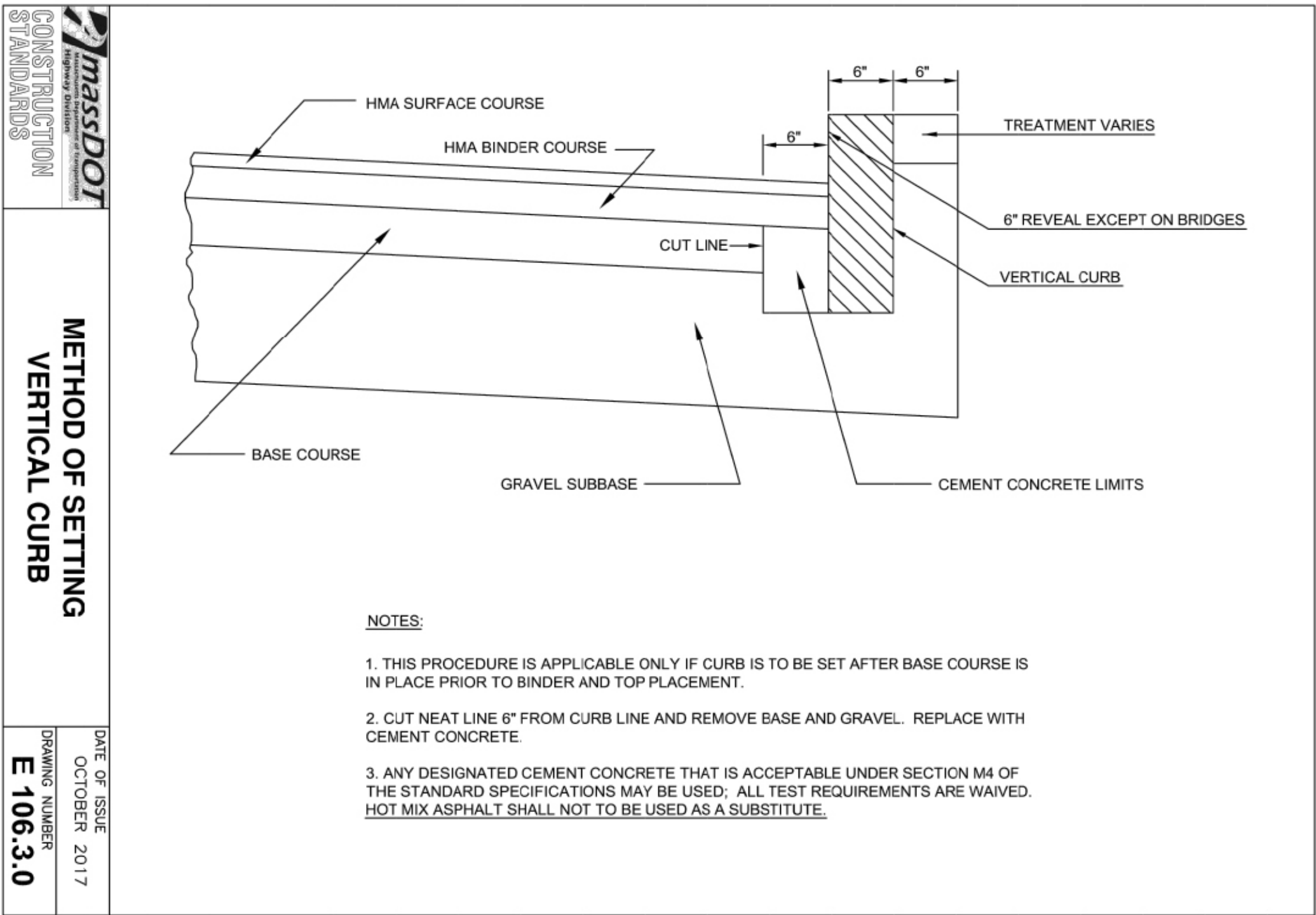
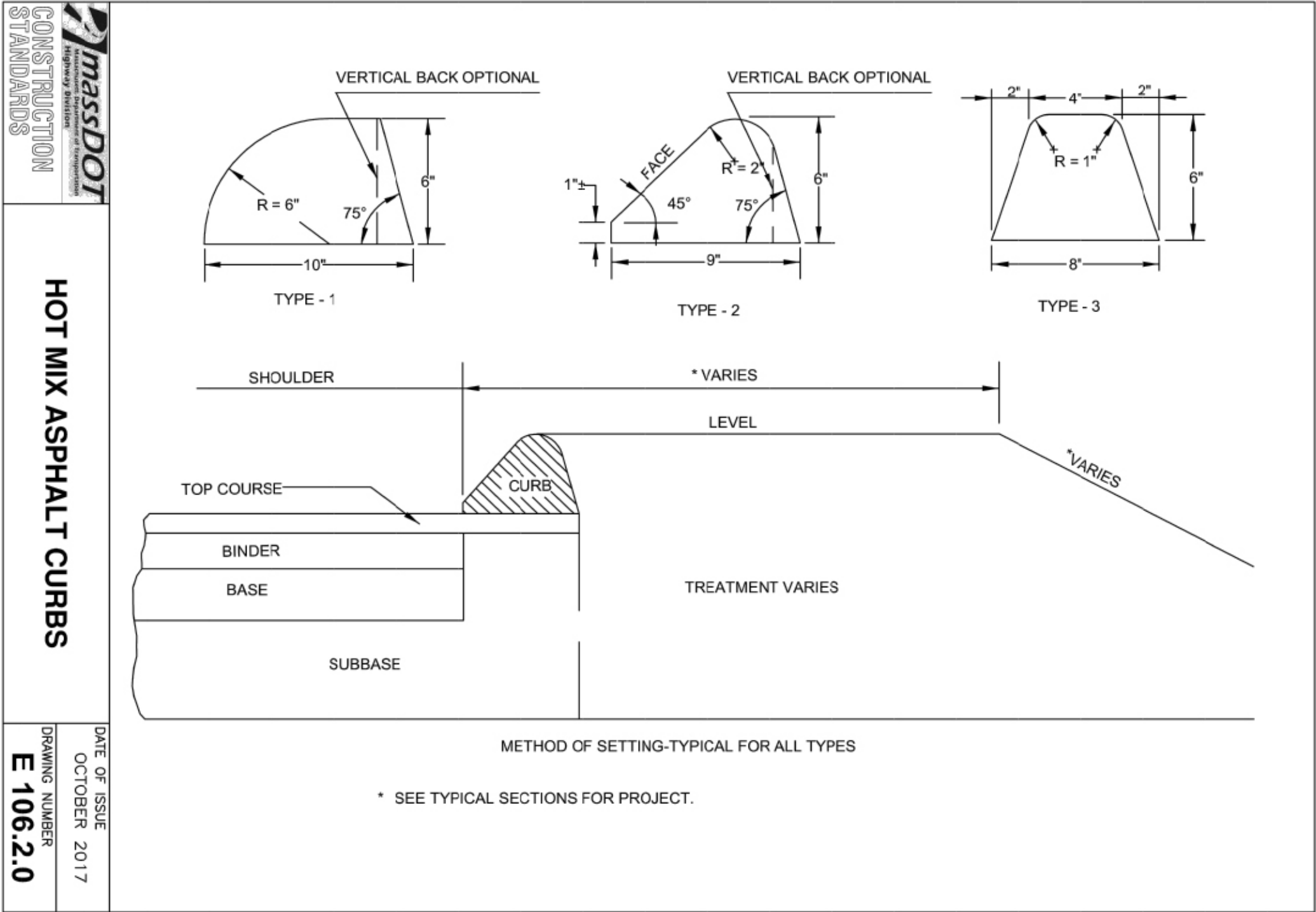
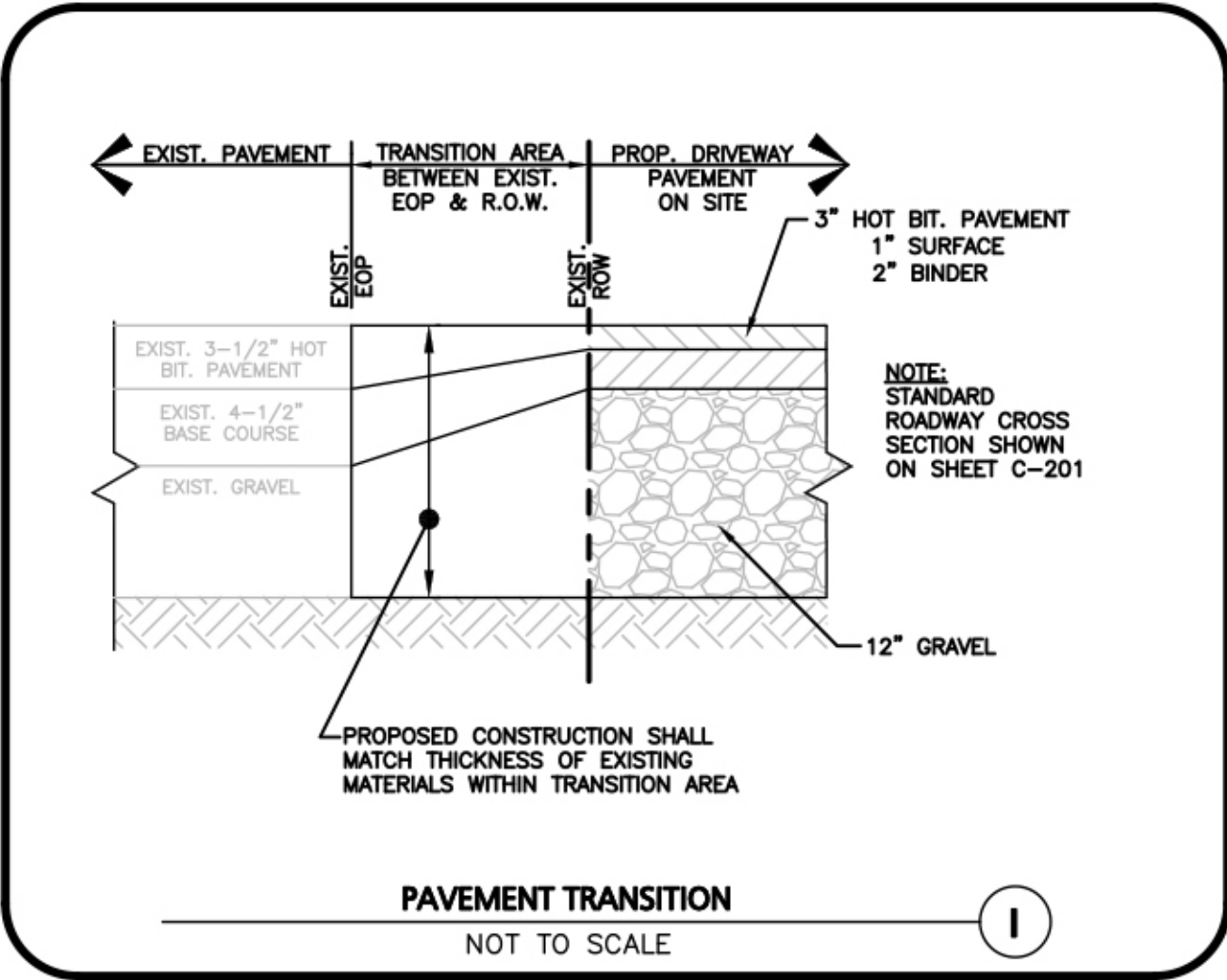
SHEET No.

C-503









ROADWAY PROFILE GRADE	* HIGH SIDE TRANSITION LENGTH
%	ENGLISH UNITS
=0%	6'-6"
>0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" Max

NOTE:  
\* BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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DRAWING TITLE: DETAILS SHEET No. C-505

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