dotloop signature verification: dtlp.us/vsZN-riG5-0BVe

For Planning Office Use:
File #:_____

Leicester Planning Board
Site Plan Review & Special Permit Application Form

PERMIT TYPE: ☒ Special Permit ☐ Site Plan Review

CONTACT INFORMATION

Owner Information			
Name:	Edgar F. Greeney	**Company Name:**	E.F.G Realty Trust
Signature:	robert greeney — dotloop verified 04/20/21 11:35 AM EDT KYT8-MEYK-T5YA-KPN2		
Address:	76 Mcclellan Street, Amherst, Massachusetts 01002		
Phone:	(413) 277-8868	**Email:**	

Applicant Information			
Name:	Mark Klinger	**Company Name:**	MKEP 770 LLC
Signature:	Mark Klinger — dotloop verified 04/21/21 12:48 PM EDT RCPN-OAWL-AOGC-AFQZ		
Address:	265 Sunrise Highway, Suite 1368, Rockville Center, New York 11570		
Phone:	(646) 483-2517	**Email:**	mark@globalgcny.com

Primary Contact Person *(The person that will be contacted by Planning Board staff during the application process.)*			
Name:	Michael Malynowski	**Company Name:**	Allen & Major Associates, Inc.
Address:	400 Harvey Road, Suite D, Manchester, New Hampshire 03103		
Phone:	(603) 627-5500	**Email:**	mmalynowski@allenmajor.com

PROJECT INFORMATION

Project Address:	651 Main Street	**Zoning District:**	Business
Assessors Map & Parcel #	Map 21/Parcel B5.1	**Deed Reference (Book & Page):**	16761-78
Applicable Zoning Bylaw Section(s):	3.2.02		
Proposed Land Use:	Residential Subdivision (mixes of Duplexes & multi-family)		
Existing Land Use:	None		

For Planning Office Use:
File #:_____

PROJECT INFORMATION, Continued

Size of Proposed Structure(s):	+/- 2,200 square feet	
Total Lot Area:	+/- 29.78 Acres	
Water Source: *(Select One)*	☐ Private Well	☐ Cherry Valley & Rochdale Water District
	☐ Hillcrest Water District	☒ Leicester Water Supply District
Sewer Source: *(Select One)*	☐ Private Septic System	☒ Cherry Valley Sewer District
	☐ Hillcrest Water District	☐ Leicester Water Supply District
	☐ Oxford Rochdale Sewer District	

Brief Project Description:
Please include a brief description on this form (i.e. do not write "see attached"). *[Examples: New construction of a 20,000s.f. retail building and associated parking; Use of a 1,000s.f. portion of an existing structure for a proposed pet grooming clinic.]*

New construction of a residential subdivision composed of approximately 35 lots containing a mix of duplex and multi-family housing units (+/- 2,200 SF per unit)

Application Checklist

Use this checklist to ensure you have provided all required information. See Planning Board Site Plan Review & Special Permit Regulations for details. 13 copies are required except where noted.

☒ Plans (2-full-size & 11-11"x17")	☒ Detailed Project Narrative including any waiver requests [1]	☒ Drainage Analysis/ Stormwater Report, (3 copies) ☐ n/a
☒ Documentation of Availability of Water & Sewer ☐ n/a	☒ Certified Abutters List (1 copy)[2] ☐ n/a	☐ Traffic Study (3 copies) ☒ n/a
☒ Fees[3]	☒ .pdf copy of all required submittals (CD or USB Drive)	

[1] See Planning Board Site Plan Regulations for details on what should be included in a Project Narrative. For special permits that don't require conformance with Site Plan Review submittal requirements, submit a narrative explaining conformance with special permit approval criteria (see Special Permit Regulations for details).

[2] certified abutters lists are required for all Special Permits applications and for Major Site Plan Review Applications (new construction over 30,000 s.f. and ground-mounted solar over 250,000 s.f or 2 acres or more of tree clearing)

[3] Please refer to the Planning Board's Fee Regulations. Checks must be made out to the Town of Leicester

For Planning Board Use:			
Date of Submittal:			
Public Hearing/Meeting Date(s):			
Date of Planning Board Vote:			
Date Decision Filed with Town Clerk:			

100 Commerce Way, Suite 5, Woburn, MA 01801 | T (781) 935-6889 | F (781) 935-2896
allenmajor.com

ALLEN & MAJOR ASSOCIATES, INC.

July 19, 2021

To:
Michelle R. Buck, Town Planner
Leicester Development and Inspectional Services
3 Washburn Square
Leicester, Massachusetts 01524

A&M Project #: 2889-01

Re: Definitive Subdivision Plan
651 Main Street
Map 21/Parcel B5.1

Copy:

Dear Ms. Buck

On behalf of our client, MKEP 770, LLC, the Applicant, Allen & Major Associates, Inc. is filing a Preliminary Subdivision Plan for the construction of a proposed subdivision off Main Street in Leicester, Massachusetts. The project includes land depicted on the Assessor's Map #21 as Parcel B5.1 (651 Main Street), owned by E.F.G. Realty Trust. The plans submitted intend to depict the land encompassing the subdivision based on the Existing Conditions Plan created by Allen & Major Associates, Inc. Dated: July 16, 2021.

It is the intent of the applicant to create a subdivision with three roadways to provide access to 32 new building lots. Of these newly created lots, 30 lots will accommodate the construction of a single duplex residential building and consist of a minimum of 0.52 acres in size. The remaining two (2) lots will be developed with a townhome style homes consisting of approximately 7 units each. The total development will have 74 new residential units.

The project property is located along the southwestern side of Main Street and northern side of Henshaw Street. The majority of the property consists of mainly woodland and brush, with a brook and small wetland pockets near the property's boundary. Electrical utility lines and a tower are located at the southwestern portion of the parcel. As stated above, the existing electrical utility lines will be separated from the development and protected by a 250 foot electric easement.

As part of the proposed development, three interconnected roadways will be constructed to provide access to individual lots. Being considered a residential subdivision, the roadways are proposed to be 28-feet wide with a 40-foot wide right of way to be maintained. The primary access will be situated along Main Street approximately 500 feet southeast of Waite Street intersection. The proposed roadway network is interconnected by means of an emergency access from Colonial Drive. The first main intersection into the development is approximately 880 feet from Main Street.

Along with the construction of the proposed roadway, several other utility improvements will be provided as part of the overall development. The project stormwater management system will be addressed by a system of catchbasins and drainage manholes, capturing the surface runoff and directing it to various drainage detention basins for peak rate mitigation and stormwater treatment. An initial review of the drainage system and watersheds has been performed and the Grading & Drainage Plan depicts the anticipated drainage system for the project. A full stormwater analysis will be provided as part of the Definitive Subdivision submittal.

Environmental Analysis

As this proposed subdivision will be creating frontage potentially allowing ten (10) or more family units, an Environmental Analysis has been provided herein. Many of the items outlined within the Environmental Analysis have be detailed within other plans or within the stormwater report, below is a summary of the specific items of concern.

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a.) The same data as on the Definitive Plan
Refer to plans prepared by A&M dated July 16, 2021 consisting of approximately 19 sheets.

b.) Topography at two foot contour intervals, with graphic drainage analysis; indication of annual high water mark, location of existing structures, including fences and walls, and watershed boundaries.
Topographic information is shown on Sheet V-101 including existing structures, fences, walls and delineated resource areas. The existing and proposed watershed plan were prepared and included within the submitted Stormwater Report, refer to Sheet WS-1 and WS-2.

c.) Vegetation cover analysis, including identification of general cover type (wooded, cropland, brush, wetland, etc.); location of all major tree groupings, plus other outstanding trees or other botanical features; important wildlife habitats; and identification of areas not to be disturbed by construction.
The vast majority of the site consists of wooded cover with some areas of grass and brush. There are also several areas of delineated resource areas adjacent to Colonial Drive and Henshaw Street. Additional, the southwest section of the property is bisected by an existing electrical transmission line easement. The areas can be seen on Sheet V-101. As part of the stormwater analysis for the project both the existing and proposed surface covers were calculated. A summary of these area are listed below and additional information can be found in the stormwater report in Section 4 and Section 5.

Existing

Area (acres)	Description (subcatchment-numbers)
1.734	>75% Grass cover, Good
2.164	Brush, Good
0.071	Paved parking
25.418	Woods, Good

Proposed

Area (acres)	Description (subcatchment-numbers)
15.777	1/2 acre lots, 25% imp
2.501	>75% Grass cover, Good
2.164	Brush, Good
3.603	Paved parking
5.339	Woods, Good

d.) Soil types, based on United State Department of Agriculture (USDA) soils study; approximate ground water level, location and results of soil percolation or other sub surface tests.
As the project is proposed to be on municipal sewer, soil percolation tests were not performed on the site. Published soil information from USDA and NRSC were utilized to approximate a design infiltration rate for the proposed roof drainage infiltration system.

e.) Visual analysis, including analysis of scenic vistas, and locations of visual prominence.
Although the project is situated on a elevated portion of the site, there are no significant scenic vistas that will be created nor impacted as part of the project.

f.) Location of surface water bodies, wetlands, aquifer or recharge areas for existing or potential drinking water supplies.
The vast majority of the site consists of wooded cover with some areas of grass and brush. There are also several areas of delineated resource areas adjacent to Colonial Drive and Henshaw Street. Additional, the southwest section of the property is bisected by an existing electrical transmission line easement. The areas can be seen on Sheet V-101.

The following narrative will set to document the following, with reference to the above maps as germane.

a) Impact upon surface water quality and level.
As part of the proposed project, impacts to surface water quality will be enhanced through the implementation of a new stormwater collection system. The stormwater collection system is a series of inlets located at low points within the limits of the paved area. All of the proposed on-site catch basins incorporate a deep sump and hooded outlet. The catch basins are connected by a closed gravity pipe network that pass through proprietary separators prior to entering the pipe detention systems or gabion walls.

The proposed stormwater management system has been designed to remove 80% of the average annual post-construction load for each treatment train. The TSS removal calculations can be seen within the appendix of the stormwater report. Structural Pretreatment BMPs consisting of Deep sump catch basins, also known as oil and grease or hooded catch basins, are underground retention systems designed to remove trash, debris, and coarse sediment from stormwater runoff, and serve as temporary spill containment devices for floatables such as oils and greases. Further treatment is provided via a proprietary separator this is a flow-through structure with a settling or separation unit to remove sediments and other pollutants. They typically use the power of swirling or flowing water to separate floatables and coarser sediments, are typically designed and manufactured by private businesses, and come in different sizes to accommodate different design storms and flow conditions.

As a further management system, a Long-Term Operation & Maintenance (O&M) Plan has been developed for the proposed stormwater management system and is included within the stormwater report. The purpose of the O&M is to identify potential sources of pollution that may affect the quality of stormwater discharges, and to describe the implementation of practices to reduce the pollutants in stormwater discharges.

b.) Impact upon ground water quality and level.
As indicated above, the proposed project, impacts to surface water quality will be enhanced through the implementation of a new stormwater collection system which will provide for pretreatment. The existing annual recharge for the site has been approximated in the proposed condition. Groundwater recharge will be provided through the use of proposed dry wells that are designed to meet this requirement. The proposed Recharge Volume is based on the Static Method per the MA DEP Stormwater Management Standards, Volume 3, Chapter 1. See the appendix located at section 6 of this report for stormwater recharge calculations.

c.) Effects on important wildlife habitats, outstanding botanical features, scenic or historic sites or buildings.
The property contains several areas subject to the Wetland Protection Act, all of which being outside direct impacts associated with the proposed roadway construction. These areas have been delineated by Gove Environmental Services, Inc. and are depicted on the Proposed Subdivision Plan. Some of the proposed drainage detention/infiltration basins are proposed to be located within the buffer zone and a filing with the Conservation Commission will be required. This will be made concurrent with the Definitive Subdivision review process.

Upon review of the Commonwealth's published data, there were no Areas of Critical Environmental Concern (ACEC); Outstanding Resource Waters (ORWs) nor areas of Priority and Protected Habitat for rare and endangered species located within the project limits. See Exhibit 3.4 within the submitted stormwater report.

d.) Capability of soils and vegetative cover to support proposed development without erosion, silting or other instability.

Existing Soil Conditions: The on-site soils were identified using the USDA Natural Resources Conservation Services (NRCS) Soil Survey for Worcester County. The site contains a range of soil types including: Ridgebury, Whitman, Paxton, Woodbridge, Charlton, Canton, and Udorthents. The majority of the site is made up of Paxton fine sandy loam. A copy of the NRCS Custom Soil Resource Report is included in the appendix of the stormwater report.

A plan to control construction-related impacts, including erosion, sedimentation and other pollutant sources during construction has been developed. A detailed Erosion and Sedimentation Control Plan is included in the Permit Drawings. Refer to Sheet C-100 for location of proposed erosion control measure and Section 2 of the Stormwater Report for additional information. The proponent will prepare and submit a Stormwater Pollution Prevention Plan (SWPPP) prior to commencement of construction activities that will result in the disturbance of one acre of land or more.

The proposed stormwater management system for the site will control the Peak Rate of Runoff through the use of deep sump catch basins, pipe detention systems, a detention basin, outlet control structures, and gabion walls (level spreaders). These systems have been designed in accordance with the MA DEP Stormwater Management Policy to recharge groundwater and reduce rate of runoff from the parcel.

e.) Relationship to Massachusetts General Laws, Chapter 131, Sections 40, (Wetlands Protection Act) and Town Wetland Bylaw.

The property contains several areas subject to the Wetland Protection Act, all of which being outside direct impacts associated with the proposed roadway construction. These areas have been delineated by Gove Environmental Services, Inc. and are depicted on the Proposed Subdivision Plan. Some of the proposed drainage detention/infiltration basins are proposed to be located within the buffer zone and a filing with the Conservation Commission will be required. This will be made concurrent with the Definitive Subdivision review process.

f.) The report shall estimate the proposed traffic flow in relation to the roadways giving access to the subdivision.

The property contains several areas subject to the Wetland Protection Act, all of which being outside direct impacts associated with the proposed roadway construction. These areas have been delineated by Gove Environmental Services, Inc. and are depicted on the Proposed Subdivision Plan. Some of the proposed drainage detention/infiltration basins are proposed to be located within the buffer zone and a filing with the Conservation Commission will be required. This will be made concurrent with the Definitive Subdivision review process.

g.) The report shall estimate the effect of the project on public services, such as water, sewer, schools, police, fire and highway department.

Traffic

Traffic generated by the proposed convenience store re-development was determined based on the "Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition". The trip generation rates were based on Land Use Code 270, defined as a Residential Planned Unit Development. The estimated vehicle trips generated are shown in the following table:

The estimated vehicle trips are shown in the following tables:

Weekday	Total	Incoming	Outgoing
Daily	546	273	273
AM Peak	43	10	33
PM Peak	53	34	19

Saturday	Total	Incoming	Outgoing
Daily	505	252	253
Midday Peak	41	20	21

As part of the permitting process, a driveway access permit will be sought through the Massachusetts Department of Transportation as Main Street, aka Route 9 is within the jurisdictional control of MDOT.

Water & Sewer

Both water and sewer will be provided through municipal services. In a letter obtained from Cherry Valley Sewer District, the project is available for hook-up to the public sewer system. The project proposes sewer manholes to be placed within the newly aligned roadways at various locations to collect sewage and direct it to the existing municipal sewer system along Main Street. In a letter obtained from Leicester Water Supply District, there is adequate water supply for the proposed development. Domestic water for the property is intended to be sourced from the existing municipal water main within Main Street.

Police, Fire & Highway Department

Based on email correspondence received from Fire Chief Dupuis and Police Chief Antanavica, they have both met on site to review the proposed project and do not have any concerns at this time. Street lighting is being proposed which will help deter suspicious activities from taking place within the development. The project proposes a new municipal water service, including strategic placement of fire hydrants throughout the development to lessen the burden on any potential firefighting activities that may occur.

Schools

Of the 60 duplex units, approximately 24 units will have a layout which places the living quarters all on the first floor. This set up if more conducive to young professionals or older couples without children, so it is presumed that these units would not have an impact on the school system. Based on the remaining 50 units (36 duplex units and 14 townhomes) will consist of a minimum of 2 bedrooms situated on multiple floors which is more desirable for potential families with children. Based upon this presumption and the local average of 1.5 children per dwelling unit, it is anticipated that the project could produce 75 school age children. Based on discussion with school superintendents office about the impact on the schools for 74 homes. Here is what she said and the reports from the state.

1. K-4 would put a strain on the system, the school is at capacity.
2. Middle School - They can handle the new homes.
3. High School - They can heddle the new homes.

Special Permit Criteria Evaluation

1. *Such use will not nullify or substantially derogate from the intent and purpose of this Bylaw;*
   The proposed use (duplex & townhouse) will not alter the general character of the surrounding area nor impair the intent or purpose of said bylaw because the proposed use conforms to the existing residential dwellings in the area. Although there are proposed to be 30 duplex units of slightly varying size and configuration, the same general characteristics will be consistent, including separated building entrances and buffered driveways to aid in the appearance of each being a separate unit.

2. *Such use will not constitute a nuisance; and*
   As the proposed project is for a residential development in accordance with Town standards, it will not constitute a nuisance to the surrounding area. Through the development of comprehensive stormwater management system, the site will control post development stormwater flows to below predevelopment conditions. Additionally, an extensive erosion control plan has been prepared, included a construction phase protections to prevent erosion concerns to abutting properties.

3. *Such use will not adversely affect the neighborhood in which the lot is situated.*
   The proposed residential development which includes 30 duplex units and 14 townhouse units will not adversely affect the surrounding neighborhoods as the layout has been designed to provide a consolidated entrance to the project along Main Street (Route 9). The proposed duplex home, although connected, are designed to provide a sense of separation through the placement of interior spaces as well as landscape buffers.

4. *Such use complies with the Standards for Site Plan Approval in the Leicester Zoning Bylaw.*
   The proposed use (duplex & townhouse) will not alter the general character of the surrounding area nor impair the intent or purpose of said bylaw because the proposed use conforms to the existing residential dwellings in the area.

As part of this submittal, and in effort to provide comprehensive review for the Definitive Subdivision submittal, a preliminary list of waivers to the Leicester Subdivision Regulations is being submitted herewith. The applicant reserves the right to amend the list of waivers as needed during the Definitive Subdivision design and review process.

Waivers:

Section V.A.1.f - Minimum center line radii. 200' min. Required

To allow center line radius of 75' and 100'. This happens along the first segment of the entrance road to allow for a bit longer path of travel to help overcome the existing topography. A truck turning simulation has been prepared illustrating that fire apparatus can maneuver the roadway network without impacts to oncoming vehicles.

Section V.A.3.a - maximum street grade. 10%

To allow for a street grade of 14% between Sta 1+00 & STA 5+00 along alignment #9 and 20% between Sta 13+50 & Sta 16+00 along alignment #7

Section VI.B.1a – reinforced concrete storm drainage piping required

A waiver is requested to utilize high density polypropylene (HDPE) drainage lines or approved equal within the drainage system of the subdivision.

Section VI.e.3 - street lighting required

To allow street lighting to be installed as private driveway light. Each lot shall be provided with a standard lamp post light on the lot near the intersection of the driveway with the street right-of-way line. Each lot light shall be placed on a dusk till dawn timer and shall be maintained by the individual property owner in perpetuity as stated in the proposed covenants.

Section VI.l - Street trees shall be installed on both sides of the roadway

To allow for street tree plantings to be installed on one side only. Since the minimum right of way is fully consumed by street paving and sidewalks along each side, there is not sufficient area for the installation of street trees within the right-of-way. It is being requested that street trees be incorporated into the individual landscaping of the private lots near the intersection of the driveway with the street right-of-way.

Section VI.G.1 - Sidewalks shall be installed on both sides of all streets within a subdivision

A waiver is requested to install sidewalks on only 1 side of the roadway due to the steep terrain of the proposed subdivision and lack of connection to a municipal sidewalk along Main Street (aka Route 9)

At this time, Allen & Major Associates, Inc. is requesting to be placed on the agenda for the next available meeting of the Planning Board to discuss this Preliminary Subdivision Plan. Representatives of this office and the owner/applicant will attend to present the plan and address any concerns raised by the Board at that time. We thank you in advance for your anticipated cooperation regarding this project and look forward to meeting to discuss the plans.

Very Truly Yours,
ALLEN & MAJOR ASSOCIATES, INC.

Michael Malynowski

Michael Malynowski, PE
Senior Project Manager

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DATA SOURCE:
Trip Gen Manual, 10th Ed

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SEARCH BY LAND USE CODE:
270

LAND USE GROUP:
(200-299) Residential

LAND USE :
270 - Residential Planned Unit Development

LAND USE SUBCATEGORY:
All Sites

INDEPENDENT VARIABLE (IV):
Dwelling Units

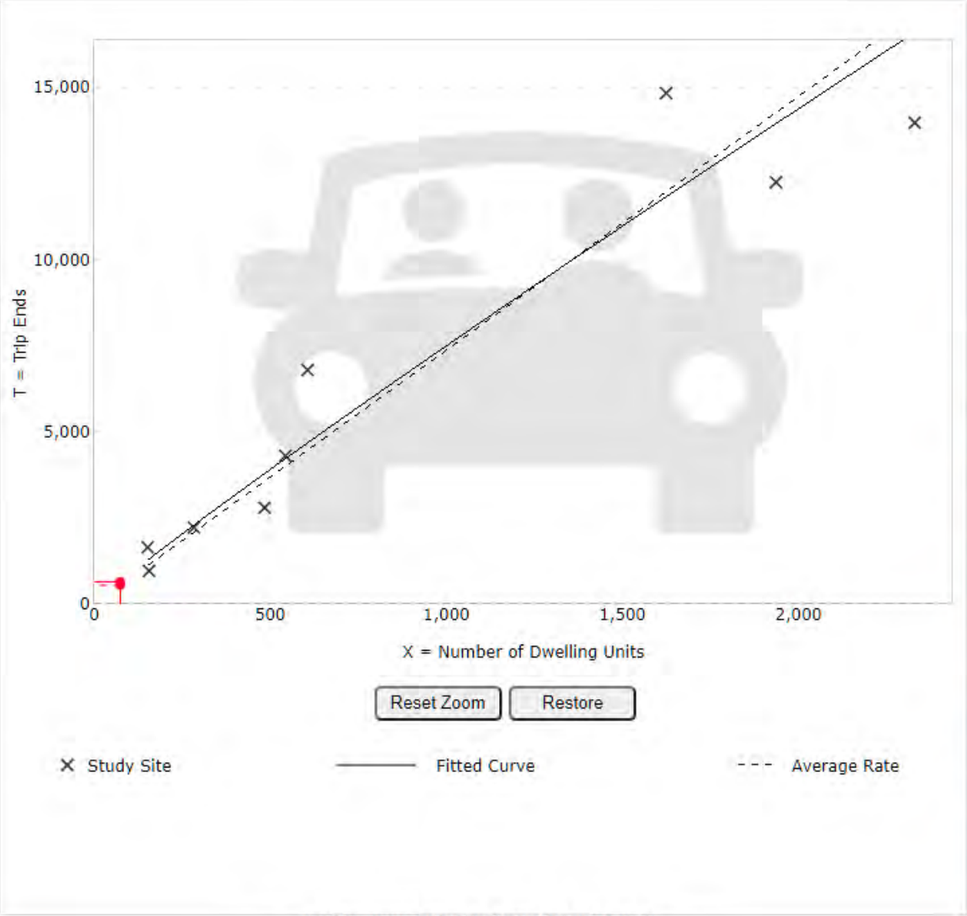
TIME PERIOD:
Weekday

SETTING/LOCATION:
General Urban/Suburban

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
74 Calculate

Data Plot and Equation



Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

DATA STATISTICS

for more details

Independent Variable:
Dwelling Units

Time Period:
Weekday

Setting/Location:
General Urban/Suburban

Trip Type:
Vehicle

Number of Studies:
9

Avg. Num. of Dwelling Units:
902

Average Rate:
7.38

Range of Rates:
5.79 - 11.23

Standard Deviation:
1.83

Fitted Curve Equation:
$Ln(T) = 0.94\ Ln(X) + 2.43$

R^2:
0.94

Directional Distribution:
50% entering, 50% exiting

Calculated Trip Ends:
Average Rate: 546 (Total), 273 (Entry), 273 (Exit)
Fitted Curve: 649 (Total), 324 (Entry), 325 (Exit)

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270

LAND USE GROUP:
(200-299) Residential

LAND USE :
270 - Residential Planned Unit Development

LAND USE SUBCATEGORY:
All Sites

INDEPENDENT VARIABLE (IV):
Dwelling Units

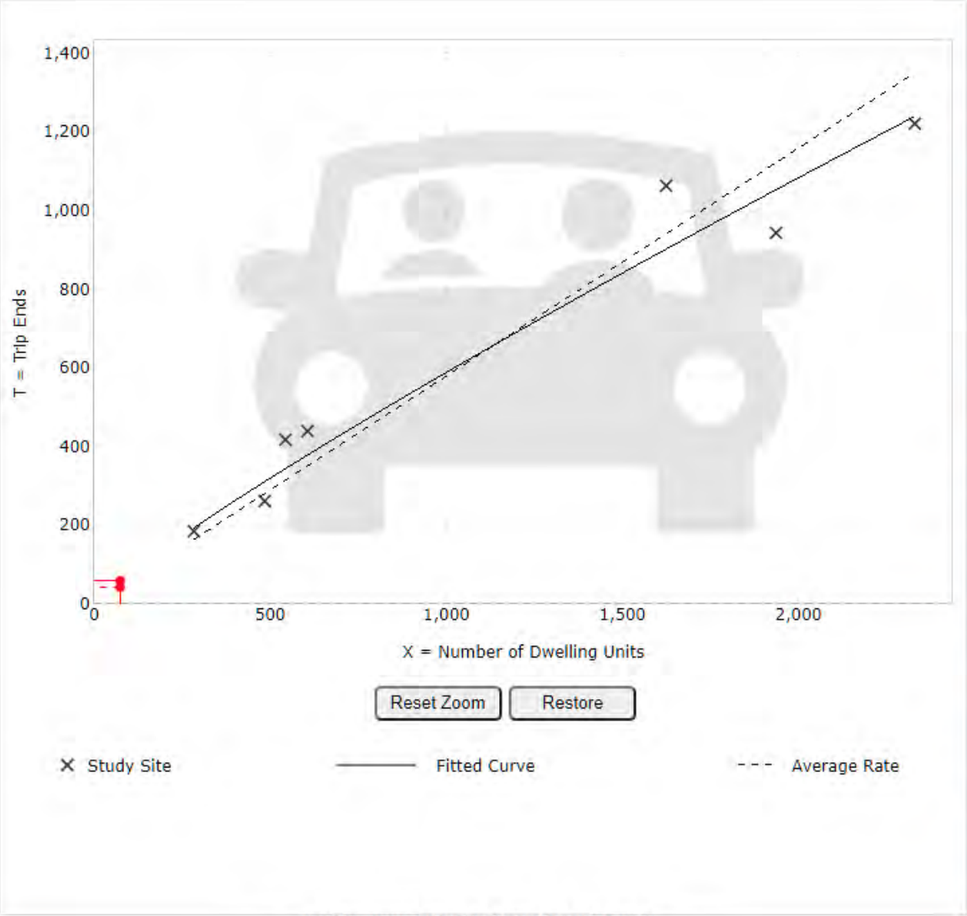
TIME PERIOD:
Weekday, AM Peak Hour of Generator

SETTING/LOCATION:
General Urban/Suburban

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
74 Calculate

Data Plot and Equation



Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

DATA STATISTICS

Independent Variable:
Dwelling Units

Time Period:
Weekday
AM Peak Hour of Generator

Setting/Location:
General Urban/Suburban

Trip Type:
Vehicle

Number of Studies:
7

Avg. Num. of Dwelling Units:
1115

Average Rate:
0.58

Range of Rates:
0.49 - 0.77

Standard Deviation:
0.10

Fitted Curve Equation:
$Ln(T) = 0.88\ Ln(X) + 0.30$

R^2:
0.96

Directional Distribution:
23% entering, 77% exiting

Calculated Trip Ends:
Average Rate: 43 (Total), 10 (Entry), 33 (Exit)
Fitted Curve: 60 (Total), 14 (Entry), 46 (Exit)

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(200-299) Residential

LAND USE :
270 - Residential Planned Unit Development

LAND USE SUBCATEGORY:
All Sites

INDEPENDENT VARIABLE (IV):
Dwelling Units

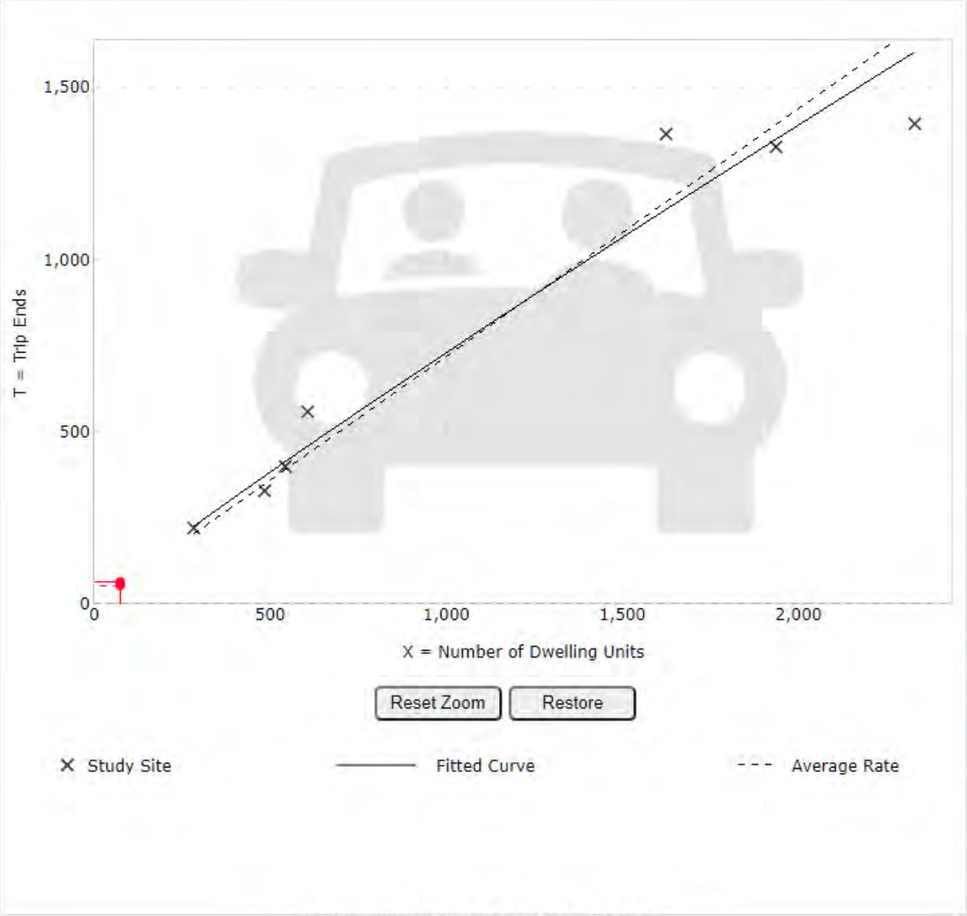
TIME PERIOD:
Weekday, PM Peak Hour of Generator

SETTING/LOCATION:
General Urban/Suburban

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
74 Calculate

Data Plot and Equation



Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

DATA STATISTICS

Independent Variable:
Dwelling Units

Time Period:
Weekday
PM Peak Hour of Generator

Setting/Location:
General Urban/Suburban

Trip Type:
Vehicle

Number of Studies:
7

Avg. Num. of Dwelling Units:
1115

Average Rate:
0.72

Range of Rates:
0.60 - 0.92

Standard Deviation:
0.11

Fitted Curve Equation:
$Ln(T) = 0.93\ Ln(X) + 0.17$

R^2:
0.97

Directional Distribution:
64% entering, 36% exiting

Calculated Trip Ends:
Average Rate: 53 (Total), 34 (Entry), 19 (Exit)
Fitted Curve: 65 (Total), 42 (Entry), 23 (Exit)

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LAND USE SUBCATEGORY:
All Sites

INDEPENDENT VARIABLE (IV):
Dwelling Units

TIME PERIOD:
Saturday

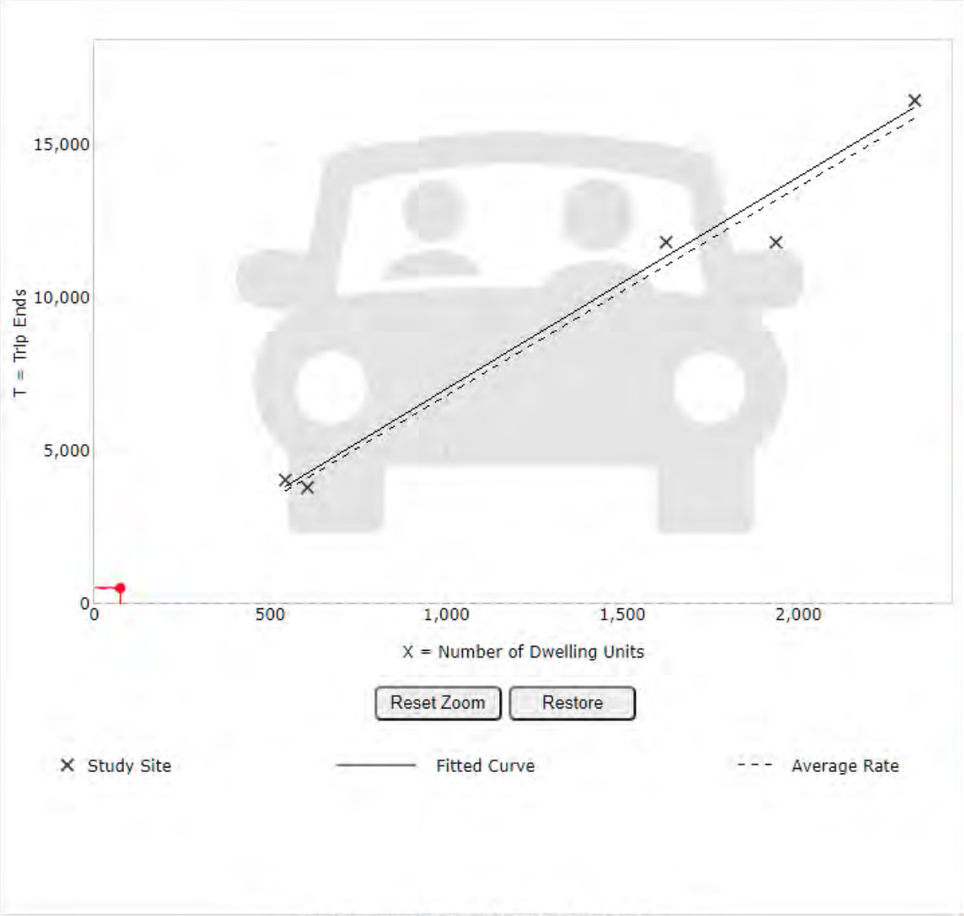
SETTING/LOCATION:
General Urban/Suburban

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
74 Calculate

Data Plot and Equation

Caution – Small Sample Size



Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

DATA STATISTICS

for more details

Independent Variable:
Dwelling Units

Time Period:
Saturday

Setting/Location:
General Urban/Suburban

Trip Type:
Vehicle

Number of Studies:
5

Avg. Num. of Dwelling Units:
1408

Average Rate:
6.82

Range of Rates:
6.11 - 7.47

Standard Deviation:
0.58

Fitted Curve Equation:
$Ln(T) = 0.99\ Ln(X) + 2.02$

R^2:
0.98

Directional Distribution:
50% entering, 50% exiting

Calculated Trip Ends:
Average Rate: 505 (Total), 252 (Entry), 253 (Exit)
Fitted Curve: 534 (Total), 267 (Entry), 267 (Exit)

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ITETripGen Web-based App

Help | Corinne Tobias | Sign out

Graph Look Up

Query | Filter

DATA SOURCE:
Trip Gen Manual, 10th Ed

New data edition is available. Click here to upgrade.

SEARCH BY LAND USE CODE:
270

LAND USE GROUP:
(200-299) Residential

LAND USE :
270 - Residential Planned Unit Development

LAND USE SUBCATEGORY:
All Sites

INDEPENDENT VARIABLE (IV):
Dwelling Units

TIME PERIOD:
Saturday, Peak Hour of Generator

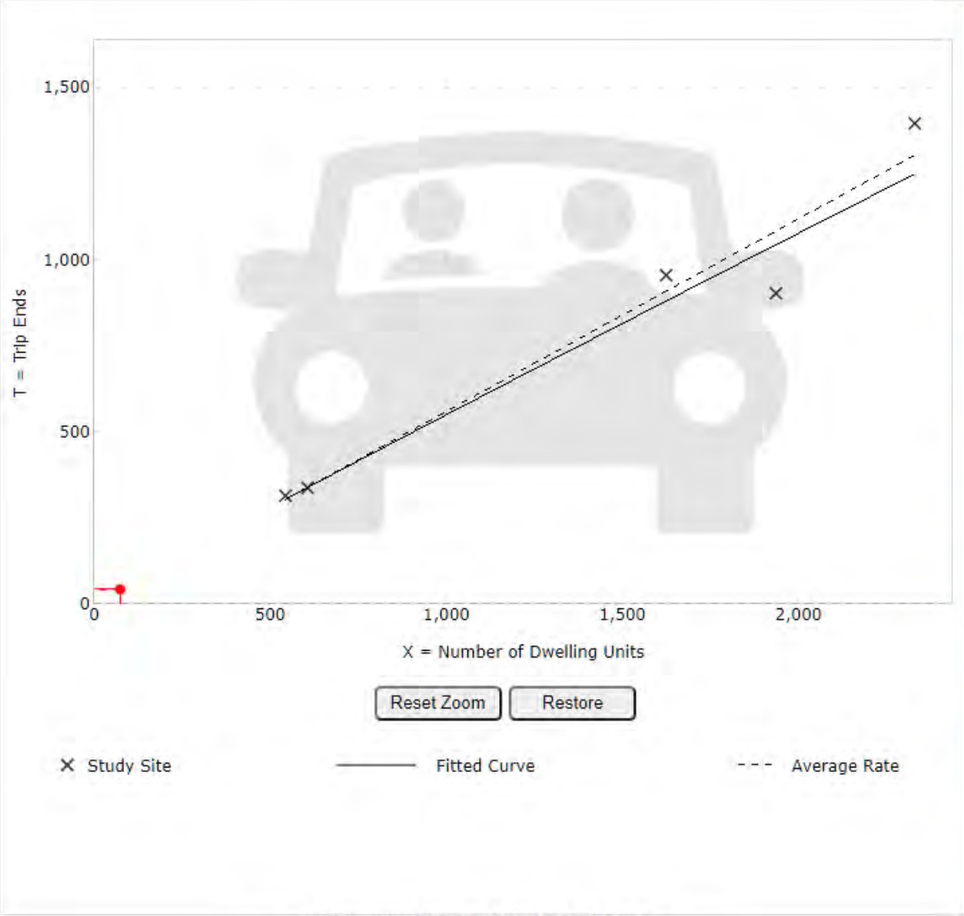
SETTING/LOCATION:
General Urban/Suburban

TRIP TYPE:
Vehicle

ENTER IV VALUE TO CALCULATE TRIPS:
74 Calculate

Data Plot and Equation

Caution – Small Sample Size



Use the mouse wheel to Zoom Out or Zoom In.
Hover the mouse pointer on data points to view X and T values.

DATA STATISTICS

Independent Variable:
Dwelling Units

Time Period:
Saturday
Peak Hour of Generator

Setting/Location:
General Urban/Suburban

Trip Type:
Vehicle

Number of Studies:
5

Avg. Num. of Dwelling Units:
1408

Average Rate:
0.56

Range of Rates:
0.47 - 0.60

Standard Deviation:
0.06

Fitted Curve Equation:
Ln(T) = 0.97 Ln(X) - 0.39

R^2:
0.98

Directional Distribution:
49% entering, 51% exiting

Calculated Trip Ends:
Average Rate: 41 (Total), 20 (Entry), 21 (Exit)
Fitted Curve: 44 (Total), 22 (Entry), 22 (Exit)

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Massachusetts School and District Profiles
Leicester

2019-20 Class Size by Gender and Selected Populations - All

Subject: All

More about the data.

Selected Populations	District	State
Total # of Classes	631	460,027
Average Class Size	19.6	17.9
Number of Students	1,512	959,877
Female %	46.2	48.6
Male %	53.6	51.4
English Language Learner %	4.2	10.8
Students with Disabilities %	16.7	18.2
Economically Disadvantaged %	27.8	34.4

Massachusetts School and District Profiles
Leicester

Enrollment Data

Enrollment by Race/Ethnicity (2020-21)		
Race	**% of District**	**% of State**
African American	5.2	9.3
Asian	3.2	7.2
Hispanic	12.9	22.3
Native American	0.1	0.2
White	75.5	56.7
Native Hawaiian, Pacific Islander	0.0	0.1
Multi-Race, Non-Hispanic	3.1	4.1

Enrollment by Gender (2020-21)		
	District	**State**
Male	733	467,362
Female	639	443,625
Non-Binary	2	478
Total	1,374	911,465

Enrollment by Grade (2020-21)																
	PK	**K**	**1**	**2**	**3**	**4**	**5**	**6**	**7**	**8**	**9**	**10**	**11**	**12**	**SP**	**Total**
Leicester Elementary	0	80	97	90	117	92	0	0	0	0	0	0	0	0	0	476
Leicester High	0	0	0	0	0	0	0	0	0	0	112	98	131	99	0	440
Leicester Integrated Preschool	33	0	0	0	0	0	0	0	0	0	0	0	0	0	0	33
Leicester Middle	0	0	0	0	0	0	88	96	128	113	0	0	0	0	0	425
District	33	80	97	90	117	92	88	96	128	113	112	98	131	99	0	1,374

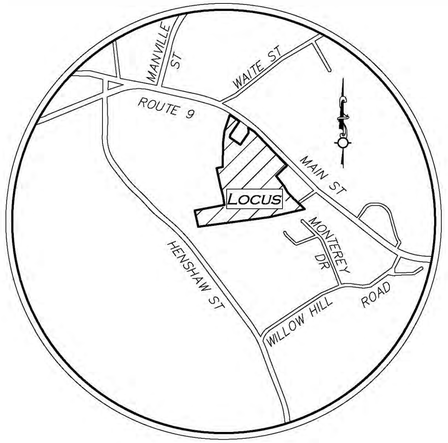
Kindergarten Enrollment (2020-21)						
Student Group	**Kindergarten Enrollment**				**Full-day Kindergarten**	
	Total	**Part-time**	**Tuitioned**	**Full-time**	**Total**	**Percent**
All Students	80	0	0	80	80	100.0
High Needs	39	0	0	39	39	100.0
Economically Disadvantaged	30	0	0	30	30	100.0
LEP English language learner	7	0	0	7	7	100.0
Students with disabilities	13	0	0	13	13	100.0
African American/Black	4					
Asian	4					
Hispanic or Latino	10	0	0	10	10	100.0
Multi-race, non-Hispanic or Latino	5					
White	57	0	0	57	57	100.0

Pre-Kindergarten Enrollment (2020-21)			
Student Group	**Total PK Enrolled**	**# Student Group Enrolled**	**% Student Group Enrolled**
All Students	33	33	100.0
Female	33	19	57.6
High Needs	33	22	66.7
Male	33	14	42.4
Economically Disadvantaged	33	14	42.4
Students with disabilities	33	17	51.5
African American/Black	33	1	3.0
Hispanic or Latino	33	7	21.2
Multi-race, non-Hispanic or Latino	33	2	6.1
White	33	23	69.7

DEFINITIVE SUBDIVISION PLANS FOR

SKYVIEW ESTATES

MAIN STREET
LEICESTER, MA 01611



LOCUS MAP
NOT TO SCALE

FOR REGISTRY USE ONLY

CONDITIONS OF APPROVAL ARE CONTAINED IN THE WRITTEN DECISION OF THE PLANNING BOARD ENTITLED, "CERTIFICATE OF APPROVAL OF A DEFINITIVE SUBDIVISION PLAN" DATED _____ 2021 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK _____ PAGE _____.

THE CONSTRUCTION OF WAYS AND INSTALLATION OF SERVICES SHOWN ON THIS PLAN ARE SECURED BY WAY OF A COVENANT, DATED _____ TO BE RECORDED HEREWITH.

APPROVAL OF THE LEICESTER PLANNING BOARD IS FOR _____ YEARS ONLY. IN THE EVENT THE WAYS AND SERVICES SHOWN ON THIS PLAN ARE NOT CONSTRUCTED AND INSTALLED WITHIN YEARS _____ FROM THE DATE OF ENDORSEMENT, THE BOARD'S APPROVAL IS RESCINDED, AND THIS PLAN IS AND SHALL BE NULL AND VOID.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET THE REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO THE CURRENT TOWNS OF LEICESTER ASSESSOR'S RECORDS.

I CERTIFY THIS PLAN HAS BEEN PREPARED IN CONFORMITY THE THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

AGENT:
RE/MAX PATRIOT REALTY
55 MEAD STREET
LEOMINSTER, MA 01453

APPLICANT
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

OWNER
E F G REALTY TRUST
EDGAR GREENEY, JR - TRUSTEE
76 MCCLELLAN STREET
AMHERST, MA 01002

CIVIL ENGINEER / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801

ENVIRONMENTAL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR BLDG 2 UNIT H
EXETER NH 03833-7507

LEICESTER PLANNING BOARD WAIVERS REQUESTED

SECTION V.A.1.f – MINIMUM CENTER LINE RADII. 200' MIN. REQUIRED
TO ALLOW CENTER LINE RADIUS OF 75' AND 100'

SECTION V.A.3.a – MAXIMUM STREET GRADE. 10%
TO ALLOW FOR A STREET GRADE OF 14% BETWEEN STA 1+00 & STA 5+00 ALONG ALIGNMENT #9 AND 20% BETWEEN STA 13+50 & STA 16+00 ALONG ALIGNMENT #7

SECTION VI.B.1A –REINFORCED CONCRETE STORM DRAINAGE PIPING REQUIRED
A WAIVER IS REQUESTED TO UTILIZE HIGH DENSITY POLYPROPYLENE (HDPE) DRAINAGE LINES OR APPROVED EQUAL WITHIN THE DRAINAGE SYSTEM OF THE SUBDIVISION.

SECTION VI.E.3 – STREET LIGHTING REQUIRED
TO ALLOW STREET LIGHTING TO BE INSTALLED AS PRIVATE DRIVEWAY LIGHT

SECTION VI.L STREET TREES SHALL BE INSTALLED ON BOTH SIDES OF THE ROADWAY
TO ALLOW FOR STREET TREE PLANTINGS TO BE INSTALLED ON ONE SIDE ONLY

SECTION VI.G.1 – SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN A SUBDIVISION
A WAIVER IS REQUESTED TO INSTALL SIDEWALKS ON ONLY 1 SIDE OF THE ROADWAY DUE TO THE STEEP TERRAIN OF THE PROPOSED SUBDIVISION AND LACK OF CONNECTION TO A MUNICIPAL SIDEWALK ALONG MAIN STREET (AKA ROUTE 9)

GENERAL NOTES

1. THE OWNER OF RECORD:

   LOT 21–B5.1
   EFG REALTY TRUST
   76 MCCLELLAN STREET
   AMHERST, MA 01002
   BOOK 16761, PAGE 78

2. ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST

LOT SIZE:	22,500 SF
LOT FRONTAGE:	100 FT.
FRONT SETBACK:	25 FT.
SIDE SETBACK:	15 FT.
REAR SETBACK:	25 FT.

3. EXISTING USE OF LOT 21–B5.1 IS VACANT LAND.

4. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.

LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	V-101	07-16-21	-
SITE PREPARATION PLAN	C-100	07-16-21	-
SUBDIVISION LAYOUT KEY PLAN	C-101	07-16-21	-
DEFINITIVE LAYOUT PLAN	C-101A	07-16-21	-
DEFINITIVE LAYOUT PLAN	C-101B	07-16-21	-
DEFINITIVE LAYOUT PLAN	C-101C	07-16-21	-
OVERALL GRADING & DRAINAGE PLAN	C-102	07-16-21	-
GRADING & DRAINAGE PLAN	C-102A	07-16-21	-
GRADING & DRAINAGE PLAN	C-102B	07-16-21	-
GRADING & DRAINAGE PLAN	C-102C	07-16-21	-
OVERALL UTILITIES PLAN	C-103	07-16-21	-
UTILITIES PLAN	C-103A	07-16-21	-
UTILITIES PLAN	C-103B	07-16-21	-
UTILITIES PLAN	C-103C	07-16-21	-
ROADWAY PROFILES ALIGNMENTS (8) & (9)	C-201	07-16-21	-
ROADWAY PROFILES ALIGNMENT (7)	C-202	07-16-21	-
DETAILS	C-501	07-16-21	-
DETAILS	C-502	07-16-21	-
DETAILS	C-503	07-16-21	-

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = ##'	DWG. :	C-2889-01_Cover
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE: COVER

SHEET No. C

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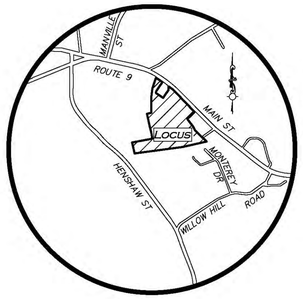
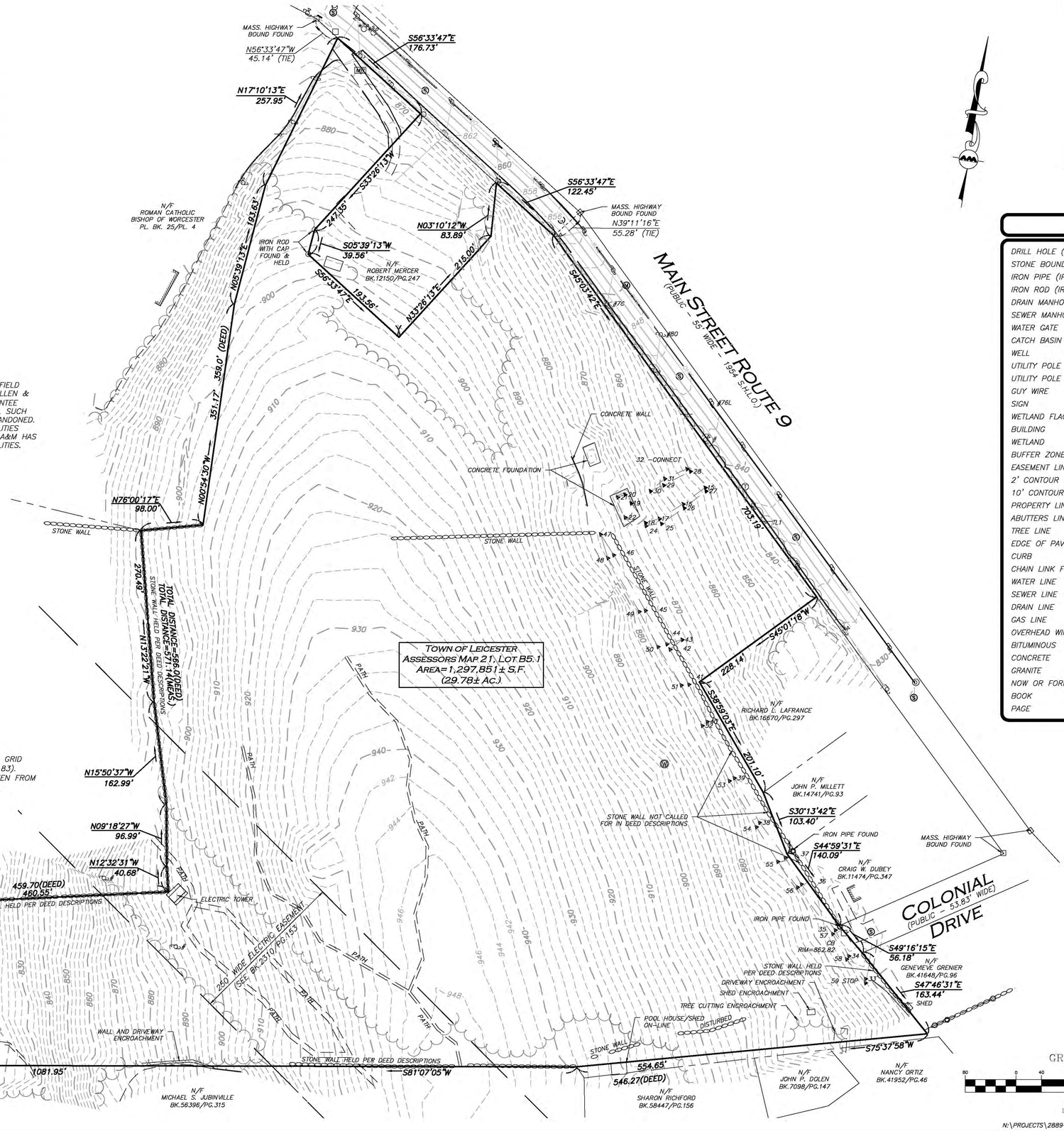
ISSUED FOR DEFINITIVE SUBDIVISION: JULY 16, 2021

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_COVER.DWG



LOCUS MAP

(NOT TO SCALE)



UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LOCUS REFERENCES

- TOWN OF LEICESTER ASSESSORS MAP 51, LOT B5.1
- RECORD OWNER: EFG REALTY TRUST
- DEED BOOK 16761, PAGE 78
- DEED BOOK 12150, PAGE 247
- DEED BOOK 3160, PAGE 136
- DEED BOOK 3142, PAGE 185
- DEED BOOK 3133, PAGE 297
- DEED BOOK 3117, PAGE 204
- DEED BOOK 3096, PAGE 487
- DEED BOOK 3085, PAGE 328
- DEED BOOK 3085, PAGE 318
- DEED BOOK 3075, PAGE 346
- DEED BOOK 3053, PAGE 61
- DEED BOOK 3052, PAGE 600
- DEED BOOK 3052, PAGE 599
- DEED BOOK 2310, PAGE 153

PLAN REFERENCES

- PLAN BOOK 25, PLAN 4
- PLAN BOOK 178, PLAN 33
- PLAN BOOK 254, PLAN 110
- PLAN BOOK 281, PLAN 59
- PLAN BOOK 357, PLAN 112
- PLAN BOOK 619, PLAN 99
- PLAN BOOK 775, PLAN 2
- PLAN BOOK 794, PLAN 34

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER (SOUTH) REGISTRY OF DEEDS IN WORCESTER, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').

FOR REGISTRY USE ONLY

LEGEND

DRILL HOLE (DH)	
STONE BOUND (SB)	
IRON PIPE (IP)	
IRON ROD (IR)	
DRAIN MANHOLE (DMH)	
SEWER MANHOLE (SMH)	
WATER GATE	
CATCH BASIN (CB)	
WELL	
UTILITY POLE W/LIGHT	
UTILITY POLE	
GUY WIRE	
SIGN	
WETLAND FLAG	A31
BUILDING	
WETLAND	
BUFFER ZONE	
EASEMENT LINE	
2' CONTOUR	858
10' CONTOUR	860
PROPERTY LINE	
ABUTTERS LINE	
TREE LINE	
EDGE OF PAVEMENT	
CURB	
CHAIN LINK FENCE	x
WATER LINE	W
SEWER LINE	S
DRAIN LINE	D
GAS LINE	G
OVERHEAD WIRES	OHW
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

GRAPHIC SCALE

80 0 40 80 160 320

(IN FEET)
1 inch = 80 ft.

N:\PROJECTS\2889-01\SURVEY\DRAWINGS\CURRENT\S-2889-01-EC.DWG

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JANUARY 10, 2021 AND FEBRUARY 9, 2021.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.

ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF LEICESTER ASSESSOR'S INFORMATION.

THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

651 MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	03/08/21
SCALE:	1" = 80'	DWG. NAME:	S-2889-01-EC
DRAFTED BY:	AJR	CHECKED BY:	NIL

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
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WOBURN MA 01801-8501
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FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE: EXISTING CONDITIONS

SHEET No. V-101

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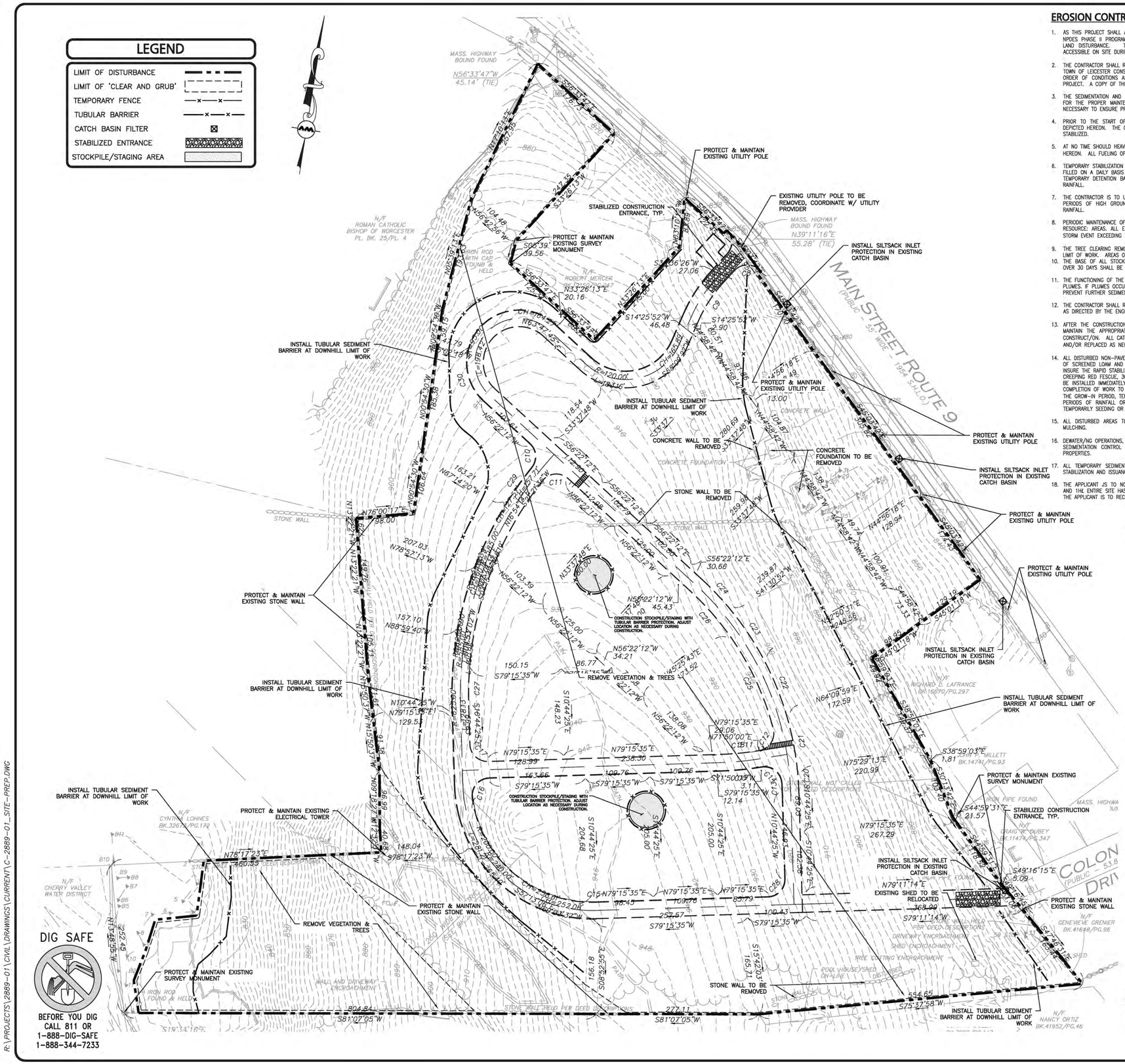

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_SITE-PREP.DWG

EROSION CONTROL NOTES

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT "ORDER OF CONDITIONS" AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE: TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL. MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE: AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING ½"OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE /INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCT/ON. ALL CATCH BASINS SHALL HAVE A SILT SAC CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEWATER/NG OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS. AND ABUTTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT JS TO NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS. THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE: THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = 80'	DWG. : C-2889-01_Site-Prep	
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE: SITE PREPARATION PLAN

SHEET No. C-100

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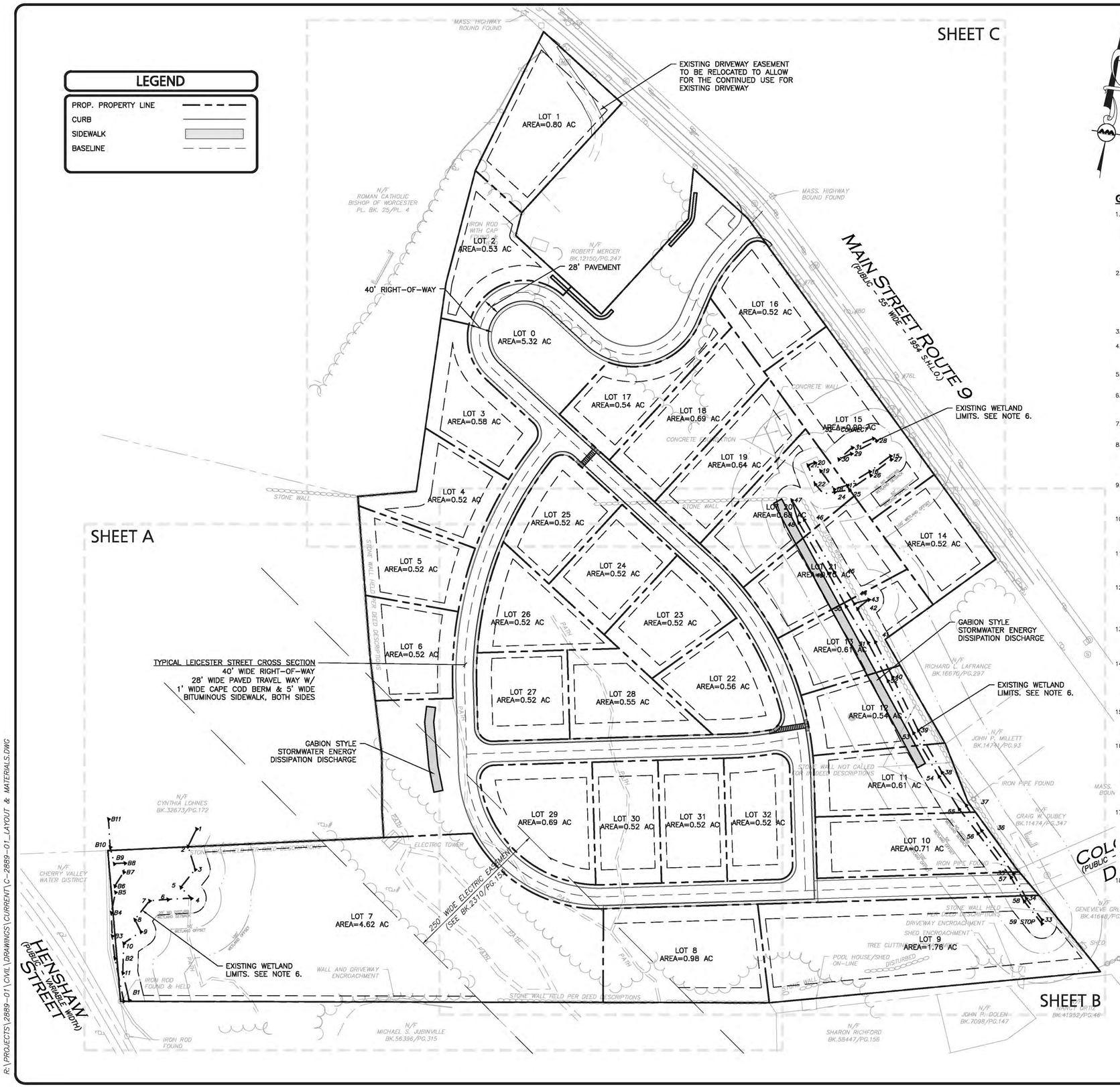

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1-888-344-7233

FOR REGISTRY USE ONLY

GENERAL NOTES

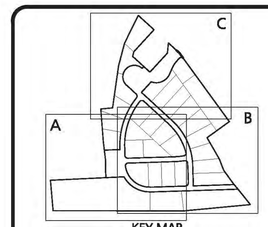
1. THE OWNER OF RECORD:

   LOT 21-B5.1
   EFG REALTY TRUST
   76 MCCLELLAN STREET
   AMHERST, MA 01002
   BOOK 16761, PAGE 78

2. ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST

LOT SIZE:	22,500 SF
LOT FRONTAGE:	100 FT.
FRONT SETBACK:	25 FT.
SIDE SETBACK:	15 FT.
REAR SETBACK:	25 FT.

3. EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
4. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
5. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
6. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
7. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
8. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
9. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTORS EXPENSE.
10. IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS. ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
11. A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
12. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE TOWN, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
13. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
14. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
15. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED , WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEATH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
18. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



KEY MAP
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = 80'	DWG. : C2889-01_Layout & Materials	
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE:
DEFINITIVE SUBDIVISION
KEY PLAN

SHEET No.
C-101

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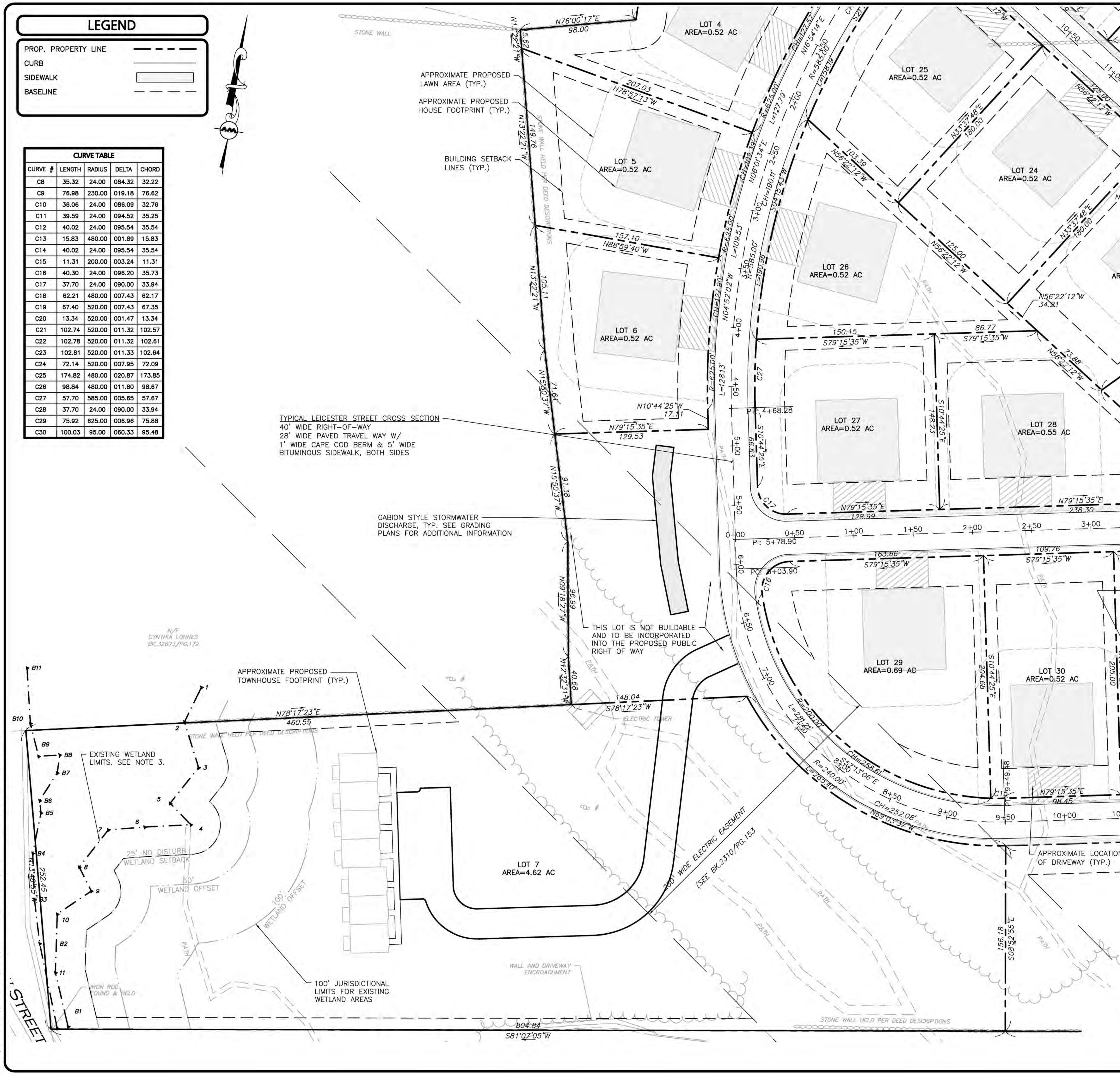
LEGEND

PROP. PROPERTY LINE	— — —
CURB	———
SIDEWALK	▭
BASELINE	— — — —

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C8	35.32	24.00	084.32	32.22
C9	76.98	230.00	019.18	76.62
C10	36.06	24.00	086.09	32.76
C11	39.59	24.00	094.52	35.25
C12	40.02	24.00	095.54	35.54
C13	15.83	480.00	001.89	15.83
C14	40.02	24.00	095.54	35.54
C15	11.31	200.00	003.24	11.31
C16	40.30	24.00	096.20	35.73
C17	37.70	24.00	090.00	33.94
C18	62.21	480.00	007.43	62.17
C19	67.40	520.00	007.43	67.35
C20	13.34	520.00	001.47	13.34
C21	102.74	520.00	011.32	102.57
C22	102.78	520.00	011.32	102.61
C23	102.81	520.00	011.33	102.64
C24	72.14	520.00	007.95	72.09
C25	174.82	480.00	020.87	173.85
C26	98.84	480.00	011.80	98.67
C27	57.70	585.00	005.65	57.67
C28	37.70	24.00	090.00	33.94
C29	75.92	625.00	006.96	75.88
C30	100.03	95.00	060.33	95.48



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1-888-344-7233

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CONDITIONS OF APPROVAL ARE CONTAINED IN THE WRITTEN DECISION OF THE PLANNING BOARD ENTITLED, "CERTIFICATE OF APPROVAL OF A DEFINITIVE SUBDIVISION PLAN" DATED ____________ 2021 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK _____ PAGE _____.

THE CONSTRUCTION OF WAYS AND INSTALLATION OF SERVICES SHOWN ON THIS PLAN ARE SECURED BY WAY OF A COVENANT, DATED ____________ TO BE RECORDED HEREWITH.

APPROVAL OF THE LEICESTER PLANNING BOARD IS FOR _____ YEARS ONLY. IN THE EVENT THE WAYS AND SERVICES SHOWN ON THIS PLAN ARE NOT CONSTRUCTED AND INSTALLED WITHIN YEARS _______ FROM THE DATE OF ENDORSEMENT, THE BOARD'S APPROVAL IS RESCINDED, AND THIS PLAN IS AND SHALL BE NULL AND VOID.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET THE REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO THE CURRENT TOWNS OF LEICESTER ASSESSOR'S RECORDS.

I CERTIFY THIS PLAN HAS BEEN PREPARED IN CONFORMITY THE THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

ZONING BUSINESS (B) & SUBURBAN AGRICULTURAL (SA)	
ITEM	REQUIRED
LOT AREA	22,500 S.F.
FRONTAGE	100 FEET
FRONT YARD	25 FEET
REAR YARD	25 FEET
SIDE YARD	15 FEET

GENERAL NOTES

1. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
3. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
4. A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
5. IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS. ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
6. THE DRAINAGE AND UTILITY EASEMENTS DEPICTED HEREON ARE REQUIRED BY THE TOWN OF LEICESTER DEPARTMENT OF PUBLIC WORKS IN ORDER TO MAINTAIN THE DRAINAGE INFRASTRUCTURE (LINES, MANHOLES, SWALES. PONDS, ETC.) AND SHALL BE GRANTED TO THE TOWN OF LEICESTER.
7. ALL PROPOSED LOTS TO BE SERVICED BY MUNICIPAL WATER (LEICESTER WATER SUPPLY DISTRICT) AND MUNICIPAL SEWER (CHERRY VALLEY SEWER DISTRICT).
8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

KEY MAP
NOT TO SCALE
A B C

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: ____________

LEICESTER PLANNING BOARD

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TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
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PROJECT NO.	2889-01	DATE:	07-16-21
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DRAWING TITLE:	SHEET No.
DEFINITIVE LAYOUT PLAN	C-101A

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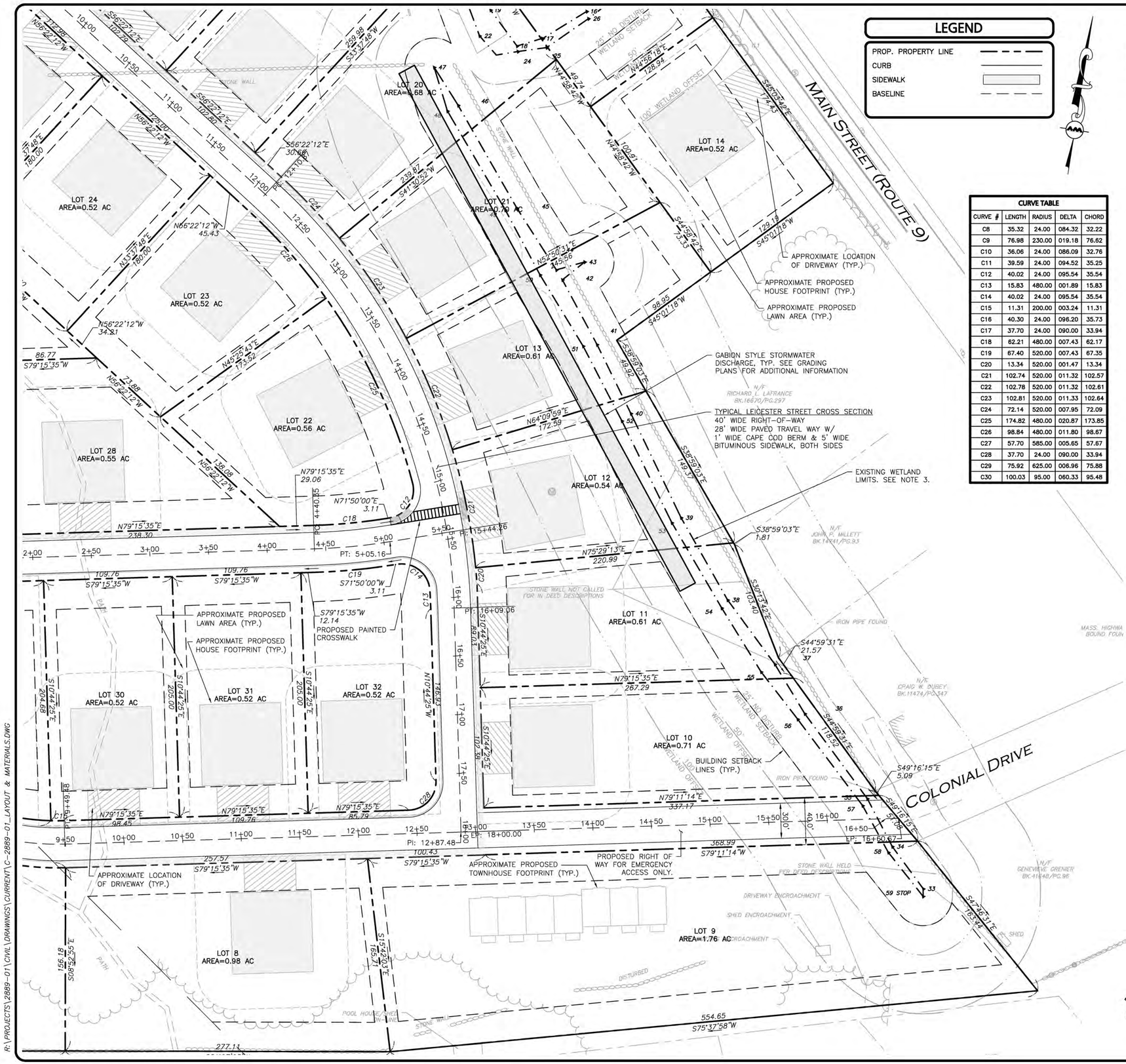

LEGEND

PROP. PROPERTY LINE	
CURB	
SIDEWALK	
BASELINE	

DIG SAFE

BEFORE YOU DIG
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C14	40.02	24.00	095.54	35.54
C15	11.31	200.00	003.24	11.31
C16	40.30	24.00	096.20	35.73
C17	37.70	24.00	090.00	33.94
C18	62.21	480.00	007.43	62.17
C19	67.40	520.00	007.43	67.35
C20	13.34	520.00	001.47	13.34
C21	102.74	520.00	011.32	102.57
C22	102.78	520.00	011.32	102.61
C23	102.81	520.00	011.33	102.64
C24	72.14	520.00	007.95	72.09
C25	174.82	480.00	020.87	173.85
C26	98.84	480.00	011.80	98.67
C27	57.70	585.00	005.65	57.67
C28	37.70	24.00	090.00	33.94
C29	75.92	625.00	006.96	75.88
C30	100.03	95.00	060.33	95.48

FOR REGISTRY USE ONLY

CONDITIONS OF APPROVAL ARE CONTAINED IN THE WRITTEN DECISION OF THE PLANNING BOARD ENTITLED, "CERTIFICATE OF APPROVAL OF A DEFINITIVE SUBDIVISION PLAN" DATED _____ 2021 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK _____ PAGE _____.

THE CONSTRUCTION OF WAYS AND INSTALLATION OF SERVICES SHOWN ON THIS PLAN ARE SECURED BY WAY OF A COVENANT, DATED _____ TO BE RECORDED HEREWITH.

APPROVAL OF THE LEICESTER PLANNING BOARD IS FOR _____ YEARS ONLY. IN THE EVENT THE WAYS AND SERVICES SHOWN ON THIS PLAN ARE NOT CONSTRUCTED AND INSTALLED WITHIN YEARS _____ FROM THE DATE OF ENDORSEMENT, THE BOARD'S APPROVAL IS RESCINDED, AND THIS PLAN IS AND SHALL BE NULL AND VOID.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET THE REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO THE CURRENT TOWNS OF LEICESTER ASSESSOR'S RECORDS.

I CERTIFY THIS PLAN HAS BEEN PREPARED IN CONFORMITY THE THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

ZONING BUSINESS (B) & SUBURBAN AGRICULTURAL (SA)	
ITEM	REQUIRED
LOT AREA	22,500 S.F.
FRONTAGE	100 FEET
FRONT YARD	25 FEET
REAR YARD	25 FEET
SIDE YARD	15 FEET

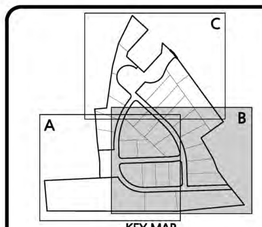
GENERAL NOTES

1. NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
3. AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
4. A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
5. IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS. ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
6. THE DRAINAGE AND UTILITY EASEMENTS DEPICTED HEREON ARE REQUIRED BY THE TOWN OF LEICESTER DEPARTMENT OF PUBLIC WORKS IN ORDER TO MAINTAIN THE DRAINAGE INFRASTRUCTURE (LINES, MANHOLES, SWALES, PONDS, ETC.) AND SHALL BE GRANTED TO THE TOWN OF LEICESTER.
7. ALL PROPOSED LOTS TO BE SERVICED BY MUNICIPAL WATER (LEICESTER WATER SUPPLY DISTRICT) AND MUNICIPAL SEWER (CHERRY VALLEY SEWER DISTRICT).
8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.



KEY MAP
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = 40'	DWG. : C2889-01_Layout & Materials	
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE:
DEFINITIVE LAYOUT PLAN

SHEET No.
C-101B

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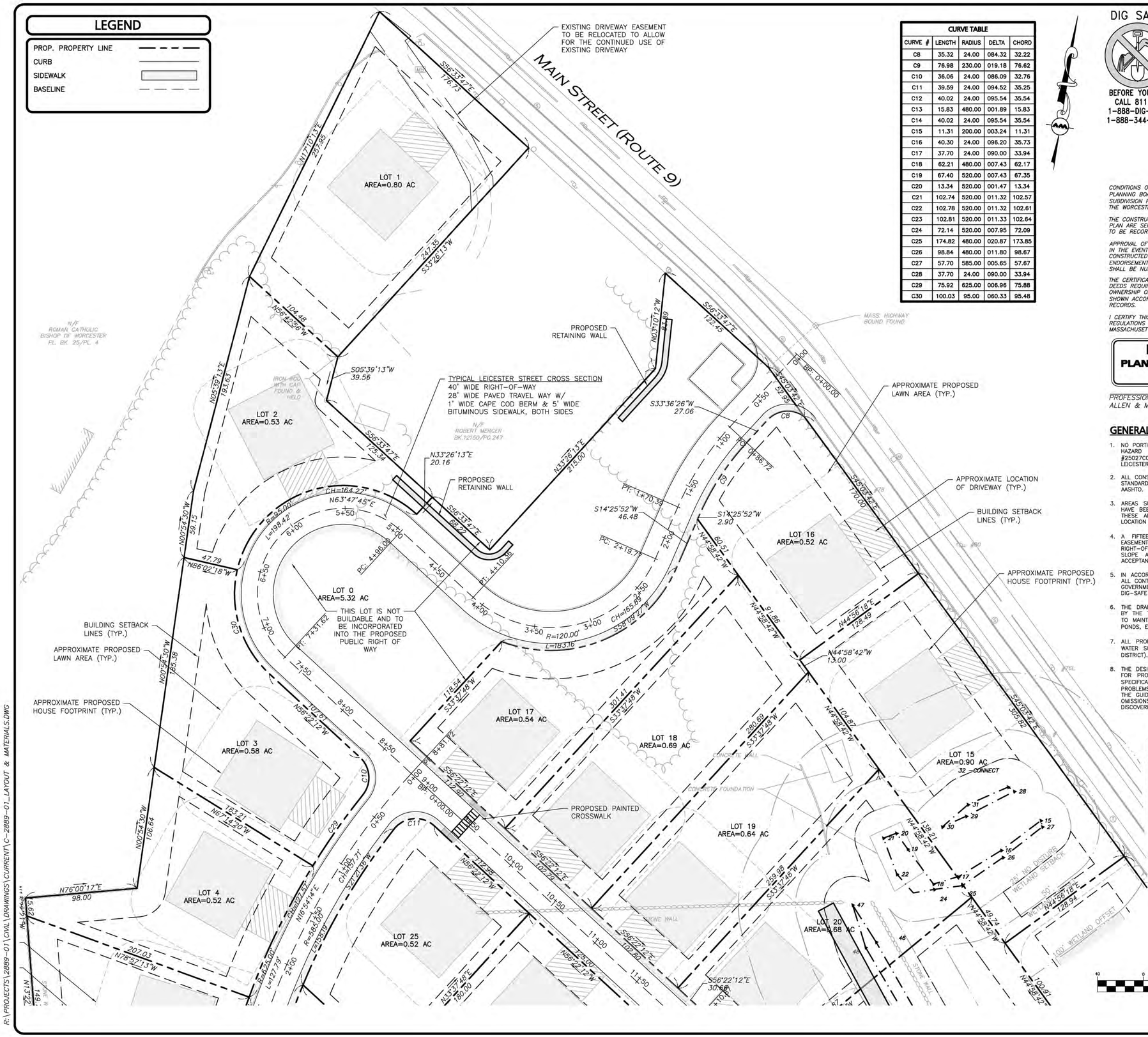
LEGEND

PROP. PROPERTY LINE	— — — —
CURB	———
SIDEWALK	▭
BASELINE	— — — —



CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C8	35.32	24.00	084.32	32.22
C9	76.98	230.00	019.18	76.62
C10	36.06	24.00	086.09	32.76
C11	39.59	24.00	094.52	35.25
C12	40.02	24.00	095.54	35.54
C13	15.83	480.00	001.89	15.83
C14	40.02	24.00	095.54	35.54
C15	11.31	200.00	003.24	11.31
C16	40.30	24.00	096.20	35.73
C17	37.70	24.00	090.00	33.94
C18	62.21	480.00	007.43	62.17
C19	67.40	520.00	007.43	67.35
C20	13.34	520.00	001.47	13.34
C21	102.74	520.00	011.32	102.57
C22	102.78	520.00	011.32	102.61
C23	102.81	520.00	011.33	102.64
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C29	75.92	625.00	006.96	75.88
C30	100.03	95.00	060.33	95.48

DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

FOR REGISTRY USE ONLY

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ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL LAND SURVEYOR FOR
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ZONING
BUSINESS (B) & SUBURBAN AGRICULTURAL (SA)

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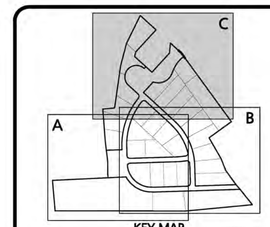

KEY MAP
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PROFESSIONAL ENGINEER FOR
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REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES RESIDENTIAL SUBDIVISION

MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = 40'	DWG. : C-2889-01_Layout & Materials	
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

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civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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DRAWING TITLE:

DEFINITIVE LAYOUT PLAN

SHEET No.

C-101C

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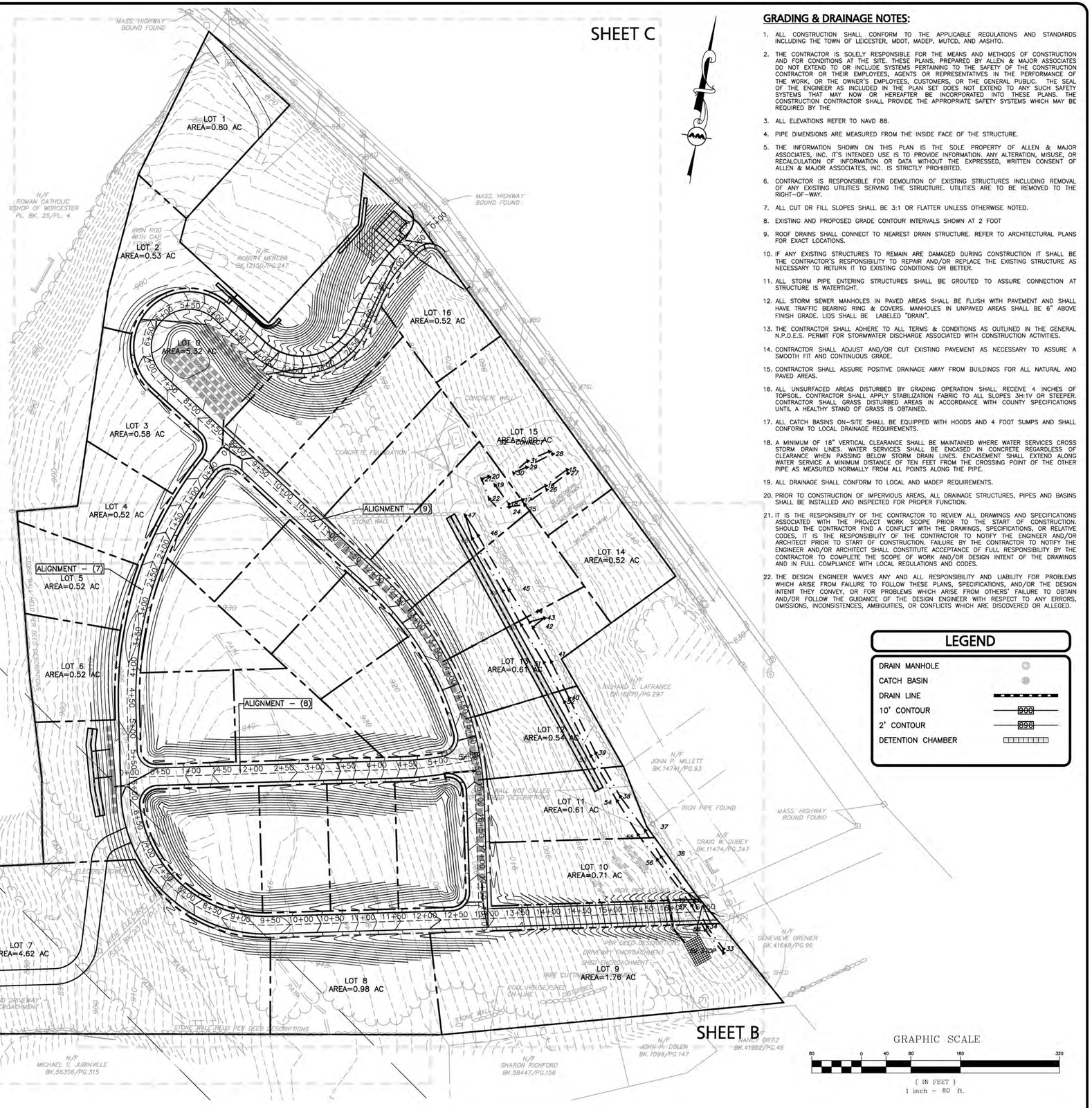
EROSION CONTROL NOTES

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT "ORDER OF CONDITIONS" AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE: TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL. MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE: AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING ½"OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE /INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCT/ON. ALL CATCH BASINS SHALL HAVE A SILT SAC CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEWATER/NG OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS. AND ABUTTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT JS TO NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND 1HE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS. THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE: THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.



GRADING & DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
3. ALL ELEVATIONS REFER TO NAVD 88.
4. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
7. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
8. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT
9. ROOF DRAINS SHALL CONNECT TO NEAREST DRAIN STRUCTURE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
10. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
11. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
14. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
15. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
17. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
18. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
19. ALL DRAINAGE SHALL CONFORM TO LOCAL AND MADEP REQUIREMENTS.
20. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
21. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
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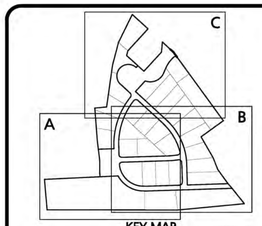
LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- DETENTION CHAMBER



KEY MAP
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APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = 80'	DWG. : C2889-01_Grading & Drainage	
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE:
OVERALL GRADING & DRAINAGE PLAN

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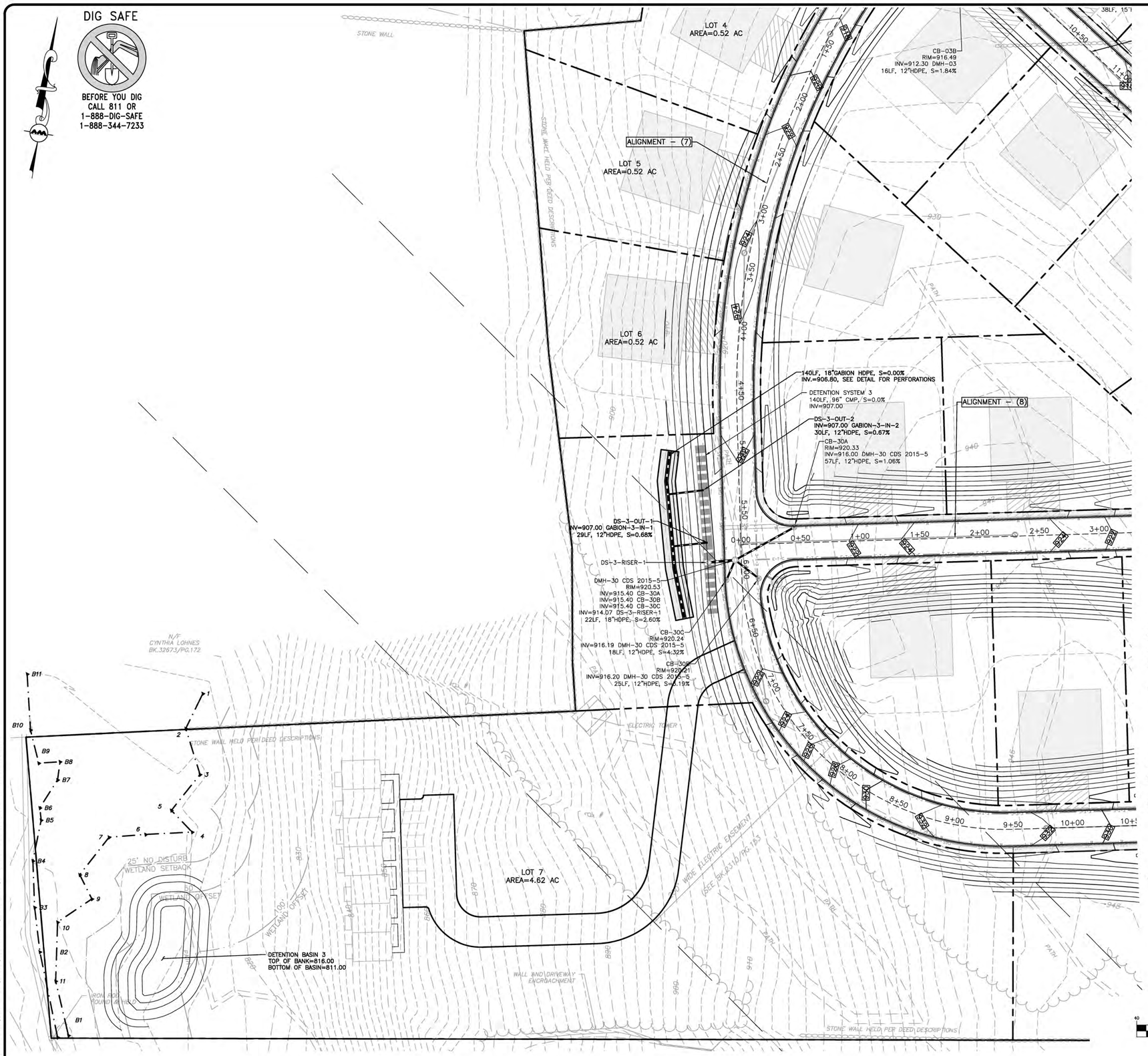

LEGEND

DRAIN MANHOLE	
CATCH BASIN	
DRAIN LINE	
10' CONTOUR	880
2' CONTOUR	886
DETENTION CHAMBER	

GRADING & DRAINAGE NOTES:

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2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
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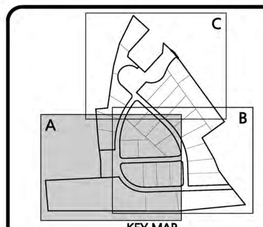
GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.



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TOWN CLERK – TOWN OF LEICESTER

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JULY 16, 2021

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ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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ROCKVILLE CENTER, NY 11570

PROJECT:

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LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
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DRAWING TITLE:

GRADING & DRAINAGE PLAN

SHEET No.

C-102A

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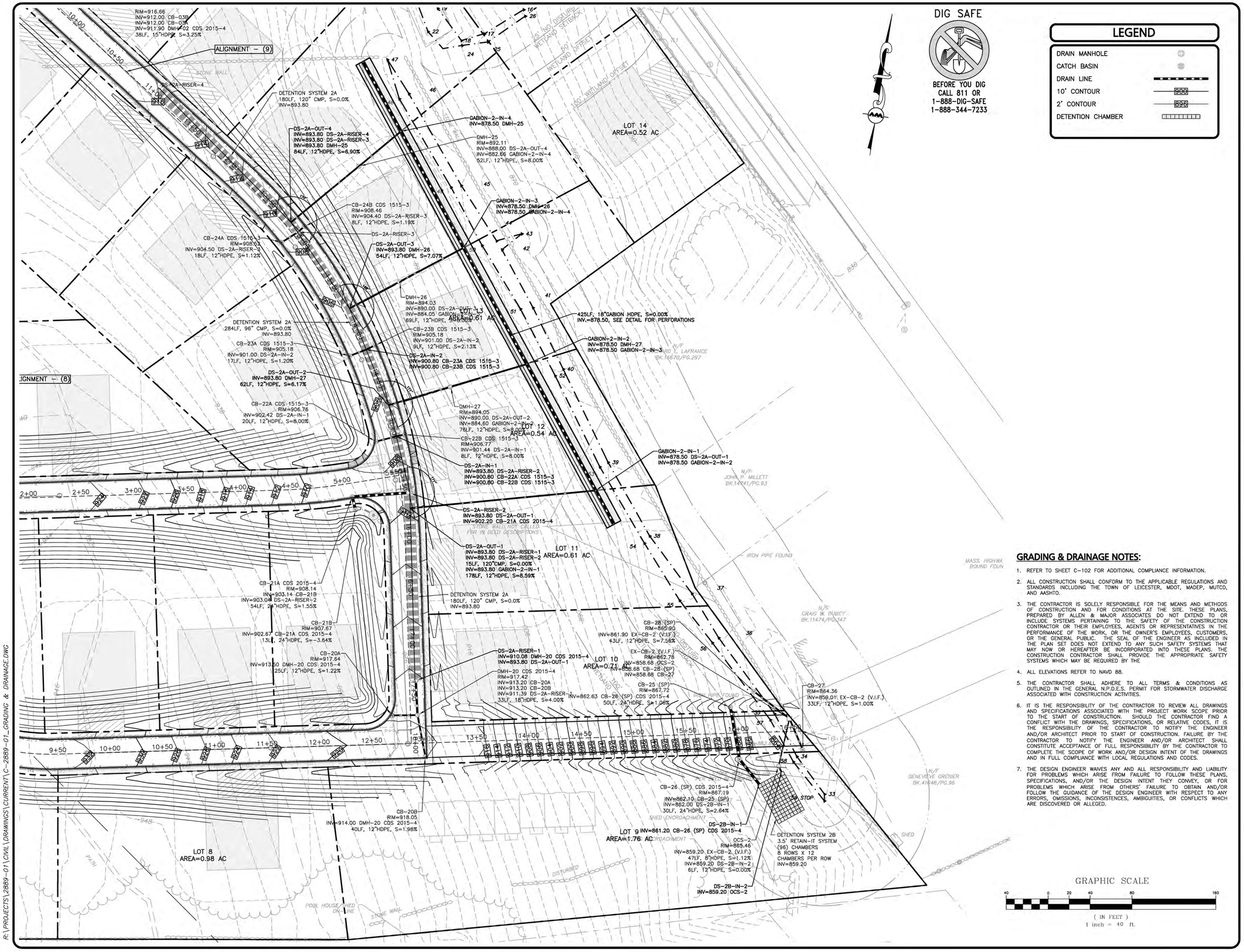

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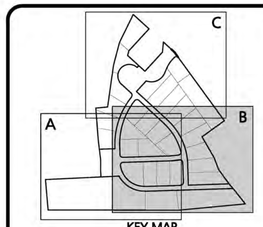

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REV	DATE	DESCRIPTION

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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

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LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
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DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

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GRADING & DRAINAGE PLAN

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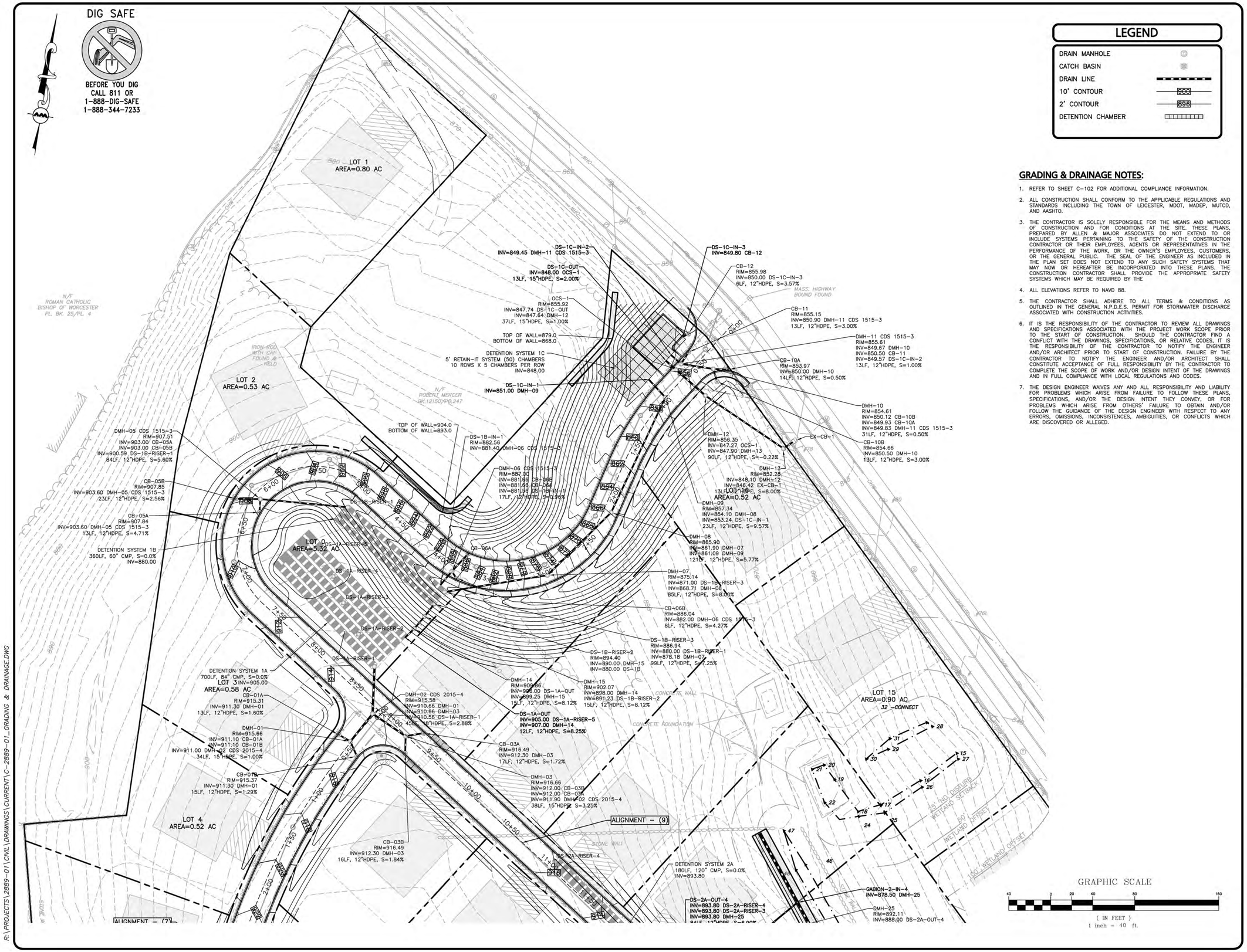

LEGEND

DRAIN MANHOLE	
CATCH BASIN	
DRAIN LINE	
10' CONTOUR	880
2' CONTOUR	886
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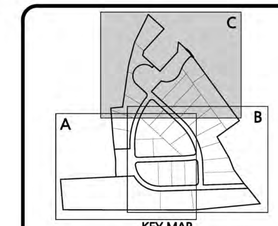

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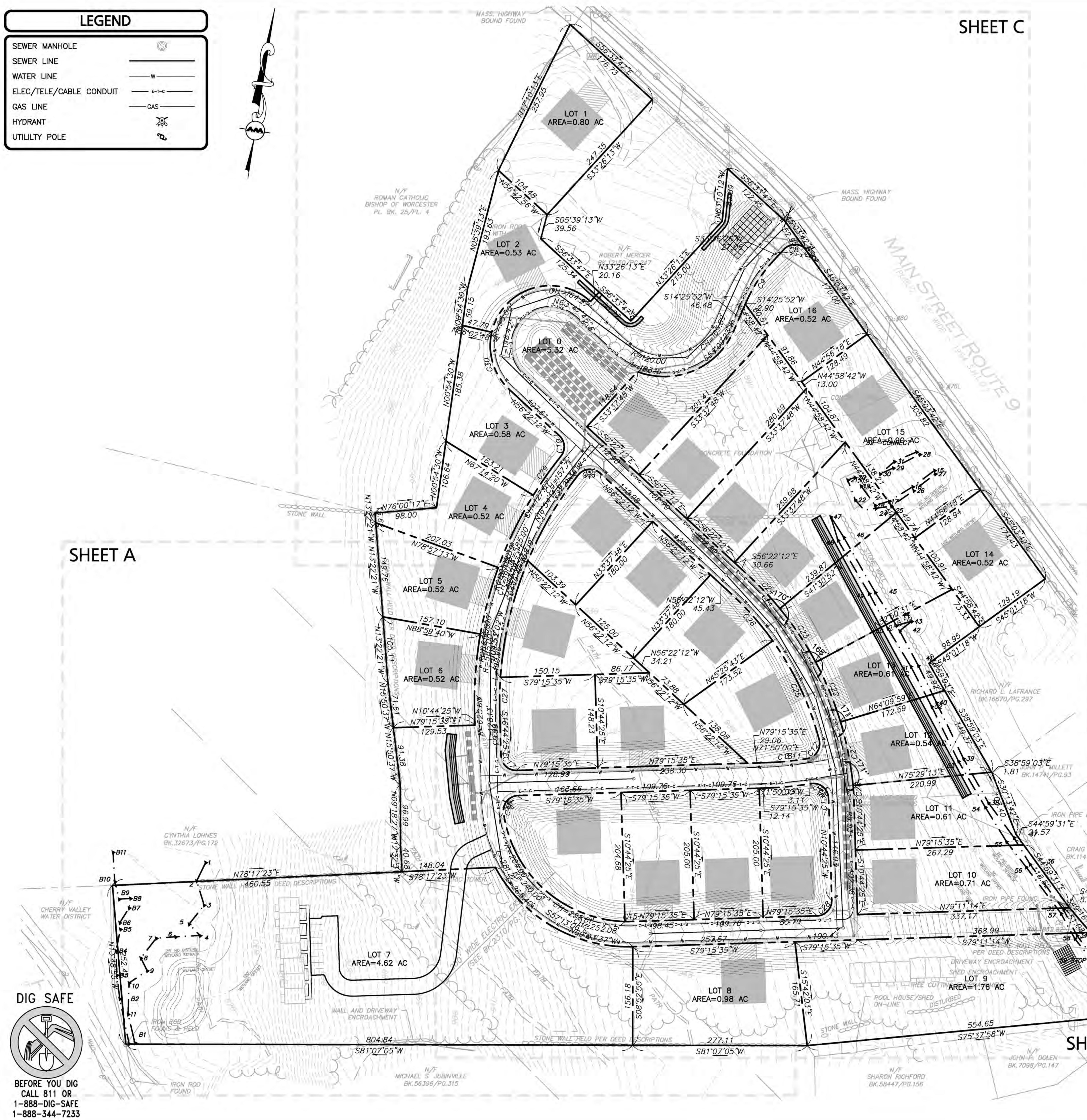

UTILITY NOTES:

1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAT 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
5. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MADOT, MADEP, MUTCD, AND AASHTO.
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7. ALL ELEVATIONS REFER TO NAVD 88.
8. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
9. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
10. LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE CITY OF DOVER REGULATIONS AND ELECTRIC COMPANY.
11. LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
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STREET/LOT LIGHTING NOTES:

1. EACH LOT SHALL BE PROVIDED WITH A STANDARD LAMP POST LIGHT ON THE LOT NEAR THE INTERSECTION OF THE DRIVEWAY WITH THE STREET RIGHT-OF-WAY LINE. THE TYPE AND INSTALLATION SHALL BE AS DIRECTED BY THE TOWN OF LEICESTER PLANNING BOARD AND IN ACCORDANCE WITH THE STATE ELECTRICAL CODES.
2. EACH LOT LIGHT SHALL BE PLACED ON A DUSK TO DAWN TIMER AND SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER AND MAINTAINED IN PERPETUITY AS STATED IN THE RECORDED COVENANTS.

KEY MAP
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: ______

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = 80'	DWG. :	C-2889-01_Utilities
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE: OVERALL UTILITIES PLAN

SHEET No. C-103

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LEGEND

SEWER MANHOLE	S
SEWER LINE	
WATER LINE	W
ELEC/TELE/CABLE CONDUIT	E-T-C
GAS LINE	GAS
HYDRANT	
UTILILTY POLE	

GENERAL PLAN NOTES:

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3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
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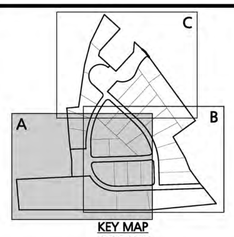
GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_UTILITIES.DWG



KEY MAP
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APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

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LEICESTER PLANNING BOARD

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TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
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JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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PROJECT:
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MAIN STREET
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PROJECT NO.	2889-01	DATE:	07-16-21
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DESIGNED BY:	SM	CHECKED BY:	MAM

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DRAWING TITLE:
GRADING & DRAINAGE PLAN

SHEET No.
C-103A

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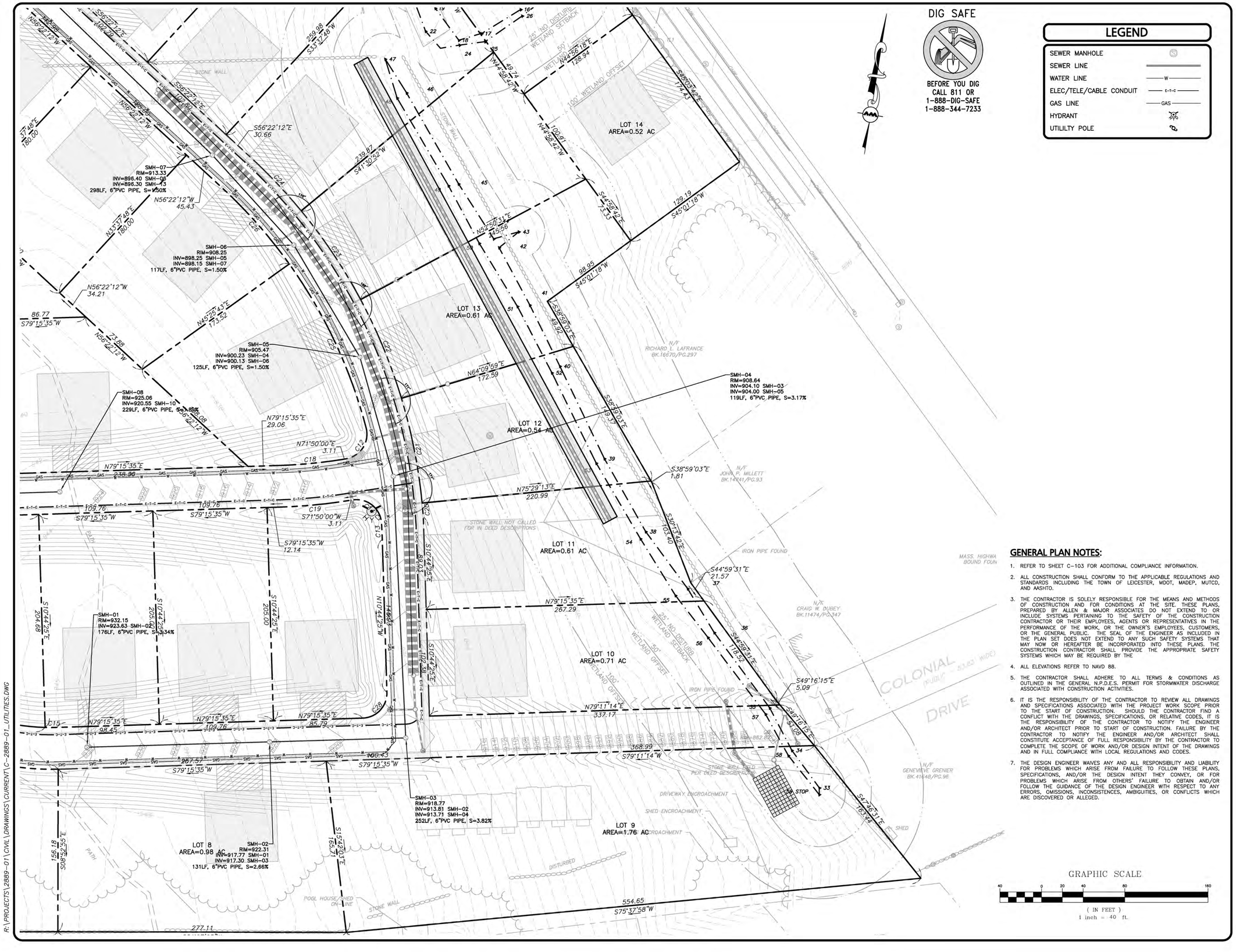

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LEGEND

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SEWER LINE	
WATER LINE	W
ELEC/TELE/CABLE CONDUIT	E-T-C
GAS LINE	GAS
HYDRANT	
UTILILTY POLE	

GENERAL PLAN NOTES:

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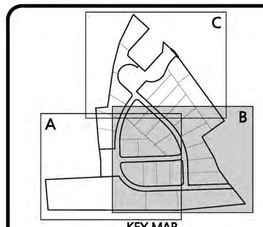

KEY MAP
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APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

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TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = ##'	DWG. : C-2889-01_Utilities	
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

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DRAWING TITLE: UTILITY PLAN

SHEET No. C-103B

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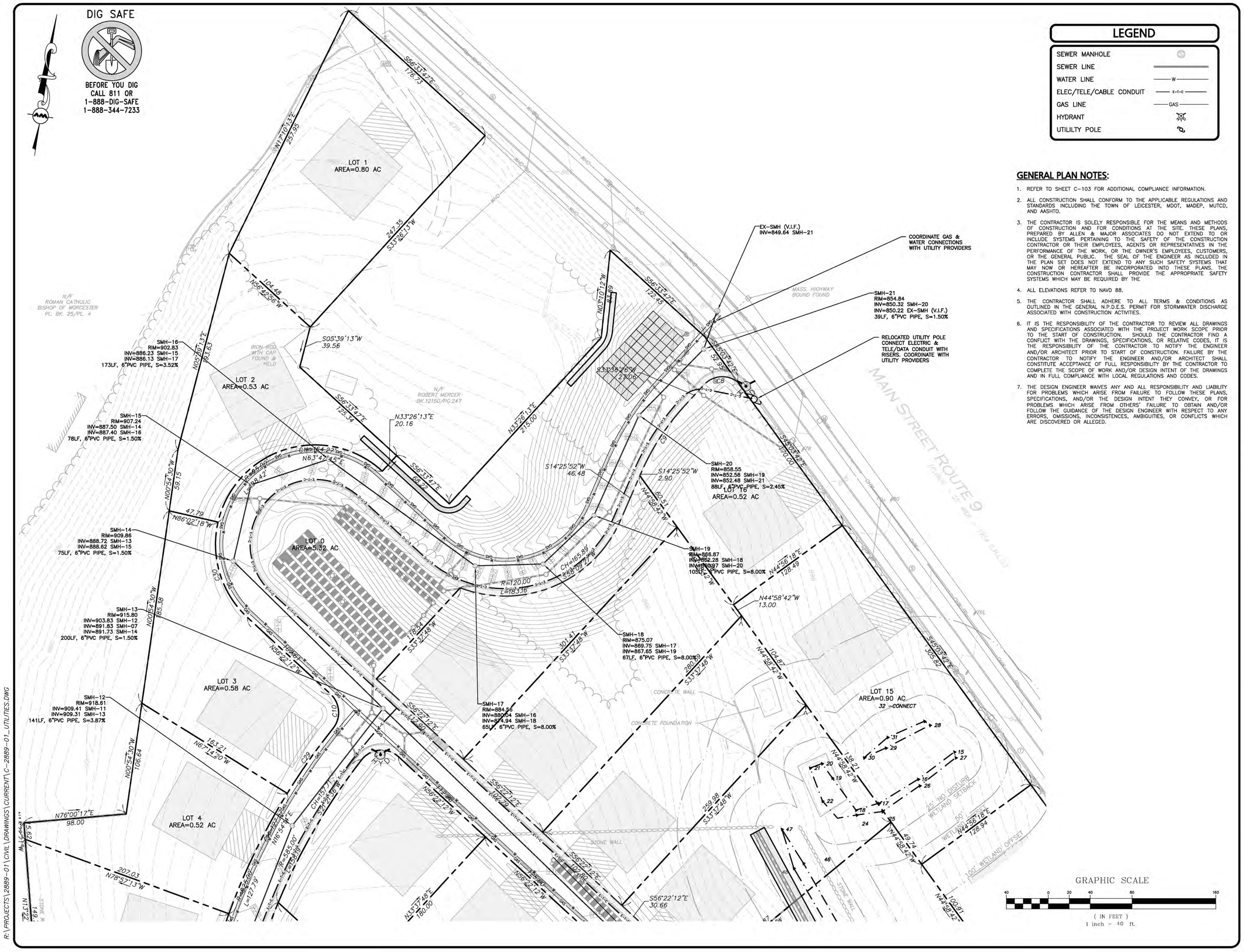

LEGEND

SEWER MANHOLE	
SEWER LINE	
WATER LINE	W
ELEC/TELE/CABLE CONDUIT	E-T-C
GAS LINE	GAS
HYDRANT	
UTILILTY POLE	

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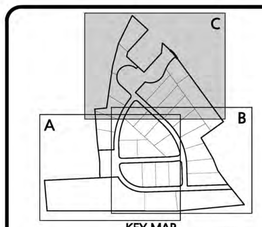

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DRAWING TITLE:
UTILITY PLAN

SHEET No.
C-103C

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GENERAL NOTES

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3. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
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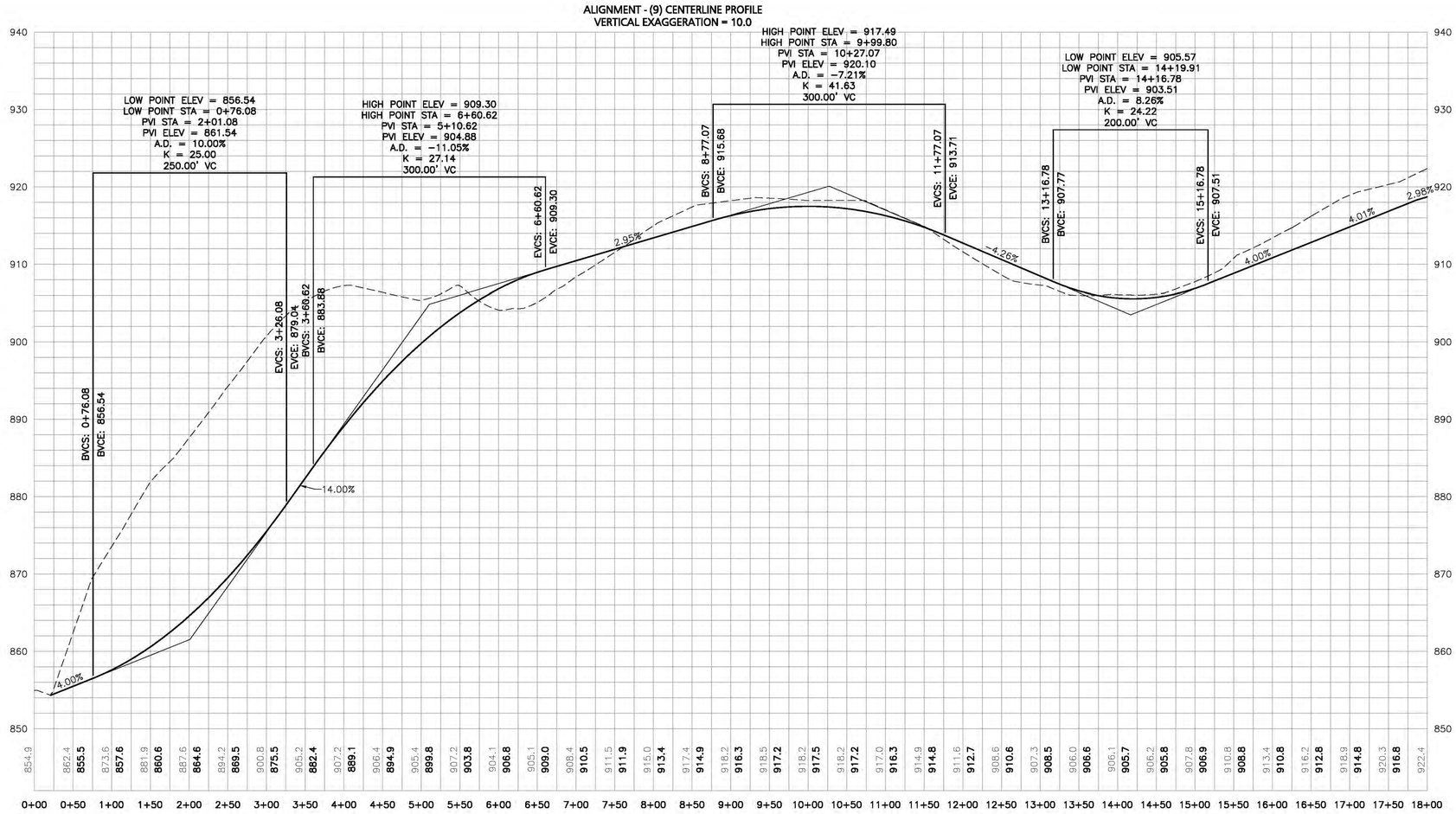

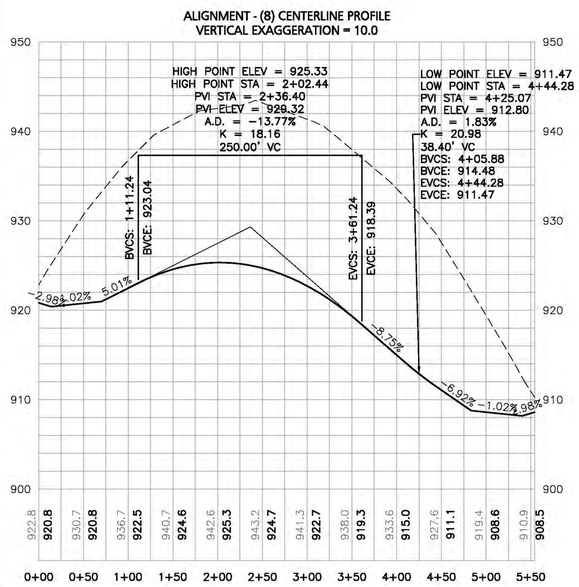

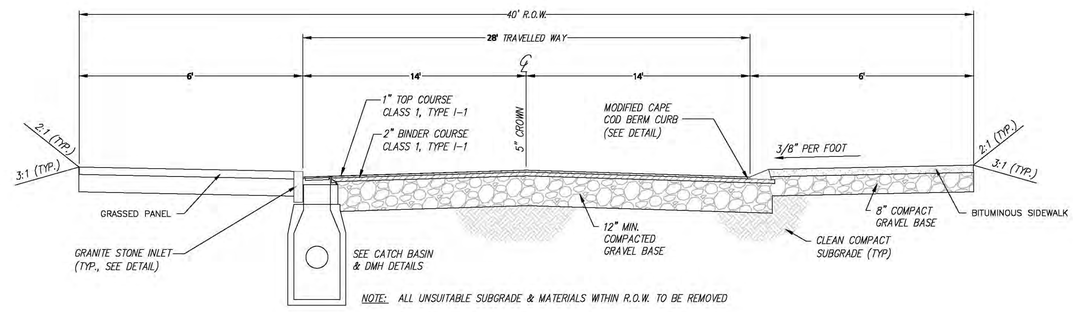

STANDARD ROADWAY CROSS - SEDCTION (1)
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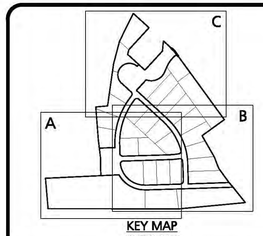

KEY MAP
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	1" = 80'	DWG. :	C2889-01_Grading & Drainage
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE:
ROADWAY PROFILES
ALIGNMENT (8) & (9)

SHEET No.
C-201

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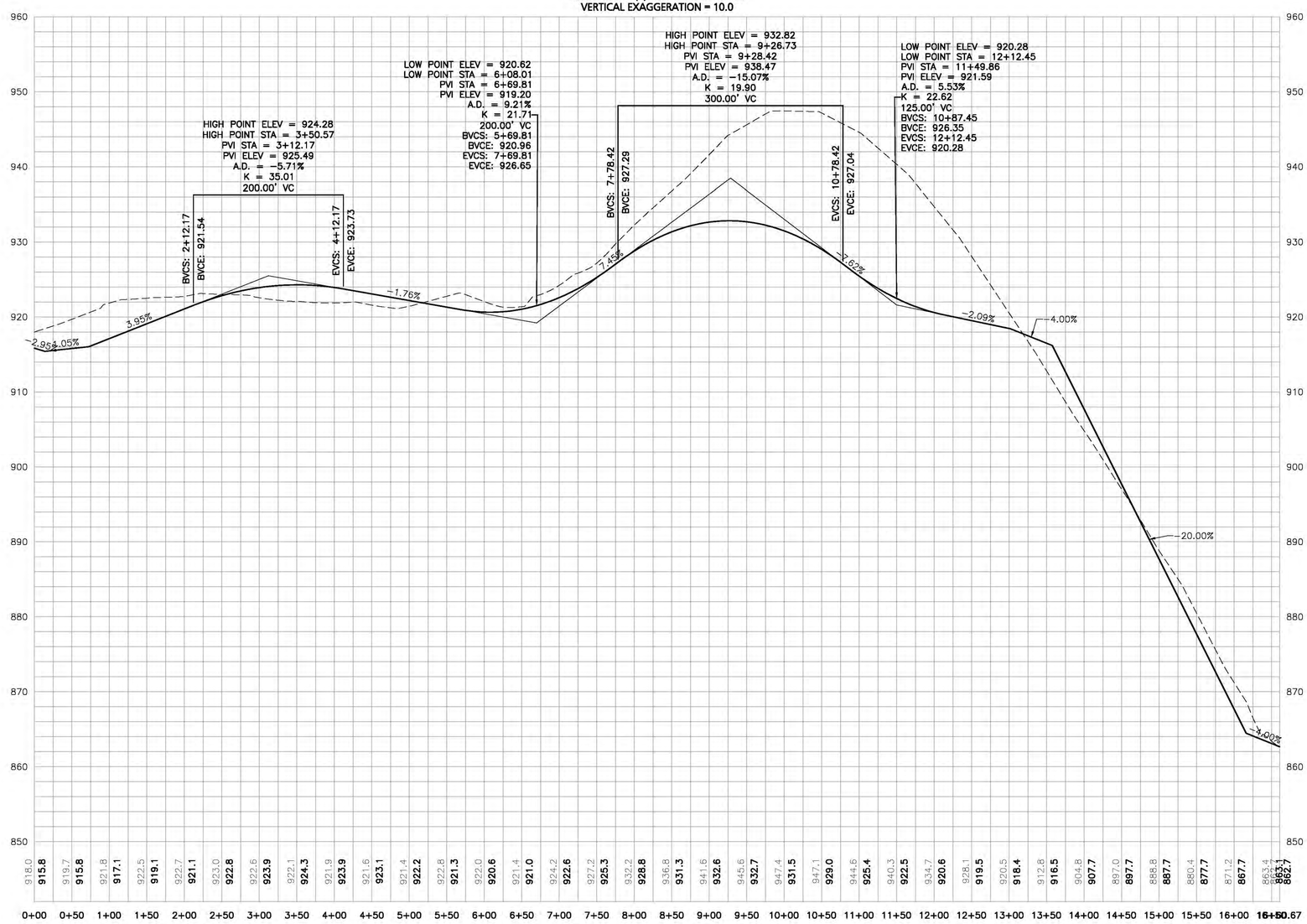
GENERAL NOTES

1. REFER TO SHEET C-102 FOR ADDITIONAL INFORMATION
2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
3. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED , WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEATH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

ALIGNMENT - (7) CENTERLINE PROFILE
VERTICAL EXAGGERATION = 10.0

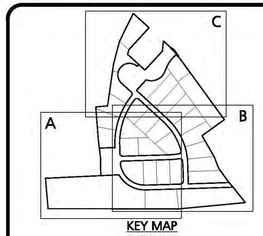


DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

GRAPHIC SCALE

(IN FEET)
1 inch = 80 ft.



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DRAWING TITLE:
ALIGNMENT (7)
PROFILE

SHEET No.
C-202

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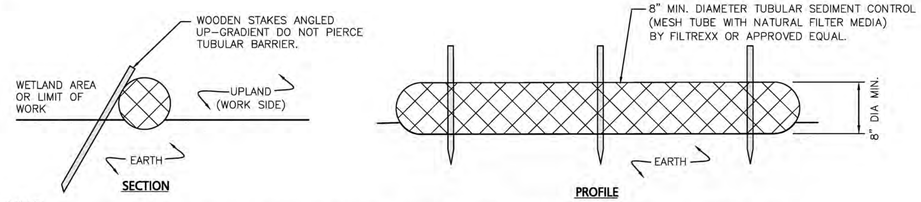
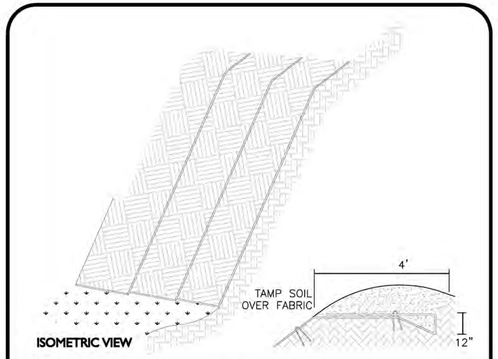


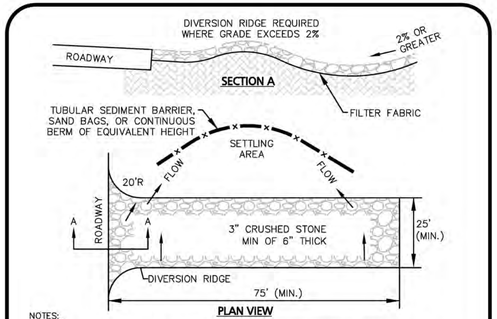
NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 8" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
3. INSTALL WOODEN STAKES ANGLED UP-GRADIENT EVERY 8' ON CENTER
4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER (1)
NOT TO SCALE



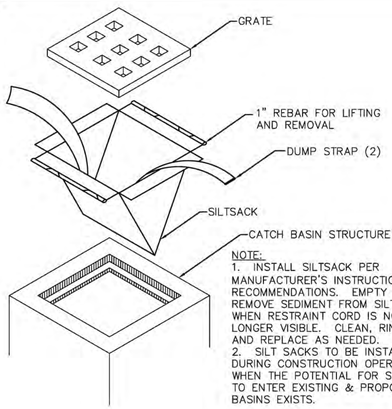
NOTE:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS.
2. APPLY PERMANENT SEEDING BEFORE PLACING FABRIC.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL FABRIC (2)
NOT TO SCALE



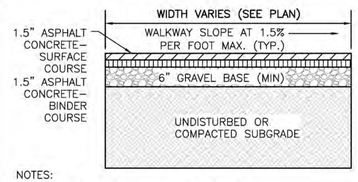
NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

STABILIZED CONSTRUCTION ENTRANCE (3)
NOT TO SCALE



NOTE:
1. INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
2. SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

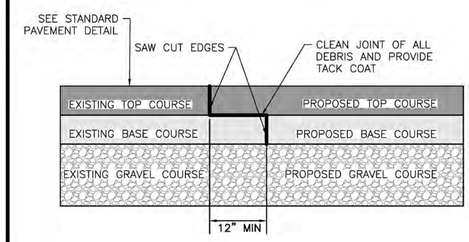
CATCH BASIN INLET PROTECTION (4)
NOT TO SCALE



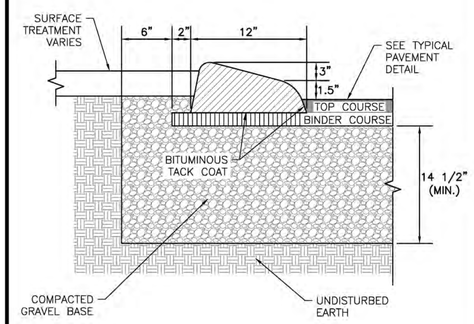
NOTES:
1. REFERENCE PLANS FOR ELEVATIONS.
2. COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95% OF ASTM D 1557 LABORATORY DENSITY.
3. PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
4. CONTRACTOR SHALL COORDINATE SURFACE, BINDER, AND BASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
5. BASE COURSE SHALL EXTEND 6 INCHES BEYOND WALKWAY EDGE WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.
6. WALKWAY EDGES SHALL BE TAMPED WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.

BITUMINOUS WALKWAY (5)
NOT TO SCALE

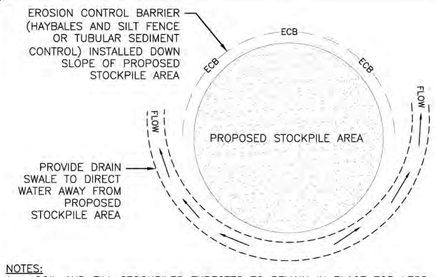
NOTE:
TACK COAT – PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.



PAVEMENT KEY CUT (6)
NOT TO SCALE

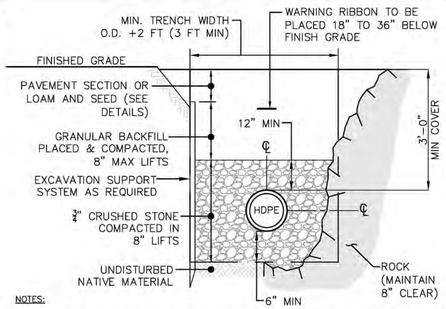


CAPE COD BERM (7)
NOT TO SCALE



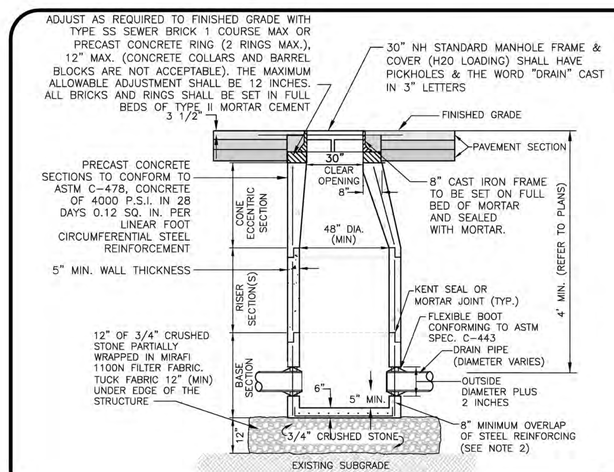
NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION (8)
NOT TO SCALE



NOTES:
1. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR. AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
2. FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND THE PIPE AT 100' INTERVALS.
3. CRUSHED STONE SHALL BE CLEAN, HARD, FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 3/4" SQUARE OPENING.

DRAIN TRENCH DETAIL (9)
NOT TO SCALE



NOTES:
1. MANHOLE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
2. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
3. BASE SECTION SHALL BE MONOLITHIC
4. ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.

DRAIN MANHOLE (10)
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

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DRAWING TITLE: DETAILS

SHEET No. C-501

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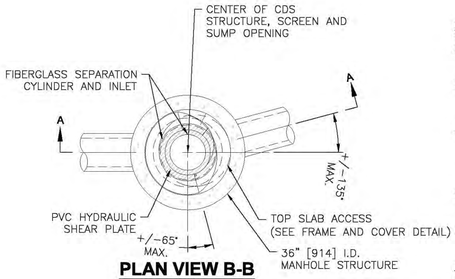
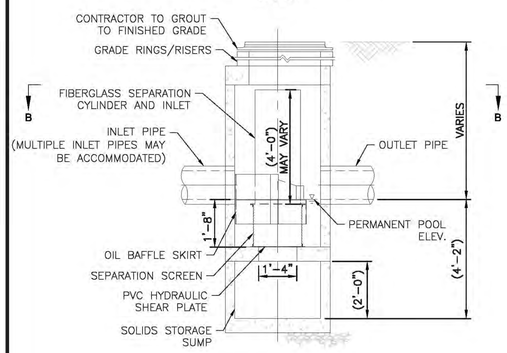
CDS1515-3-C DESIGN NOTES
CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.
THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

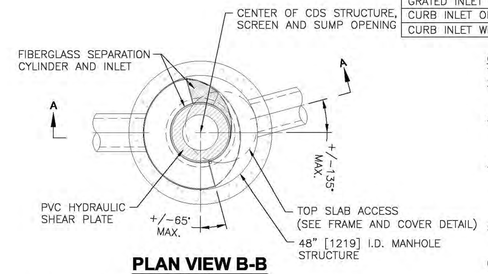
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' – 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO..
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CDS1515-3-C STANDARD DETAIL (1)
NOT TO SCALE

CDS2015-4-C DESIGN NOTES
CDS2015-4-C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS
CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES



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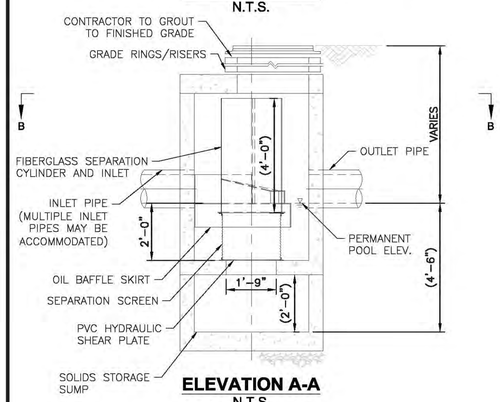
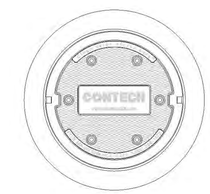


ELEVATION A-A
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' – 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO..
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
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INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
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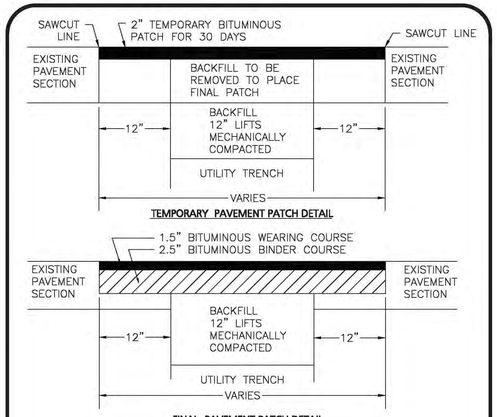
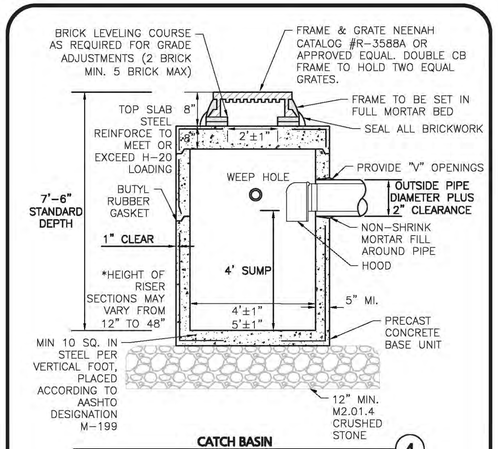
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

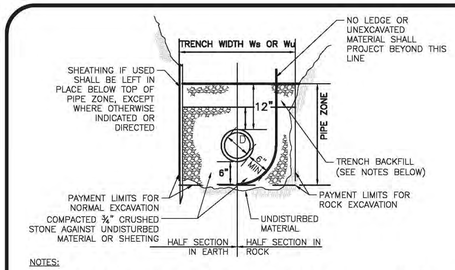
CDS2015-4-C STANDARD DETAIL (2)
NOT TO SCALE



PAVEMENT TRENCH PATCH DETAIL (3)
NOT TO SCALE

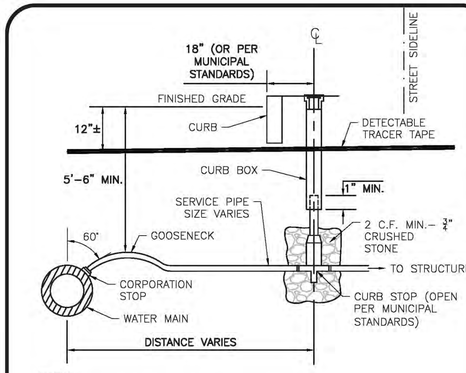


CATCH BASIN (4)
NOT TO SCALE



NOTES:
1. TRENCH BACKFILL TO BE USED WITHIN THE RIGHT-OF-WAY SHALL CONSIST OF EITHER GRAVEL BORROW MEETING MHD SPECIFICATION M1.03.0, TYPE "B" OR PROCESSED GRAVEL BORROW FOR SUBBASE MEETING MHD SPECIFICATION M1.03.1.
2. WHERE THE REMOVAL OF 100 SQUARE FEET OR LESS OF ASPHALT IS REQUIRED WITHIN THE RIGHT OF WAY, THEN THE TRENCH BACKFILL MATERIAL SHALL CONSIST OF CONTROLLED DENSITY FILL MEETING MHD SPECIFICATION M4.08.0, TYPE "1E" OR "2E".
3. TRENCH BACKFILL MATERIAL TO BE USED OF THE RIGHT-OF-WAY MAY CONSIST OF MATERIAL GENERATED DURING EXCAVATIONS PROVIDED ALL STONES GREATER THAN 4" ARE REMOVED PRIOR TO PLACEMENT AND COMPACTION
4. GRANULAR TRENCH BACKFILL MATERIAL USED WITHIN THE RIGHT-OF-WAY SHALL BE PLACED IN MAXIMUM 6" LIFTS AND MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AND TO 90% ELSEWHERE AS DETERMINED BY ASTM D 1557.

SEWER TRENCH (5)
NOT TO SCALE



NOTES:
1. WATER SERVICES LARGER THAN 1" ARE TO BE RESTRAINED TO WATER MAIN WITH APPROVED SADDLE.

TYPICAL WATER SERVICE CONNECTION (6)
NOT TO SCALE

APPROVAL UNDER SUBDIVISION CONTROL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR
PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	AS SHOWN	DWG. : C-2889-01_Details	
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE: DETAILS

SHEET No. C-502

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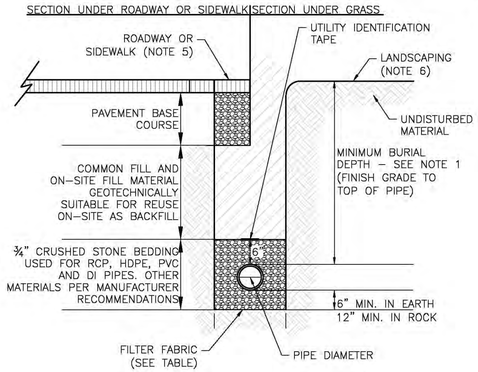
NOTES:

1. MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)
   GRAVITY PIPE (SEWER & DRAIN) – SEE PLAN OR PROFILE
   PRESSURE PIPE UNDER PAVING – 4'
   PRESSURE PIPE BENEATH UNPAVED – 3'
   WATER PIPE – 5'
2. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR. AASHTO T–99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
3. TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
4. WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER–EXCAVATED, THE SUBGRADE SHOULD BE RE–COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER–EXCAVATION).
5. REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.
6. REFER TO LANDSCAPING DETAILS.

FILTER FABRIC USE

	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED

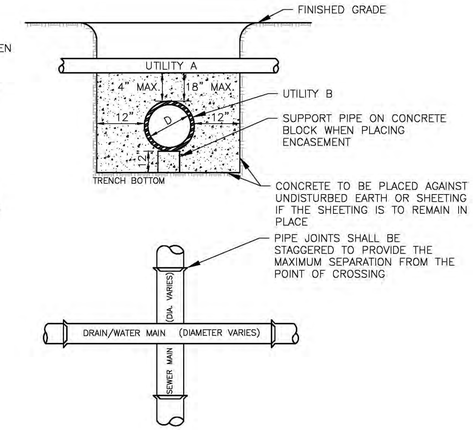


UTILITY TRENCH (1)
NOT TO SCALE

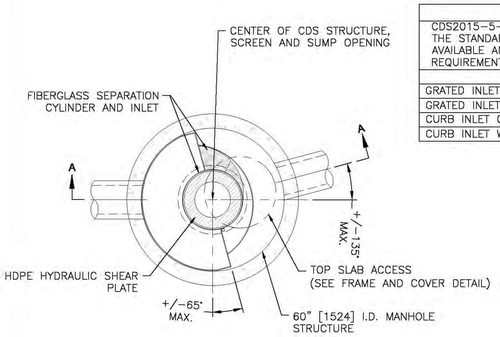
NOTES:

WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/DRAIN MAIN:

1. THE WATER/DRAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/DRAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
3. THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
4. THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
5. UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
6. WHEN ONE UTILITY IS A SANITARY SEWER. IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
7. ENCASEMENT EXTENDS 10'–0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
8. PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.



SEWER WATER/DRAIN CROSSING (2)
NOT TO SCALE



PLAN VIEW B-B
N.T.S.

CDS2015–5–C DESIGN NOTES
CDS2015–5–C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2015–5–C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS
CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES

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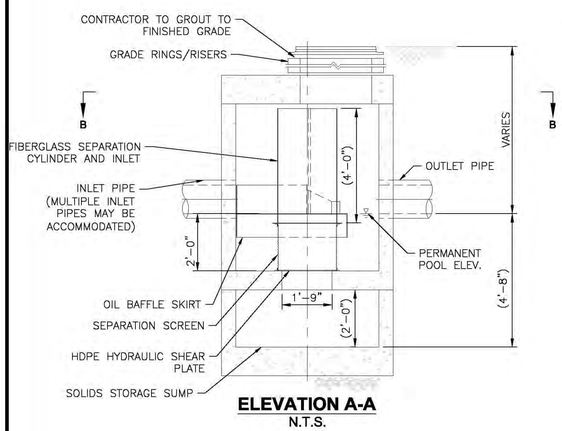
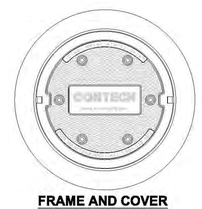
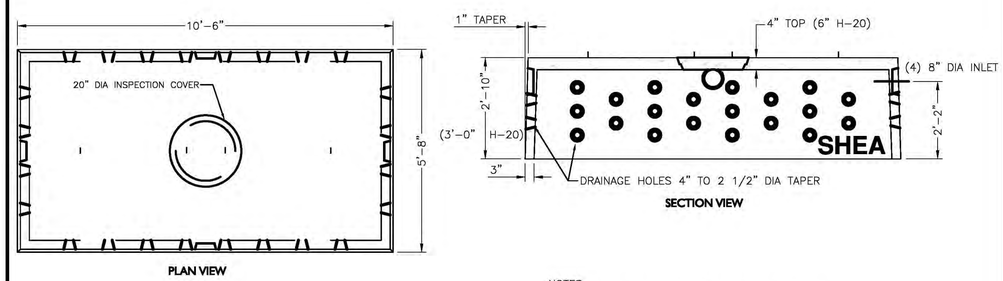


ELEVATION A-A
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

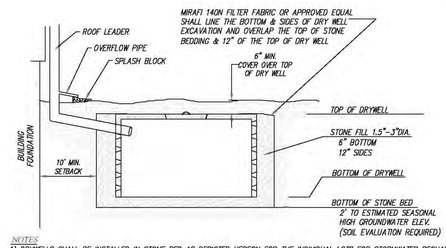
CDS2015-5-C STANDARD DETAIL (3)
NOT TO SCALE



PLAN VIEW

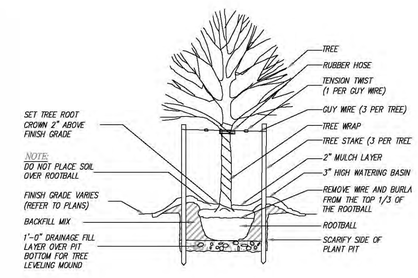
NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. ALSO AVAILABLE IN AASHTO HS–20 LOADING.

1,000 GALLON JUMBO DRY WELL (4)
NOT TO SCALE



NOTES:
1) DRYWELLS SHALL BE INSTALLED IN STONE BED AS DEPICTED HEREON FOR THE INDIVIDUAL LOTS FOR STORMWATER RECHARGE WHEREVER THE FIELD CONDITIONS MAKE IT POSSIBLE. EACH LOT SHALL BE EVALUATED BASED ON A SITE SOIL EVALUATION OF THE ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION AT THE TIME OF LOT CONSTRUCTION.
2) THE DRYWELLS SHALL BE SHEA CONCRETE PRODUCTS 500 GALLON SHALLOW RECTANGULAR OR APPROVED EQUAL.
3) THE DRYWELLS SHALL BE RATED FOR H20 LOADING.

ROOF DRAIN & DRYWELL CONNECTION DETAIL (5)
NOT TO SCALE



TREE PLANTING DETAIL (6)
NOT TO SCALE

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DATE: _____

LEICESTER PLANNING BOARD

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TOWN CLERK – TOWN OF LEICESTER

ISSUED FOR PLANNING BOARD REVIEW
JULY 16, 2021

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	07-16-21
SCALE:	AS SHOWN	DWG. :	C-2889-01_Details
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ◆ land surveying
environmental consulting ◆ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH

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DRAWING TITLE: DETAILS

SHEET No. C-503

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Cherry Valley Sewer District

Commissioners
Donald G. Manseau, Chairman
Victor M. Taylor, Commissioner
Micheal L. DellaCava, Commissioner

P. O. BOX 138
ROCHDALE, MASSACHUSETTS 01524
OFFICE: (508) 892-9616 FAX: (508) 892- 4371

Jennifer M. Wood
Treasurer

Benjamin Morris
Superintendent

March 9, 2021

RE: Availability of Public Sewers:
651 Main St (vacant lots)
Cherry Valley, MA 01611

Dear Mr. Grondin:

The intent of this letter is to verify that the above listed property is located in and serviced by the Cherry Valley Sewer District and is available for hook-up to the public sewer system.

Should you have any further questions, please feel free to contact the office at (508) 892-9616.

Respectfully,

Benjamin Morris
Superintendent

LEICESTER WATER SUPPLY DISTRICT
124 PINE STREET - P.O. BOX 86
LEICESTER, MA 01524
TEL: 508 892-8484 FAX: 508-892-1812
www.lwsd.net

To whom it may concern:

Please be advised that there is adequate water supply for the proposed 35 duplex homes at 651 Main Street.

Connection fee: per duplex
WATER: $7,000.00

Sincerely,

Joseph H. Wood- Superintendent
Leicester Water Supply District

"This Institution is an equal opportunity provider. To file of discrimination write USDA, Director, Office of Civil Right, Washington, DC 20250-9410."