

LOCUS MAP
NOT TO SCALE

DEFINITIVE SUBDIVISION PLANS FOR SKYVIEW ESTATES MAIN STREET LEICESTER, MA 01611

FOR REGISTRY USE ONLY

AGENT:
RE/MAX PATRIOT REALTY
55 MEAD STREET
LEOMINSTER, MA 01453

APPLICANT
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

OWNER
E F G REALTY TRUST
EDGAR GREENEY, JR - TRUSTEE
76 MCCLELLAN STREET
AMHERST, MA 01002

CIVIL ENGINEER / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801

ENVIRONMENTAL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR BLDG 2 UNIT H
EXETER NH 03833-7507

LEICESTER PLANNING BOARD WAIVERS REQUESTED

SECTION V.A.1.f – MINIMUM CENTER LINE RADII. 200’ MIN. REQUIRED TO ALLOW CENTER LINE RADIUS OF 120’ AND 135’

SECTION V.A.3.a – MAXIMUM STREET GRADE 10% TO ALLOW FOR A STREET GRADE OF NO MORE THAN 12%

SECTION V.B.1A –REINFORCED CONCRETE STORM DRAINAGE PIPING REQUIRED
A WAIVER IS REQUESTED TO UTILIZE HIGH DENSITY POLYPROPYLENE (HDPE) DRAINAGE LINES OR APPROVED EQUAL WITHIN THE DRAINAGE SYSTEM OF THE SUBDIVISION.

SECTION V.I.C.4 – VELOCITIES SHALL BE BETWEEN 2 AND 10 FEET PER SECOND
A WAIVER IS REQUESTED ALLOW WATER VELOCITY WITHIN THE CLOSED STORMWATER SYSTM FROM 11.92 FPS TO 14.0 FPS WHICH IS LESS THAN THE MANUFACTURES RECOMMENDATION FOR SCOUR WITHIN THE PIPING NETWORK.

SECTION V.I.E.3 – STREET LIGHTING REQUIRED TO ALLOW STREET LIGHTING TO BE INSTALLED AS PRIVATE DRIVEWAY LIGHT

SECTION V.I.L STREET TREES SHALL BE INSTALLED ON BOTH SIDES OF THE ROADWAY TO ALLOW FOR STREET TREE PLANTINGS TO BE INSTALLED ON ONE SIDE ONLY

SECTION V.I.G.1 – SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS WITHIN A SUBDIVISION
A WAIVER IS REQUESTED TO INSTALL SIDEWALKS ON ONLY 1 SIDE OF THE ROADWAY DUE TO THE STEEP TERRAIN OF THE PROPOSED SUBDIVISION AND LACK OF CONNECTION TO A MUNICIPAL SIDEWALK ALONG MAIN STREET (AKA ROUTE 9)

GENERAL NOTES

- THE OWNER OF RECORD:
LOT 21–B5.1
EFG REALTY TRUST
76 MCCLELLAN STREET
AMHERST, MA 01002
BOOK 16761, PAGE 78
- ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST
LOT SIZE: 22,500 SF
LOT FRONTAGE: 100 FT.
FRONT SETBACK: 25 FT.
SIDE SETBACK: 15 FT.
REAR SETBACK: 25 FT.
- EXISTING USE OF LOT 21–B5.1 IS VACANT LAND.
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.

LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	V-101	03-08-21	-
SITE PREPARATION PLAN	C-100	09-17-21	12-14-21
SUBDIVISION LAYOUT KEY PLAN	C-101	09-17-21	12-14-21
DEFINITIVE LAYOUT PLAN	C-101A	09-17-21	12-14-21
DEFINITIVE LAYOUT PLAN	C-101B	09-17-21	12-14-21
DEFINITIVE LAYOUT PLAN	C-101C	09-17-21	12-14-21
OVERALL GRADING & DRAINAGE PLAN	C-102	09-17-21	12-14-21
GRADING & DRAINAGE PLAN	C-102A	09-17-21	12-14-21
GRADING & DRAINAGE PLAN	C-102B	09-17-21	12-14-21
GRADING & DRAINAGE PLAN	C-102C	09-17-21	12-14-21
OVERALL UTILITIES PLAN	C-103	09-17-21	12-14-21
UTILITIES PLAN	C-103A	09-17-21	12-14-21
UTILITIES PLAN	C-103B	09-17-21	12-14-21
UTILITIES PLAN	C-103C	09-17-21	12-14-21
ROADWAY PROFILE - SKYVIEW DRIVE	C-201	09-17-21	12-14-21
ROADWAY PROFILES - SKYVIEW TERRACE, EMERGENCY ACCESS, & COLONIAL EXTENSION	C-202	09-17-21	12-14-21
DETAILS	C-501	09-17-21	12-14-21
DETAILS	C-502	09-17-21	12-14-21
DETAILS	C-503	09-17-21	12-14-21
DETAILS	C-504	09-17-21	12-14-21
DETAILS	C-505	10-05-21	12-14-21
DETAILS	C-506	10-05-21	12-14-21
DETAILS	C-507	12-14-21	12-14-21
WETLAND REPLICATION PLAN	L-201	11-10-21	12-14-21
WETLAND REPLICATION DETAILS	L-202	11-10-21	12-14-21

ISSUED FOR DEFINITIVE SUBDIVISION: JULY 16, 2021
UPDATES PER PEER REVIEW & LAYOUT CHANGE: OCT. 5, 2021
UPDATES PER TOWN COMMENTS: NOV. 10, 2021
UPDATES PER TOWN COMMENTS: DEC. 14, 2021

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK – TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2021.12.14 13:52:26 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: NONE DWG.: C-2889-01_Cover

DESIGNED BY: SM CHECKED BY: MAM

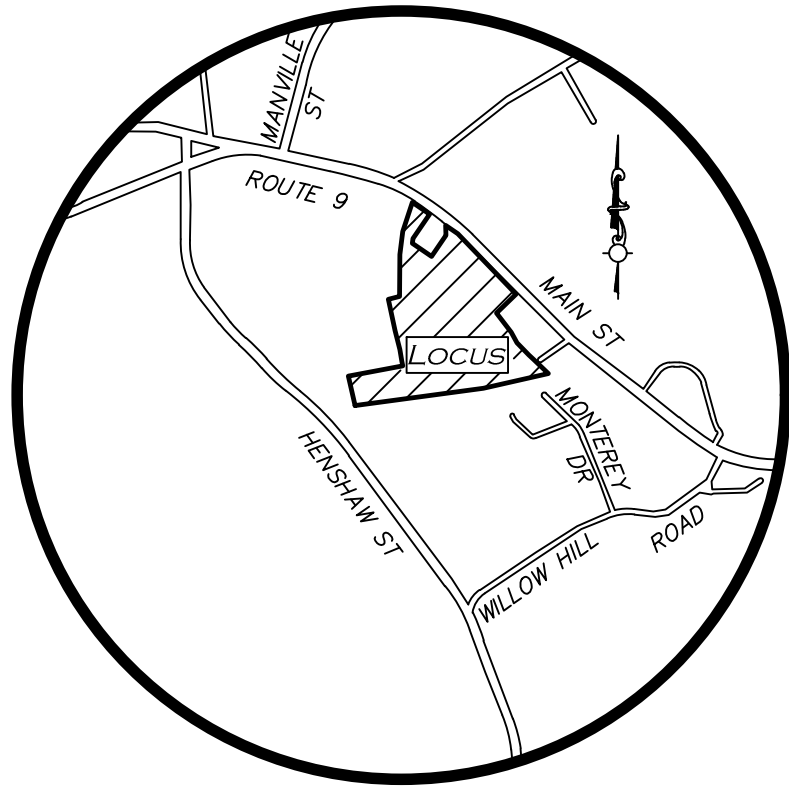
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE:	SHEET No.
COVER	C
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LOCUS MAP
(NOT TO SCALE)

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LOCUS REFERENCES

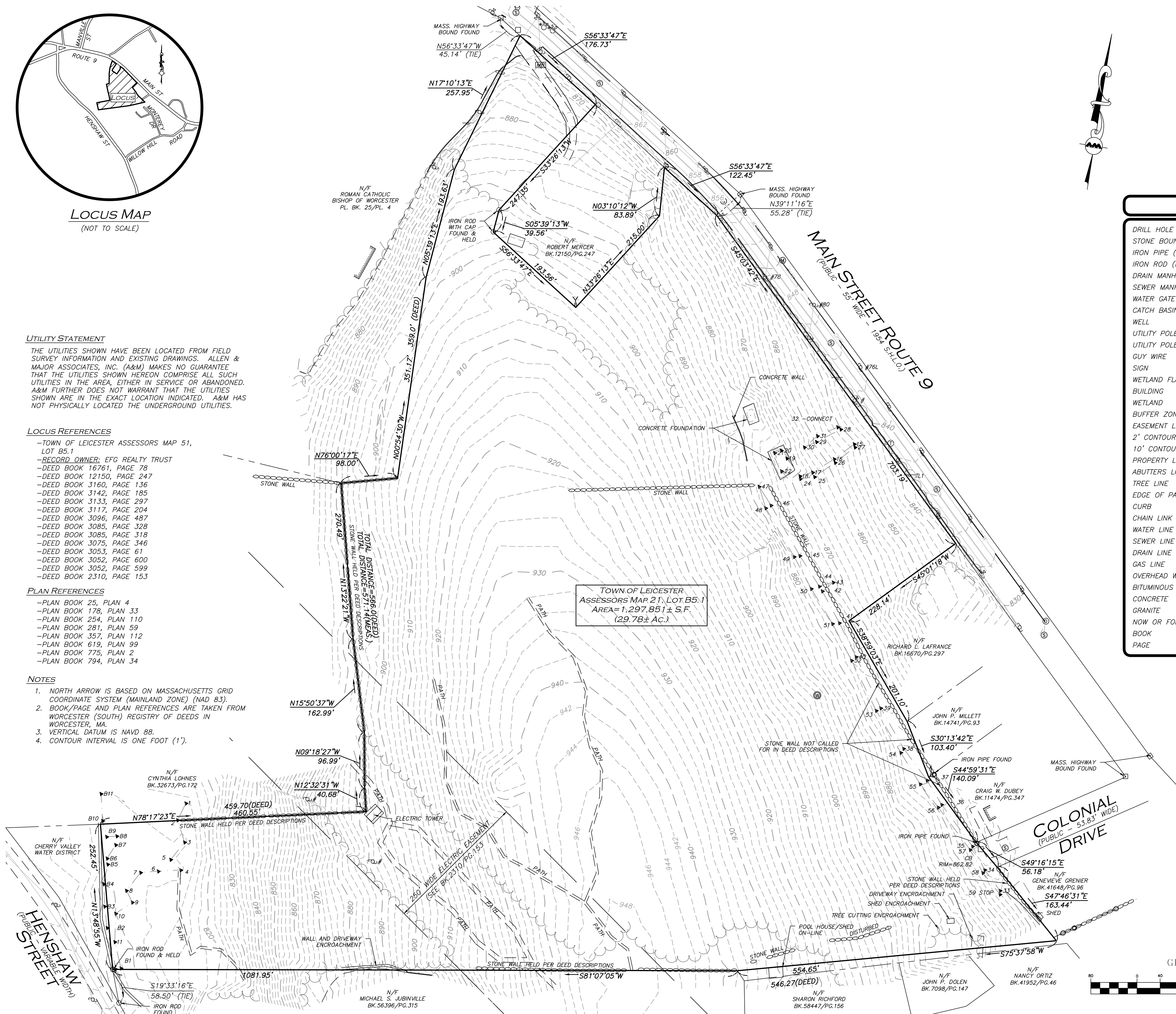
- TOWN OF LEICESTER ASSESSORS MAP 51, LOT B5.1
- RECORD OWNER: EFG REALTY TRUST
- DEED BOOK 18761, PAGE 78
- DEED BOOK 12150, PAGE 247
- DEED BOOK 3160, PAGE 136
- DEED BOOK 3142, PAGE 185
- DEED BOOK 3133, PAGE 297
- DEED BOOK 3117, PAGE 204
- DEED BOOK 3096, PAGE 487
- DEED BOOK 3085, PAGE 328
- DEED BOOK 3085, PAGE 318
- DEED BOOK 3075, PAGE 346
- DEED BOOK 3053, PAGE 61
- DEED BOOK 3052, PAGE 600
- DEED BOOK 3052, PAGE 599
- DEED BOOK 2310, PAGE 153

PLAN REFERENCES

- PLAN BOOK 25, PLAN 4
- PLAN BOOK 178, PLAN 33
- PLAN BOOK 254, PLAN 110
- PLAN BOOK 281, PLAN 59
- PLAN BOOK 357, PLAN 112
- PLAN BOOK 619, PLAN 99
- PLAN BOOK 775, PLAN 2
- PLAN BOOK 794, PLAN 34

NOTES

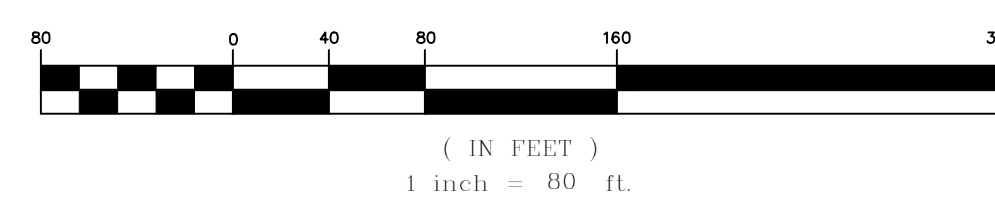
1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER (SOUTH) REGISTRY OF DEEDS IN WORCESTER, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').



LEGEND

DRILL HOLE (DH)	⊙
STONE BOUND (SB)	□
IRON PIPE (IP)	○
IRON ROD (IR)	◦
DRAIN MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊙
WATER GATE	⊙
CATCH BASIN (CB)	⊙
WELL	⊙
UTILITY POLE W/LIGHT	⊙
UTILITY POLE	⊙
GUY WIRE	⊙
SIGN	⊙
WETLAND FLAG	⊙
BUILDING	⊙
WETLAND	⊙
BUFFER ZONE	⊙
EASEMENT LINE	⊙
2' CONTOUR	⊙
10' CONTOUR	⊙
PROPERTY LINE	⊙
ABUTTERS LINE	⊙
TREE LINE	⊙
EDGE OF PAVEMENT	⊙
CURB	⊙
CHAIN LINK FENCE	⊙
WATER LINE	⊙
SEWER LINE	⊙
DRAIN LINE	⊙
GAS LINE	⊙
OVERHEAD WIRES	⊙
BITUMINOUS	⊙
CONCRETE	⊙
GRANITE	⊙
NOW OR FORMERLY	⊙
BOOK	⊙
PAGE	⊙

GRAPHIC SCALE



N:\PROJECTS\2889-01\SURVEY\DRAWINGS\CURRENT\S-2889-01-EC.DWG

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JANUARY 10, 2021 AND FEBRUARY 9, 2021.
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF LEICESTER ASSESSOR'S INFORMATION.
THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
651 MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 03/08/21

SCALE: 1" = 80' DWG. NAME: S-2889-01-EC

DRAFTED BY: AJR CHECKED BY: NIL

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY
WOBBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: EXISTING CONDITIONS SHEET NO. V-101

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GENERAL CONSTRUCTION SEQUENCE

ADVANCEMENT OF ROADWAY CONSTRUCTION AND ASSOCIATED INFRASTRUCTURE SHALL FOLLOW THE GENERAL SEQUENCE NOTED BELOW.

- PHASE 1A - SKYVIEW DRIVE STA. 0+00 TO 11+50 & COLONIAL DRIVE EXTENSION
1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
 2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 3. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
 4. THE CONTRACTOR SHALL COORDINATE A SITE MEETING WITH THE TOWN LEICESTER PLANNING BOARD AGENT (QUINN ENGINEERING, INC.), CONSERVATION COMMISSION REPRESENTATIVE, HIGHWAY DEPARTMENT, ALLEN & MAJOR ASSOCIATES, INC. FOR REVIEW AND APPROVAL OF THE EROSION CONTROLS AND LIMIT OF WORK FOR THE PROJECT PRIOR TO ANY TREE CLEARING AND CONSTRUCTION ACTIVITIES.
 5. CUT TREES AND REMOVE STUMPS PER THE STUMP PLAN BELOW. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
 6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
 7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
 8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
 9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
 10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

- PHASE 1B - SKYVIEW DRIVE STA. 11+50 TO 24+00 & SKYVIEW TERRACE
1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
 2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES ENTRANCES.
 4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
 5. CUT TREES AND REMOVE STUMPS PER THE STUMP PLAN BELOW. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
 6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
 7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
 8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
 9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
 10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

- PHASE 1C - SKYVIEW DRIVE STA. 24+00 TO 25+50 & EMERGENCY ACCESS
1. THE LIMITS OF CLEARING SHALL BE STAKED OUT PRIOR TO ANY CONSTRUCTION.
 2. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 3. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES ENTRANCES.
 4. INSTALL STONE CONSTRUCTION ENTRANCE PER DETAILS AT ANTICIPATED CONSTRUCTION ENTRANCES.
 5. CUT TREES AND REMOVE STUMPS PER THE STUMP PLAN BELOW. CLEAR THE AREAS FOR THE TEMPORARY SEDIMENT BASINS AND TEMPORARY SWALES.
 6. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
 7. COMPLETE CLEARING OPERATIONS WITHIN ROADWAY LIMITS OF WORK FOR PROJECT.
 8. STRIP AND STOCKPILE TOPSOIL FOR WITHIN ROADWAY AND DRAINAGE BASIN AREAS. STABILIZE TOPSOIL NOT SUBJECT TO IMMEDIATE USE WITH A TEMPORARY SEEDING MIXTURE. ALL STOCKPILES SHALL BE RINGED WITH SILT FENCE.
 9. MASS GRADING - PERFORM EARTHWORK CUT TO FILLS FOR ROADWAY AND DRAINAGE BASINS AS DEPICTED HEREON. STABILIZE DISTURBED AREAS BY HAY AND SEED IN ACCORDANCE WITH THE ORDER OF CONDITIONS AND PROJECT PLANS.
 10. INSTALL INFRASTRUCTURE IMPROVEMENTS FOR THE PROJECT (INCLUDING ROADWAY GRADING, STORM WATER PIPING AND BASINS, ETC.) AS DEPICTED HEREON.

- PHASE 2 - SKYVIEW DRIVE STA. 0+00 TO 11+50 LOT DEVELOPMENT AND HOME-BUILDING.
1. INSTALL EROSION CONTROL BARRIERS AS DEPICTED HEREON.
 2. INSTALL EROSION CONTROL MEASURES WITHIN NEWLY CONSTRUCTED ROADWAY STRUCTURES.
 3. CUT TREES AND REMOVE STUMPS PER THE STUMP PLAN BELOW.
 4. CONSTRUCT TEMPORARY STORMWATER DIVERSION BERM AND TEMPORARY SEDIMENT BASIN FOR THE PROJECT.
 5. CONSTRUCT BUILDING FOUNDATIONS
 6. STABILIZE DISTURBED AREAS

LEGEND

- LIMIT OF DISTURBANCE
- LIMIT OF 'CLEAR AND GRUB'
- TEMPORARY FENCE
- TUBULAR BARRIER
- CATCH BASIN FILTER
- STABILIZED ENTRANCE
- STOCKPILE/STAGING AREA

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

STUMP REMOVAL NOTES:

1. THE PROJECT AREA SHALL BE CLEARED OF EXISTING TREES AS NEEDED FOR PHASED ROADWAY, DRAINAGE, AND DWELLING CONSTRUCTION. ALL STUMPS SHALL BE GROUND AND USED FOR MULCH ON SITE OR SHALL BE REMOVED FROM THE SITE. NO STUMPS SHALL BE BURIED OR USED AS FILL ANYWHERE ON THE PROJECT SITE.
2. TREE BRANCHES AND TRUNKS SHALL BE EITHER GROUND AND USED FOR MULCH OR REMOVED FROM THE SITE.
3. THE PROJECT SITE SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS AND MATERIALS REMOVED FROM THE SITE SHALL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR OTHERWISE DISPOSED OF PROPERLY. NO DEBRIS SHALL BE BURIED ON THE SITE.

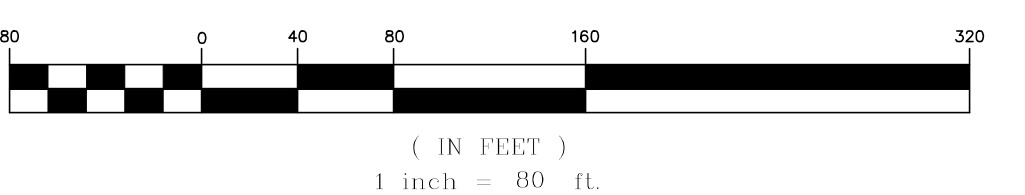
EROSION CONTROL NOTES

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT 'ORDER OF CONDITIONS' AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES TO OCCUR. THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SILT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEROKEE FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEWATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS TO THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT SHALL NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS. THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE; THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.
19. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND 'DIGSAFE' AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES (IF ANY) REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE SCALING WHEN REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2021.12.14 13:53:01 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C-2889-01_Site-Prep

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR
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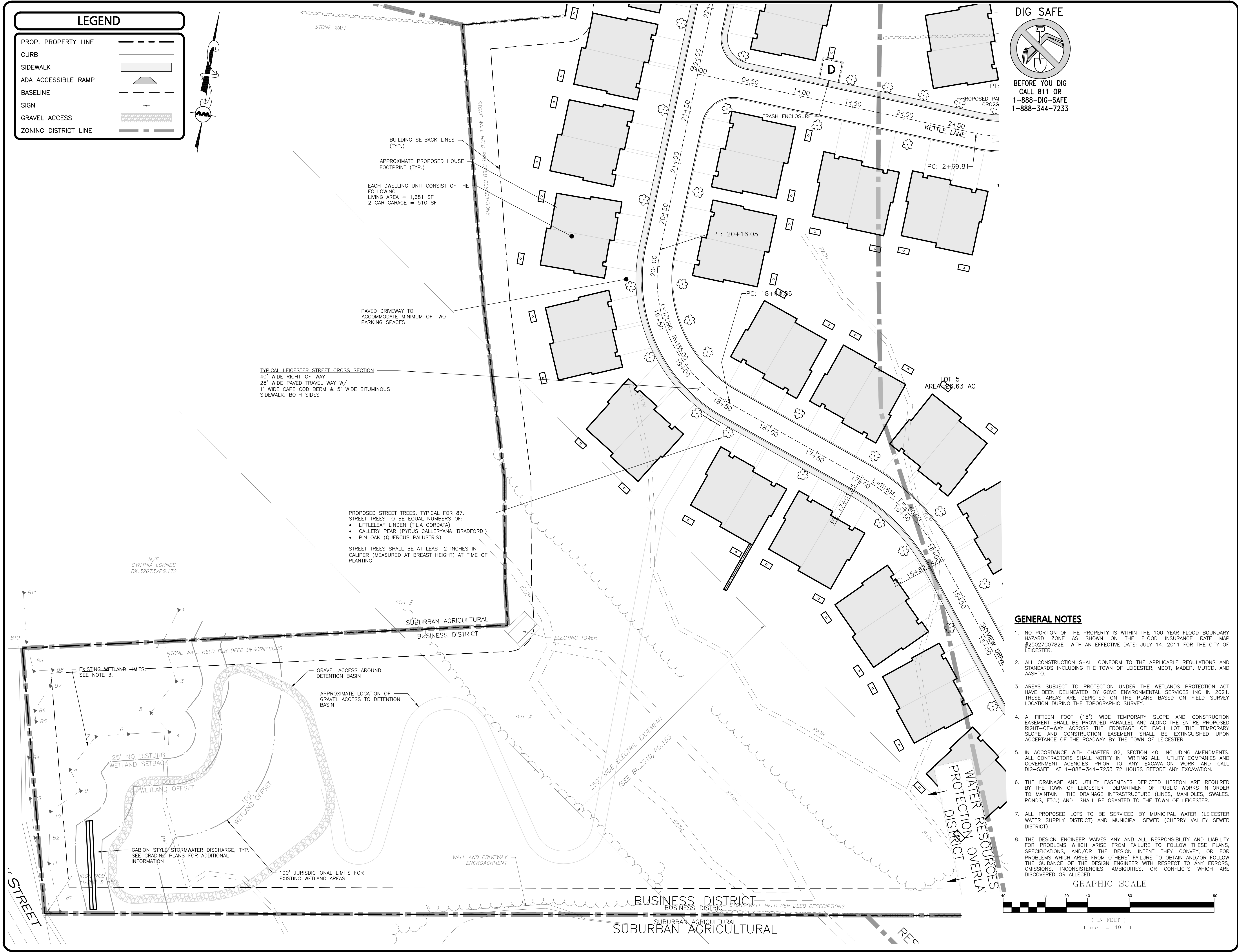
DRAWING TITLE: SHEET No.

SITE PREPARATION PLAN C-100

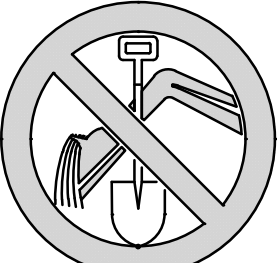
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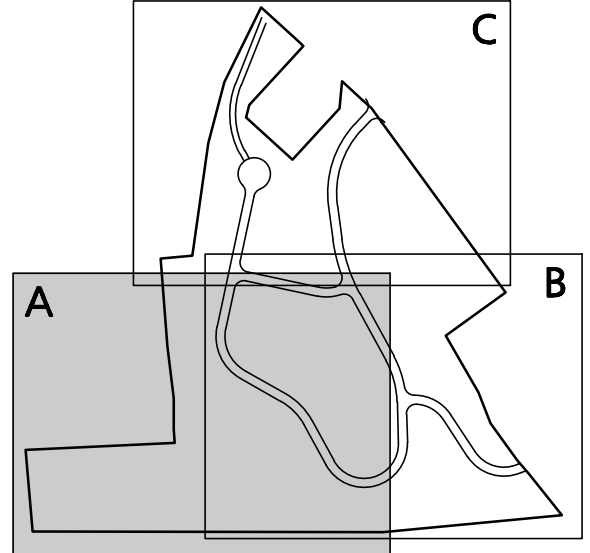
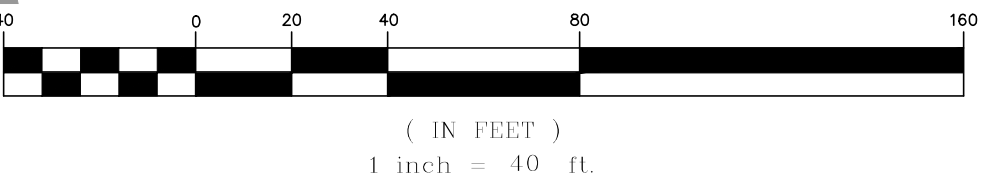


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1-888-344-7233

GENERAL NOTES

- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
- AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
- A FIFTEEN (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT. THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
- IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
- THE DRAINAGE AND UTILITY EASEMENTS DEPICTED HEREON ARE REQUIRED BY THE TOWN OF LEICESTER DEPARTMENT OF PUBLIC WORKS IN ORDER TO MAINTAIN THE DRAINAGE INFRASTRUCTURE (LINES, MANHOLES, SWALES, PONDS, ETC.) AND SHALL BE GRANTED TO THE TOWN OF LEICESTER.
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GRAPHIC SCALE



APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
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RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael
Malynowski

Date: 2021.12.14 13:56:52 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG. : C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

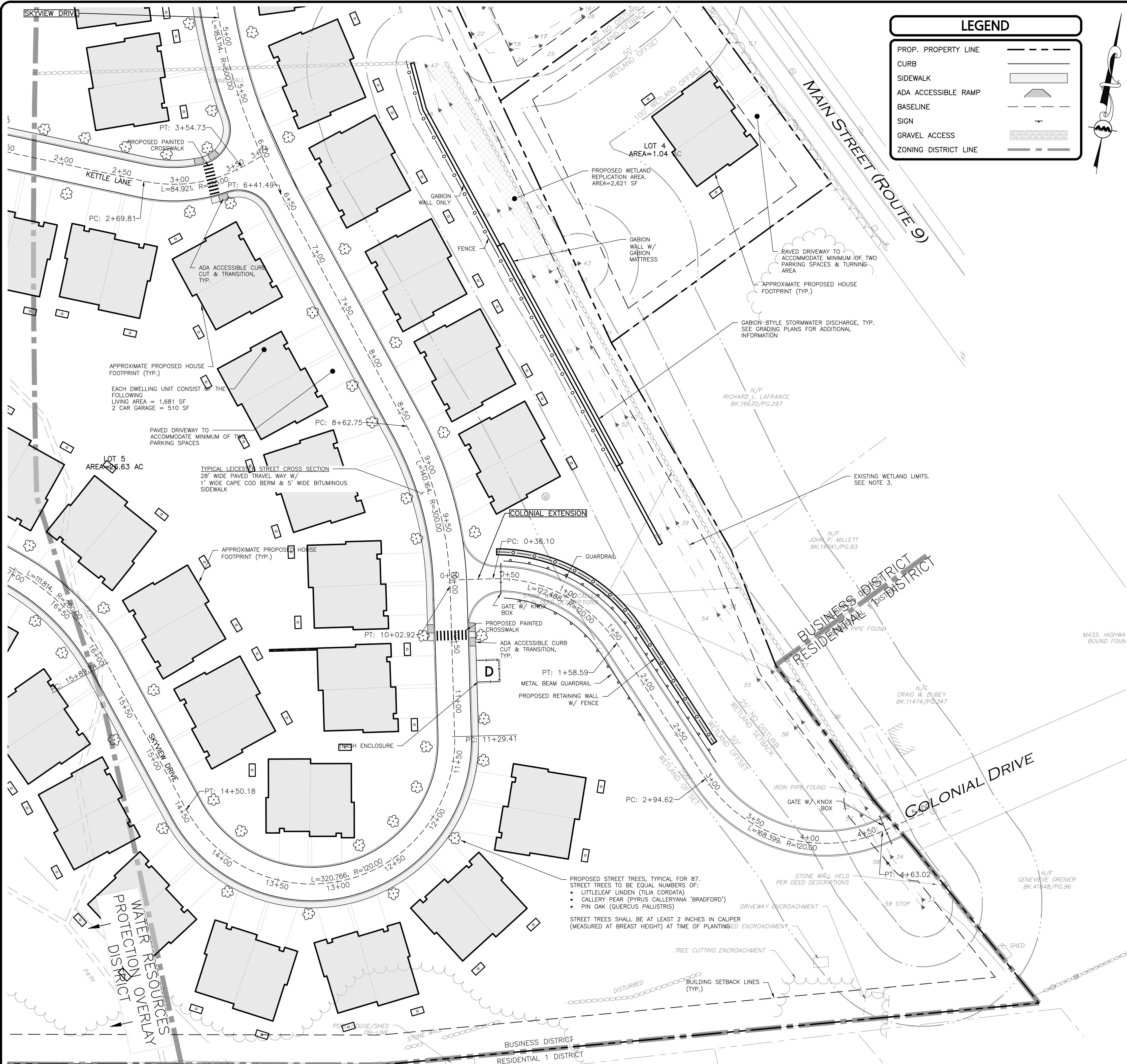
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DRAWING TITLE: **DEFINITIVE LAYOUT PLAN** SHEET No. **C-101A**
4 OF 25

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LEGEND

PROP. PROPERTY LINE
CURB
SIDEWALK
ADA ACCESSIBLE RAMP
BASELINE
SIGN
GRAVEL ACCESS
ZONING DISTRICT LINE

DIG SAFE



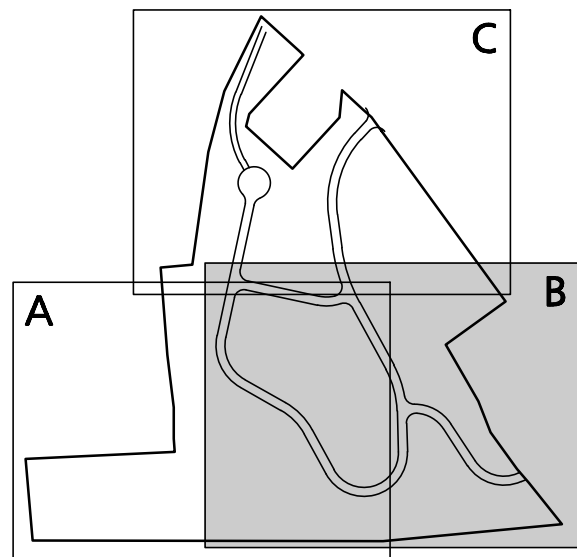
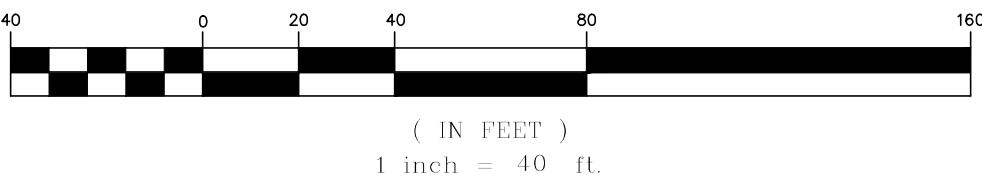
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ZONING	
BUSINESS (B) & SUBURBAN AGRICULTURAL (SA)	
ITEM	REQUIRED
LOT AREA	22,500 S.F.
FRONTAGE	100 FEET
FRONT YARD	25 FEET
REAR YARD	25 FEET
SIDE YARD	15 FEET

GENERAL NOTES

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GRAPHIC SCALE



KEY MAP

NOT TO SCALE

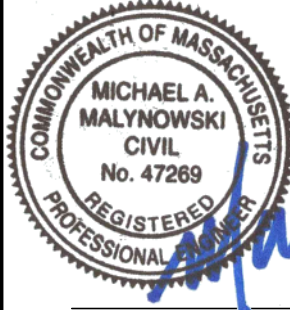
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DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael

Malynowski

Date: 2021.12.14 13:56:34 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
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APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

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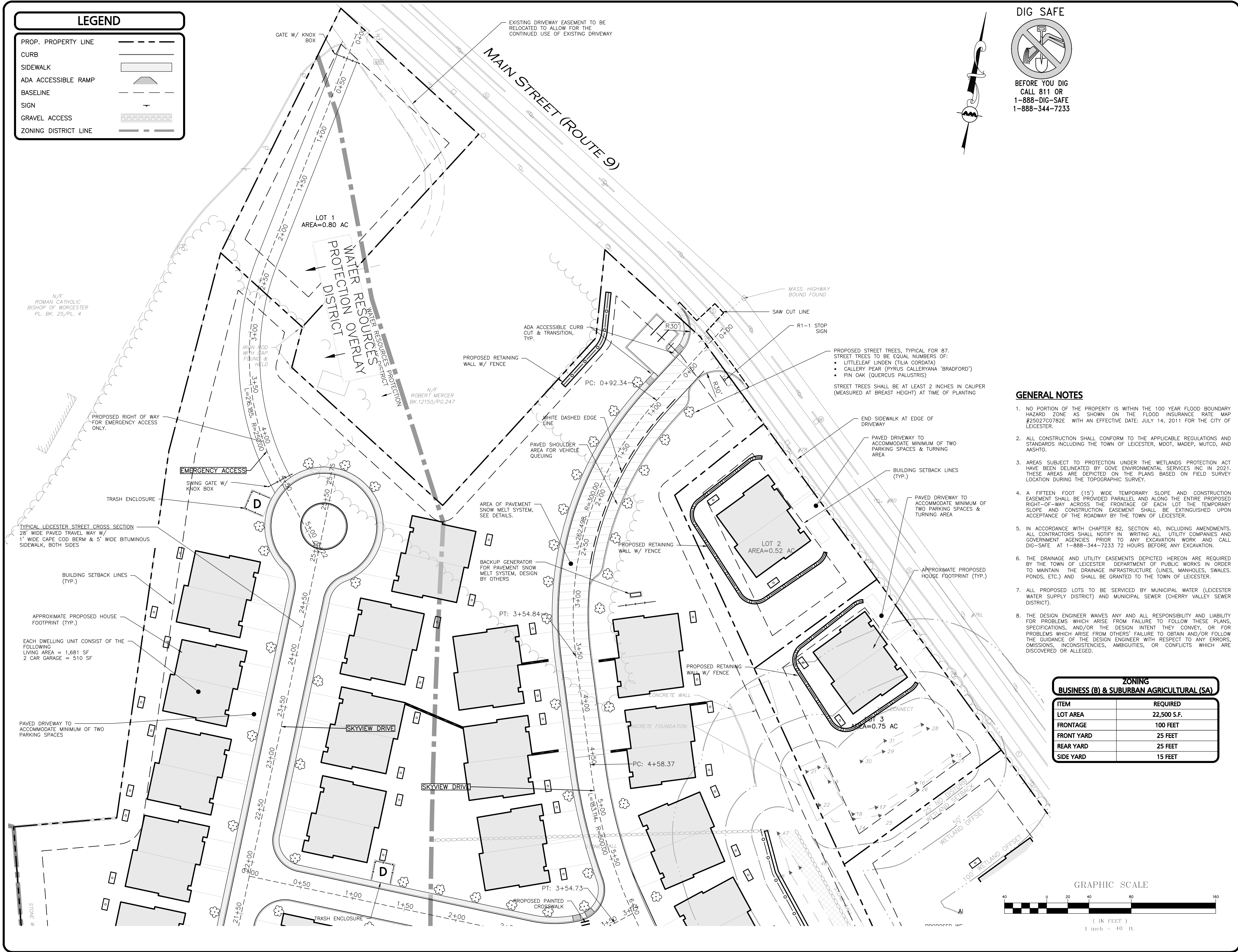
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DEFINITIVE LAYOUT PLAN C-101B

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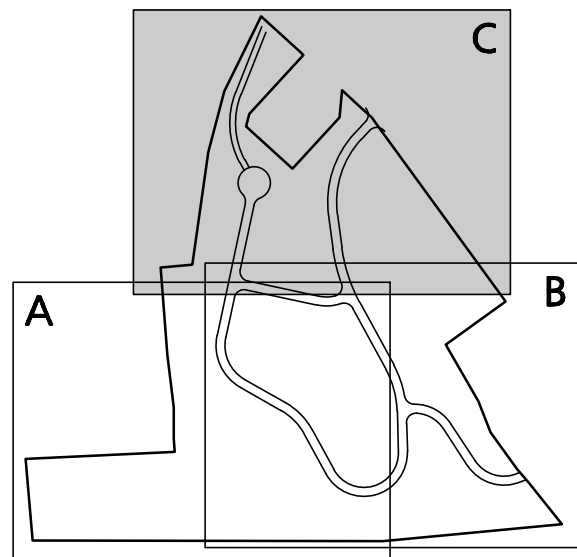
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KEY MAP

NOT TO SCALE

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TOWN CLERK - TOWN OF LEICESTER



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Date: 2021.12.14 13:58:04 -05'00'

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



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DRAWING TITLE: SHEET NO.

DEFINITIVE LAYOUT PLAN C-101C

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6 OF 25

EROSION CONTROL NOTES:

1. AS THIS PROJECT SHALL ALTER OVER ONE ACRE OF LAND, IT WILL REQUIRE FILING A NOTICE OF INTENT WITH THE EPA UNDER THE NPDES PHASE II PROGRAM AND WILL REQUIRE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO BE FILED PRIOR TO ANY LAND DISTURBANCE. THE SWPPP SHALL BE PROVIDED TO THE SITE CONTRACTOR PRIOR TO CONSTRUCTION AND SHALL BE ACCESSIBLE ON SITE DURING ALL CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL REQUIREMENTS OF THE PROJECT "ORDER OF CONDITIONS" AS ISSUED BY THE TOWN OF LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE OF THE ORDER OF CONDITIONS AS GRANTED BY THE LEICESTER CONSERVATION COMMISSION AND ITS REGULATIONS APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
3. THE SEDIMENTATION AND EROSION CONTROLS DEPICTED HEREON ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
4. PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
5. AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
6. TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
7. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
8. PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE; AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
9. THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
10. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEEDED WITH ANNUAL RYE GRASS.
11. THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ACCUMULATED SEDIMENT AS REQUIRED BY THE CONSERVATION COMMISSION OR AS DIRECTED BY THE ENGINEER.
13. AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A Silt SAG CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
14. ALL DISTURBED NON-PAVED AREAS WITHIN THE PROJECT LIMIT OF WORK SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF SCREENED LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX AND MULCHED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A CONSERVATION SEED MIXTURE OF 20% ANNUAL RYEGRASS, 30% CREEPING RED FESCUE, 30% CHEWINGS FESCUE AND 20% PERENNIAL RYEGRASS IS RECOMMENDED. IF PERMANENT SEEDING CANNOT BE INSTALLED IMMEDIATELY AFTER FINAL GRADING, THE AREAS ARE TO BE TEMPORARILY MULCHED TO STABILIZE ALL SLOPES UPON COMPLETION OF WORK TO PREVENT EROSION OF SOILS INTO THE RESOURCE AREAS AND THEIR ASSOCIATED BUFFER ZONES. DURING THE GROW-IN PERIOD, TEMPORARY EROSION CONTROLS (I.E. BARK MULCH OR STRAW) IS TO BE USED TO PREVENT EROSION DURING PERIODS OF RAINFALL OR SNOW MELT. WHERE PRACTICAL DURING CONSTRUCTION, DISTURBED AREAS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
15. ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
16. DEWATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS. AND ADJUTING PROPERTIES.
17. ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE REMOVED IN THEIR ENTIRETY AFTER FINAL SITE STABILIZATION AND ISSUANCE OF THE FINAL CERTIFICATE OF COMPLIANCE BY THE CONSERVATION COMMISSION.
18. THE APPLICANT JS TO NOTIFY THE LEICESTER CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS. THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE. THAT IS TO BE RECORDED AT THE WORCESTER REGISTRY OF DEEDS.

SHEET A

SHEET C

GRADING & DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
3. ALL ELEVATIONS REFER TO NAVD 88.
4. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
7. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
8. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT
9. ROOF DRAINS SHALL CONNECT TO NEAREST DRAIN STRUCTURE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
10. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
11. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
14. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
15. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
16. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
17. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
18. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
19. ALL DRAINAGE SHALL CONFORM TO LOCAL AND MADEP REQUIREMENTS.
20. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
21. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
22. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- DETENTION CHAMBER
- FLOW DIRECTION

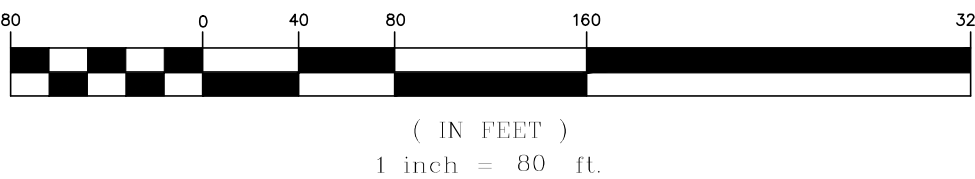
SOIL TESTING NOTES:

1. ADDITIONAL TEST PITS SHALL BE DUG WITHIN THE FOOTPRINT OF EACH DRYWELL USED FOR STORMWATER INFILTRATION. A MINIMUM OF 2 VERTICAL FEET BELOW THE BOTTOM OF STONE ELEVATION. DURING EXCAVATION, DEPTHS TO BEDROCK AND/OR SEASONAL HIGH WATER SHALL BE OBSERVED AND RECORDED IF ENCOUNTERED. IF LEDGE, BEDROCK OR SIMILAR SUBSURFACE MATERIAL IS DISCOVERED WITHIN 2 VERTICAL FEET FROM THE DESIGNED BOTTOM STONE ELEVATION OF THE INFILTRATION SYSTEM, THE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH CRUSHED STONE OF EQUAL DIAMETER THAT WILL BE USED TO CONSTRUCT THE INFILTRATION SYSTEM.
2. IN THE EVENT THE ON-SITE CONDITIONS ARE NOT CONSISTENT WITH THE MODELED INFILTRATION RATE, MODIFICATIONS TO THE SYSTEM MUST BE REVIEWED AND APPROVED BY THE TOWN'S ENGINEER AND BY THE PLANNING STAFF.

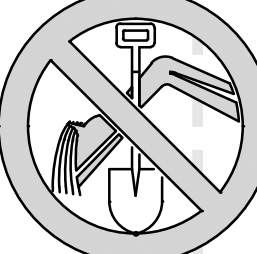
SOIL EXCAVATION NOTE:

1. PER LEICESTER PLANNING BOARD SITE PLAN REVIEW REGULATIONS, SECTION II.F.9: PROPOSED GRADING SHOWN REQUIRES APPROXIMATELY 101,443+/- CUBIC YARDS OF MATERIAL TO BE MOVED.

GRAPHIC SCALE

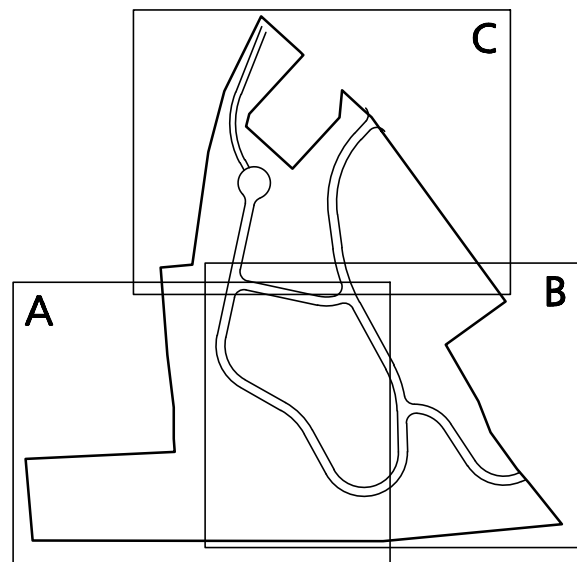


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R:\PROJECTS\2889-01 CIVIL DRAWINGS\CURRENT\C-2889-01 GRADING & DRAINAGE.DWG



KEY MAP

NOT TO SCALE

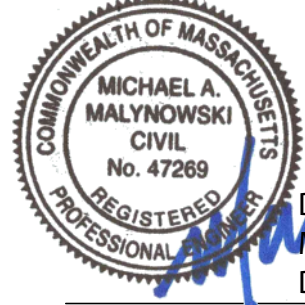
APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael
Malynowski

Date: 2021.12.14 14:02:29 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG. : C-2889-01 Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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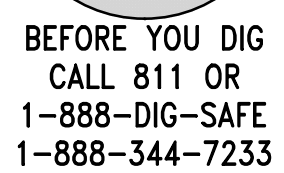
DRAWING TITLE: SHEET NO.

OVERALL GRADING &
DRAINAGE PLAN

C-102

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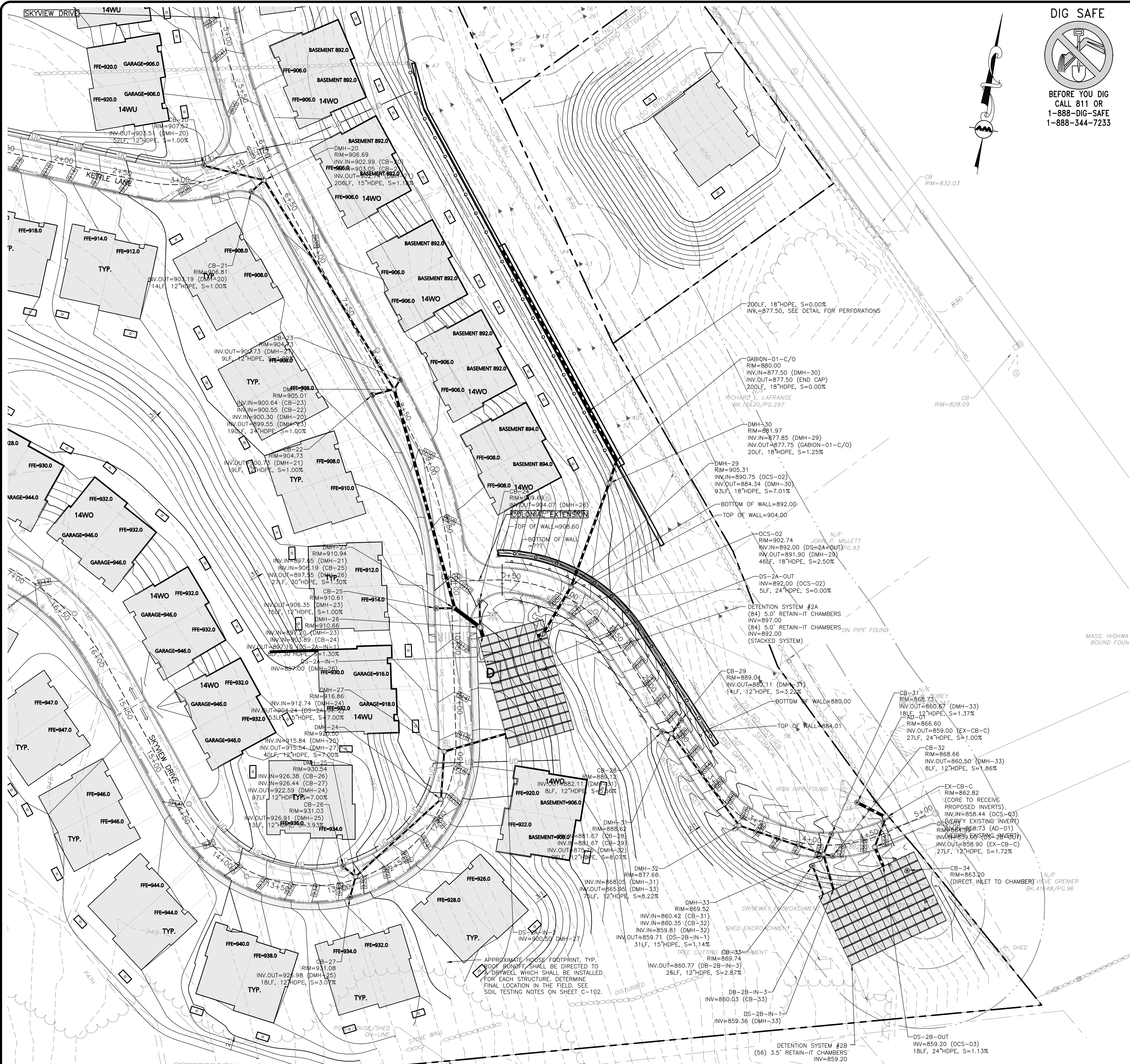
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R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_GRADING & DRAINAGE.DWG



R:\PROJECTS\2889-01 CIVIL DRAWINGS\CURRENT\C-2889-01-GRADING & DRAINAGE.DWG



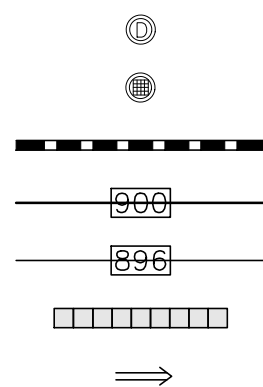
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LEGEND

DRAIN MANHOLE
CATCH BASIN
DRAIN LINE
10' CONTOUR
2' CONTOUR
DETENTION CHAMBER
FLOW DIRECTION



KEY MAP

NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
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AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael
Malynowski
Date: 2021.12.14 14:02:03 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
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1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: c2889-01-grading & drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBRURN MA 01801
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UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES,
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DRAWING TITLE: SHEET NO.

GRADING & DRAINAGE
PLAN

C-102B

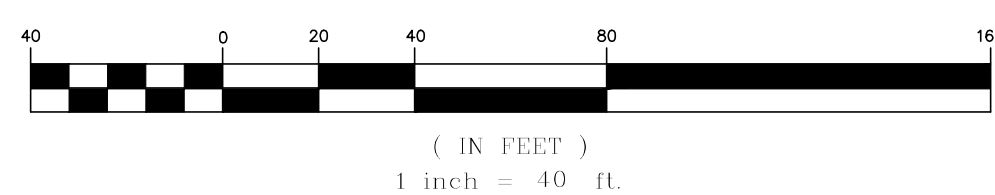
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GRADING & DRAINAGE NOTES:

- REFER TO SHEET C-102 FOR ADDITIONAL COMPLIANCE INFORMATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
- ALL ELEVATIONS REFER TO NAVD 88.
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- AREA DRAINS SHALL BE MINIMUM 24" NYLOPLAST STRUCTURES WITH BEEHIVE GRATES AND 4' SUMPS.

GRAPHIC SCALE



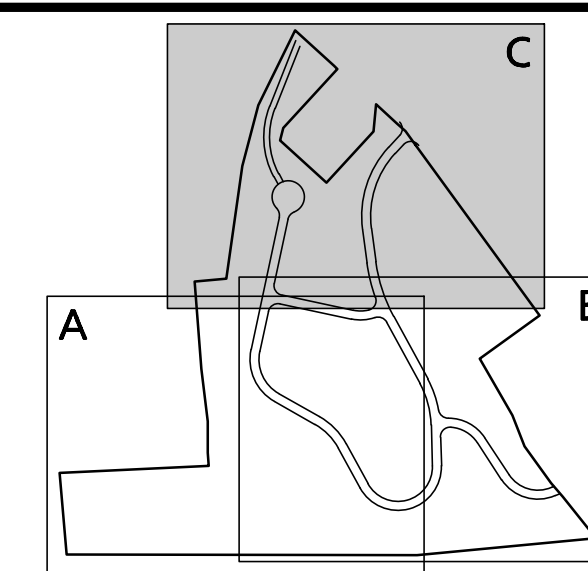


N/F
ROMAN CATHOLIC
BISHOP OF WORCESTER
PL. BK. 25/PL. 4



DRAIN MANHOLE
CATCH BASIN
DRAIN LINE
10' CONTOUR
2' CONTOUR
DETENTION CHAMBER
FLOW DIRECTION

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KEY MAP

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

[illegible]

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael
Malynowski
Date: 2021.12.14 14:03:11
-05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09-17-21
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SCALE: 1" = 40' DWG. : c-2889-01_grading & drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

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civil engineering ♦ land surveying
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www.allenmajor.com
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DRAWING TITLE:

GRADING & DRAINAGE PLAN

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SHEET No.

C-102C

10 OF 25

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R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_UTILITIES.DWG

LEGEND

SEWER MANHOLE

SEWER LINE

WATER LINE

ELEC/TELE/CABLE CONDUIT

GAS LINE

HYDRANT

UTILITY POLE



DIG SAFE

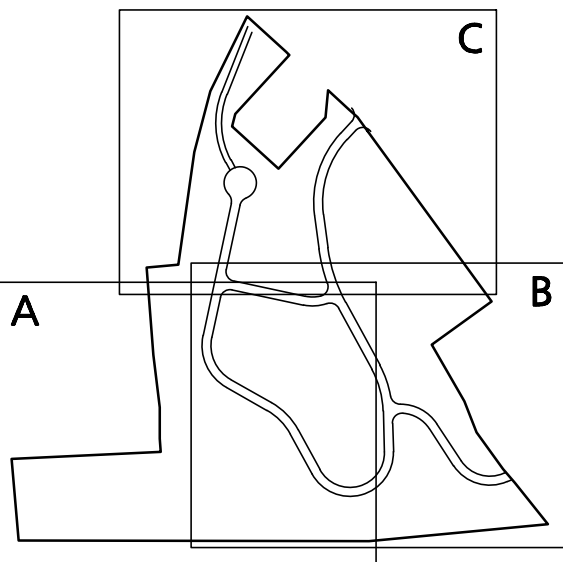
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CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

UTILITY NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MADOT, MADER, MUTCD, AND AASHTO.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE CITY OF DOVER REGULATIONS AND ELECTRIC COMPANY.
- LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

STREET/LOT LIGHTING NOTES:

- EACH GROUPING OF HOMES SHALL BE PROVIDED WITH A STANDARD LAMP POST LIGHT ON THE LOT NEAR THE INTERSECTION OF THE DRIVEWAY WITH THE STREET RIGHT-OF-WAY LINE. THE TYPE AND INSTALLATION SHALL BE AS DIRECTED BY THE TOWN OF LEICESTER PLANNING BOARD AND IN ACCORDANCE WITH THE STATE ELECTRICAL CODES.
- EACH HOUSE LIGHT SHALL BE PLACED ON A DUSK TO DAWN TIMER AND SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER AND MAINTAINED IN PERPETUITY AS STATED IN THE RECORDED COVENANTS.



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael A. Malynowski

Date: 2021.12.14 13:55:50 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 80' DWG.: C-2889-01_Utillities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil engineering • land surveying
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www.allenmajor.com

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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DRAWING TITLE: OVERALL UTILITIES PLAN

SHEET NO.

C-103

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R:\PROJECTS\2889-01 CIVIL DRAWINGS\CURRENT\C-2889-01 UTILITIES.DWG



LEGEND

SEWER MANHOLE

SEWER LINE

WATER LINE

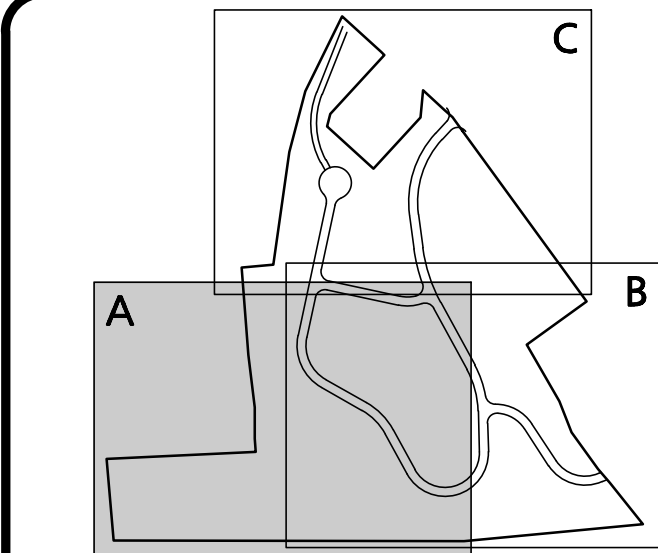
ELEC/TELE/CABLE CONDUIT

GAS LINE

HYDRANT

UTILITY POLE

- GENERAL PLAN NOTES:**
- REFER TO SHEET C-103 FOR ADDITIONAL COMPLIANCE INFORMATION.
 - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
 - ALL ELEVATIONS REFER TO NAVD 88.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.F.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
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KEY MAP
NOT TO SCALE

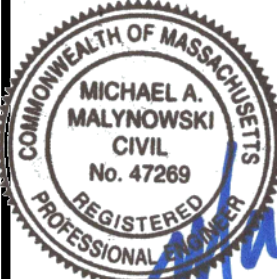
APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

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TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2021.12.14 13:55:29 -05'00'
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C-2889-01 Utilities

DESIGNED BY: SM CHECKED BY: MAM

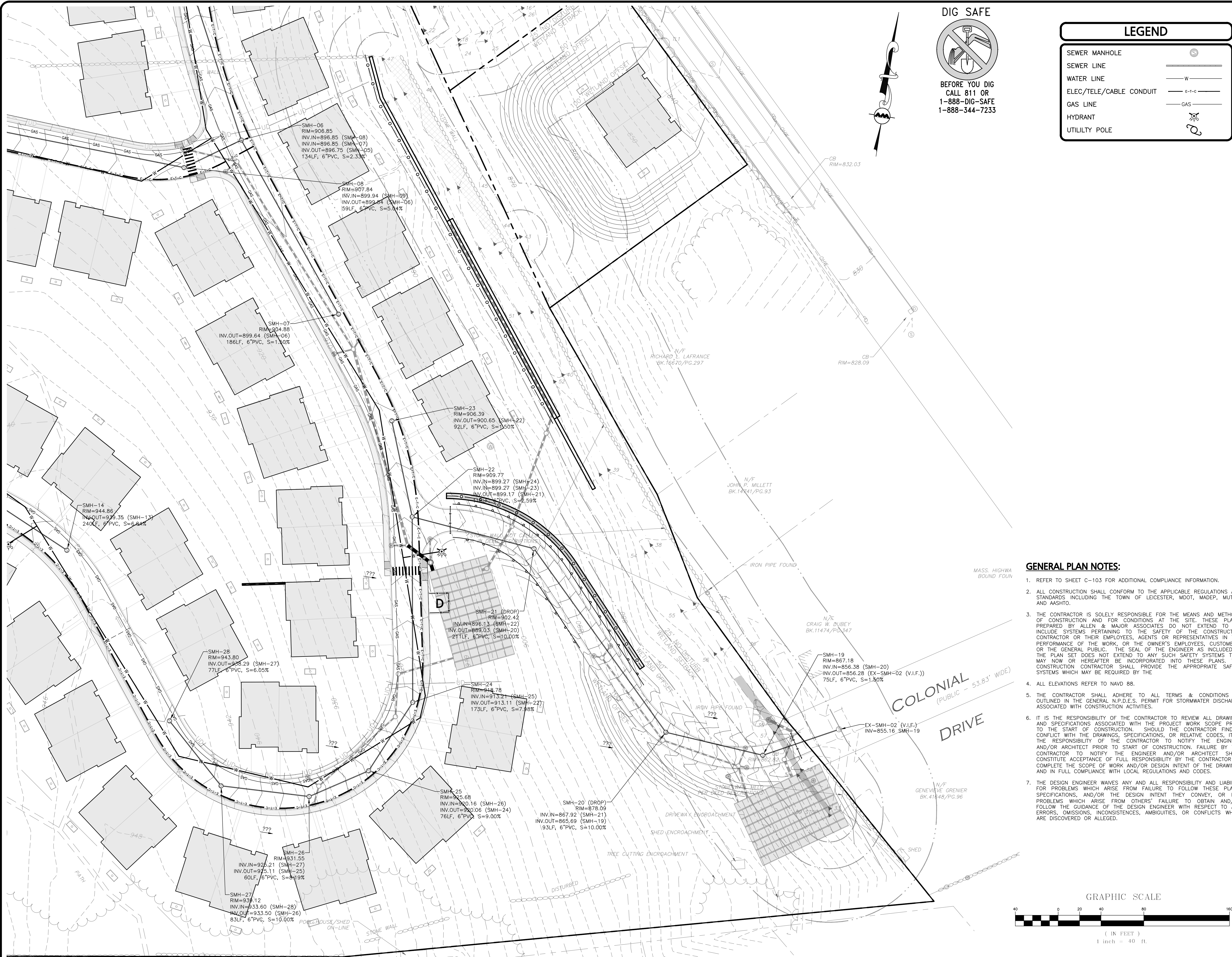
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www.allenmajor.com
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TEL: (781) 935-6889
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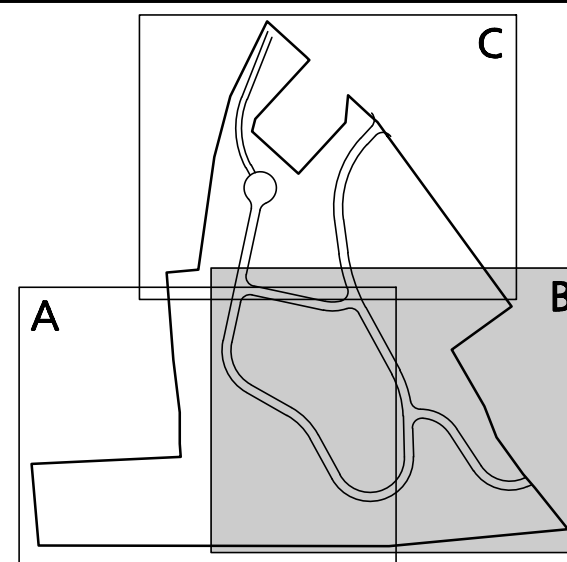
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1-888-344-7233

LEGEND

SEWER MANHOLE	
SEWER LINE	
WATER LINE	
ELEC/TELE/CABLE CONDUIT	
GAS LINE	
HYDRANT	
UTILITY POLE	



KEY MAP

NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
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AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael
Malynowski

Date: 2021.12.14 13:56:10 -0500

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C-2889-01_Utillities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



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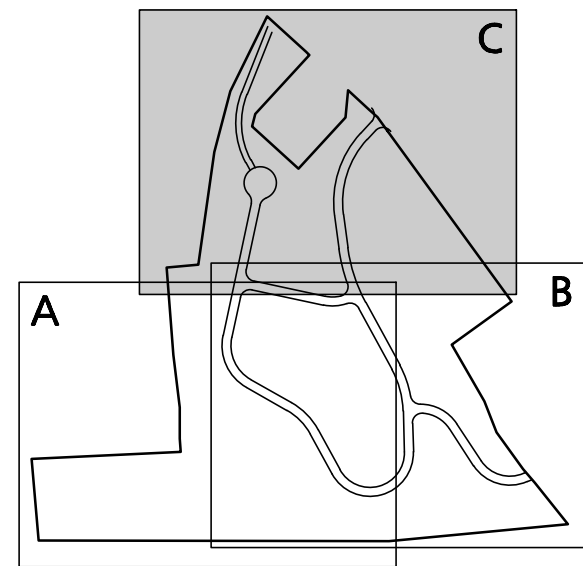
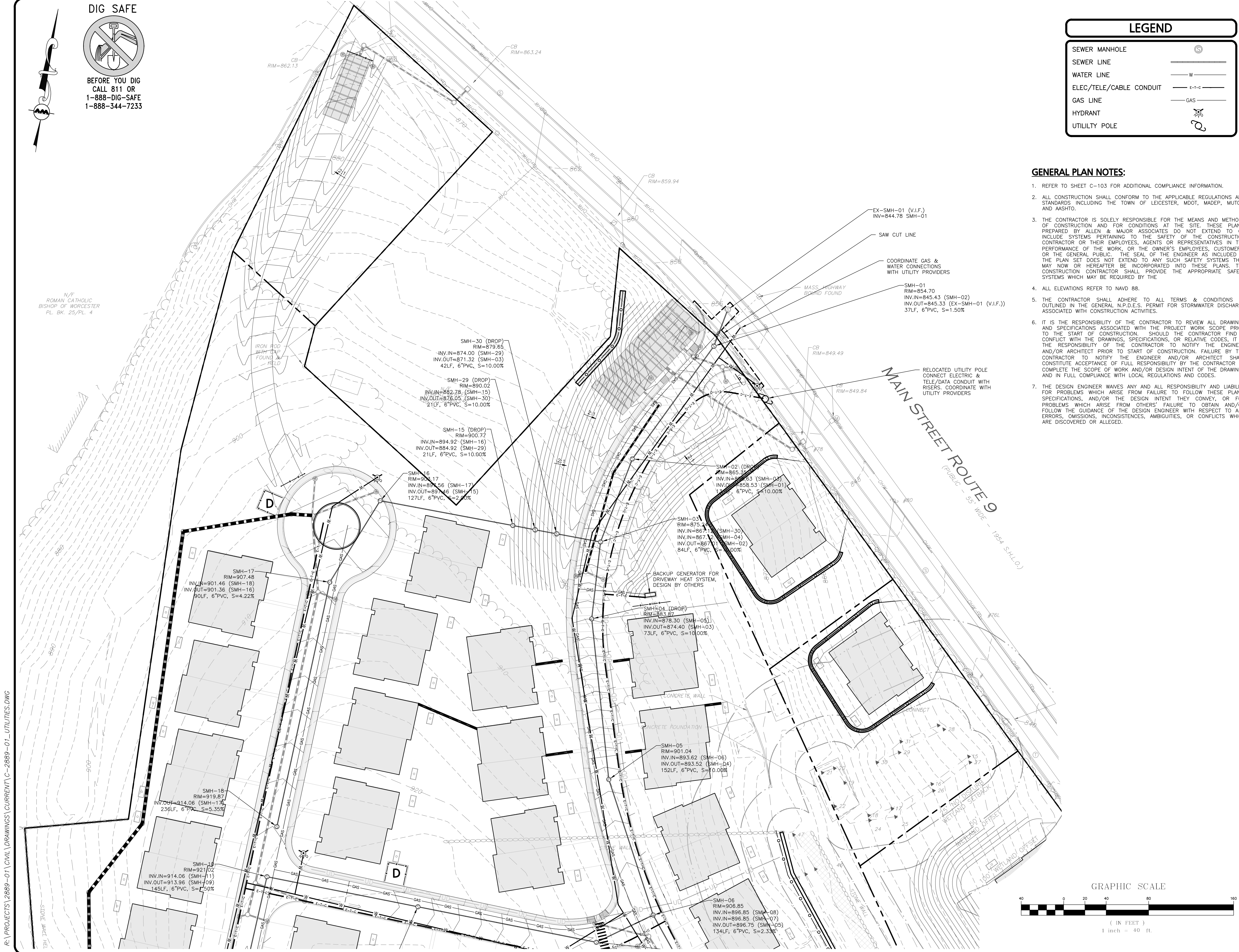
UTILITY PLAN

SHEET NO.

C-103B

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13 OF 25



APPROVAL UNDER SITE PLAN APPROVAL
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DATE: _____

LEICESTER PLANNING BOARD

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TOWN CLERK - TOWN OF LEICESTER

Michael A. Malynowski
Civil
No. 47269
Professional Engineer
Date: 2021.12.14 13:57:13 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
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APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG.: C-2889-01_Utillities

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



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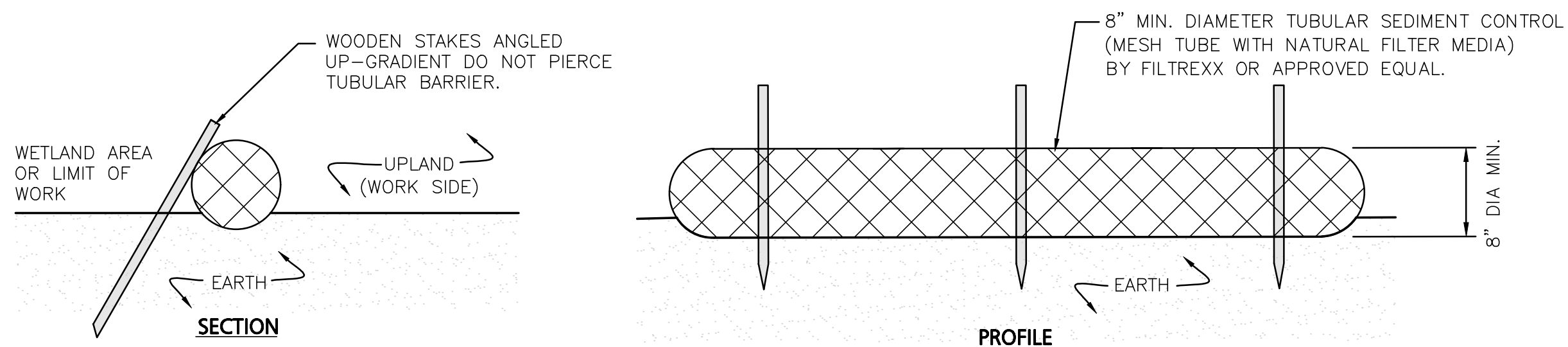
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SHEET No. C-103C

14 OF 25

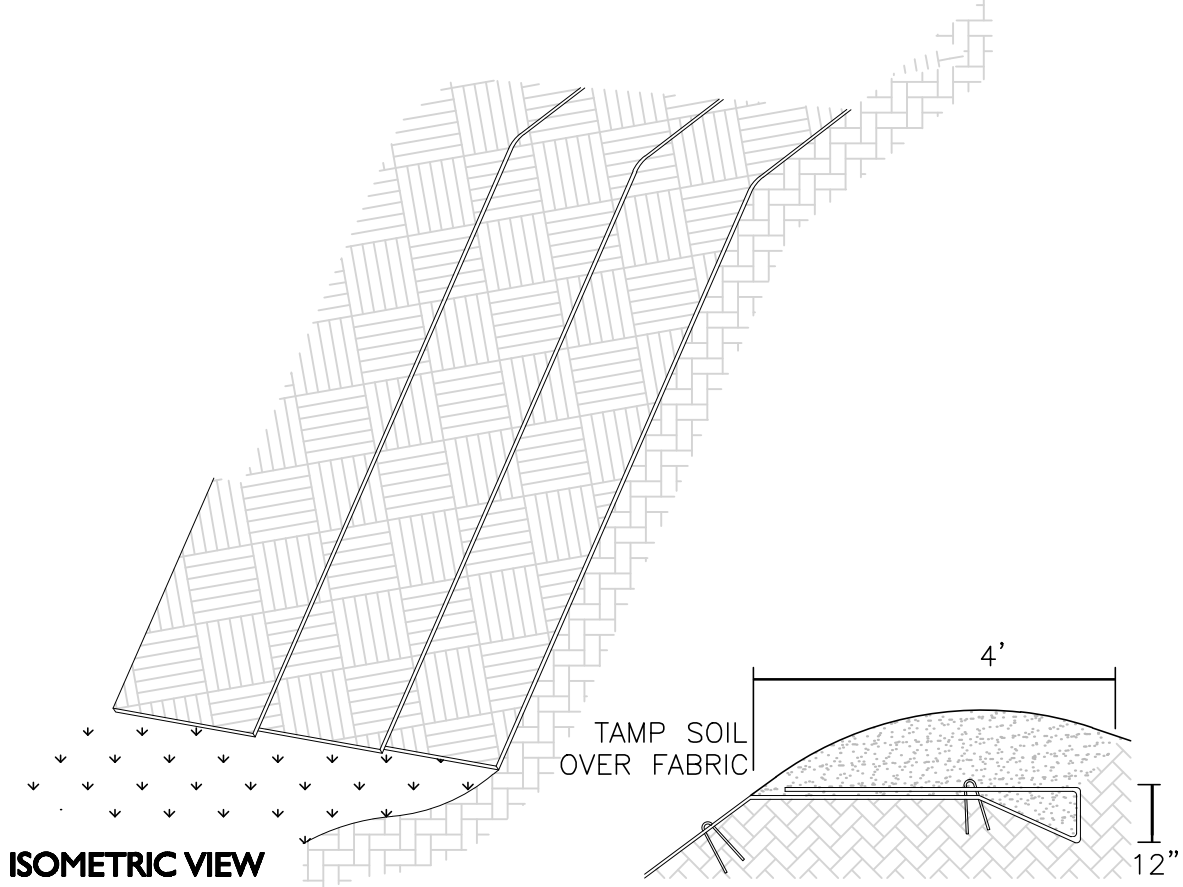
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- NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 8" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 3. INSTALL WOODEN STAKES ANGLED UP-GRAIDENT EVERY 8' ON CENTER
 4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE

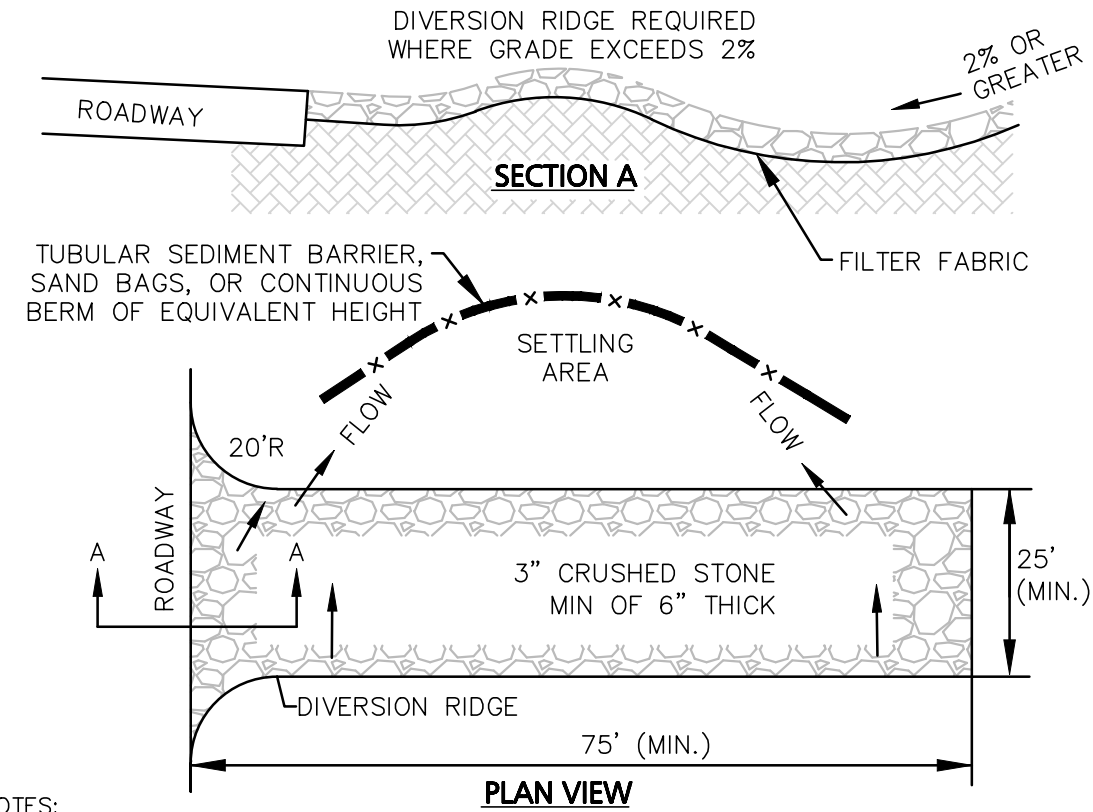
1



- NOTE:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS.
 2. APPLY PERMANENT SEEDING BEFORE PLACING FABRIC.
 3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL FABRIC
NOT TO SCALE

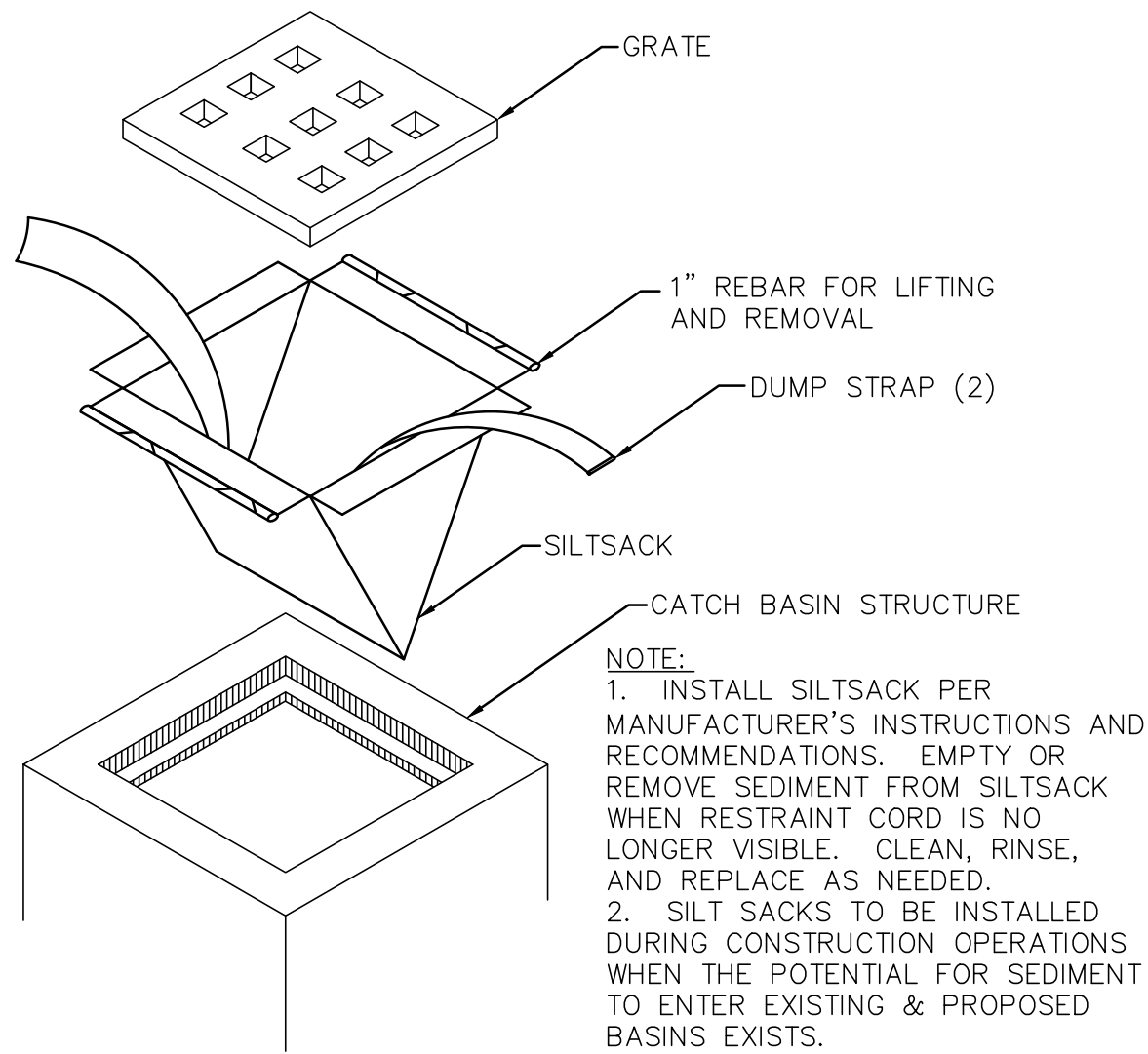
2



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

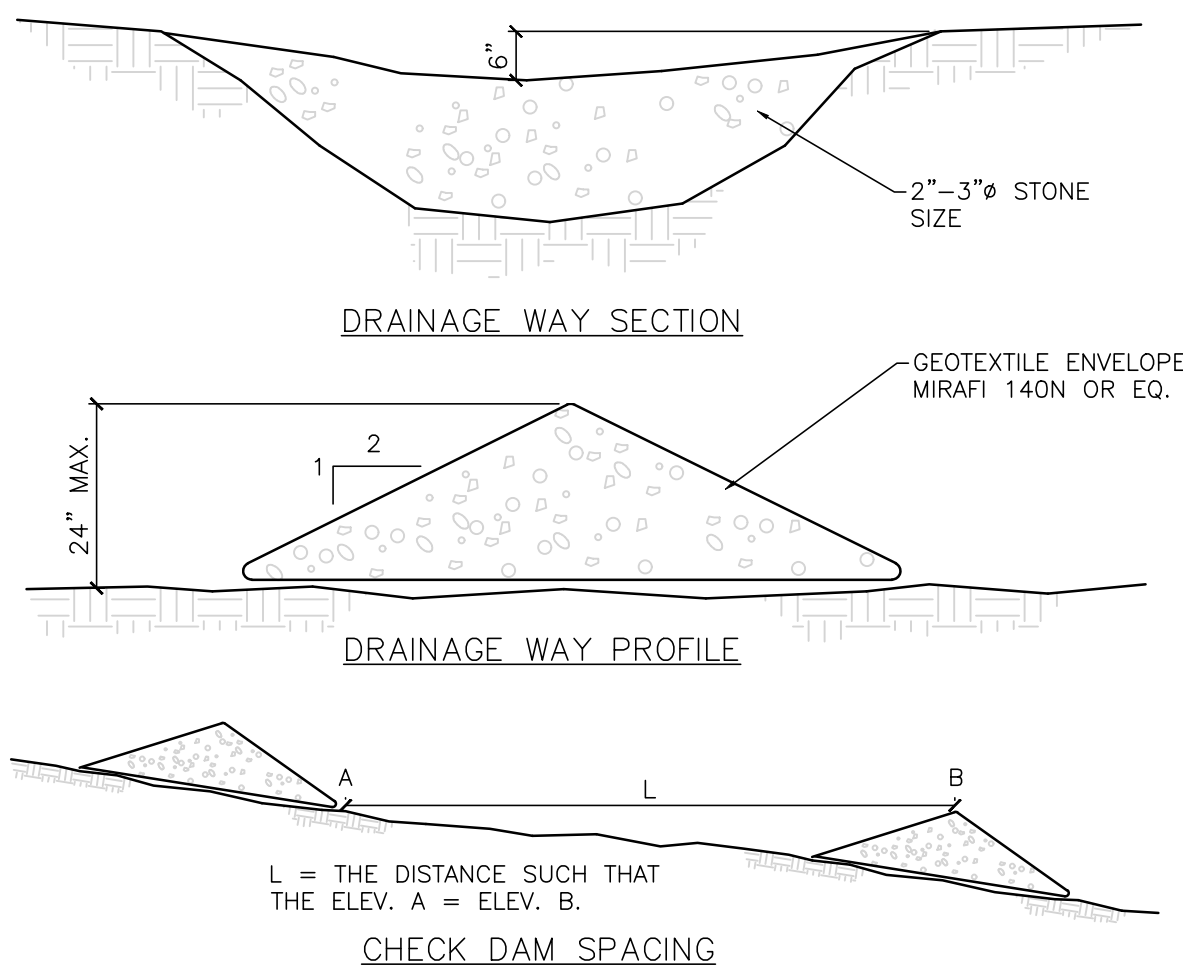
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

3



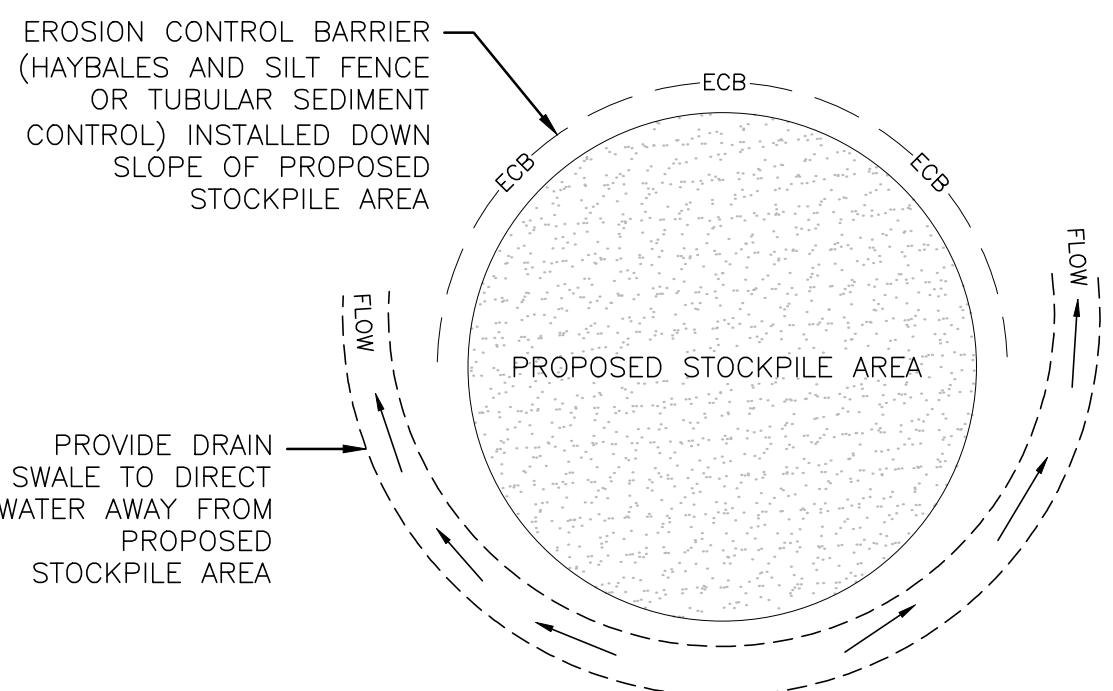
CATCH BASIN INLET PROTECTION
NOT TO SCALE

4



STONE CHECK DAMS
NOT TO SCALE

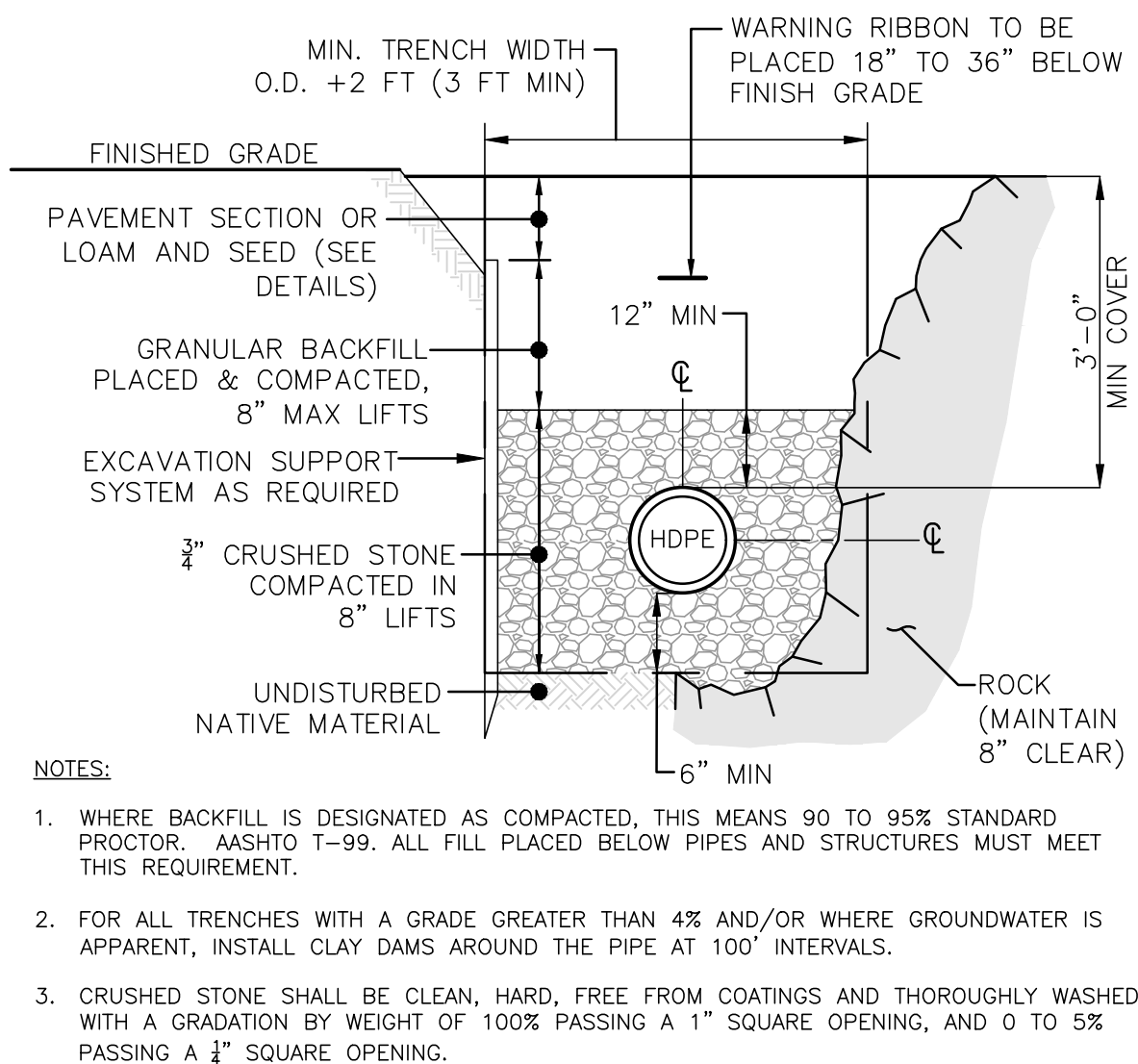
5



- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH HAY AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 3LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

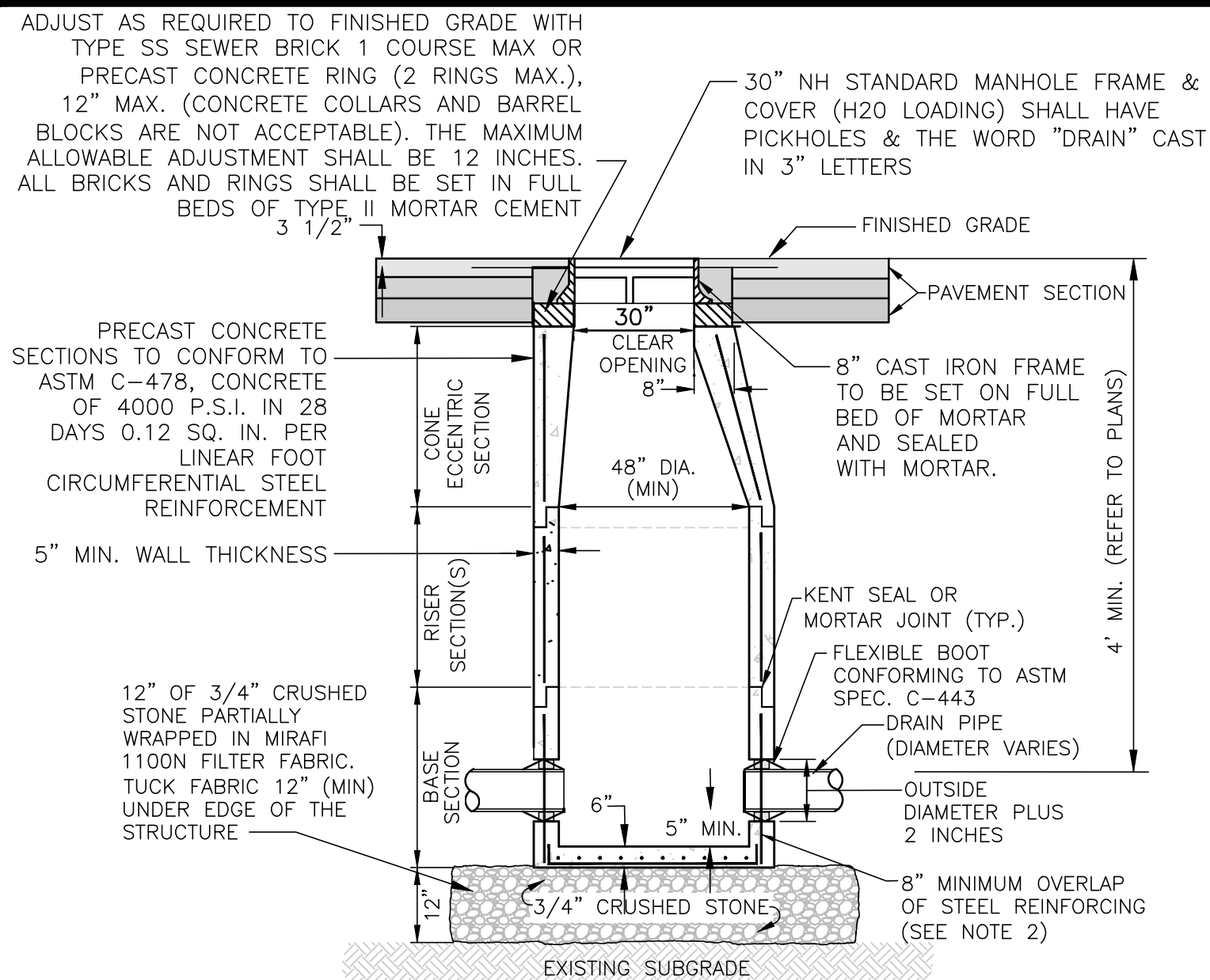
STOCKPILE PROTECTION
NOT TO SCALE

8



DRAIN TRENCH DETAIL
NOT TO SCALE

9



- NOTES:
1. MANHOLE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
 2. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 3. BASE SECTION SHALL BE MONOLITHIC
 4. ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.

DRAIN MANHOLE
NOT TO SCALE

10

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael Malynowski
Date: 2021.12.14 13:55:09 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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265 SUNRISE HIGHWAY, SUITE 1368
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PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: AS SHOWN DWG.: C-2889-01_Details

DESIGNED BY: SM CHECKED BY: MAM

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SHEET No.

C-501

17 OF 25

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.
THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



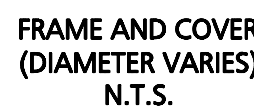
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.

C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.

D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.

E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS2020-5-C RATED TREATMENT CAPACITY IS 2.2 CFS, OR PER LOCAL REGULATIONS. THE STANDARD CDS2020-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS

CONFIGURATION	DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	

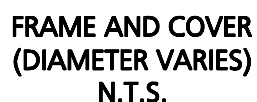
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
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4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE COVER PIPE INVERT ELEVATION. JOINTS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
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E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

[illegible]

I CERTIFY THAT NO NOTICE OF APPEAL
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RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

Digitally signed by Michael
Malynowski
Date: 2021.12.14 13:59:58 -05'00

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC

3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09-17-21
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SCALE: AS SHOWN DWG. : C-2889-01 Details

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



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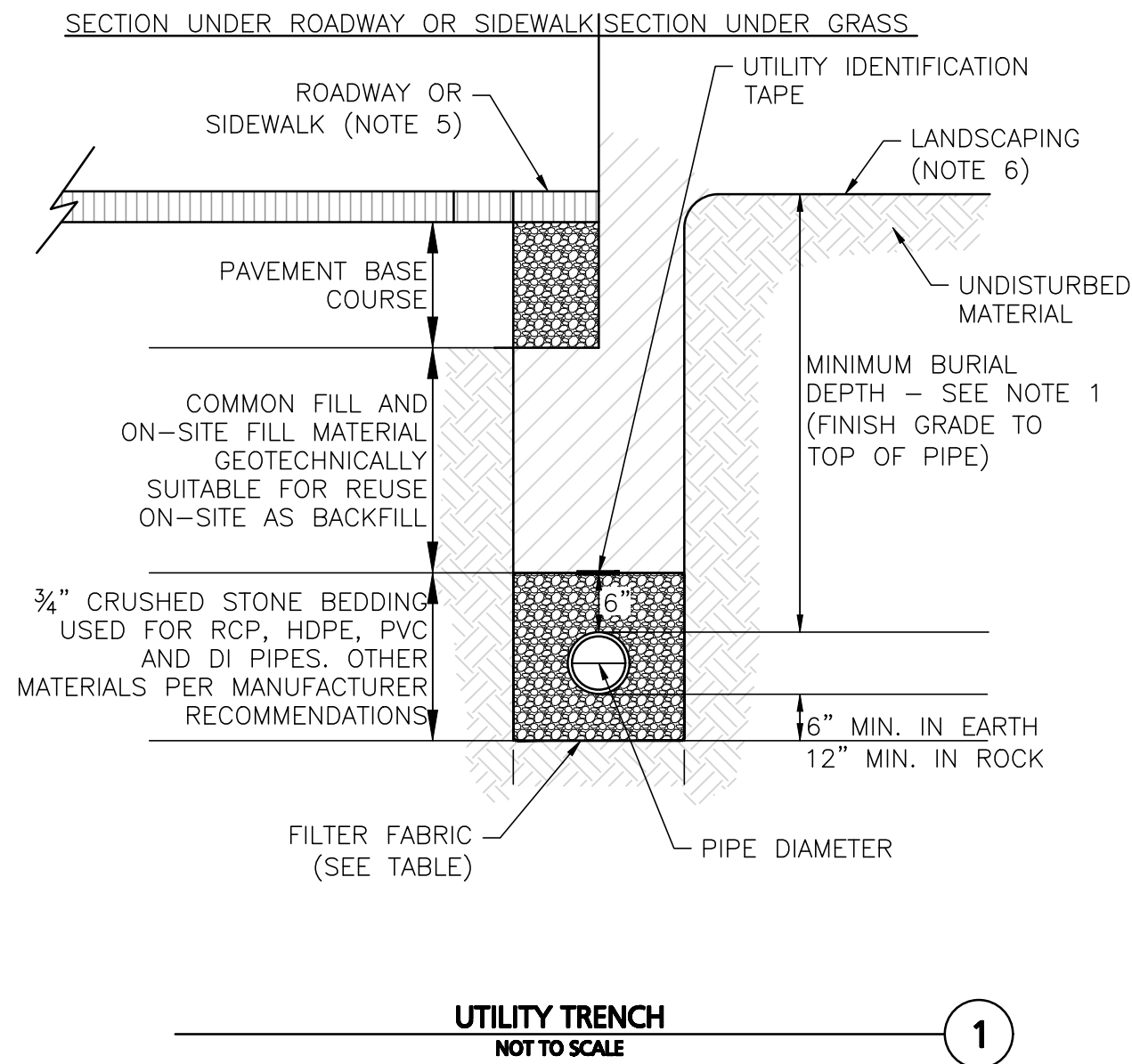
18 OF 25

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_DETAILS.DWG

NOTES:

1. MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)
GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE
PRESSURE PIPE UNDER PAVING - 4'
PRESSURE PIPE BENEATH UNPAVED - 3'
WATER PIPE - 5'
2. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
3. TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
4. WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED, THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).
5. REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.
6. REFER TO LANDSCAPING DETAILS.

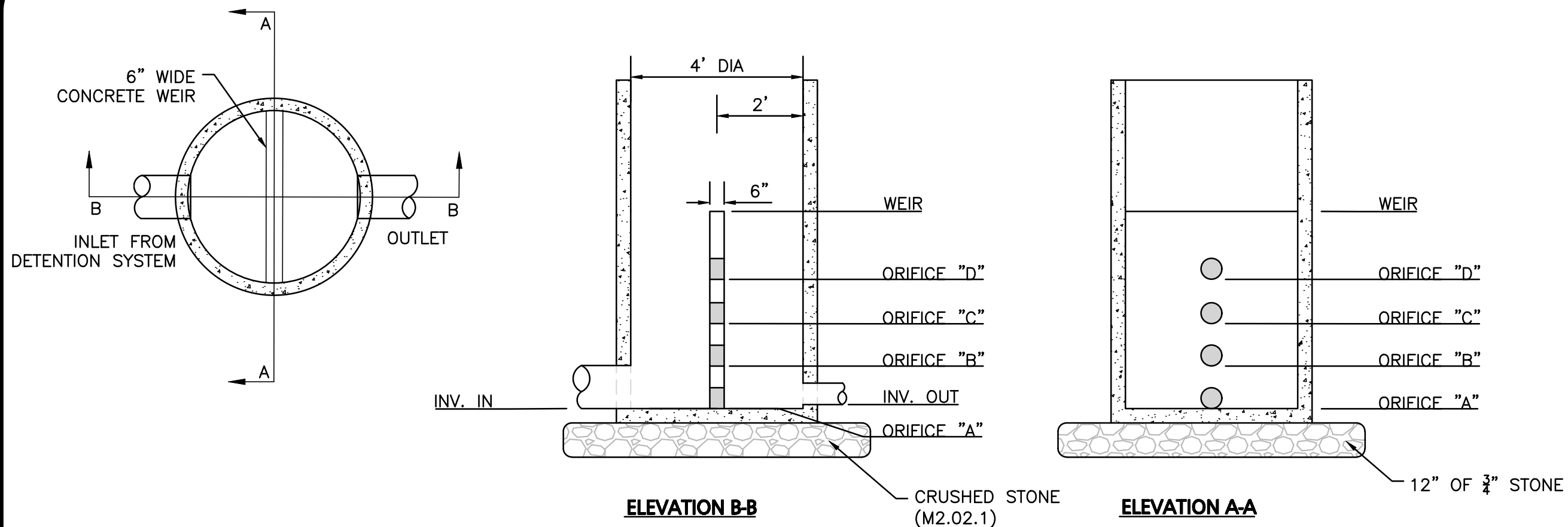
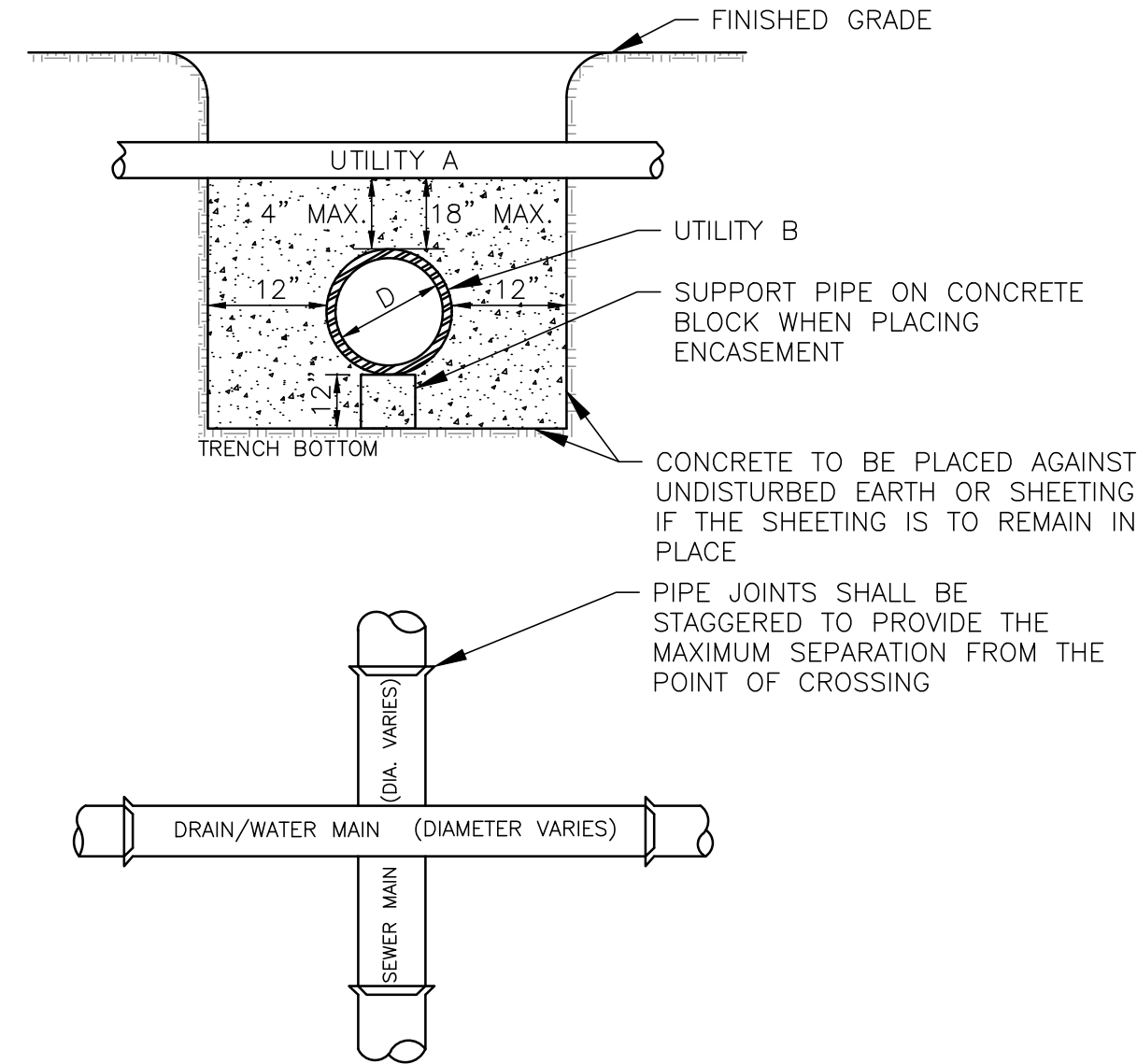
	FILTER FABRIC USE	
	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED



NOTES:

WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/DRAIN MAIN:

1. THE WATER/DRAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/DRAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
3. THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
4. THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
5. UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
6. WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
7. ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
8. PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.



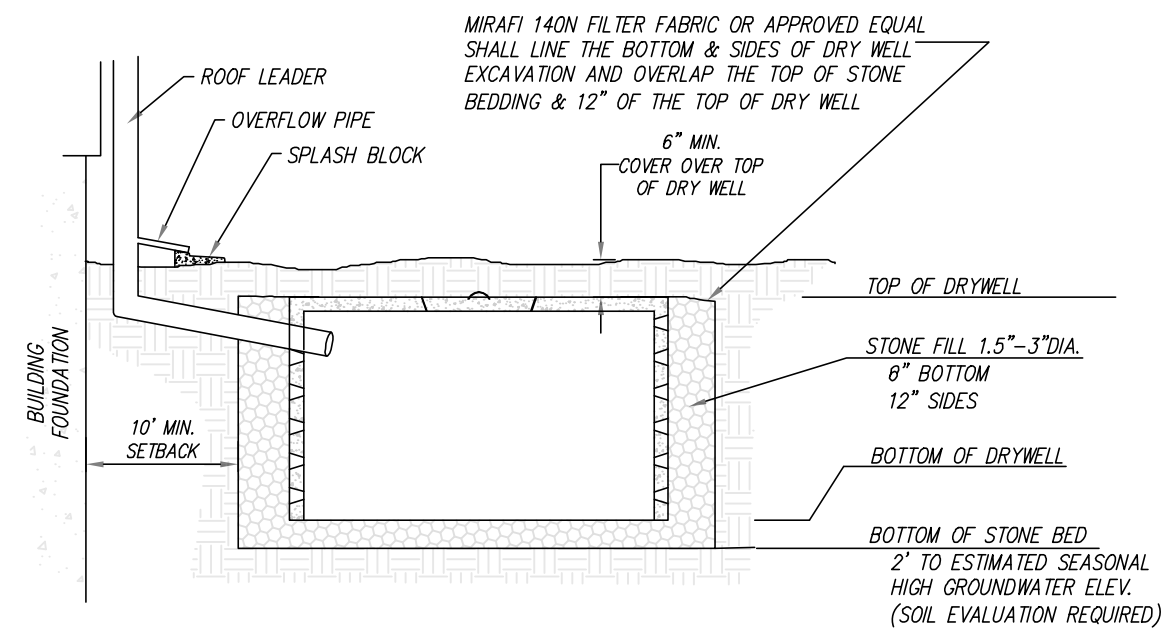
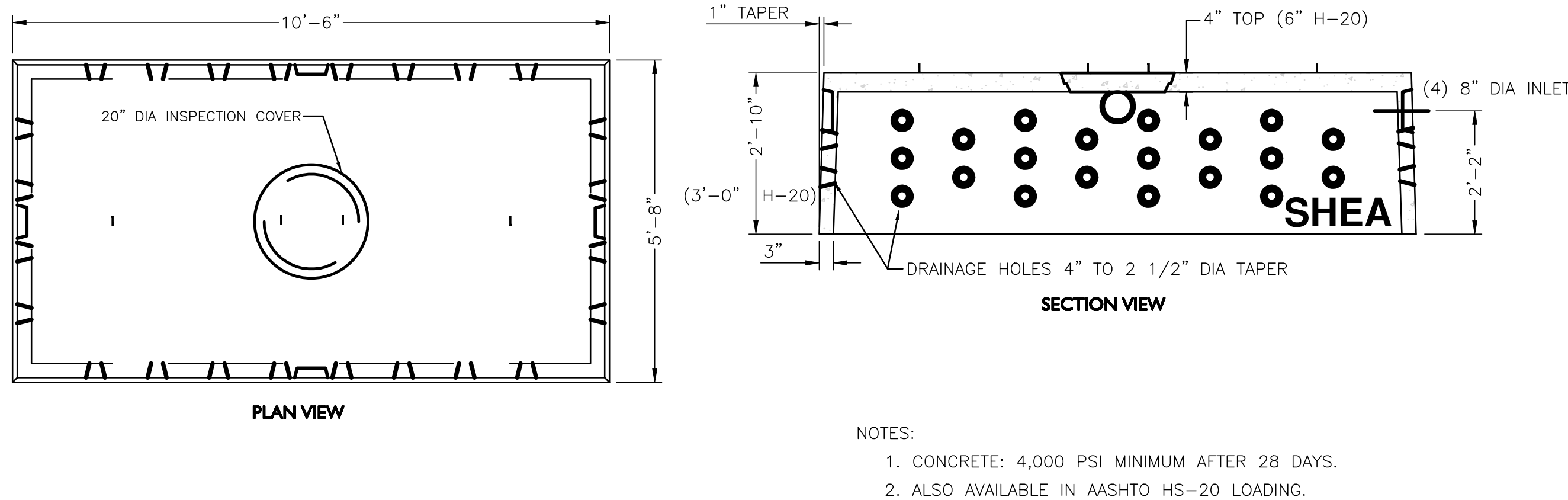
OUTLET CONTROL STRUCTURE TABLE							
STRUCTURE	ORIFICE			INLET		OUTLET	
	IDENTIFIER	DIAMETER	ELEV.	DIAMETER	INVERT ELEV.	DIAMETER	INVERT ELEV.
OCS-1 (DS-1A)	A	3" X 2	847.90	24"	848.00	15"	847.90
	B	7" X 2	849.50				
	C	6" X 2	851.30				
	D	8" X 3	851.90				
	WEIR	N/A	852.80				
OCS-2 (DS-2A)	A	4" X 2	892.00	24"	892.00	24"	892.00
	B	8"	895.40				
	C	8"	898.20				
	D	4"	899.90				
	WEIR	N/A	902.00				
OCS-3 (DS-2B)	A	8"	859.20	24"	859.00	12"	858.90
	WEIR	N/A	862.55				

NOTE:

1. MANHOLE TO MATCH LOCAL DPW STANDARDS

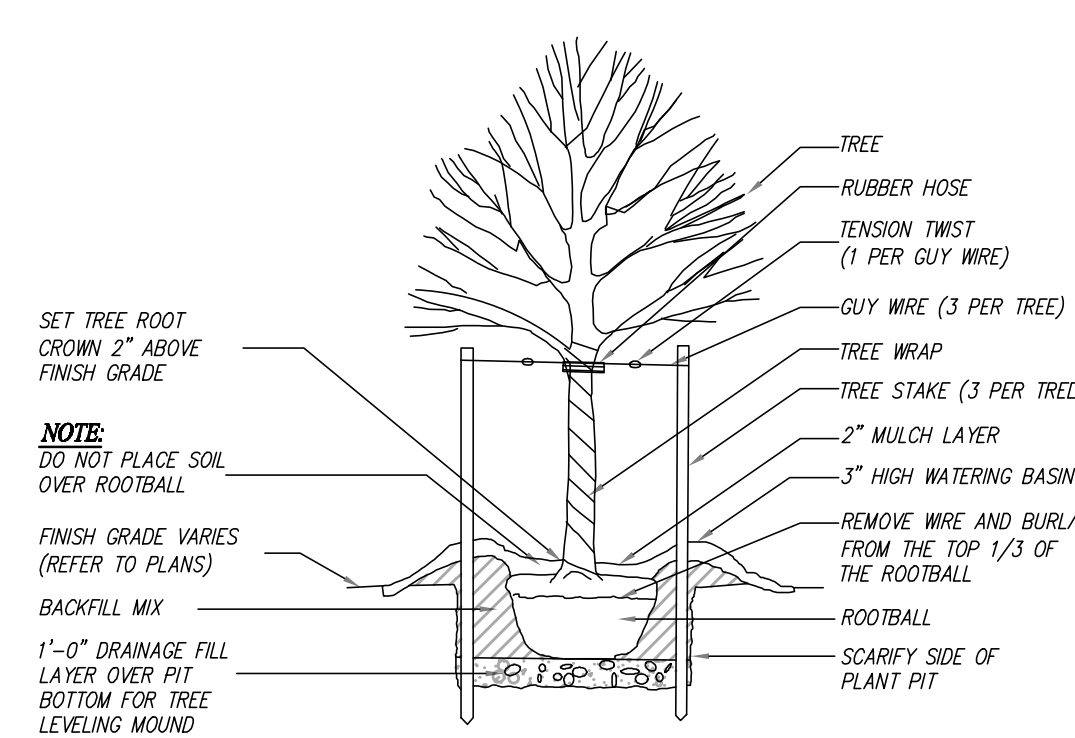
OUTLET CONTROL STRUCTURE
NOT TO SCALE

3



NOTES:

1. DRYWELLS SHALL BE INSTALLED IN STONE BED AS DEPICTED HEREON FOR EACH INDIVIDUAL STRUCTURE FOR STORMWATER RECHARGE, IN A LOCATION WHERE FIELD CONDITIONS MAKE IT POSSIBLE. EACH LOCATION SHALL BE EVALUATED BASED ON SITE SOIL EVALUATION OF THE ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION AT THE TIME OF LOT CONSTRUCTION.
2. THE DRYWELLS SHALL BE SHEA CONCRETE PRODUCTS 1000 GALLON SHALLOW RECTANGULAR OR APPROVED EQUAL.
3. THE DRYWELLS SHALL BE RATED FOR H20 LOADING.



APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

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TOWN CLERK - TOWN OF LEICESTER



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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: AS SHOWN DWG.: C-2889-01_Details

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
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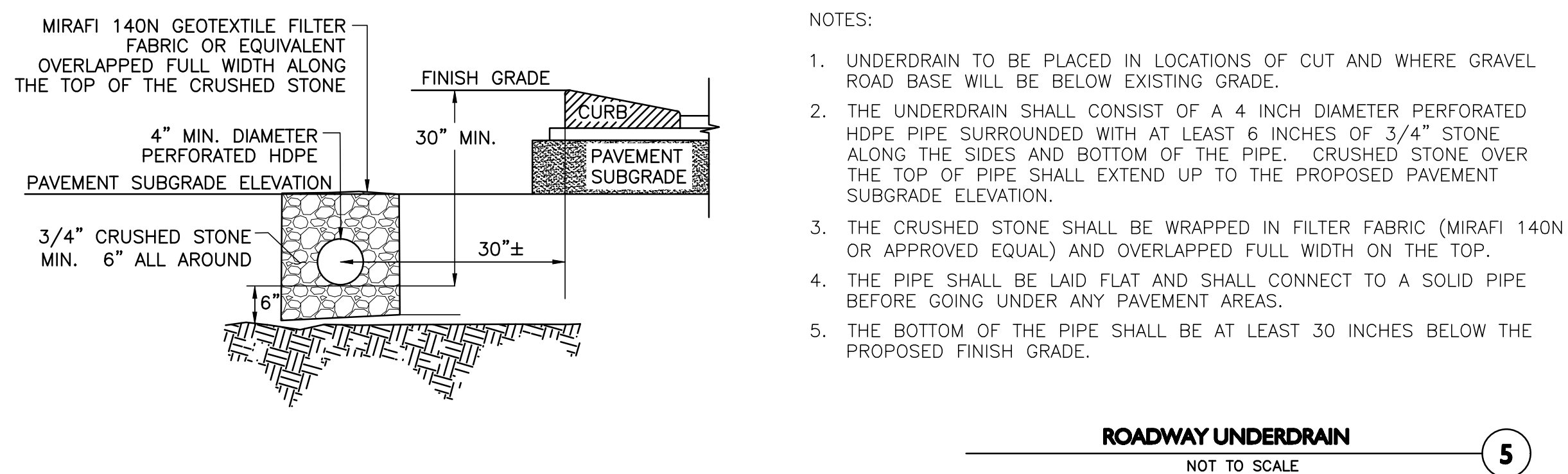
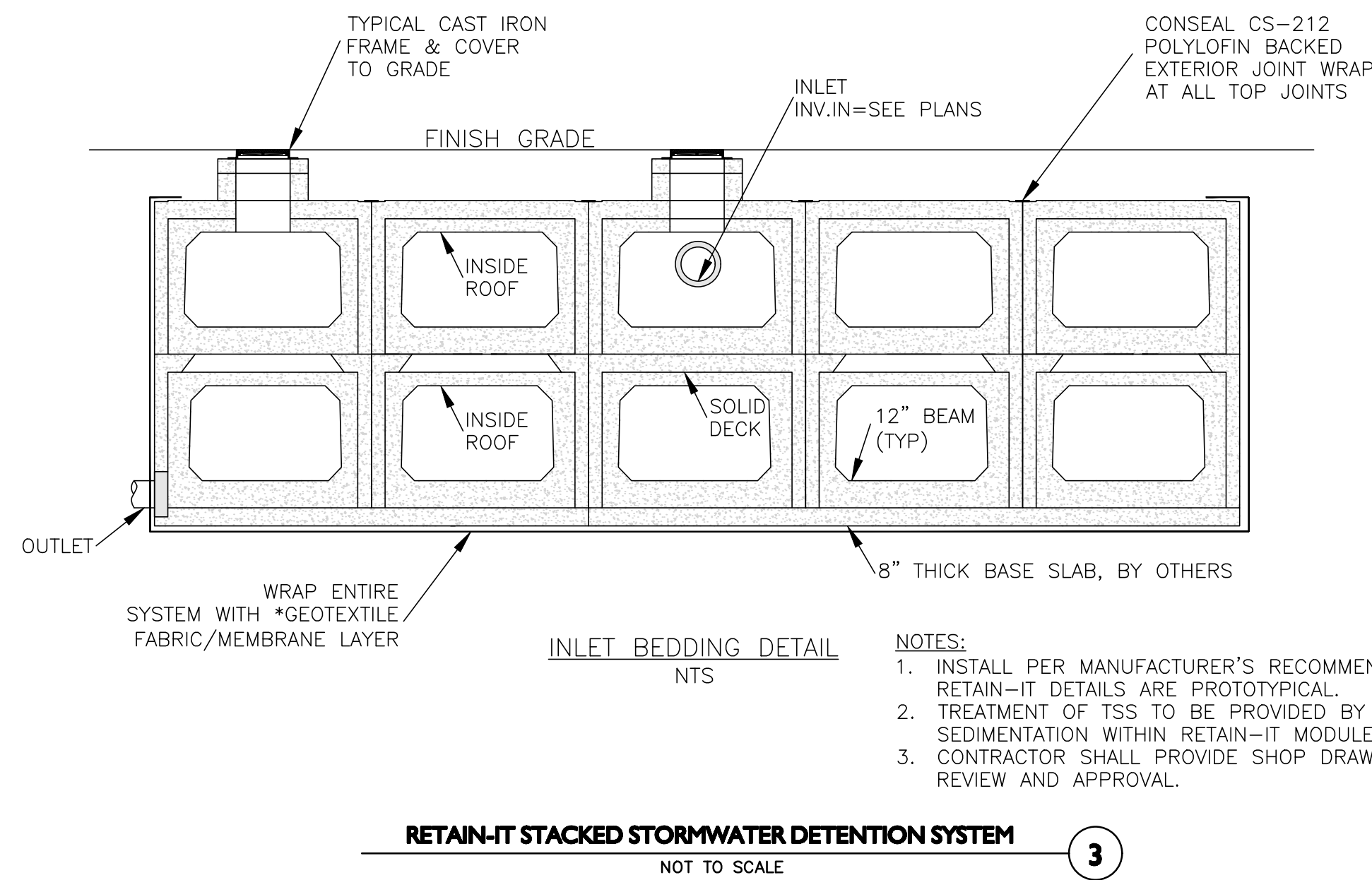
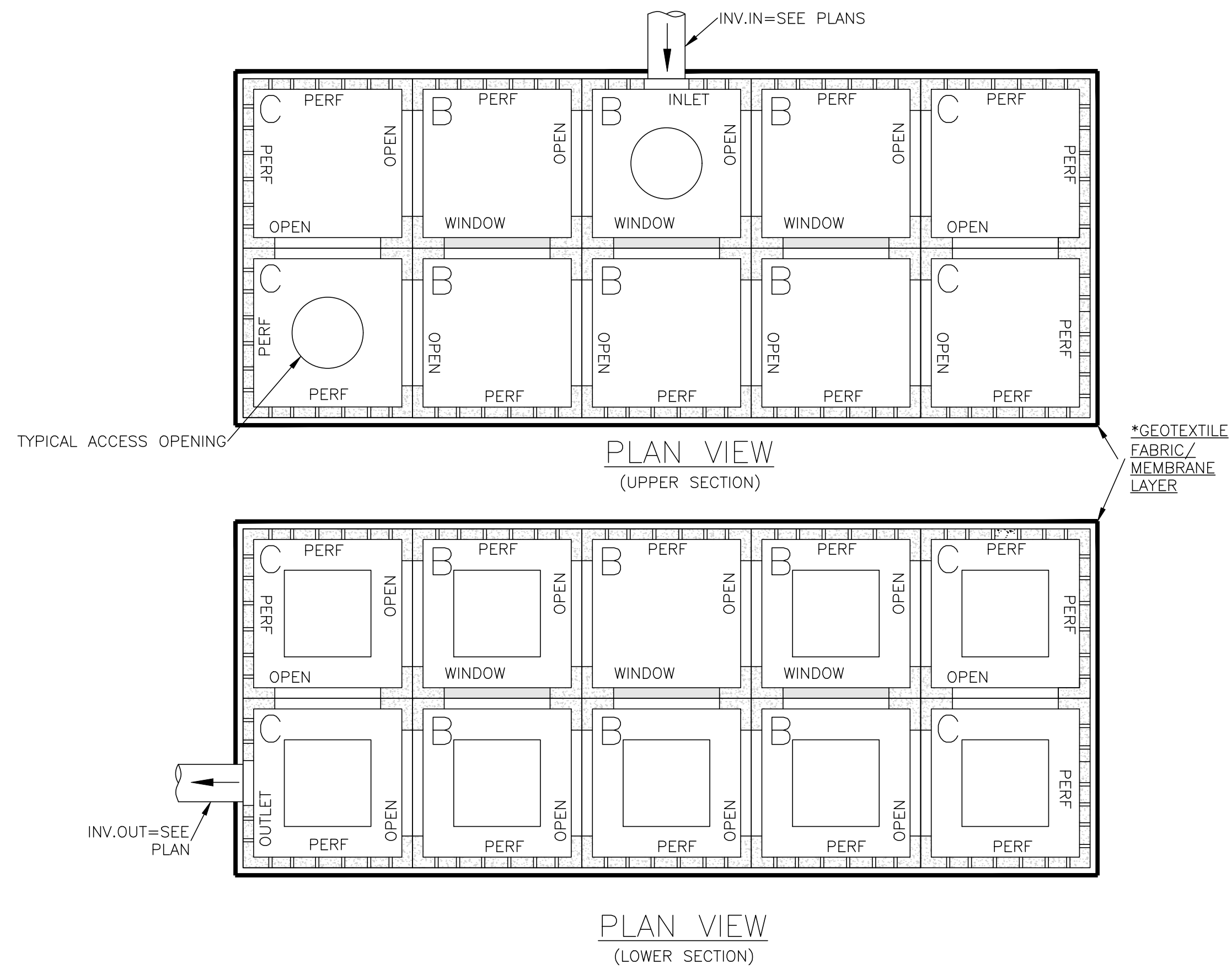
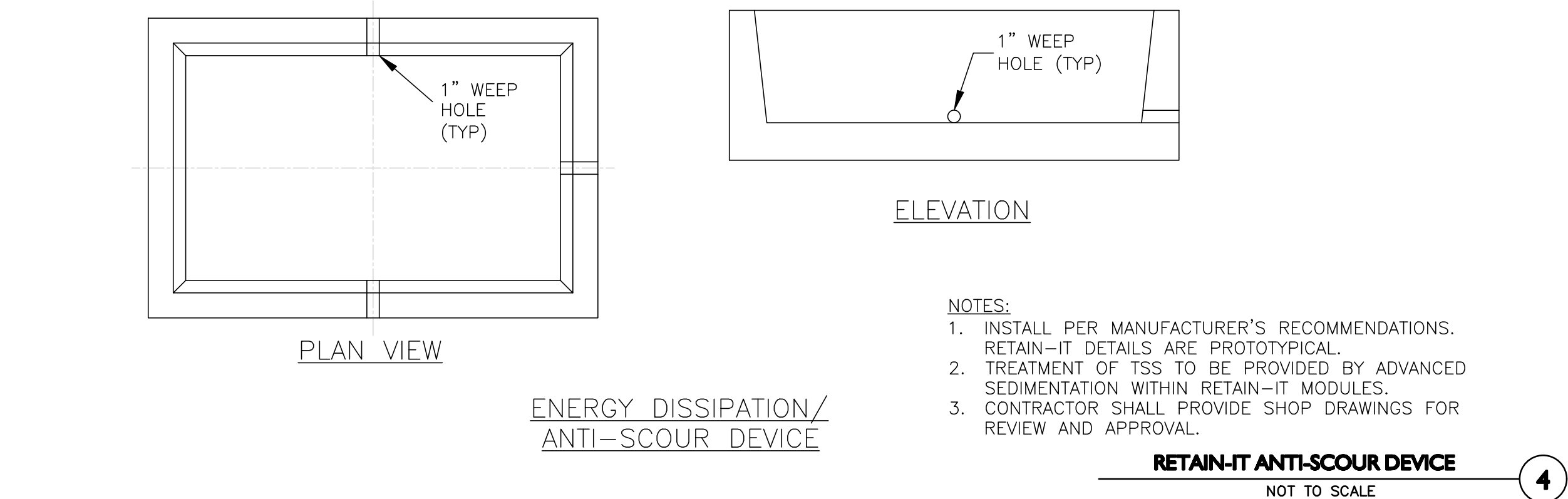
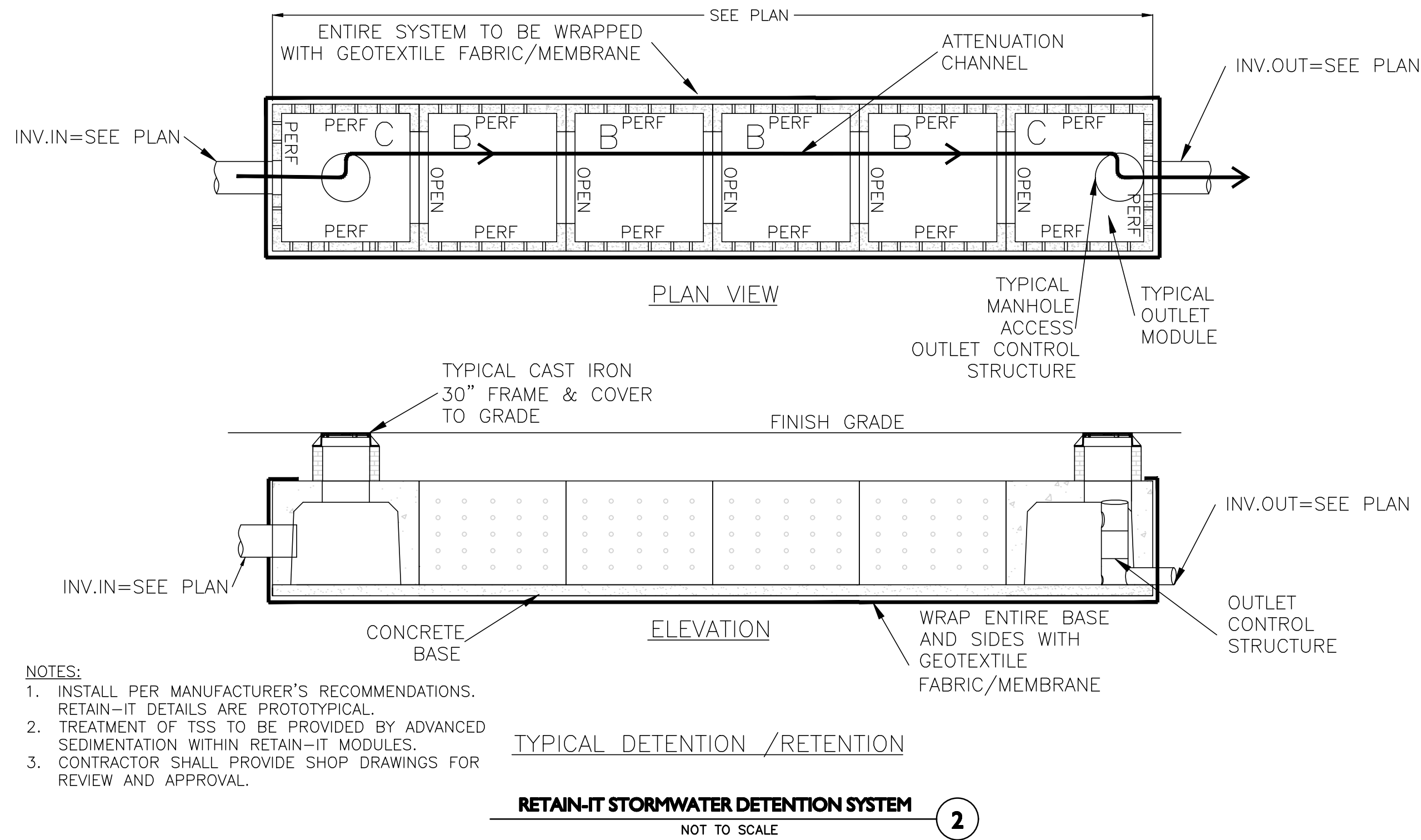
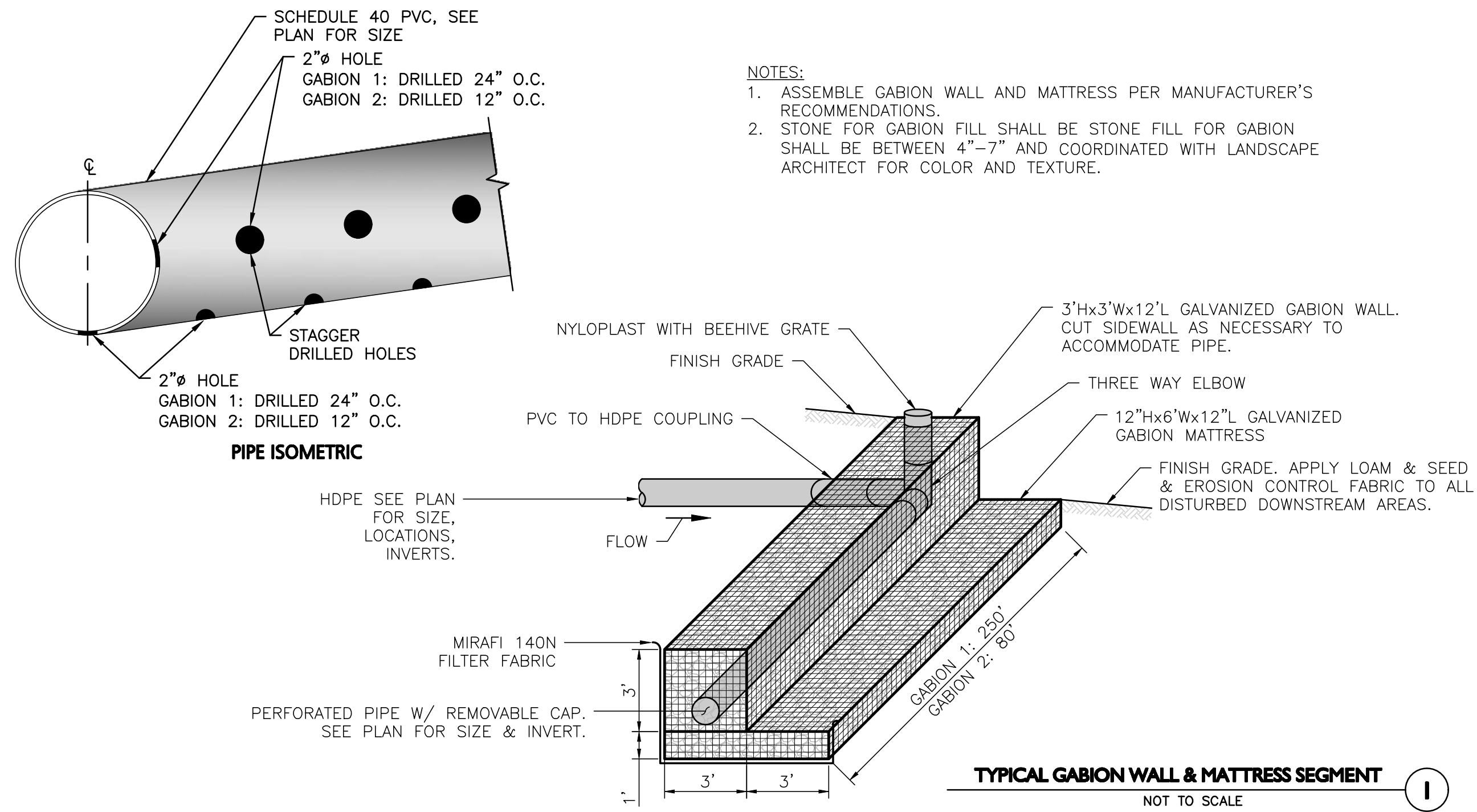
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MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: AS SHOWN DWG.: C-2889-01_Details

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
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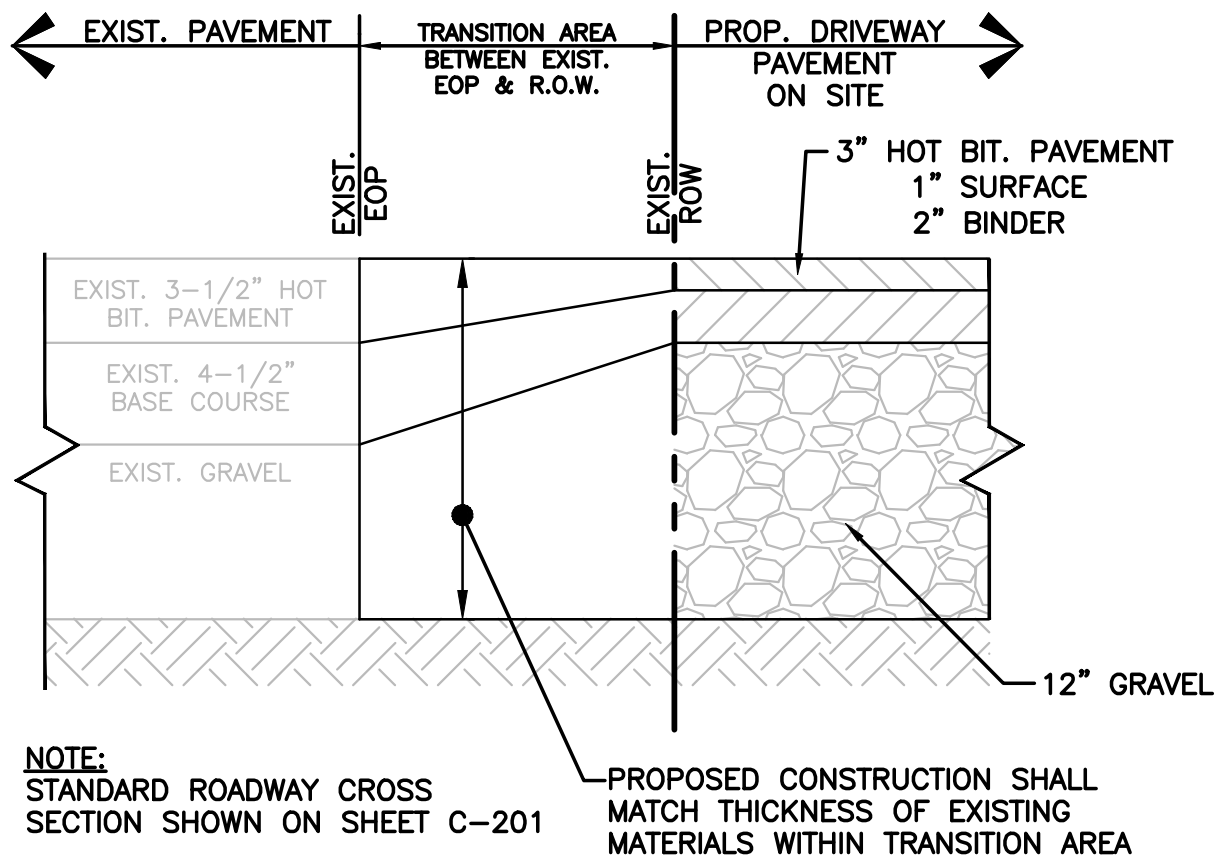
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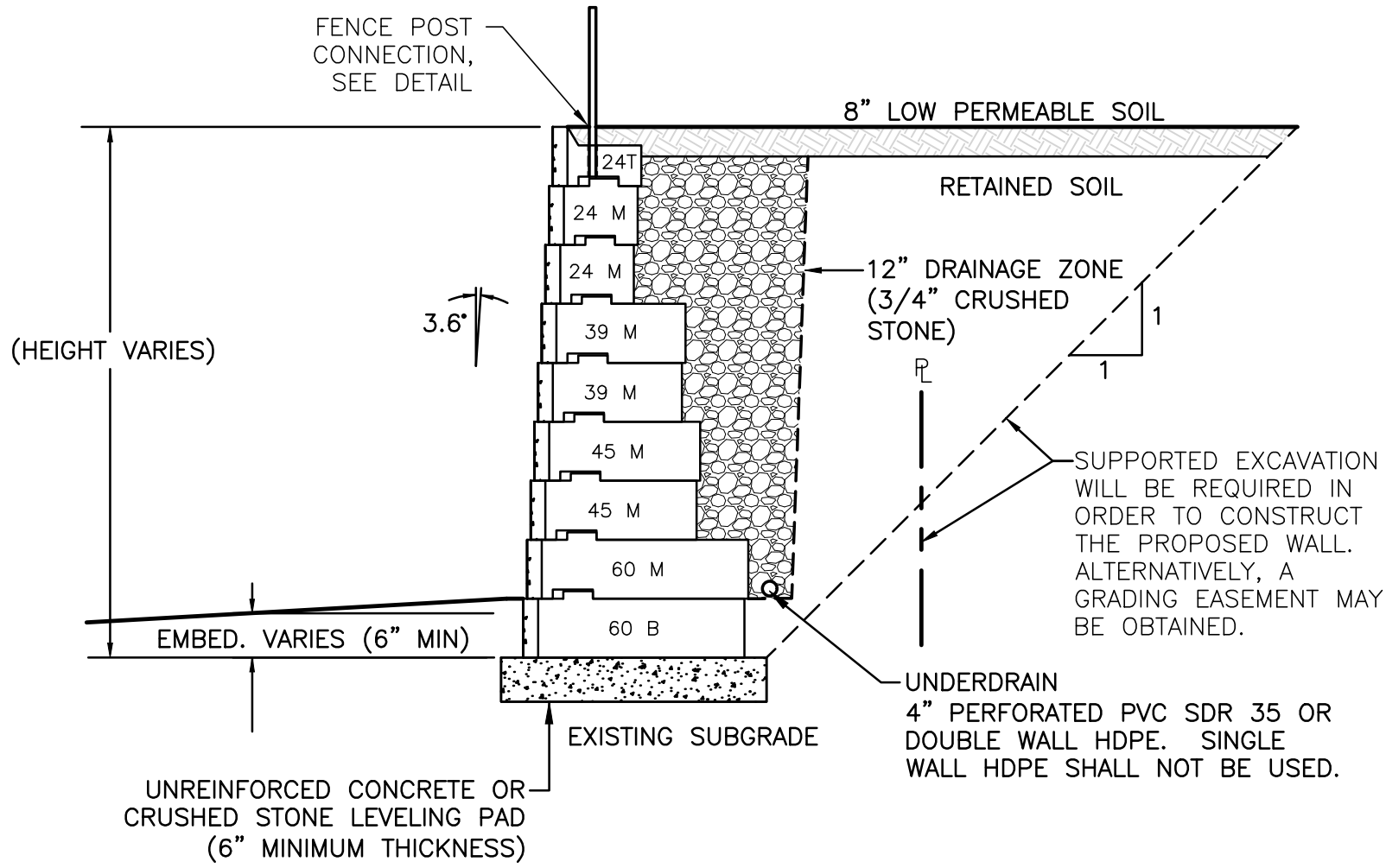
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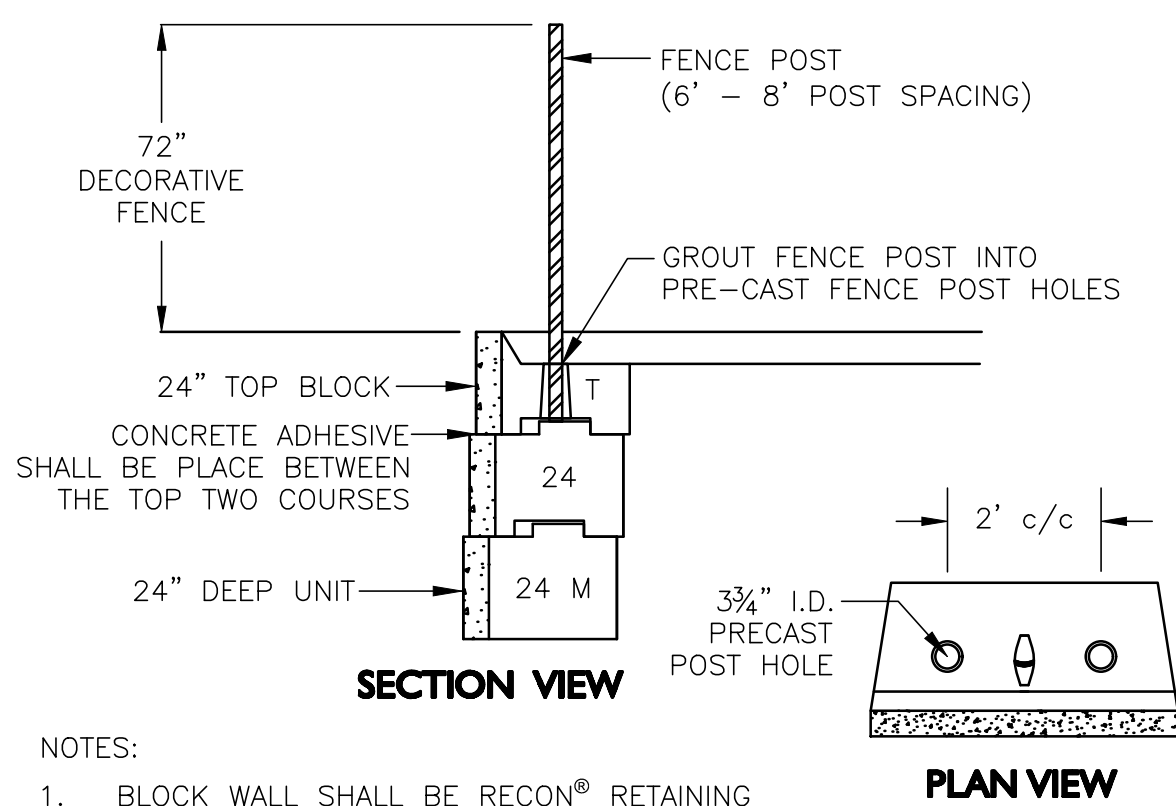
PAVEMENT TRANSITION
NOT TO SCALE

1



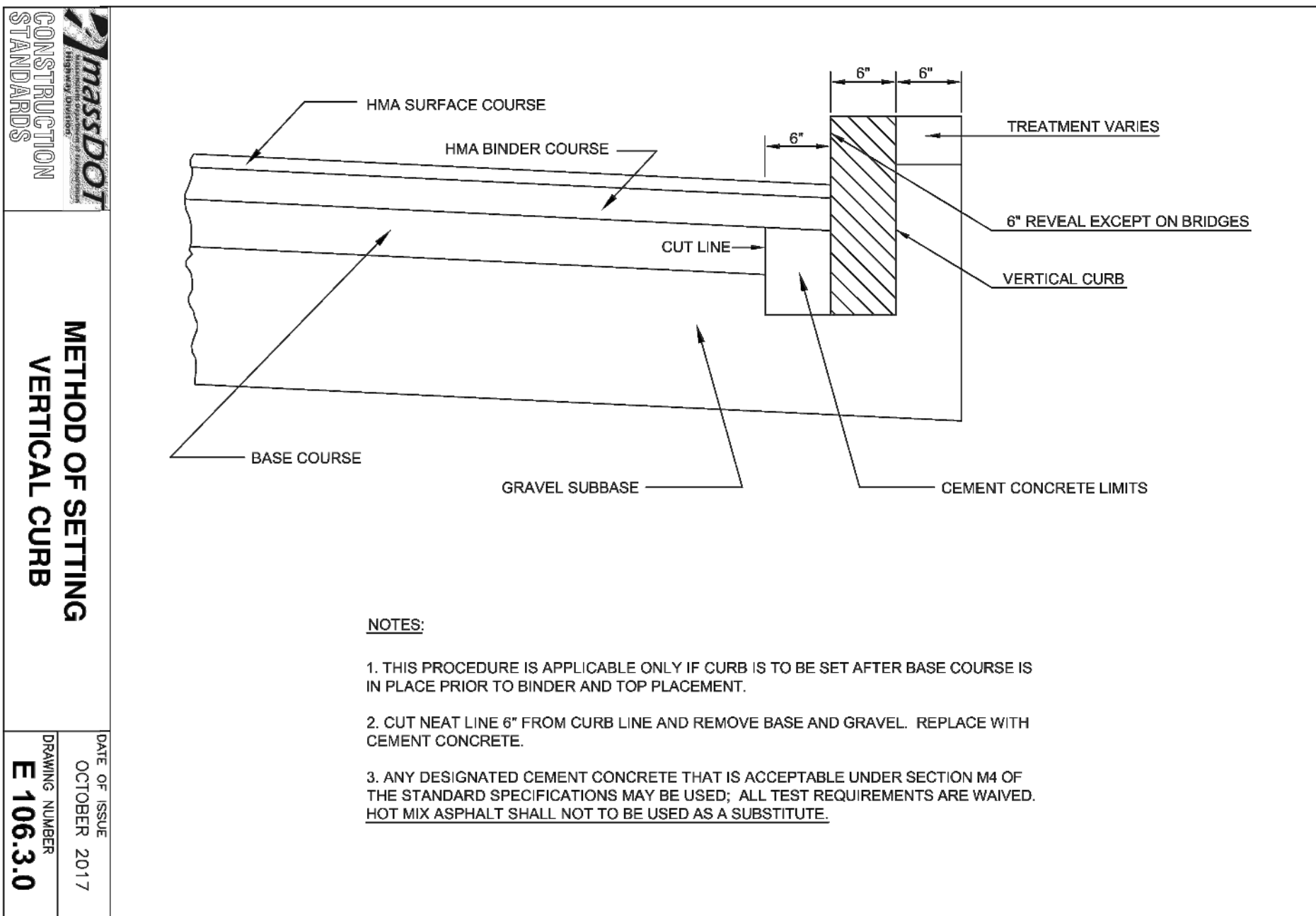
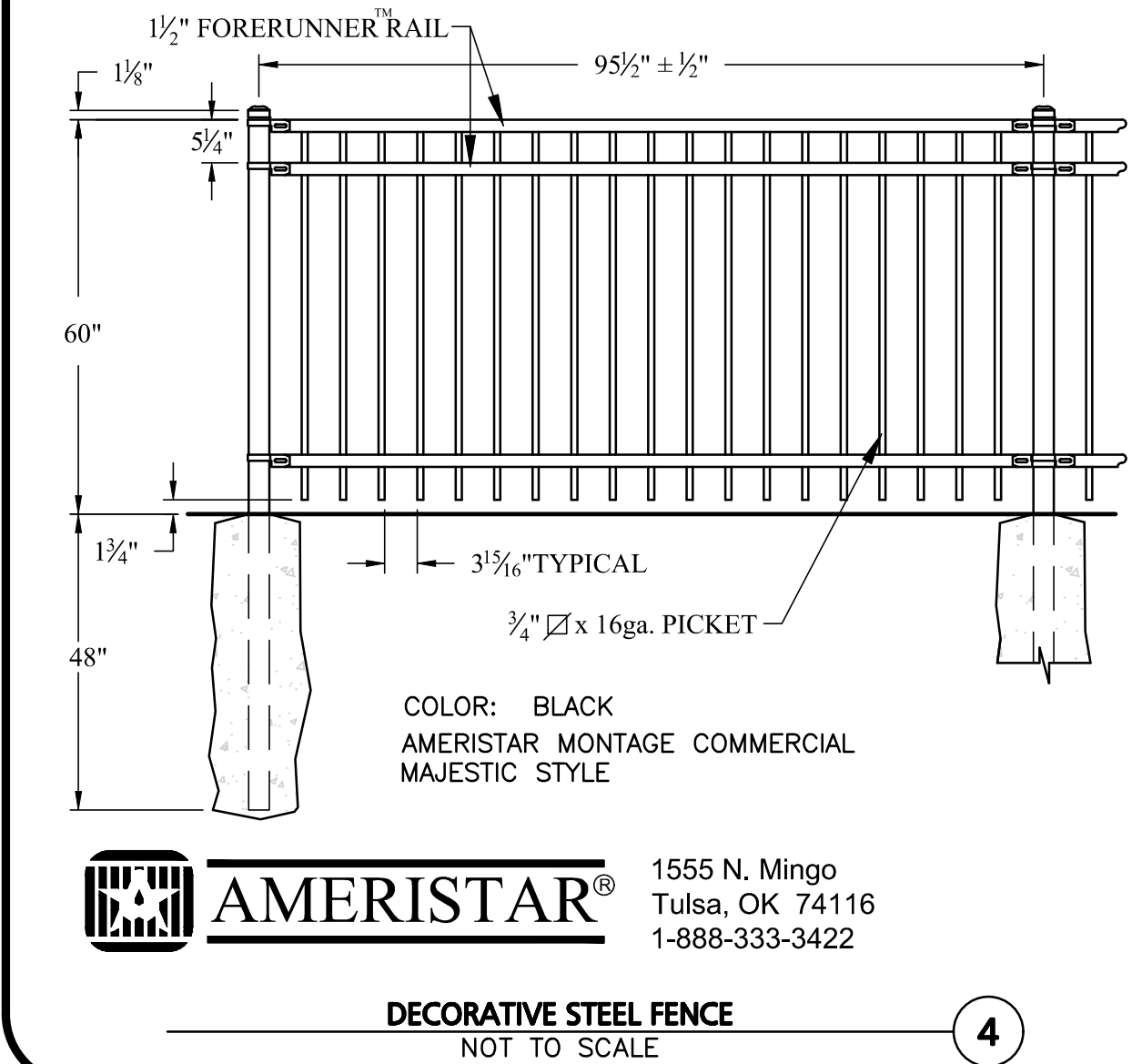
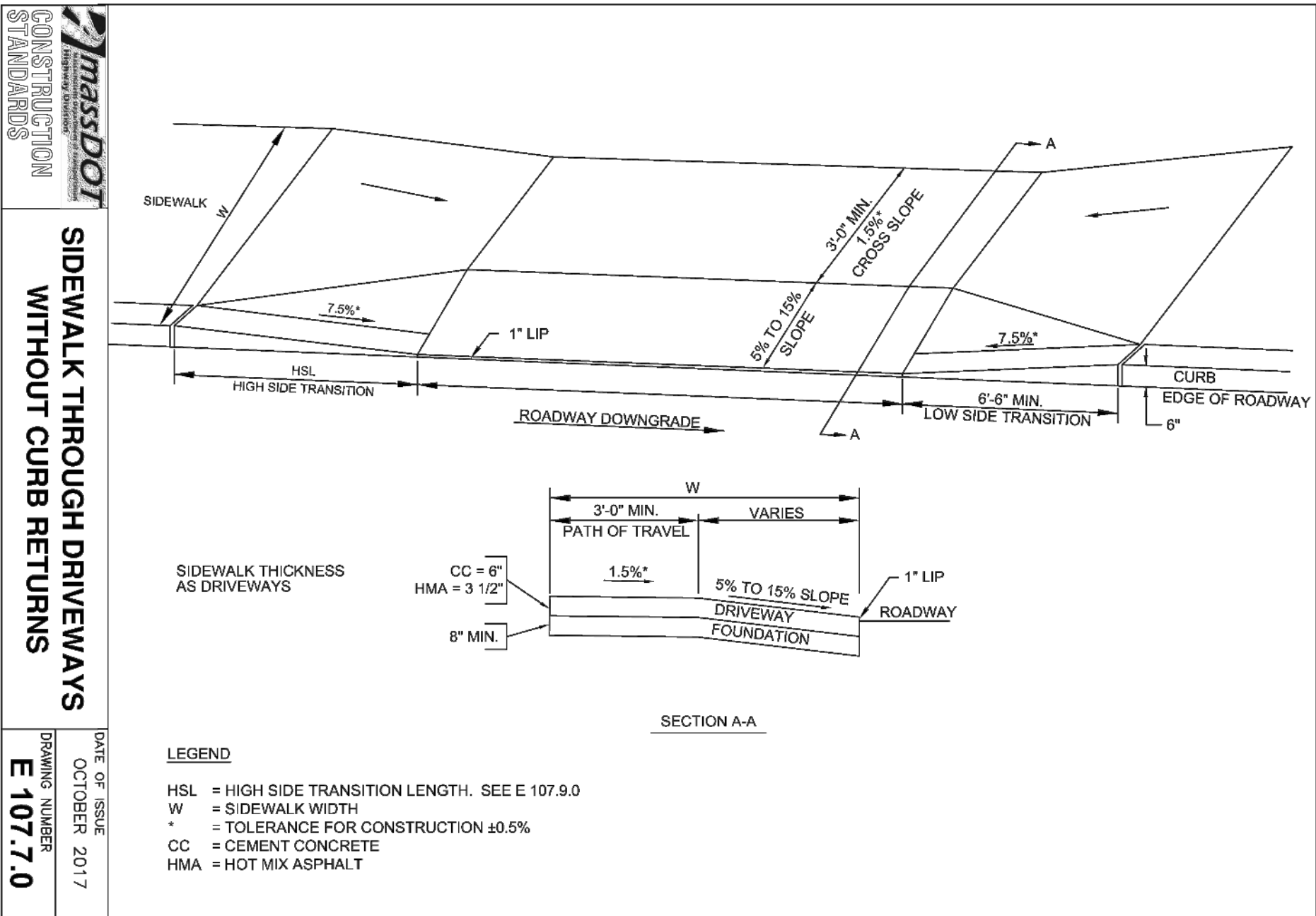
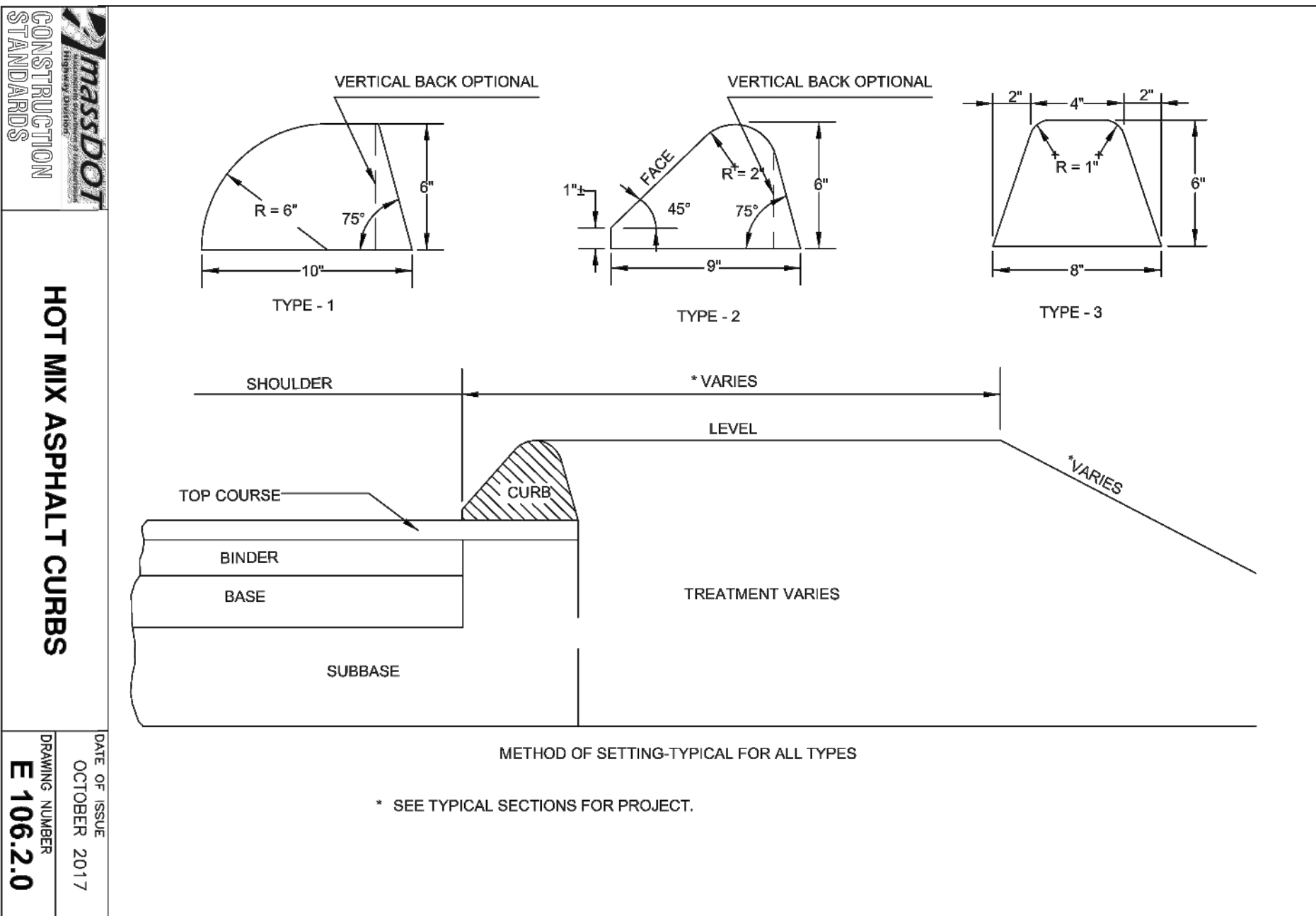
BLOCK RETAINING WALL SECTION
NOT TO SCALE

2



FENCE CONNECTION TO TOP OF WALL
NOT TO SCALE

3



ROADWAY PROFILE GRADE	* HIGH SIDE TRANSITION LENGTH
%	ENGLISH UNITS
=0%	6'-6"
>0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" Max

NOTE:
* BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
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LEICESTER PLANNING BOARD

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Malynowski
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
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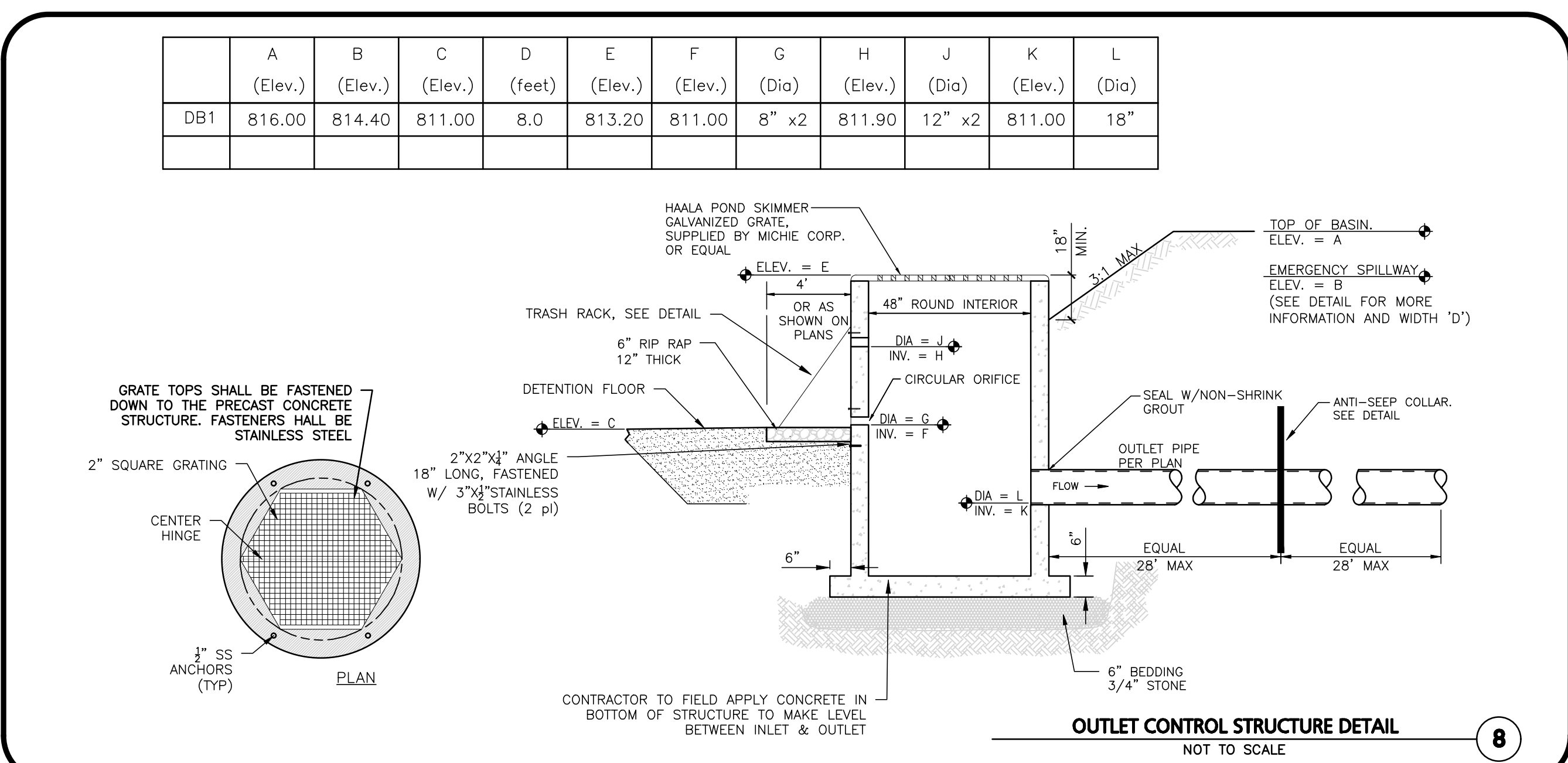
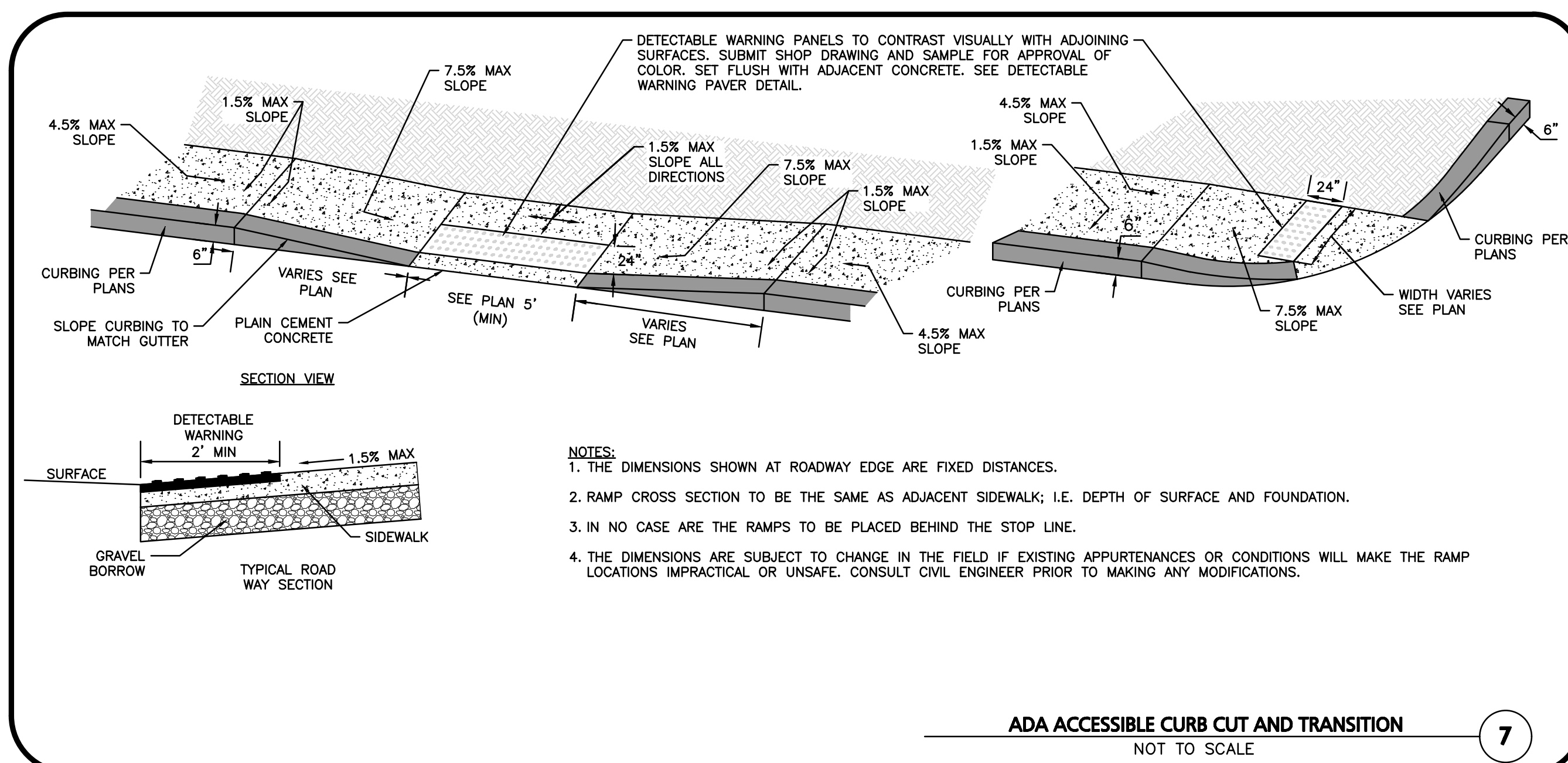
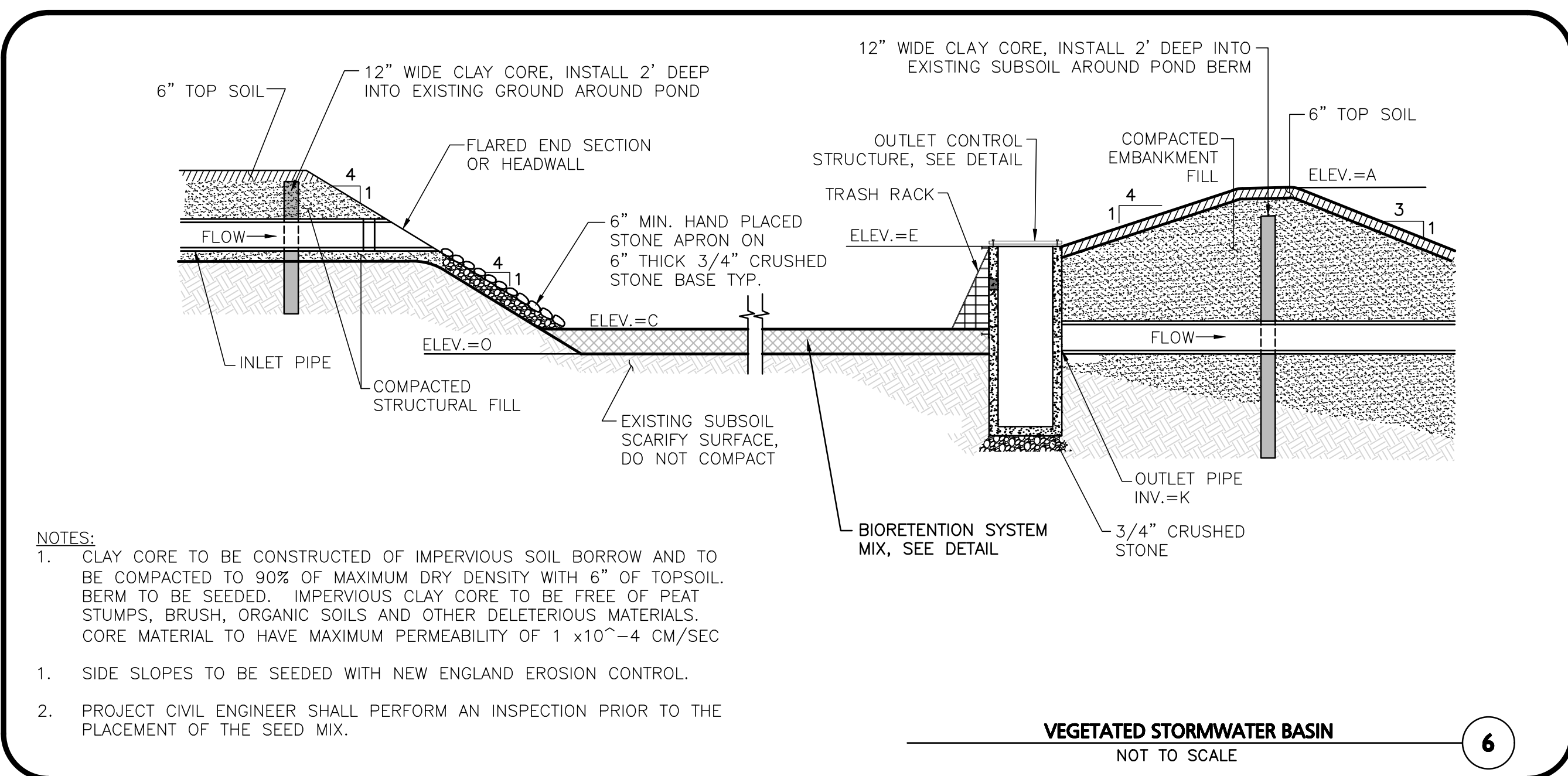
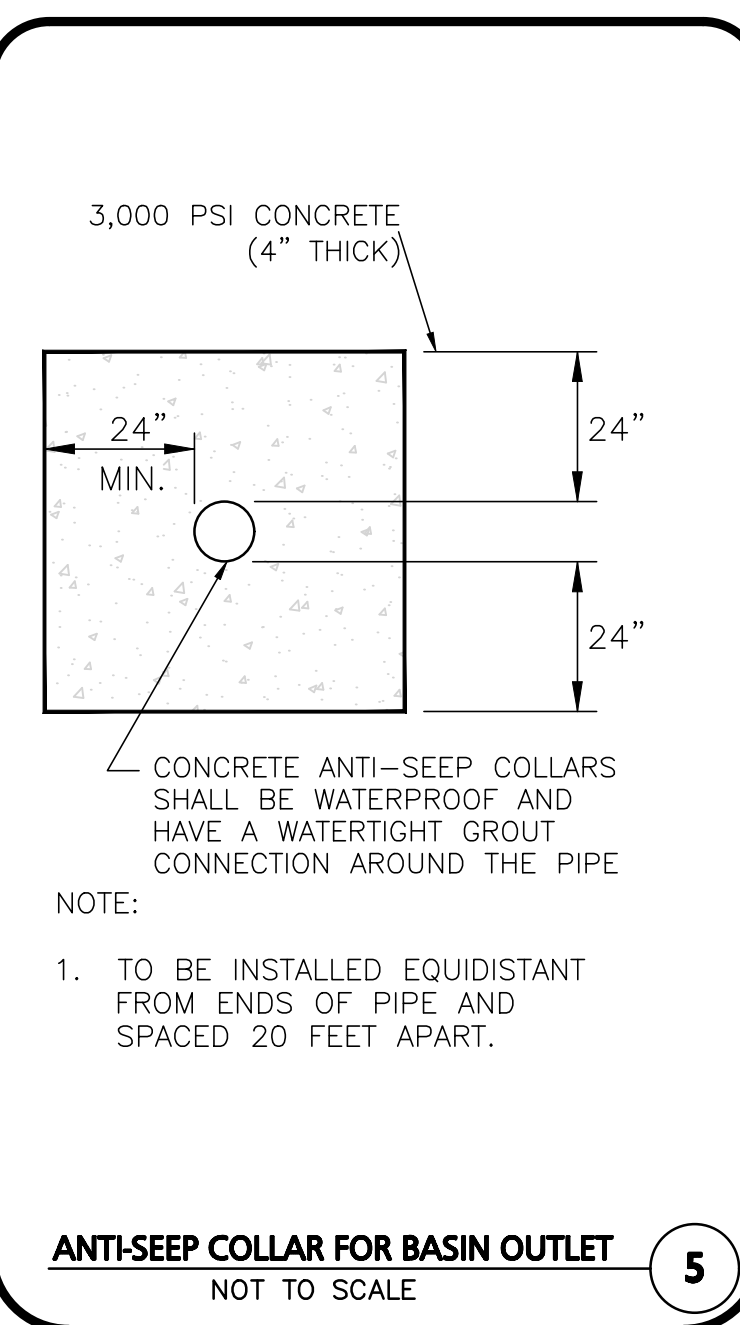
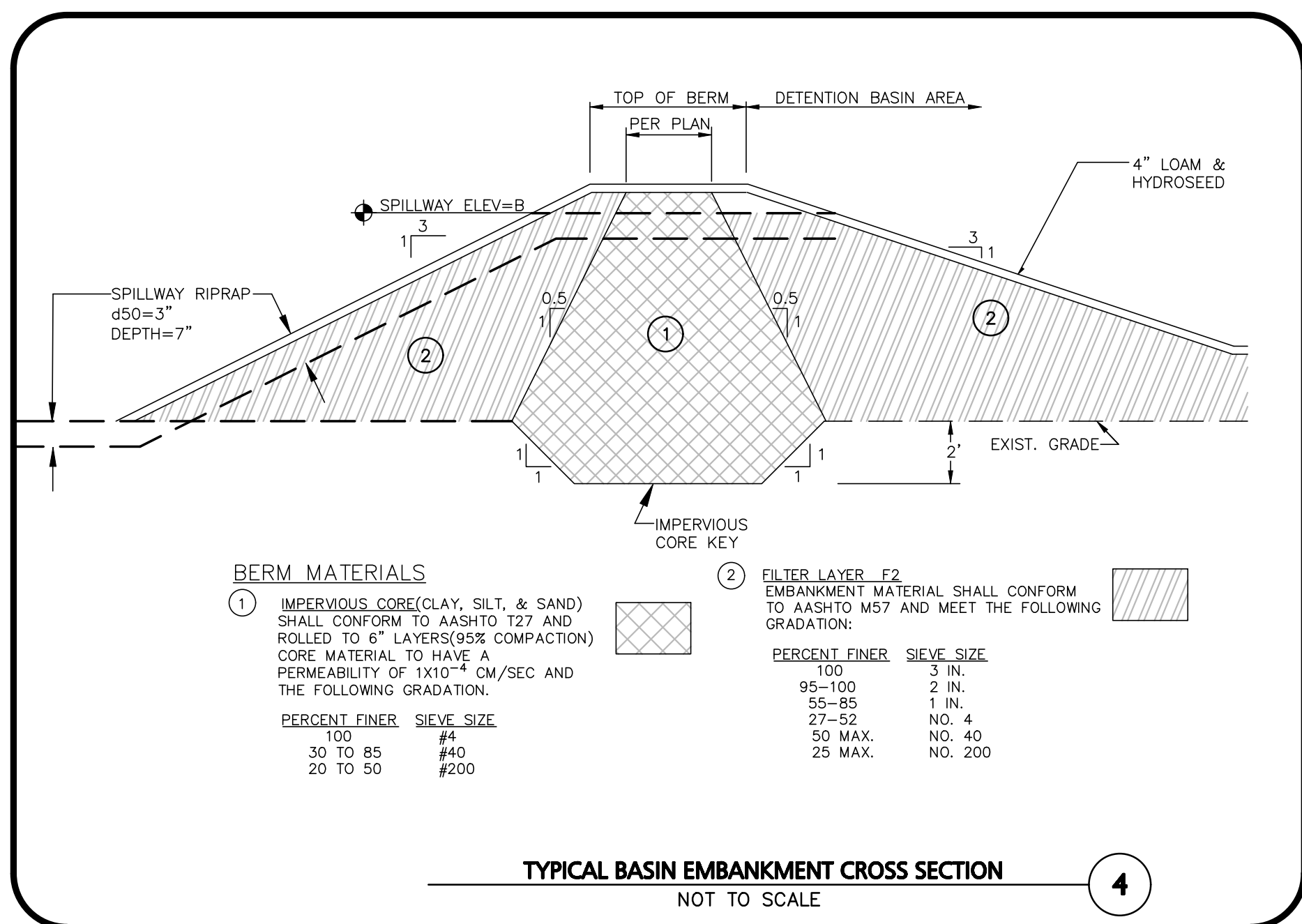
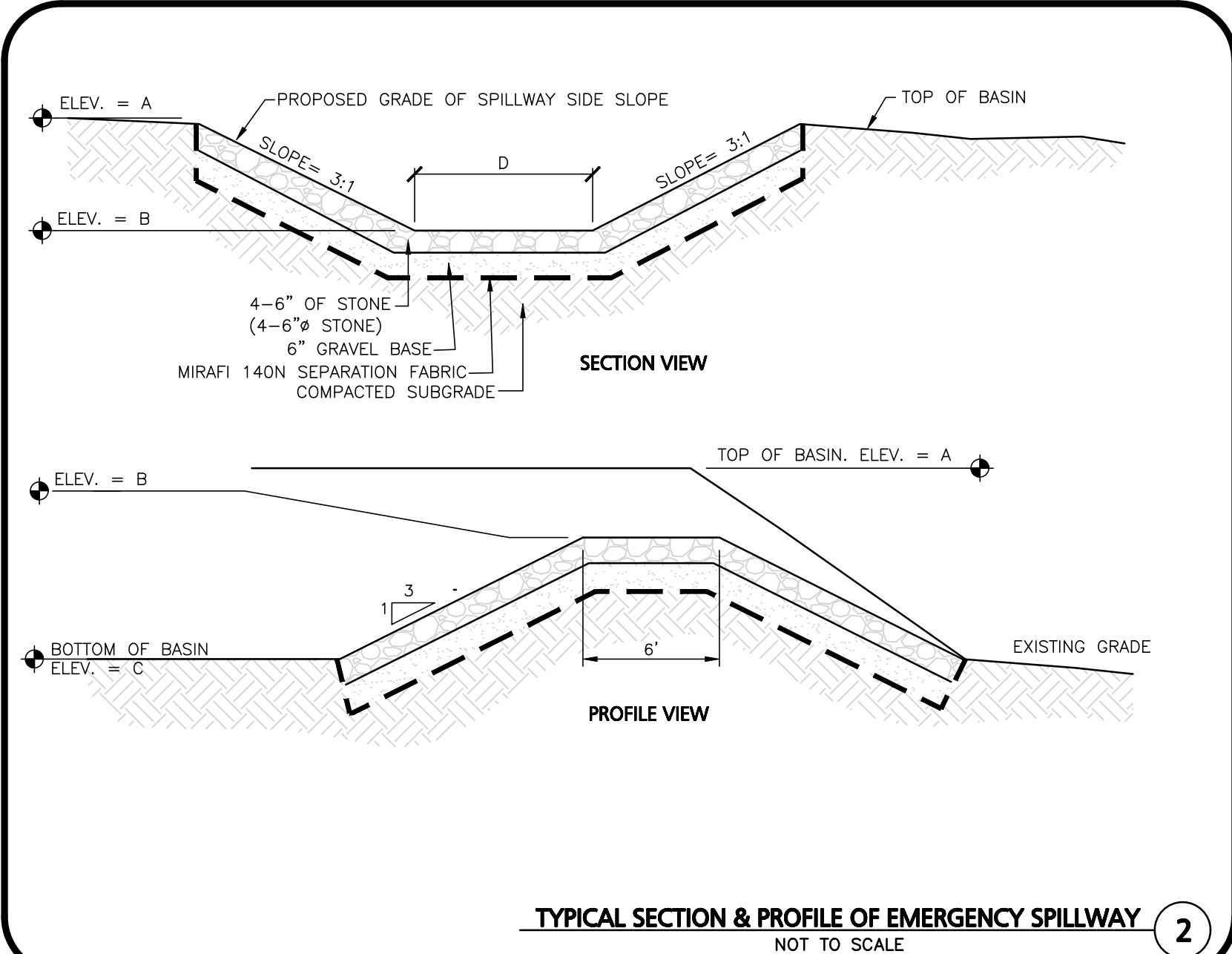
PROJECT NO.	2889-01	DATE:	09-17-21
SCALE:	AS SHOWN	DWG. :	C-2889-01_Details
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:

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ASSOCIATES, INC.**
civil engineering • land surveying
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100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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Date: 2021.12.14 14:00:37 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09-17-21
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SCALE: AS SHOWN | DWG. : C-2889-01_Details

DESIGNED BY: SM | CHECKED BY: MAM

PREPARED BY: _____



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
www.allenmajor.com

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

OBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
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DETAILS	C-506
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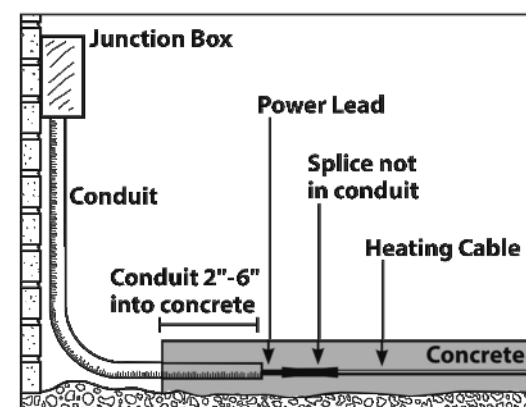
BASIC INSTALLATION

STEP 3.1

Determine a time to install the mat/cable when equipment, heavy tools, and site traffic will be minimal to keep from possibly damaging the product. Be prepared to apply the surfacing courses over the mat/cable the same day so it will be protected from damage.

If installing mat/cable in the upper layer of a two-stage concrete slab or the upper layer of an asphalt application, the mat or cable should be completely ready for the second stage. There is limited time between stages, as the slab should not be allowed to fully cure or the asphalt to completely cool. Therefore, if using ProMelt Cable, you may want to lay it out and tie it to rewire that can be quickly lifted into place after the first stage is laid. This might also be preferable for a mat installation, although if mats are pre-cut and shaped to the area, they generally can be rolled into place fairly quickly.

- If a slab sensor is installed in this second layer, plan ahead so this does not cause the first layer to cure or cool too much.
- Inspect the area and remove any sharp objects.



NOTICE

Install in temperatures at least 40°F (4.5°C).

Asphalt Application

If required, apply a prime coat to the first course or untreated base over the top of the cable.

Use 1/2" aggregate or smaller. Larger aggregate can cut or pinch the cable.

NOTICE

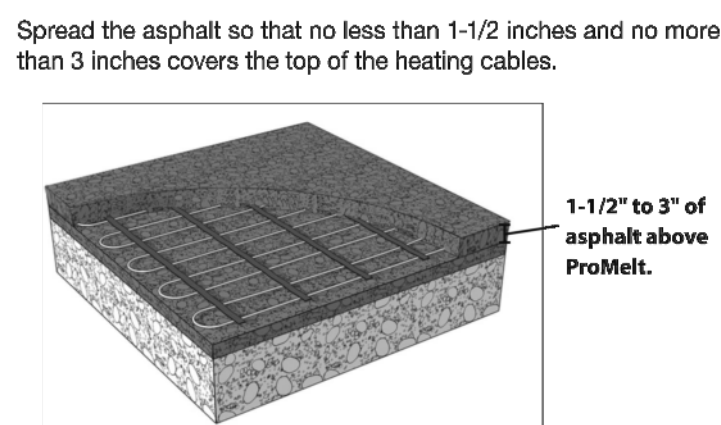
Before applying, ensure the asphalt temperature is not greater than 285°F (140°C).

Good compaction of the asphalt requires a certain temperature range of installation, depending on the type of asphalt being installed.

Manually lay the asphalt at the cable level.

NOTICE

Do not apply with asphalt machines as they may damage the cable.



NOTES:

1. SNOW MELT SYSTEM TO BE WARMUP SNOW MELTING MATS, 3" CABLE SPACING, 37.5W PER SQ FT, 16.4' COLD LEAD, TWIN-CONDUCTOR HEATING CABLE 1/4"TH, 208V, COVERS 120 SQ FT - 2'W X 60'L, 21.7 AMPS AT 3-PHASE, 4507W OR APPROVED EQUAL.
2. VENDOR INFORMATION:
WARMUP INC
25-A FRANCIS J CLARKE CIRCLE
BETHEL, CONNECTICUT 06801
T: 888-927-6333
WWW.WARMUP.COM
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND ELECTRICAL DRAWINGS PREPARED AND ENDORSED BY A MA REGISTERED PROFESSIONAL ENGINEER, TO THE ENGINEER-OF-RECORD FOR APPROVAL AND TO THE TOWN FOR THEIR FILES.
4. SEE LAYOUT PLANS FOR LIMITS OF SNOW MELT SYSTEM

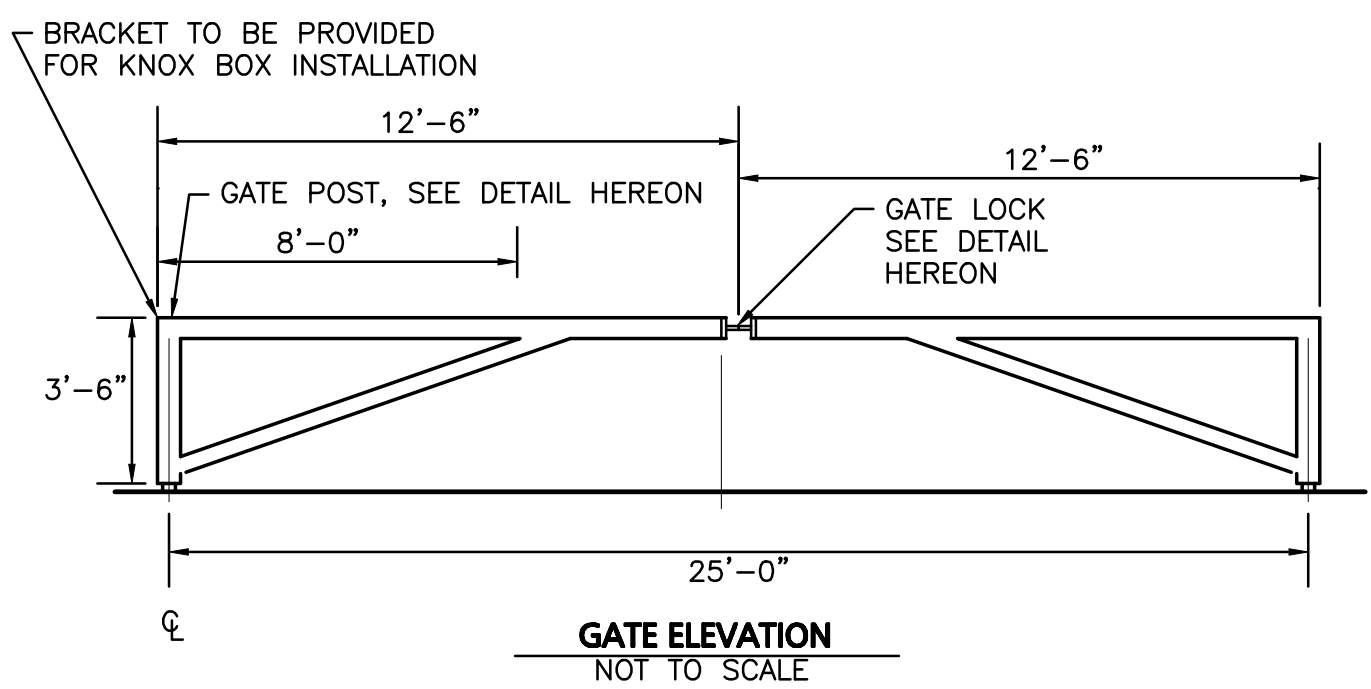
PAVEMENT SNOW MELT SYSTEM

NOT TO SCALE

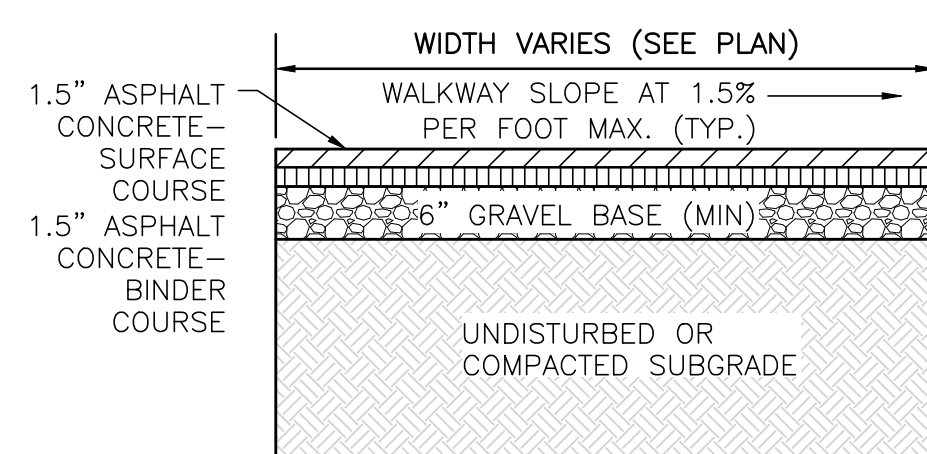
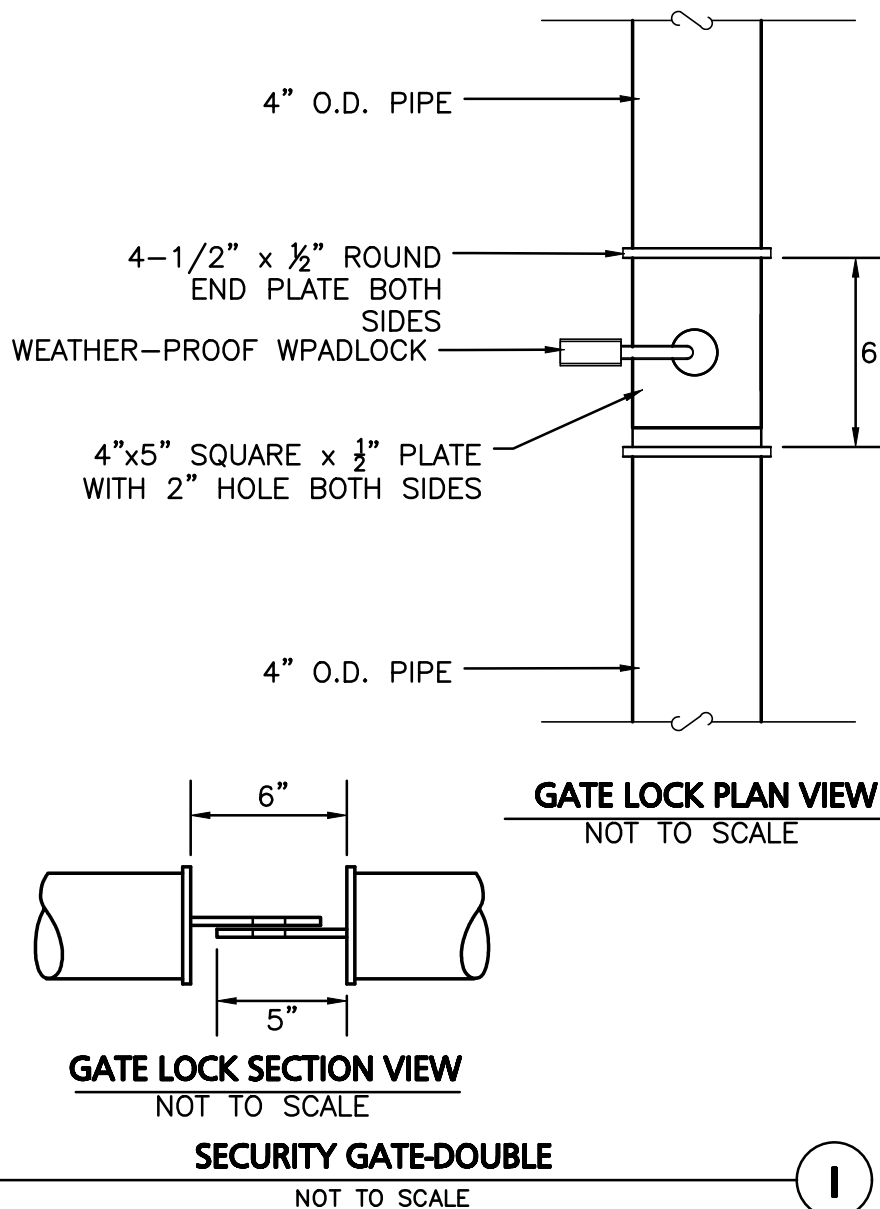
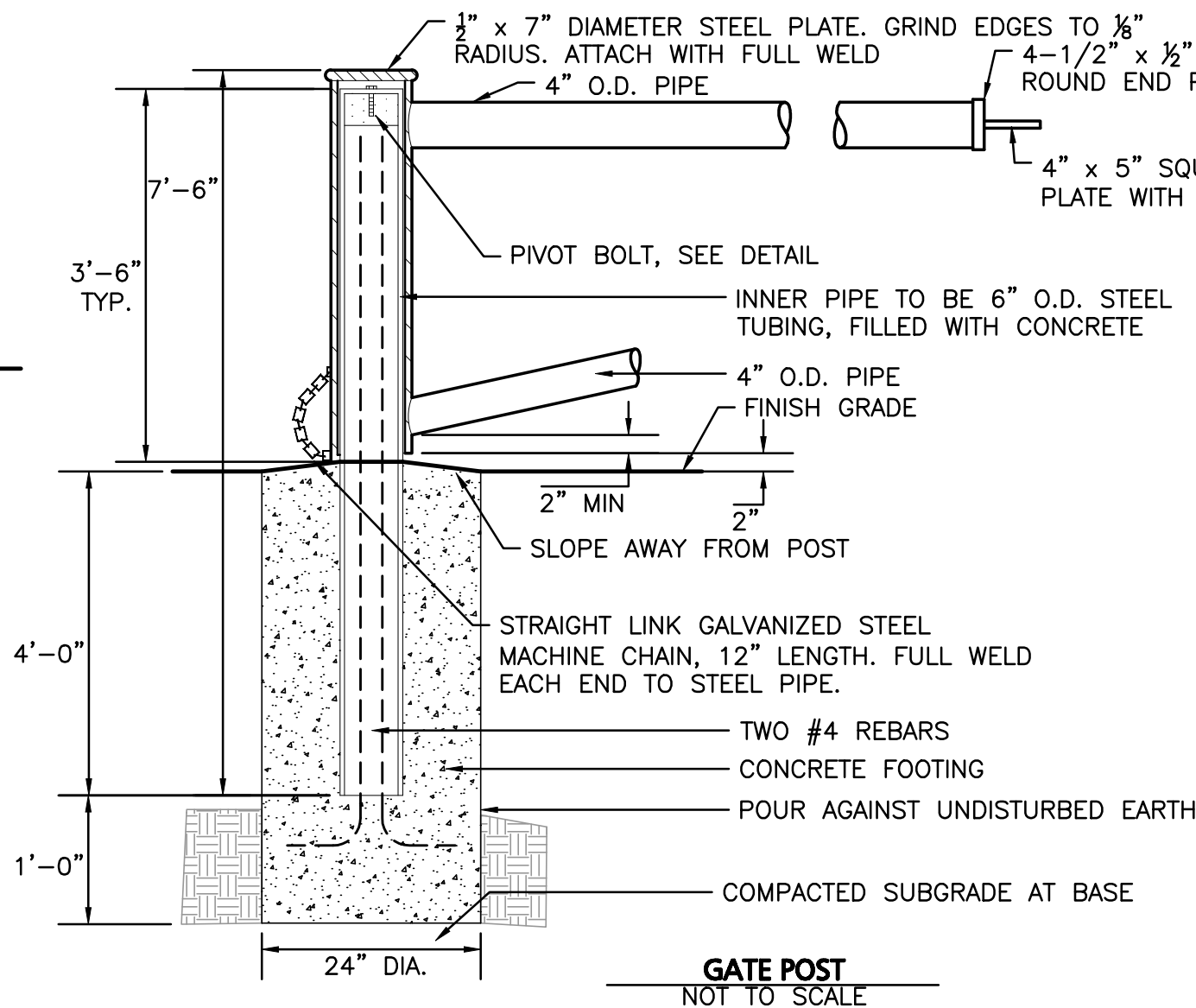
6

NOT USED
NOT TO SCALE

7



- NOTES:
1. ALL STEEL TUBING TO BE SCHEDULE 80 GALVANIZED STEEL.
 2. PROVIDE FULL WELD ON ALL JOINTS.
 3. ALL WELDS SHALL BE PAINTED WITH A GRAY COLOR TO MATCH THE GALVANIZED STEEL.
 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER/ENGINEER FOR REVIEW PRIOR TO FABRICATION.



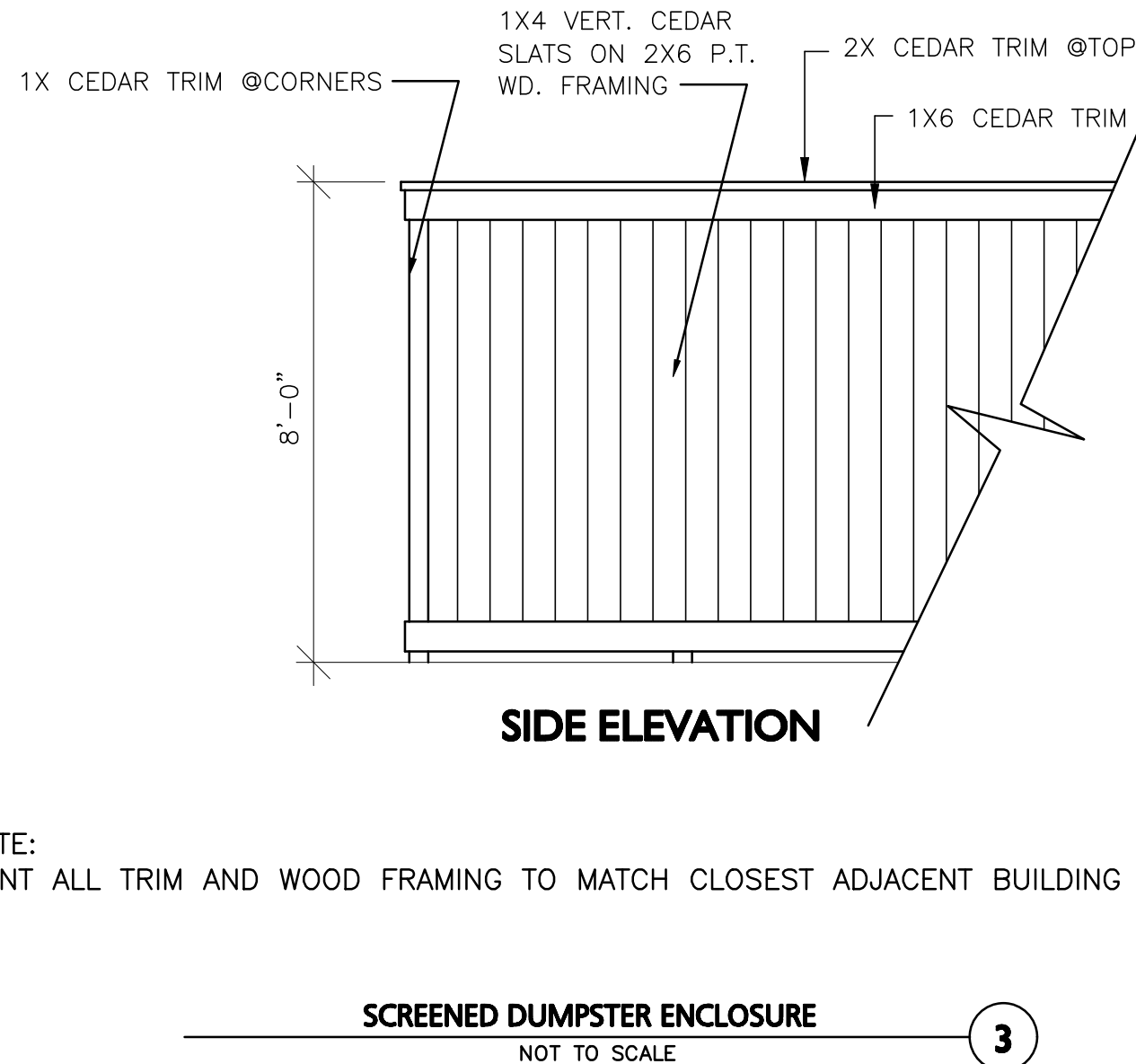
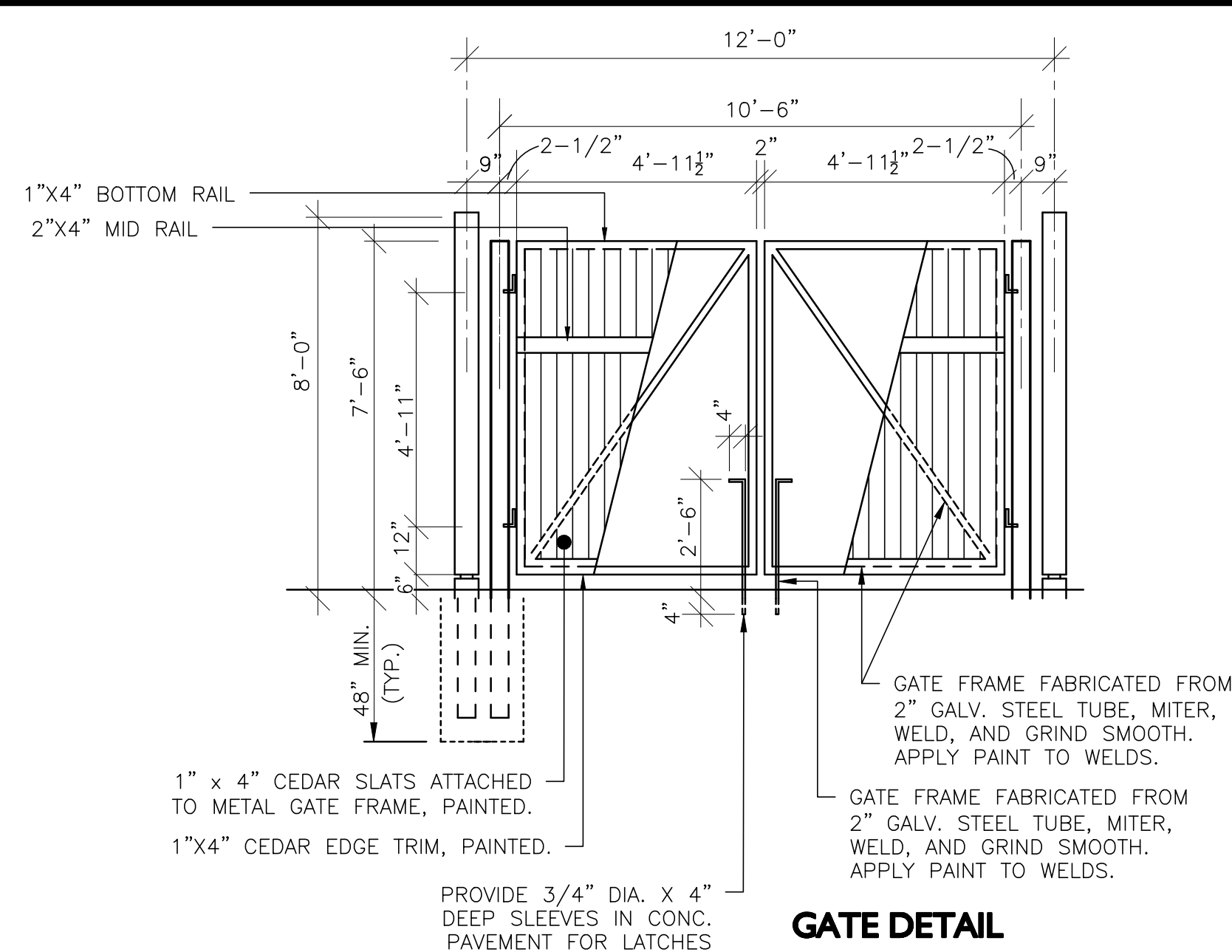
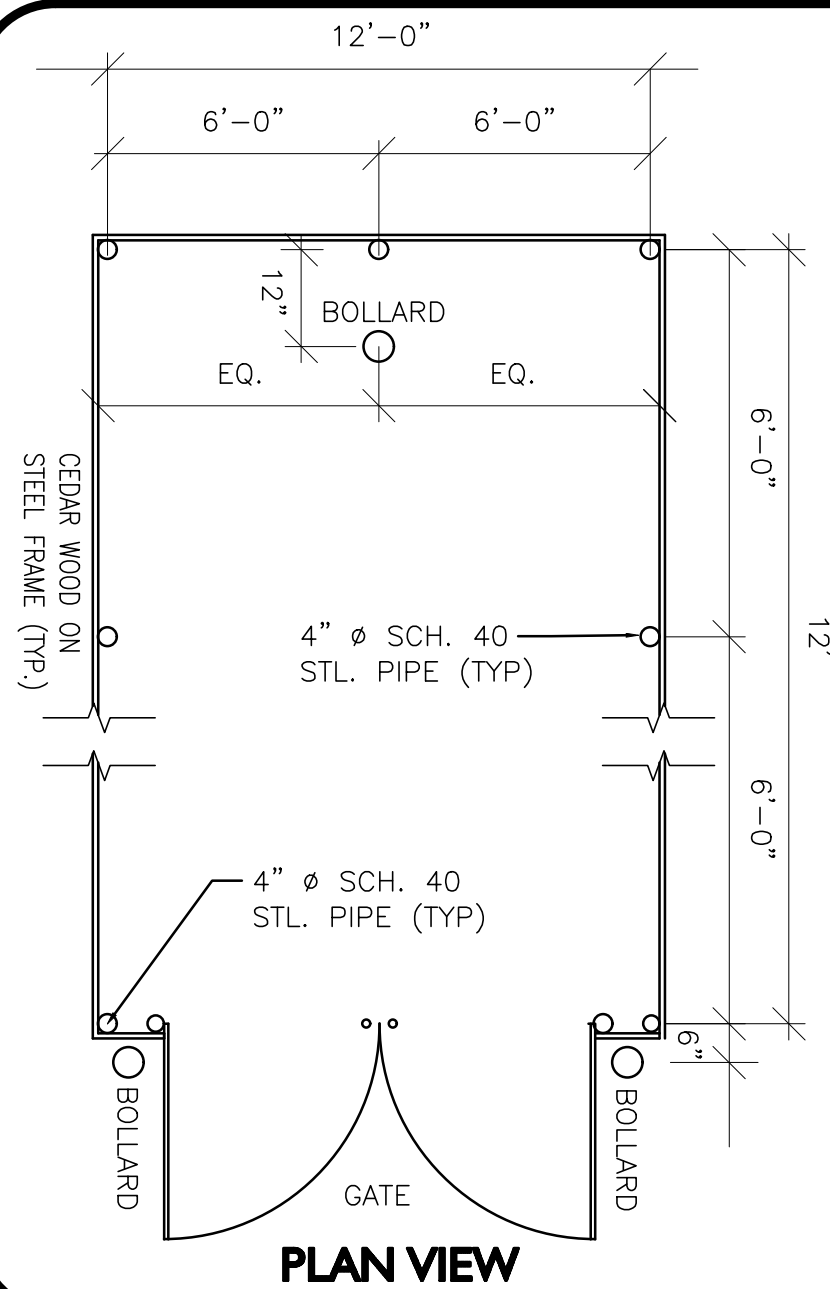
NOTES:

1. REFERENCE PLANS FOR ELEVATIONS.
2. COMPACT SOIL SUBGRADE UNIFORMLY TO AT LEAST 95% OF ASTM D 1557 LABORATORY DENSITY.
3. PROOF-ROLL PREPARED SUBGRADE TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PUMPING OR RUTTING, AS DETERMINED BY GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED.
4. CONTRACTOR SHALL COORDINATE SURFACE, BINDER, AND BASE COURSES WITH GEOTECHNICAL OR SOILS REPORT. REFER TO REPORT FOR RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
5. BASE COURSE SHALL EXTEND 6 INCHES BEYOND WALKWAY EDGE WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.
6. WALKWAY EDGES SHALL BE TAMPED WHERE WALKWAY DOES NOT ABUT DEEP CURB, WALL, STEPS, OR FIXED OBJECT.

BITUMINOUS WALKWAY

NOT TO SCALE

5



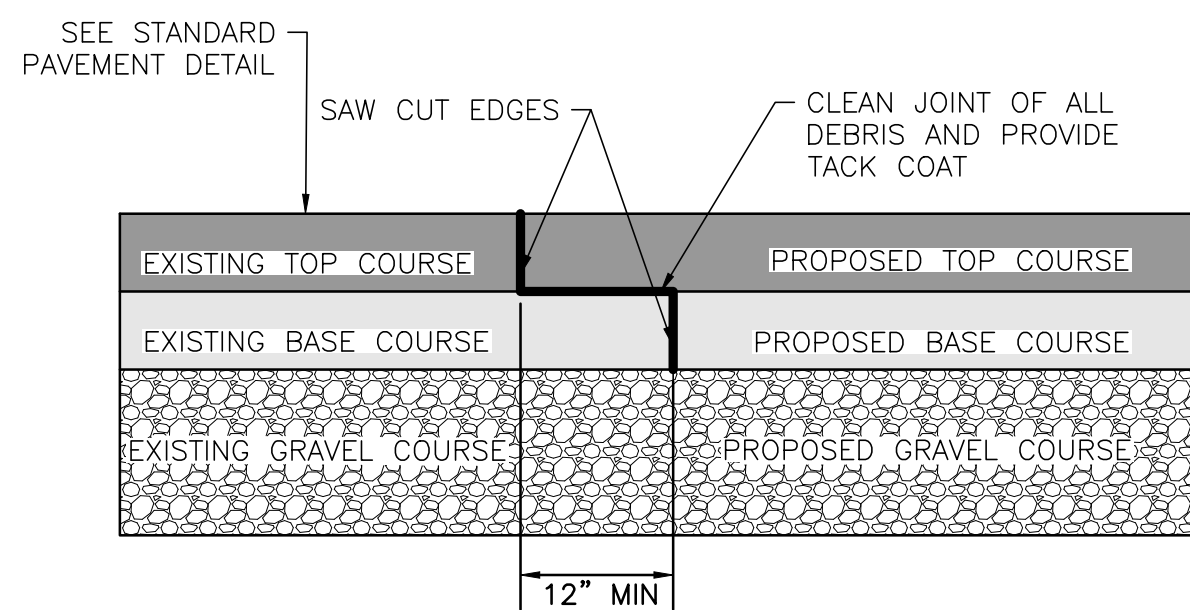
NOTE:
PAINT ALL TRIM AND WOOD FRAMING TO MATCH CLOSEST ADJACENT BUILDING

SCREENED DUMPSTER ENCLOSURE

NOT TO SCALE

3

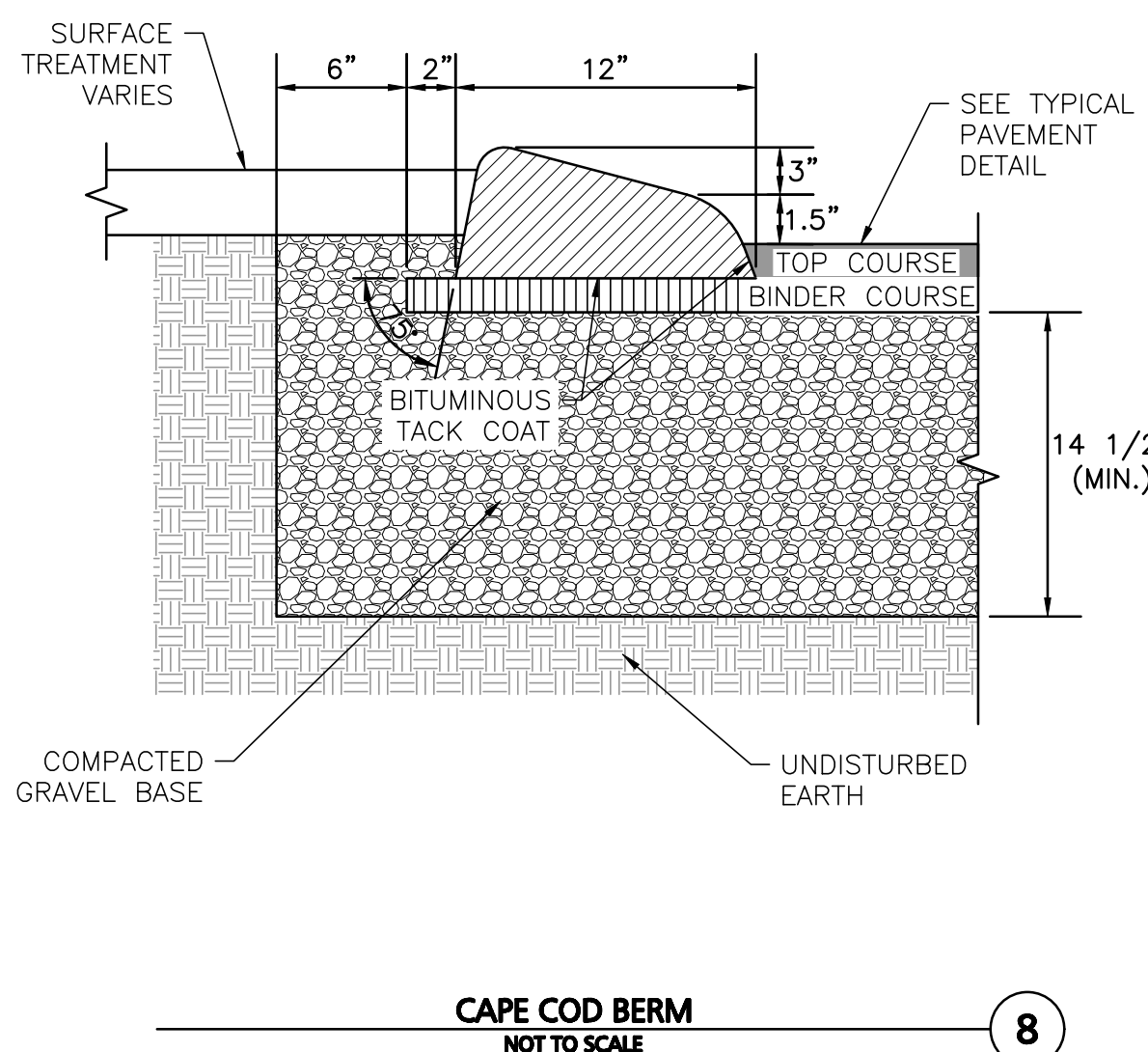
NOTE:
TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.



PAVEMENT KEY CUT

NOT TO SCALE

6



CAPE COD BERM

NOT TO SCALE

8

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____



NEW ENGLAND WETLAND PLANTS INC. SEED MIXES:	
(SEE A&M NOTES FOR APPLICATION RATE OF SEED MIXES)	
NEW ENGLAND WETMIX (WETLAND SEED MIX)	
A. CAREX VULPINOIDEA	FOX SEDGE
B. CAREX LURIDA	LURID SEDGE
C. CAREX SCOTCHIA	BLUNT BROOM SEDGE
D. VERBENA HASTATA	BLUE VERVAIN
E. PAO PALUSTRIS	FOWL BLUEGRASS
F. SCIRPUS PUMPORENS	COMMON BURLEIGH
G. CAREX LUPULINA	HOP SEDGE
H. ELOCHORIS PALUSTRIS	CREEPING SPIKE RUSH
I. FRINGED SEDGE	FRINGED SEDGE
O. JUNCUS EFFUSUS	SOFT RUSH
P. EUPATORIUM MACULATUM	SPOTTED JOE PYE WEED
Q. GLYCERIA ANDANSIS	RAREFIED MILLE GRASS
R. ASTER PUNICEUS	WAMP AWATER
S. IRIS VESICULOS	BLUEGLASS
T. ASCLEPIAS INCARNATA	SUNFLOWER
U. MIMULUS RENGENS	SQUARE STEEMED MONKEY FLOWER

(BY NEW ENGLAND WETLAND PLANTS INC)	
EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES	
(SEE A&M NOTES FOR APPLICATION RATE OF SEED MIXES)	
A.	ELYMUS RIPARIUS
B.	FESTUCA RUBRA
C.	SCHIZACHYON SCOPARIUM
D.	ANDROPOGON GERARDII
E.	PANICUM VIRGATUM
F.	AKROSTIS PERENNANS
G.	BIDENS CERNUA
H.	EUPATORIUM FISTULOSUM
I.	ASTER NOVAE-ANGAE
J.	EUPATORIUM PERFORIATUM
S.	VERBENA HASTATA
T.	JUNCUS EFFUSUS
V.	SCIRPUS CYRILLUS
	RIVERBANK WILD RYE
	CREeping RED FESCUE
	LITTLE BLUESTEM
	BIG BLUESTEM
	STITCH GRASS
	UPLAND BEANFESTRA
	NODDING BUR MARGOLD
	HOLLOW-STEM JOE PYE WEED
	NEW ENGLAND RAG
	BONASET
	BLUE VERVAIN
	SOFT RUSS
	WORMWOOD

3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE REVEALED BY THE METHOD OF THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY FOR ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTIONS TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
5. ALL EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN AND EROSION CONTROL PLANS SHALL BE IN PLACE PRIOR TO ANY RE-GRADING, DEMOLITION, OR PLANTING ACTIVITY.
6. EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN DRY WEATHER. WATER LEVELS MAY BE LOWERED IN THE REPLICATION AREA BY RELYING ON DRY SEASON FLOWS AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF TEMPORARY DOWATERING METHODS.
7. CONTRACTOR TO BE RESPONSIBLE FOR ALL Dewatering OPERATIONS. WATER FROM ANY Dewatering OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS, SHALL NOT OUTLET TO THE WETLANDS AND SHALL BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.
8. CONSTRUCTION OF THE REPLICATION AREA SHALL BE OVERSEEN BY A WETLAND SCIENTIST/ LANDSCAPE ARCHITECT EXPERIENCED IN WETLAND REPLICATION AND HIRED BY OWNER.
9. THERE MAY BE ADDITIONAL WETLAND REPLICATION CRITERIA FOUND IN THE ORDER OF CONDITIONS FROM THE LEICESTER CONSERVATION COMMISSION. THE CONTRACTOR SHALL HAVE A COPY OF THESE REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION, AND SHALL REVIEW, AND COMPLY WITH THE ORDER OF CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
10. AS POSSIBLE, THE CONTRACTOR SHALL SALVAGE WETLAND SOIL FROM THE WETLAND DISTURBANCE CUT AREA TO BE USED WITHIN THE WETLAND REPLICATION AREA TO THE MAXIMUM EXTENT PRACTICABLE. PRIOR TO MOVING EXISTING WETLAND SOILS CONTRACTOR TO CONSULT WITH WETLAND SCIENTIST/ LANDSCAPE ARCHITECT FOR APPROVAL. NO UPLAND SOILS OR NORMAL LAWN TOPSOILS TO BE USED IN THE WETLAND REPLICATION AREA. THE SALVAGED SOILS SHOULD BE RELOCATED TO THE WETLAND REPLICATION AREA AS SOON AS PRACTICABLE. ADDITIONAL SOIL MATERIAL WILL BE REQUIRED AND BROUGHT FROM OFFSITE TO MEET THE INFORMATION ON SHEET 1-202 (SEE DETAIL FOR ADDITIONAL INFO). THE OFFSITE SOIL SHALL MATCH THE DUC WETLAND SOILS PROPERTIES INCLUDING SOIL TEXTURE, SOIL NUTRIENT ANALYSIS, AND SOIL COLOR. ANY SOILS BROUGHT FROM OFFSITE SOURCES SHALL BE TESTED BY A SOIL LABORATORY SUCH AS UMMASS AMHERST SOILS TESTING LABORATORY FOR SOIL TEXTURAL ANALYSIS, ORGANIC CONTENT & SOIL PH PRIOR TO BEING PURCHASED.
11. IN THE WETLAND REPLICATION AREA, AVOID OVER COMPACTION OF SOILS BY ALLOWING TIME FOR NATURAL COMPACTION. NO ADDITIONAL MANUAL COMPACTION OF SOIL IS NECESSARY. OVERFILL THE PROPOSED SURFACE SLIGHTLY TO ACCOMMODATE NATURAL SETTLEMENT TO PROPER GRADE.
12. DO NOT USE HEAVY EQUIPMENT WITHIN THE WETLAND REPLICATION AREA. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER, TO SUPPLY THE SOILS ONLY. GRADE WETLAND REPLICATION AREA WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR DOZER WITH MARSH TRACKS.
13. CONTRACTOR SHALL SUBMIT SEED, PLANT, & SOIL SHOP DRAWINGS FOR REVIEW AND APPROVAL TO WETLAND SCIENTIST PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
14. SEE ADDITIONAL WETLAND REPLICATION INFORMATION ON SHEET 1-202 INCLUDING WETLAND REPLICATION SOIL DETAIL.

[illegible]

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

Date: 2021.12.14 13:54:30 -05'00
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

<u>3</u>	12-14-21	MISC. REVISIONS PER TOWN COMMENT
<u>2</u>	11-10-21	MISC. REVISIONS PER TOWN COMMENT
<u>1</u>	10-05-21	MISC. REVISIONS PER TOWN COMMENT
REV	DATE	DESCRIPTION

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT: SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	09-17-20
SCALE:	AS NOTED	DWG. :	C-2889-01_Wetlands Replication
DESIGNED BY:	SM	CHECKED BY:	MAM



**ALLEN & MAJOR
ASSOCIATES, INC.**

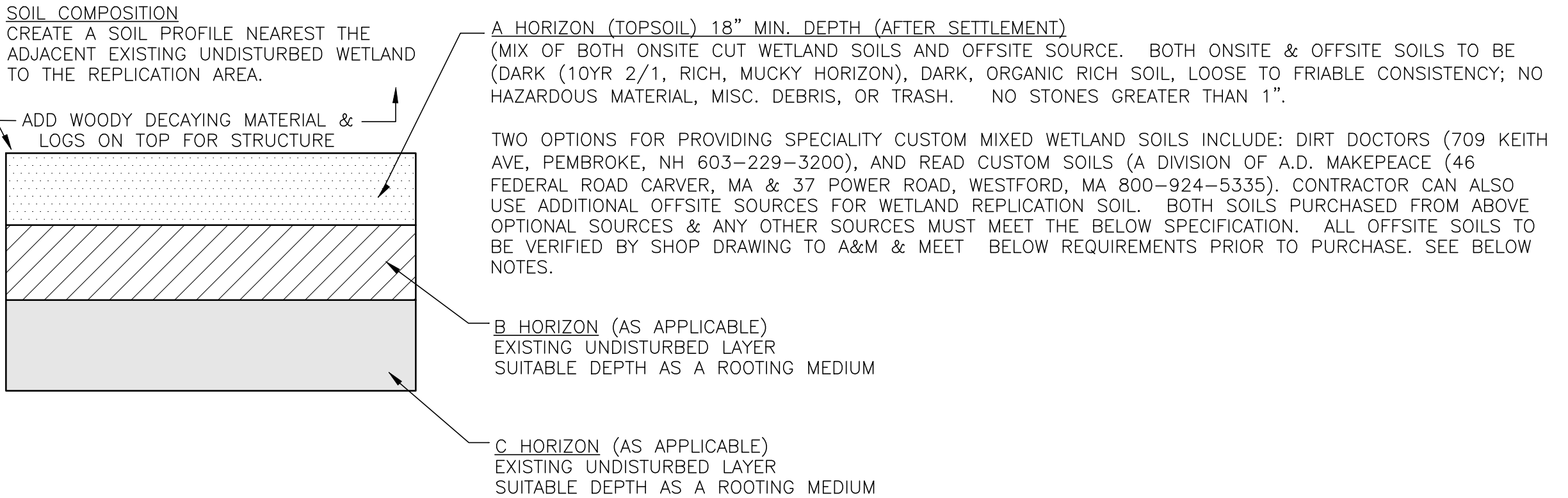
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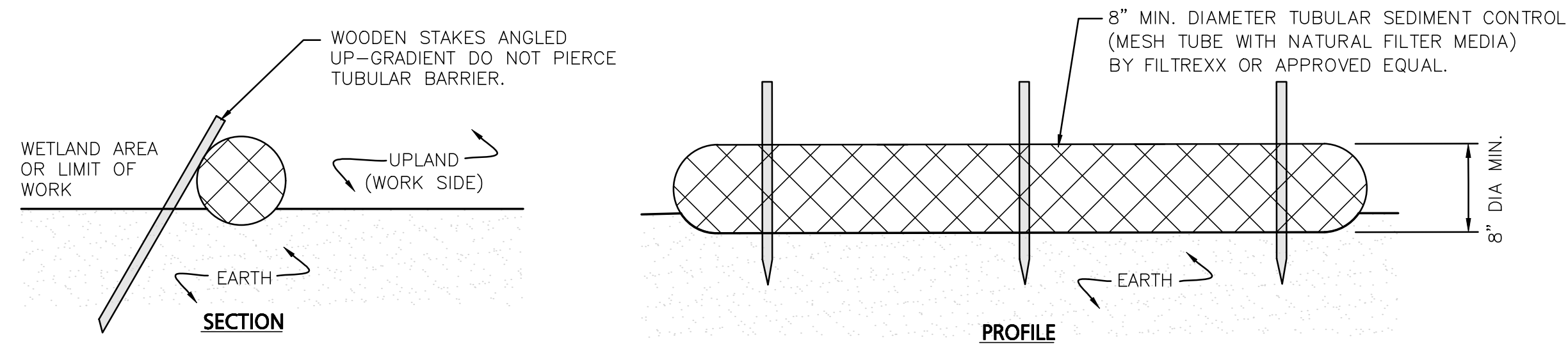
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DRAWING TITLE: WETLAND REPLICATION PLAN <i>Copyright ©2021 Allen & Major Associates, Inc. All Rights Reserved</i>	SHEET No. L-201
	24 OF 25



- NOTES:
- TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
 - SOILS FOR WETLAND REPLICATION AREA TO BE A MIX OF BOTH ONSITE WETLAND SOIL FROM DISTURBED AREA & OFFSITE SPECIALITY BLEND WETLAND SOILS THAT MEET THIS DETAIL SPECIFICATION. AS WETLAND REPLICATION AREA IS LARGER THAN DISTURBANCE AREA A LARGE PERCENTAGE OF WETLAND REPLICATION SOIL IS TO BE PROVIDED FROM OFFSITE SOURCE. EXACT DEPTH OF EXISTING DISTURBED WETLAND SOIL TO CUT & STOCKPILE IS TO BE DETERMINED BASED ON WETLAND SCIENTIST ANALYSIS OF EXISTING SOIL. SPECIALITY BLEND WETLAND SOIL FROM BROUGHT FROM OFFSITE SHALL BE SUPPLIED AT NO ADDITIONAL COST TO THE OWNER. FOR ALL SOILS BROUGHT FROM OFFSITE SOURCES TO BE USED AS WETLAND REPLICATION SOILS THE FOLLOWING SHALL APPLY:
 - SOILS SHALL BE CLASSIFIED AS LOAMY SAND, TO SILT LOAM TEXTURE RANGE PER USDA TEXTURAL TRIANGLE AND FREE OF INVASIVE SEED SPECIES. MAXIMUM CLAY CONTENT IS LESS THAN 10%, 15-40% SAND, 50-70% SILT, AND 10-15% LEAF COMPOST (AGED LEAF MULCH AND ORGANIC MATTER AS AVAILABLE FROM NEWLAND FARMS, 145 NEWLAND STREET NORTON, MA 508-285-3169). PROVIDE TEXTURAL ANALYSIS OF OFFSITE SOILS TO A&M LANDSCAPE ARCHITECT BY SHOP DRAWING FOR APPROVAL.
 - SOILS SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF THE ADJACENT WETLAND SOILS. THE SOILS SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH AND MATCH THE PARTICLE DISTRIBUTION AND ORGANIC CONTENT REQUIREMENTS BELOW. TOPSOIL SHALL BE FREE OF ANY OBJECTS GREATER THAN 1 INCH IN DIAMETER INCLUDING STONES, EARTH CLODS, OR STICKS. IT SHALL CONTAIN NO STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEEOUS MATTER OR DEBRIS NOR SHALL CONTAIN TOXIC SUBSTANCES.
 - THE CONTRACTOR SHALL PROVIDE THE A&M LANDSCAPE ARCHITECT WITH SOIL TEST RESULTS (RECOMMEND UMASH AMHERST SOIL TESTING LAB) FOR APPROVAL BY THE WETLAND SCIENTIST PRIOR TO PURCHASING AND PLACING THE SOIL. IF THE PLANTING SOIL DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER. IF CONTRACTOR PROCEEDS WITH PURCHASE & SPREADING OF EITHER ONSITE & OFFSITE LOAM PRIOR TO RECEIVING SHOP DRAWING APPROVAL IT IS AS THE CONTRACTORS RISK & LOAM REMOVAL WILL BE AT CONTRACTORS COST.
 - TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. SOILS SHALL CONTAIN AT LEAST 10% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE ABOVE TEXTURE CLASS.
 - THE MINIMUM DEPTH OF THE PROPOSED WETLAND/ORGANIC SOIL SHALL BE DETERMINED IN FIELD. ADDITIONAL DEPTH MAY BE REQUIRED TO BE CONSISTENT WITH THE ADJACENT WETLAND AREA.

1 WETLAND REPLICATION SOIL
NOT TO SCALE



- NOTES:
- TUBULAR SEDIMENT CONTROL SHALL BE 8" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 - ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 - INSTALL WOODEN STAKES ANGLED UP-GRADIENT EVERY 8' ON CENTER
 - OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 - THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 - WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 - AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE

GENERAL WETLAND REPLICATION NOTES:

- CONTRACTOR PERFORMING WETLAND REPLICATION TO HAVE PRIOR WETLAND REPLICATION CONSTRUCTION EXPERIENCE AND QUALIFICATIONS NECESSARY TO PROVIDE A HIGH QUALITY WETLAND REPLICATION AREA.
- EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN THE DRY. WATER LEVELS MUST BE LOWERED IN THE AREA BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

PROPOSED CONSTRUCTION SEQUENCING:

- STEP 1. STAKE THE LIMITS OF WORK. THE WETLAND REPLICATION AREA SHALL BE STAKED BY A LICENSED LAND SURVEYOR.
- STEP 2. INSTALL EROSION CONTROL. PLACE AND STAKE THE SILTATION FENCING & COIR LOGS FOR EROSION CONTROL.
- STEP 3. PREPARE THE REPLICATION AREA. NOTE WHICH EXISTING TREES TO REMAIN (IF ANY) AND THESE ARE BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCING.
- STEP 4. EXCAVATION AND SOIL REPLACEMENT. THE EXISTING TRASH, BOULDERS, AND EXISTING UPLAND FILL SOILS ARE TO BE REMOVED DOWN TO A DEPTH 18 INCHES BELOW THE FINISH GRADE ELEVATIONS AND FINE GRADED. ANY BOULDERS, ROCK LEDGE, STONES, CUT MATERIAL, EXISTING OLD FILL MATERIAL, AND ANY EXISTING TRASH WITHIN THE REPLICATION AREA IS TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER. AFTER EXCAVATION IS COMPLETED, AN AVERAGE OF 18 INCHES OF TOPSOIL ARE TO BE REPLACED IN THE WETLAND REPLICATION AREA, IN 6" LIFTS. WHEN USING TOPSOILS FROM OFF-SITE SOURCES DO NOT USE PEAT OR OTHER SOILS FROM AREAS WHERE PHRAGMITES, PURPLE LOOSESTRIPE, JAPANESE KNOTWEED ARE GROWING SINCE THESE PLANTS ARE HIGHLY INVASIVE AND HAVE NO WILDLIFE FOOD VALUE.
- STEP 5. TREE AND SHRUB PLANTING. TREE & SHRUB PLANTING SIZES SHALL BE AT THE MINIMUM SIZE AS PER THE PLANT SCHEDULE. THE PLANTINGS SHALL NOT BE IN ROWS BUT MORE RANDOMLY SPACED FOR A MORE NATURAL LOOK TO DUPLICATE THE EXISTING WETLANDS. COORD. WITH WETLAND SCIENTIST FOR STAKING OF PLANT LOCATIONS ONSITE. PROVIDE 1 WEEKS NOTICE PRIOR TO STAKING.
- STEP 6. HERB PLANTING. AFTER THE TREES, SHRUBS, AND FERNS HAVE BEEN PLANTED, THE WETLAND REPLICATION AREA SHOULD BE SEEDED WITH THE NEW ENGLAND WETLAND SEED MIXES AS SPECIFIED AND AVAILABLE FROM: NEW ENGLAND WETLAND PLANTS, INC. SEE TABLE SHEET L-201 FOR SEEDS.
- STEP 7. AFTER PLANTING IS COMPLETE, PLACE AND STAKE ADDED COIR LOGS & SILTATION FENCING ON THE UPLAND SIDE OF THE REPLICATION AREA FOR EROSION CONTROL DURING INITIAL ESTABLISHMENT. IN UPLAND AREAS ONLY, AN UPLAND MIX SHALL BE APPLIED TO NON-WETLAND AREAS TO PROVIDE VEGETATIVE COVER AND EROSION CONTROL. SEE LANDSCAPE PLAN FOR UPLAND LAWN SEED MIX COMPONENTS. IN THIS STEP, THE EROSION CONTROLS WILL BE PLACED ABOVE THE FINISH GRADE OF THE NEWLY CREATED WETLAND REPLICATION AREA. THE GOAL OF THIS FINAL PLACEMENT OF EROSION CONTROLS IS TO PREVENT SEDIMENT FROM BEING DEPOSITED WITHIN THE NEW WETLAND AREA.
- STEP 8. REMOVAL OF HAYBALES AND SILT FENCE. ONCE VEGETATION IS ESTABLISHED, THE HAYBALES AND SILT FENCE CAN BE REMOVED ONLY WITH THE APPROVAL OF THE MARLBOROUGH CONSERVATION COMMISSION. CONTRACTOR TO BE FAMILIAR WITH AND FOLLOW ALL MARLBOROUGH CONSERVATION COMMISSION ORDER OF CONDITIONS REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.

PLANTING NOTES:

- CONTRACTOR PERFORMING WETLAND REPLICATION TO HAVE PRIOR WETLAND REPLICATION CONSTRUCTION EXPERIENCE AND QUALIFICATIONS NECESSARY TO PROVIDE A HIGH QUALITY WETLAND REPLICATION AREA.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MARLBOROUGH, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT / WETLAND SCIENTIST IN THE FIELD.
- SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER AND APPROVED PRIOR TO PLACEMENT.
- SPREAD THE FOLLOWING 2 SEED MIXES AT WETLAND REPLICATION AREA AS SHOWN ON THE PLAN.
 - NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (SEE SEED MIX SPECIFICATION ON L-201)
 - EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (SEE SEED MIX SPECIFICATION ON SHEET L-201)MIX BOTH THE 2 SEED MIXES TOGETHER AT A RATIO OF 80% (WETMIX) / 20% (EROSION CONTROL/ RESTORATION MIX) AND SPREAD AT A RATIO OF 1 LB PER 600 SQ. FT. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT. AFTER SEEDING, WETLAND REPLICATION AREA TO BE LIGHTLY MULCHED WITH WEED FREE STRAW (USE NO HAY) SO THAT SEED IS KEPT MOIST.
- ALL SEEDED & PLANTED AREAS TO BE TEMPORARILY IRRIGATED BY CONTRACTOR UNTIL ESTABLISHMENT AND ACCEPTANCE. CONTRACTOR RESPONSIBLE FOR RE-SEEDING AS NECESSARY AND MAINTENANCE UNTIL ESTABLISHMENT AND ACCEPTANCE.
- PRIOR TO LAYING TOPSOIL, ALL SUBSOIL TO BE TILLED TO A DEPTH OF AT LEAST 12" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
- FERNS WILL BE PLANTED IN GROUPS OF 4.
- WETLAND SPECIES IN REPLICATION AREA TO BE 75% ESTABLISHED WITHIN TWO YEARS OF PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR TWO YEARS FOLLOWING DATE OF ACCEPTANCE. ALL PLANTINGS SHALL BE MONITORED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST DURING THIS PERIOD.
- ALL DISTURBED UPLAND AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & UPLAND SEED MIX. LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS SPECIFIED ONE FOOT ABOVE THE ROOT CROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING AND MAINTENANCE OF LAWN AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- CONTRACTOR SHALL SUBMIT SOIL AND SEED SAMPLES AND TEST RESULTS FROM A TESTING AGENCY FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

APPROVAL UNDER SITE PLAN APPROVAL REQUIRED. SUBJECT TO A COVENANT TO BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) RECORDING DAYS NEXT AFTER RECEIPT AND OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER



Digitally signed by Michael A. Malynowski
Date: 2021.12.14 13:54:50 -05'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

3	12-14-21	MISC. REVISIONS PER TOWN COMMENTS
2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

SKYVIEW ESTATES
RESIDENTIAL DEVELOPMENT
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: NTS DWG. : C2889-01_Wetlands Replication

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

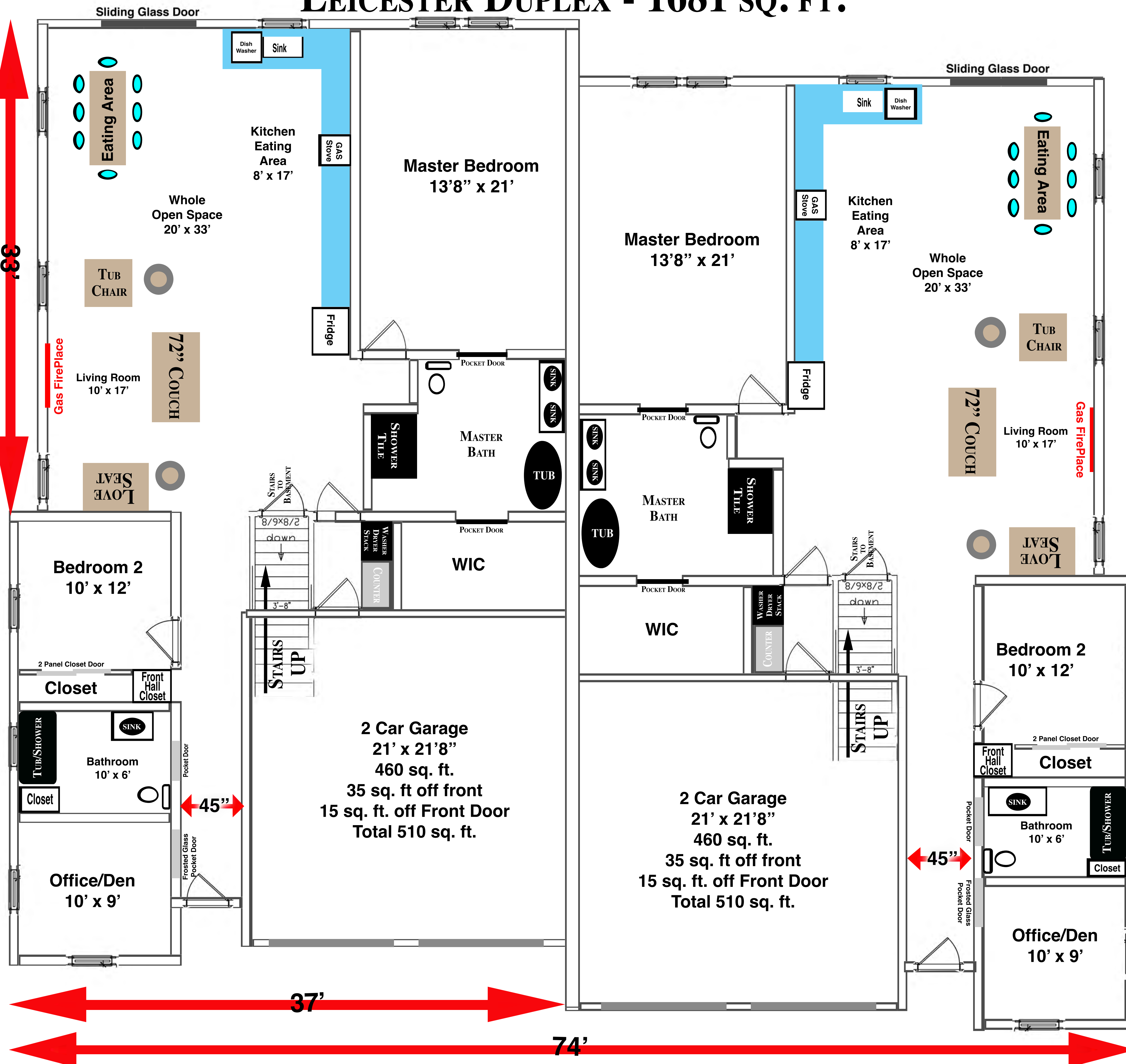
ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE:	SHEET No.
WETLAND REPLICATION DETAILS	L-202
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LEICESTER DUPLEX - 1681 sq. FT.



**MKEP
770**

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ASSOCIATES, INC.**
civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

SCALE FOR FLOOR PLAN - 1" = 3'