
August 2, 2023

Donna Main, Department Assistant
Leicester Planning Board
3 Washburn Square
Leicester, MA 01524

**Re: Response to Peer Review #2
Proposed Multifamily Residences
#778 Main Street, Leicester, MA
CMG ID 2021-226**

Dear Members of the Board,

CMG is in receipt of the peer review letter prepared by Quinn Engineering, Inc. (QEI) dated June 27, 2023 and supplementary Memorandum dated July 18, 2023. The enclosed Site Plan entitled "Proposed Multifamily Residences – #778 Main Street, Leicester, MA", prepared by CMG, revise date July 24, 2023 was prepared in response to the QEI's review.

Please see CMG's bold responses relating to each of the above noted review comments. CMG is also including the revised Site Layout Plan (Sheet C-4.0) and Grading & Drainage Plan (Sheet C-5.0), revised date 7/24/2023, as supporting information to these responses.

1) No Further Comment. Plans will be subject to the Leicester Stormwater Bylaw, for which a Stormwater Permit must be secured.

CMG Response: Acknowledged.

2) No Further Comment. In the "Zoning Information Table" shown on Sheet C-4.0, the required minimum lot size is listed as 15,000 S.F. In the Leicester Zoning By-Laws, under Multi-Family use in the Business (B) district, 15,000 S.F. is the minimum for the first apartment, however, for apartments 6 – 13, 2,000 sq. ft. per apartment is required. On that basis, as proposed, the total area required is 61,000 sq. ft. The subject parcel on land has 140,006 sq. ft. area.

CMG Response: Acknowledged, the "Zoning Information Table" on Sheet C-4.0 has been updated to reflect these figures.

3a) Pertaining to the reinforced cut slope, proposed at the rear of abutting properties located at 774 Main Street and 1 Waite Street: It would be appropriate to secure temporary easements for the excavation required immediately adjacent to the properties at 774 Main Street and 1 Waite Street.

CMG Response: In an effort to limit disturbance of existing vegetative screening to the abutter located at #774 Main Street, the plans are revised to include an approximately 6' height

retaining wall off the edge of the travelled way. As a result, a grading easement will not be necessary as a greater undisturbed area will be maintained between the two (2) properties. The applicant is anticipating a gravity block retaining wall with a textured face. A cutsheet and image of the proposed wall (supplied by Shea Concrete Products) is included as Attachment #1.

3b) *It is recommended that at the base of the cut slope, a subdrain be installed, to reduce the likelihood that groundwater could be destabilize the slope.*

CMG Response: The proposed retaining wall design will be furnished by a registered Massachusetts Structural Professional Engineer. As part of the design, the engineer will evaluate and incorporate a subdrain with the construction drawings.

3c) *Plans call out a "6' High Screening/Opaque Fence" at the top of the slope. Plans should clarify if that fence is the "Wood Stockade Fence" detailed on Sheet 8.0.*

CMG Response: Based on the feedback from the boards, the applicant is proposing a 6' height white vinyl opaque fence. The detail is revised on Sheet C-8.0 detailing the proposed fence.

4) *No Furter Comment. The submitted Traffic Assessment recommends that landscape plantings proposed near the front of the property be low-growth varieties which will not impede sight distances for drivers. Leicester Planning Board may wish the Landscape Architect address the types of plantings along the frontage of the site.*

CMG Response: Acknowledged.

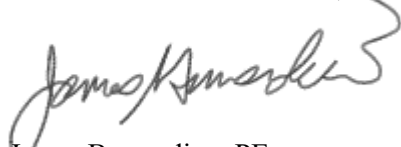
In addition to QEI's review, the Applicant has received a Memorandum to Leicester Planning Board from QEI dated July 18, 2023 regarding Comment #3 of QEI's review letter stating that QEI is in favor of the use of a proposed retaining wall as an alternative to an easement.

Lastly, discussions pertaining to the dumpster enclosure and pedestrian access to the enclosure from the different units took place during the 7/18/2023 Planning Board meeting. Based on the suggestions of the board members, CMG removed the dumpster enclosure and is now proposing individual trash bins for each unit. The change is based on the proposed reduction of rental units and the new "townhouse style" layout which typically utilizes rubbish removal for each individual unit. Per discussions with the board during the above-mentioned meeting, the applicant is amendable to including a requirement regarding storing trash bins in the proposed garages as part of the lease agreements.

The Applicant believes that they have responded to the outstanding questions and comments that have been received for this project. We look forward to the continued discussions on this matter with the Board at their upcoming meeting. Please contact Rob Lussier or me if you need any additional information at (774) 241-0901.

Sincerely,

CMG ENVIRONMENTAL, INC.



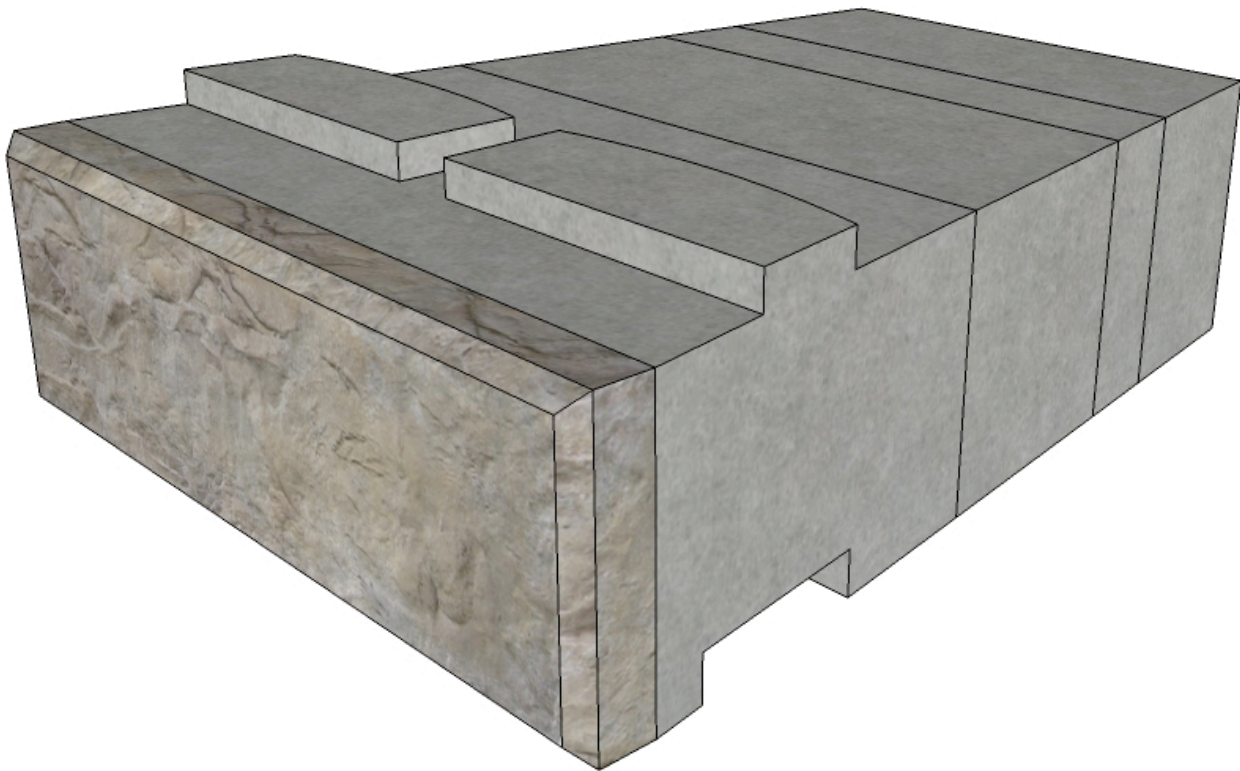
James Bernardino, PE
Principal Engineer



Robert Lussier, EIT
Project Engineer II

Attachment #1

Proposed Retaining Wall Cut Sheet and Image
Supplied by Shea Concrete Products



RECON "SERIES 50" RETAINING WALL BLOCK CATALOG

March 2014



RECON SERIES 50 RETAINING WALL BLOCK CATALOG

Name Full Base Block - 24"**Unit ID** **Weight**

FB24 1457 16 in. x 48 in. x 24 in.

Volume

10.04

Coverage

5.33

Batter

3.6°

**Name** Full Middle Block - 24"**Unit ID** **Weight**

FM24 1411 16 in. x 48 in. x 24 in.

Volume

9.73

Coverage

5.33

Batter

3.6°

**Name** Full Base Block - 39"**Unit ID** **Weight**

FB39 2276 16 in. x 48 in. x 39 in.

Volume

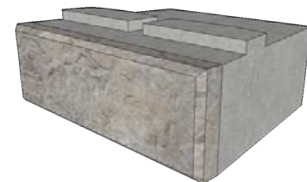
15.7

Coverage

5.33

Batter

3.6°

**Name** Full Middle Block - 39"**Unit ID** **Weight**

FM39 2201 16 in. x 48 in. x 39 in.

Volume

15.18

Coverage

5.33

Batter

3.6°

**Name** Full Base Block - 45"**Unit ID** **Weight**

FB45 2550 16 in. x 48 in. x 45 in.

Volume

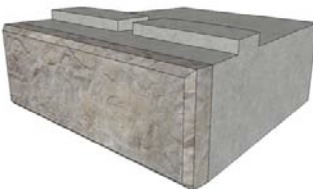
17.58

Coverage

5.33

Batter

3.6°

**Name** Full Middle Block - 45"**Unit ID** **Weight**

FM45 2491 16 in. x 48 in. x 45 in.

Volume

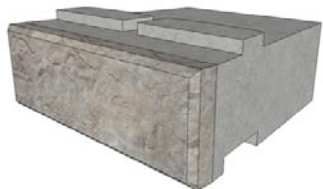
17.18

Coverage

5.33

Batter

3.6°

**Name** Full Base Block - 60", 66", 72", 78", 84"**Unit ID** **Weight**

FB60-84 3173-4146 16 in. x 48 in. x varies

Volume

21.88-28.59

Coverage

5.33

Batter

3.6°

**Name** Full Middle Block - 60", 66", 72", 78", 84"**Unit ID** **Weight**

FM60-84 3115-4088 16 in. x 48 in. x varies

Volume

21.48-28.19

Coverage


5.33

Batter


3.6°




Name	Full Channel Block	
Unit ID	Weight	Dimensions
CHAN	2201	16 in. x 48 in. x 39 in.
Volume		
15.18		
Coverage		
5.33		
Batter		
26.5		




Name	Full Top Block - 24"	
Unit ID	Weight	Dimensions
T24	971	16 in. x 48 in. x 24 in.
Volume		
6.7		
Coverage		
5.33		
Batter		
3.6°		




Name	Half Middle Block - 24"	
Unit ID	Weight	Dimensions
HM24	662	16 in. x 24 in. x 24 in.
Volume		
4.57		
Coverage		
2.67		
Batter		
3.6°		




Name	Half Middle Block - 39"	
Unit ID	Weight	Dimensions
HM39	967	16 in. x 24 in. x 39 in.
Volume		
6.67		
Coverage		
2.67		
Batter		
3.6°		




Name	Half Top Block - 24"	
Unit ID	Weight	Dimensions
HT24	458	16 in. x 24 in. x 24 in.
Volume		
3.16		
Coverage		
2.67		
Batter		
3.6°		




Name	Left Corner Top Block	
Unit ID	Weight	Dimensions
LCT	1103	16 in. x 48 in. x 24 in.
Volume		
7.61		
Coverage		
8		
Batter		
3.6°		




Name	Right Corner Top Block	
Unit ID	Weight	Dimensions
RCT	1103	16 in. x 48 in. x 24 in.
Volume		
7.61		
Coverage		
8		
Batter		
3.6°		




Name	Reversible Corner Block	
Unit ID	Weight	Dimensions
C	1401	16 in. x 48 in. x 24 in.
Volume		
9.66		
Coverage		
8		
Batter		
3.6°		




Name	Fitting Block - 24"	
Unit ID	Weight	Dimensions
FF24	1215	16 in. x 48 in. x 24 in.
Volume		
8.38		
Coverage		
5.33		
Batter		
3.6°		




Name	Three Quarter Block - 24"	
Unit ID	Weight	Dimensions
TQM24	1037	16 in. x 36 in. x 24 in.
Volume		
7.15		
Coverage		
4		
Batter		
3.6°		




Name	Three Quarter Block - 39"	
Unit ID	Weight	Dimensions
TQM39	1586	16 in. x 36 in. x 39 in.
Volume		
10.94		
Coverage		
4		
Batter		
3.6°		




Name	Capstone	
Unit ID	Weight	Dimensions
CAP	551	6.5 in. x 48 in. x 26 in.
Volume		
3.80		
Coverage		
2.17		
Batter		
N/A		




Name	End Capstone	
Unit ID	Weight	Dimensions
ECAP	551	6.5 in. x 48 in. x 26 in.
Volume		
3.80		
Coverage		
2.17		
Batter		
N/A		




Name	Full-High Cap Middle Block	
Unit ID	Weight	Dimensions
FHCAPM	1450	16 in. x 48 in. x 24 in.
Volume		
10.		
Coverage		
10.66		
Batter		
0°		




Name	Full-High Cap End Block	
Unit ID	Weight	Dimensions
FHCAPE	1459	16 in. x 48 in. x 24 in.
Volume		
10.06		
Coverage		
13.33		
Batter		
0°		



Name	Step Unit	
Unit ID	Weight	Dimensions
STEP	680	6.5 in. x 48 in. x 26 in.
Volume		
4.69		
Coverage		
2.17		
Batter		
N/A		



Name	Plinth Block	
Unit ID	Weight	Dimensions
PLB	1486	16 in. x 24 in. x 47 in.
Volume		
10.25		
Coverage		
2.67		
Batter		
3.6°		



Non-stock item. Check with local producer for availability

Name	8" Capstone	
Unit ID	Weight	Dimensions
8CAP	855	8 in. x 48 in. x 26 in.
Volume		
5.78		
Coverage		
2.67		
Batter		
N/A		



Non-stock item. Check with local producer for availability

Note: Please check with local Licensed Producer for availability of specific block types. Not all shapes and sizes are offered by each Licensed Producer.

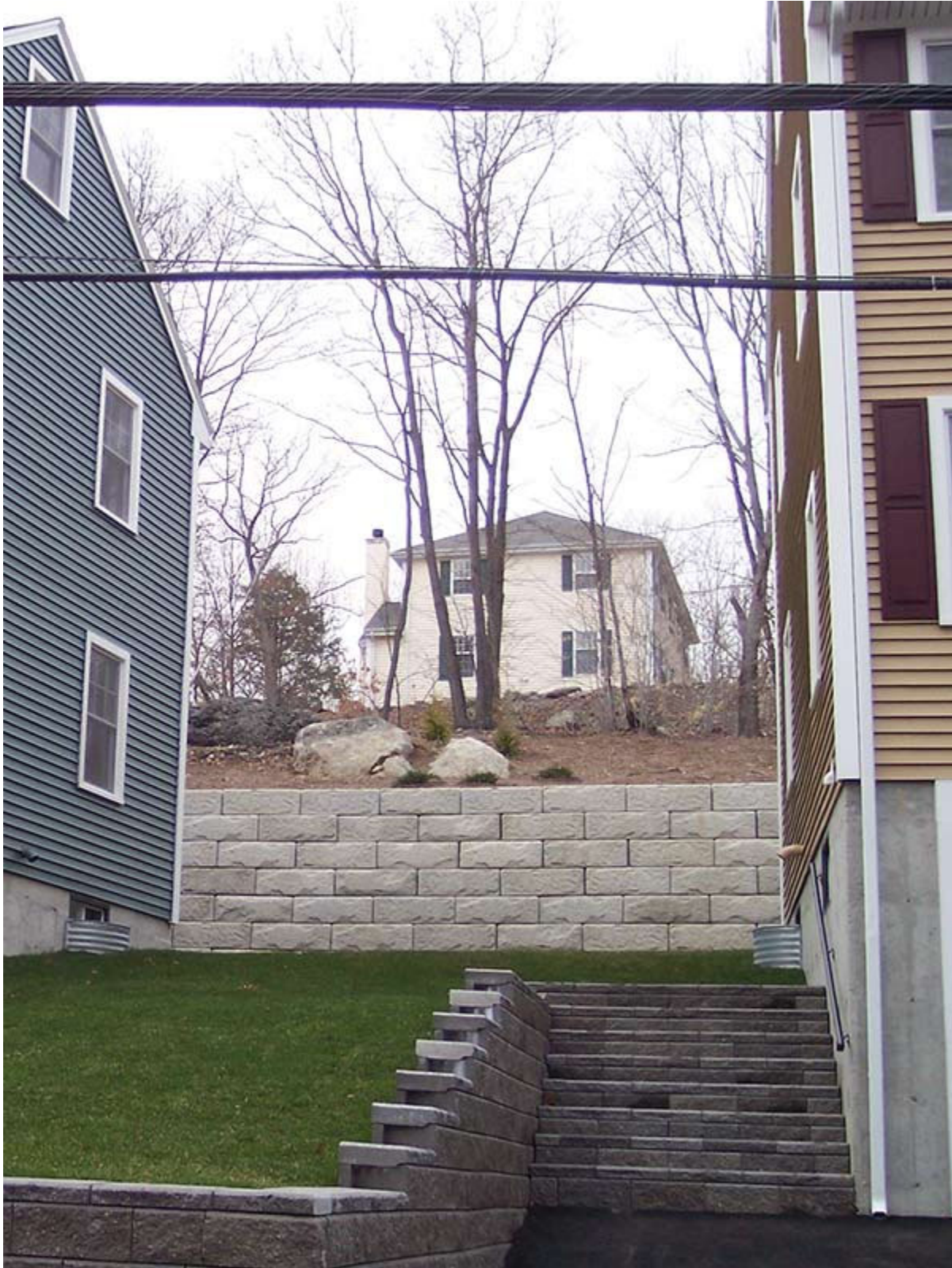


Image of Installed Precast Concrete Block Wall (Provided by Shea Concrete Products).
Please note: Proposed block wall will be the same product as used for the larger retaining wall located in the background of this image.