

GENERAL NOTES:

- 1: BOUNDARIES SHOWN ARE THE RESULTS OF A FIELD SURVEY BY GREEN HILL ENGINEERING, STURBRIDGE MA., BASED ON AVAILABLE MAPS, DEEDS OF RECORD AND PHYSICAL EVIDENCE, BUT ARE SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AGREEMENTS, AND RIGHTS AND ENCUMBRANCES OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.
- 2: THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND AND DEPICT THEM ON THE SURVEY; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 3: LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- 4: SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- 5: VERTICAL DATUM IS ASSUMED
6. ABUTTERS NAMES ARE IN RESPECT TO THE LATEST ASSESSORS RECORDS AVAILABLE.

RECORD OWNERS

C&J REALTY TRUST
PO BOX 99
PAXTON, MA
DB 51518 PG 371

PLAN REFERENCES:

(WORCESTER COUNTY REGISTRY OF DEEDS)

PLAN BOOK 721 PLAN 108

ASSESSORS REFERENCE:

TAX MAP 17-A-8

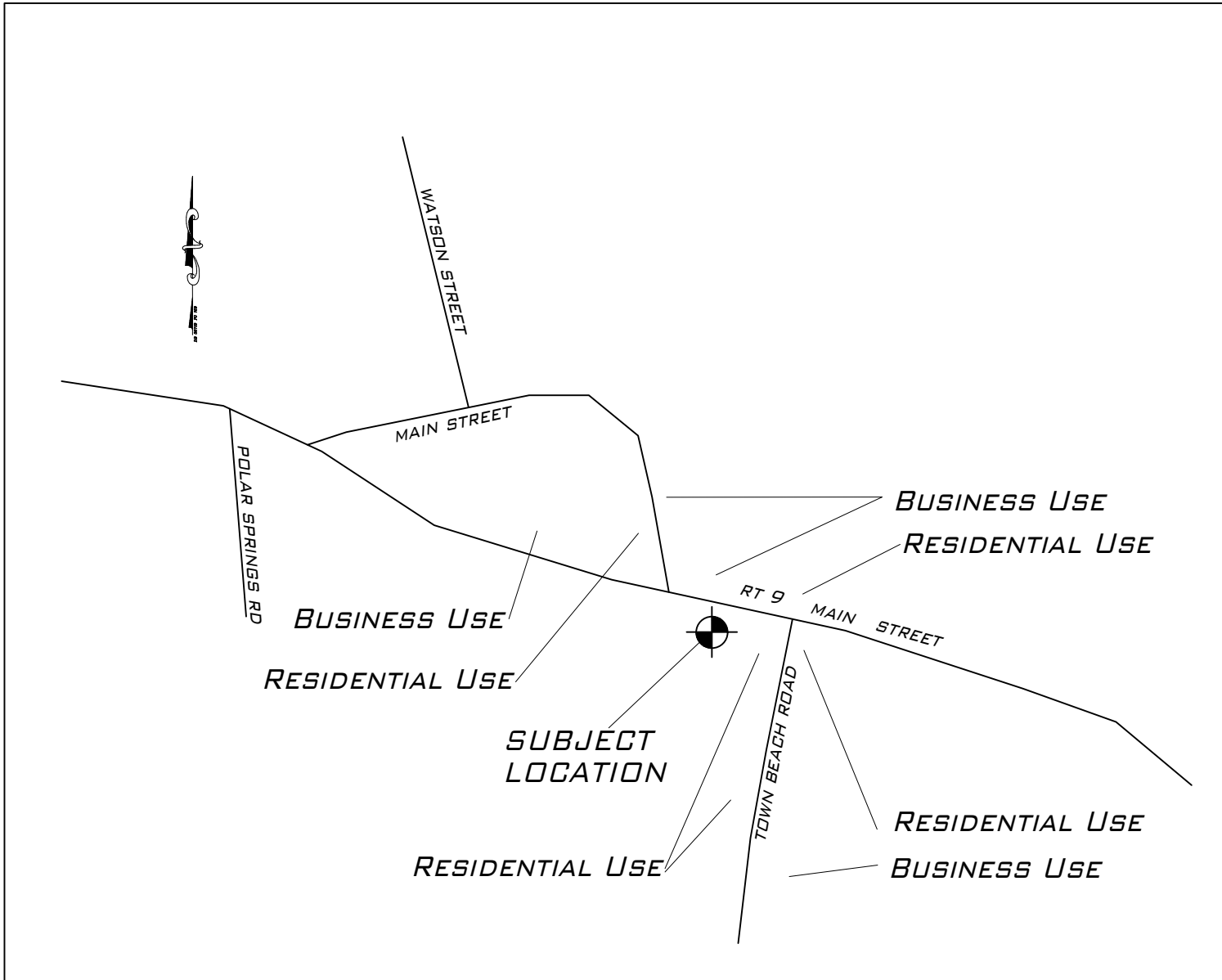
DESIGN ENGINEER

DC ENGINEERING & SURVEY, INC.
36 CRANBERRY MEADOW ROAD
CHARLTON, MA 01507
(508)769.6659 (508)341.2127

SYMBOL KEY

MONUMENT	■	CHAIN LINK FENCE	— x —
IRON PIPE	○	WOOD / STOCKADE FENCE	— □ —
MONUMENT TO BE SET	○MS	WATER LINE	— W —
DRAIN MANHOLE	⊙DMH	SEWER LINE	— S —
SEWER MANHOLE	⊙SMH	DRAIN LINE	— D —
SEWER CLEANOUT	+CO.	GAS LINE	— G —
ELECTRIC MANHOLE	⊙	ELECTRIC LINE	— E —
CATCH BASIN	■CB	OVERHEAD WIRES	— OHW —
UTILITY POLE	⊙	CONTOUR 5' INTERVAL	— — —
UTILITY POLE W/ STREET LIGHT	⊙⊙	CONTOUR 1' INTERVAL	— — —
GUY WIRE	GUYx	X 69.33'	SPOT GRADE
FIRE HYDRANT	XXHYD	BITUMINOUS	BIT.
WATER GATE	●WG	CONCRETE	CONC.
GAS GATE	●G	INVERT	INV.
BOLLARD	●BOL.	REINFORCED CONCRETE PIPE	RCP
LIGHT DECORATIVE (15'± HEIGHT)	★	POLYVINYL CHLORIDE PIPE	PVC
BENCH MARK	⊕	HIGH DENSITY PLASTIC	HDPE
SIGN	— T —	IRON PIPE	I.P.
MASSHIGHWAY SIGNAL BOX	MSB	FOUND	FND.
MONITOR WELL	●M	BOLLARD	BOL.
		SEWER MANHOLE	SMH
		DRAINAGE MANHOLE	DMH
		WATER GATE	WG
		HYDRANT	HYD.
		UTILITY POLE	UP
		GUY WIRE	GUY
CURB LEGEND			
VERTICAL GRANITE CURB	VGC		
BITUMINOUS CONCRETE CURB	BTC		

PROPOSED SITE PLAN
FOR
C & J REALTY TRUST
1749 MAIN STREET
TOWN OF LEICESTER
WORCESTER COUNTY, MASSACHUSETTS



LOT LOCUS
N.T.S.

DISTRICT DIMENSIONAL REGULATIONS	
District	HB-1 HIGHWAY BUSINESS
Use	MIXED
Min. Lot Size	60,000 SQ. FT.
Min. Frontage	200 FT.
Min. Front Yard Depth	50 FT.
Min. Side Yard Depth	50 FT.
Min. Rear Yard Depth	50 FT.

EXISTING LAND USE: RESIDENTIAL

PROPOSED LAND USE: MIXED USE (SELF STORAGE/CONTRACTOR'S YARD/RESIDENTIAL)

PROPOSED BUILDING COVERAGE: 35,139 S.F. / 261,752 S.F. = 13.4%

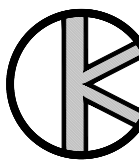
DRAWING LIST	
C	COVER SHEET
X-1	EXISTING CONDITIONS
S-1,2	SITE PLAN
L-1	LANDSCAPE PLAN
EC-1	EROSION CONTROL PLAN
D-1	CONSTRUCTION DETAILS



JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.A.L.C. NO. 4672

REVISED PER REVIEW COMMENTS		REVISION	
1	9/22/16	NO.	DATE

NORTH



DC ENGINEERING & SURVEY, INC.
36 CRANBERRY MEADOW ROAD
CHARLTON, MA 01507
(508)769-6659 (508)341-2127

508-769-6659
508-341-2127

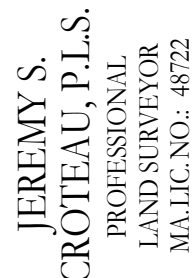
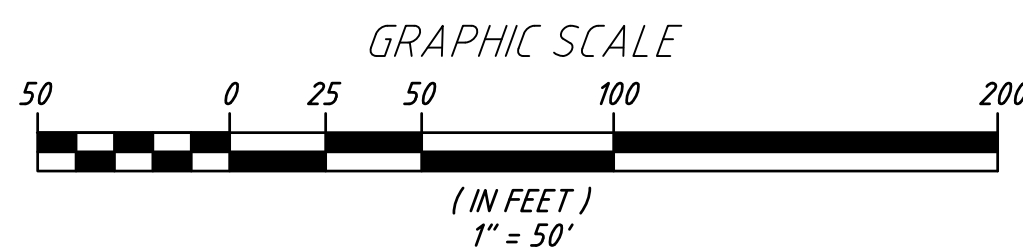
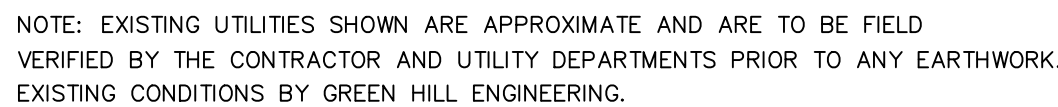
CLIENT:
C&J REALTY TRUST

PO BOX 99
PAXTON, MA 01612

COVER SHEET

SITE ADDRESS:
1749 MAIN STREET
LEICESTER, MA

DRAWN BY:	JDD
CK'D BY:	JDD
DATE:	SCALE:
PROJECT #:	DWG. NO.:



			REVISED PER REVIEW COMMENTS
		NO	REVISION DATE
	1	9/22/16	



508-769-6659
508-341-2127

SITE ADDRESS:

JDD

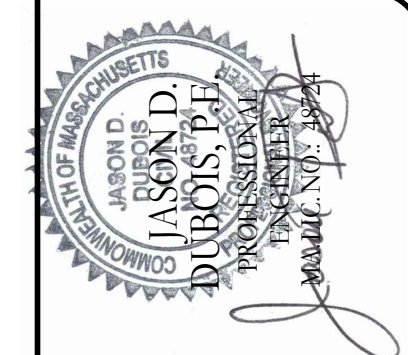
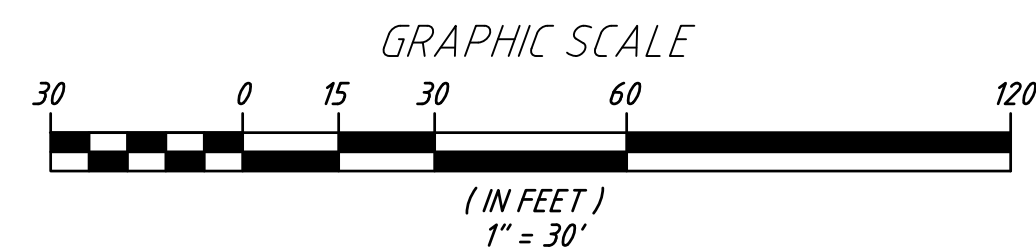
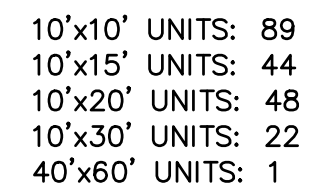
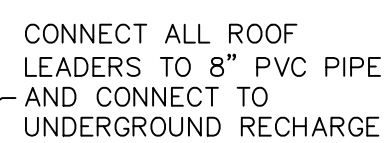
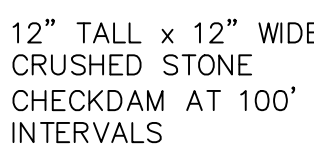
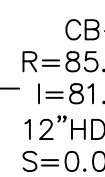
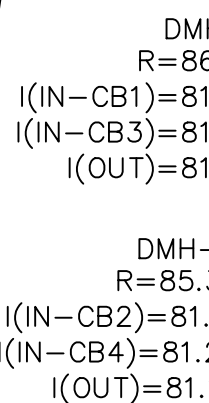
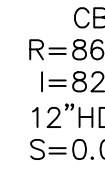
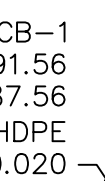
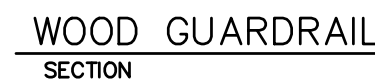
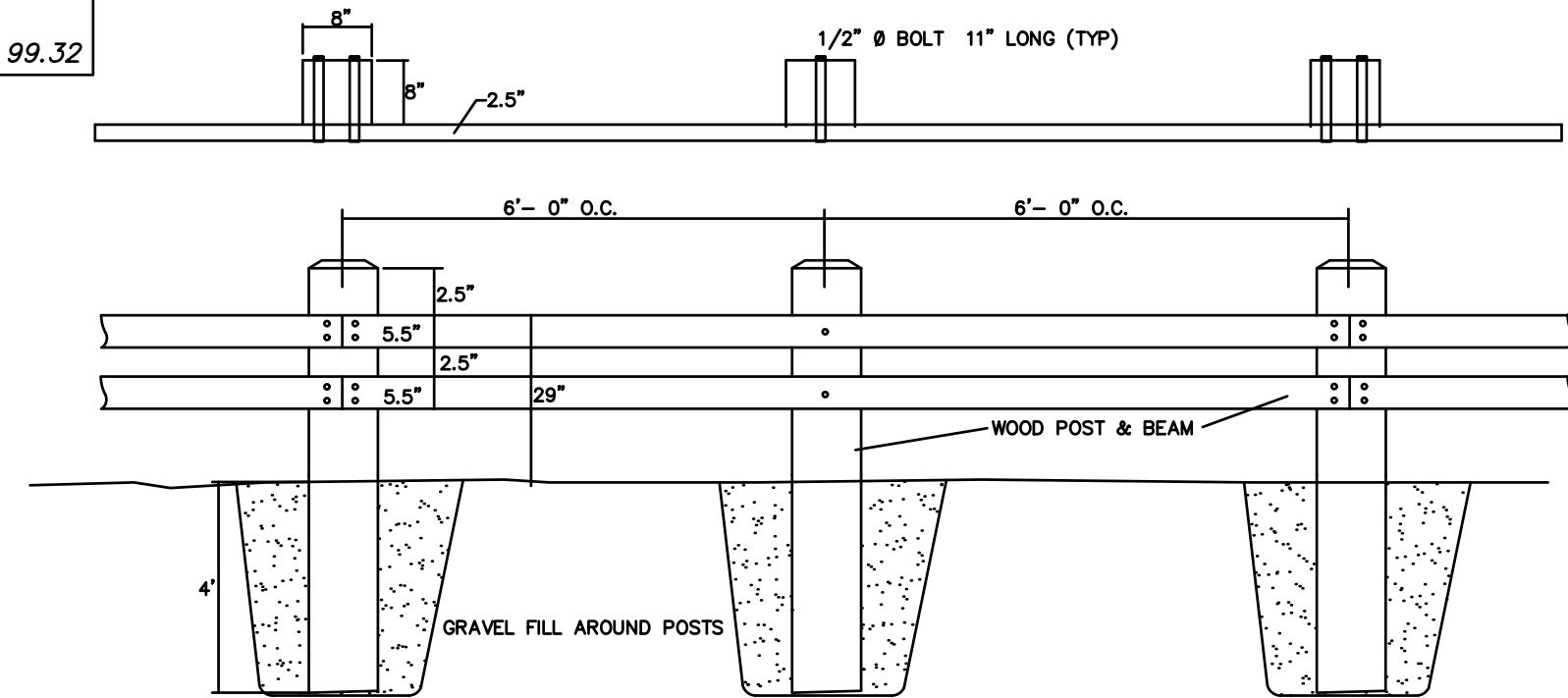
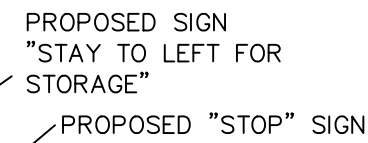
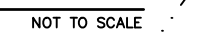
REV #

SCALE

$$1' =$$

DWG. M

[illegible]

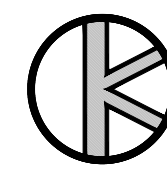
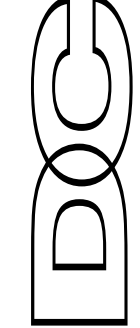


JEREMY S.
CRÔTEAU, P.I.S.
PROFESSIONAL
LAND SURVEYOR
MA.LIC.NO.: 48722

REVISED PER REVIEW COMMENTS

1	9/22/1
NO	DATE

NORTH

ENGINEERING
& SURVEY INC.®

CHARLTON, MA

CLIENT: C&J REALTY TRUST

P.O. BOX 99
PAXTON, MA 01612
PROPOSED SITE PLAN

DRAWN

CK'D B	
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REV #

DATE: 7-8

SCALE

7-9.
PROJECT

DWG. N

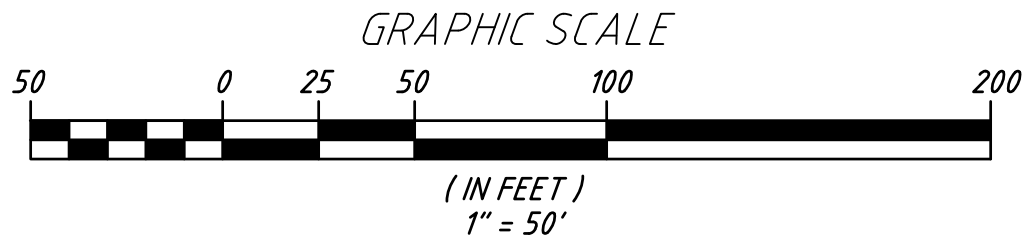
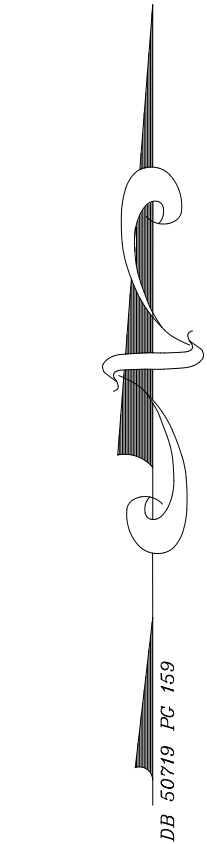
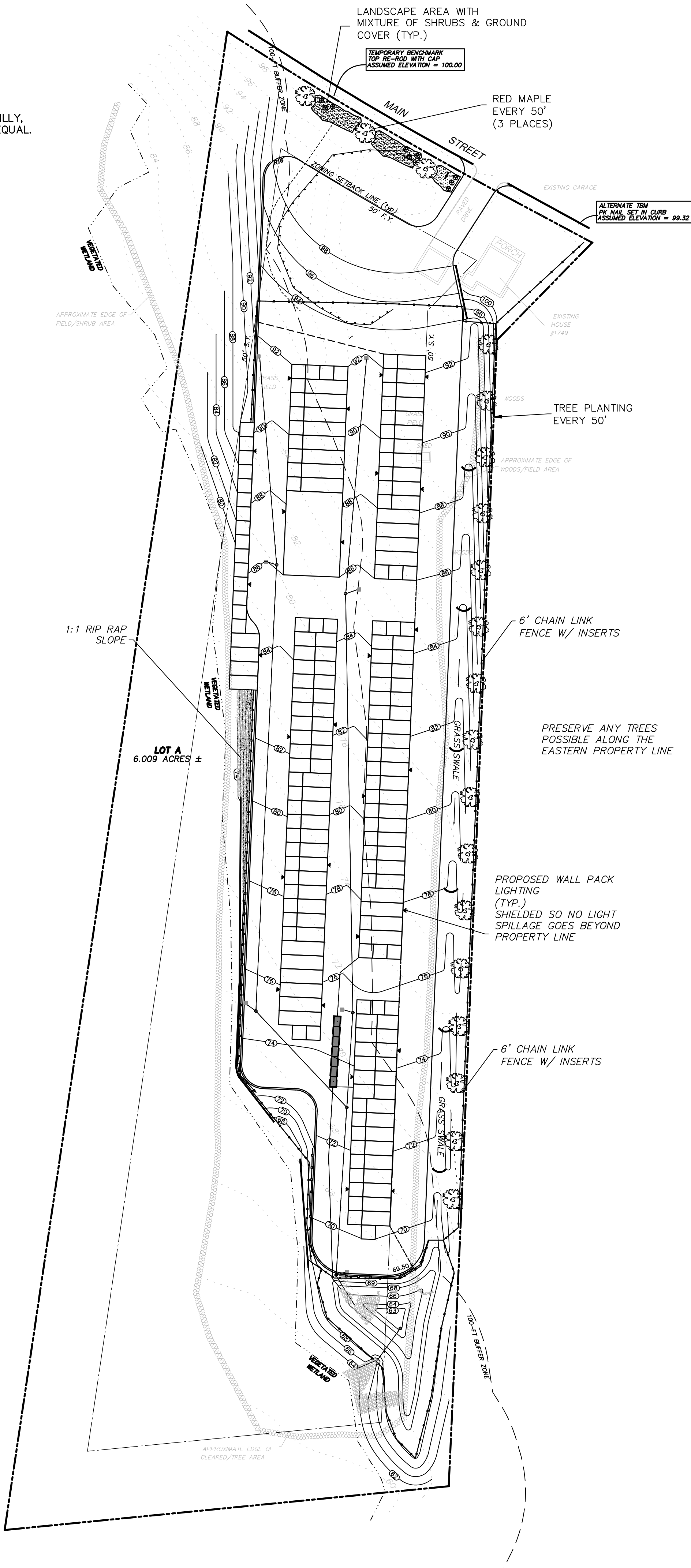
16-

S-

PLANTING LIST:

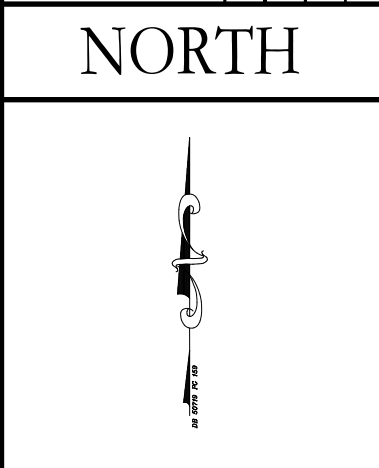
COMMON NAME	SCIENTIFIC NAME	QNTY	SIZE
RED MAPLE	ACER RUBRUM	19	2" CALIPER

MISC. SHRUBBERY TO BE RHODODENDRON, VIBURNUM, JUNIPER, LILLY, & OTHER PERENNIALS ALONG FRONT SETBACK OF ROUTE 9 OR EQUAL.



JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.A.S.L.C. NO. 48722

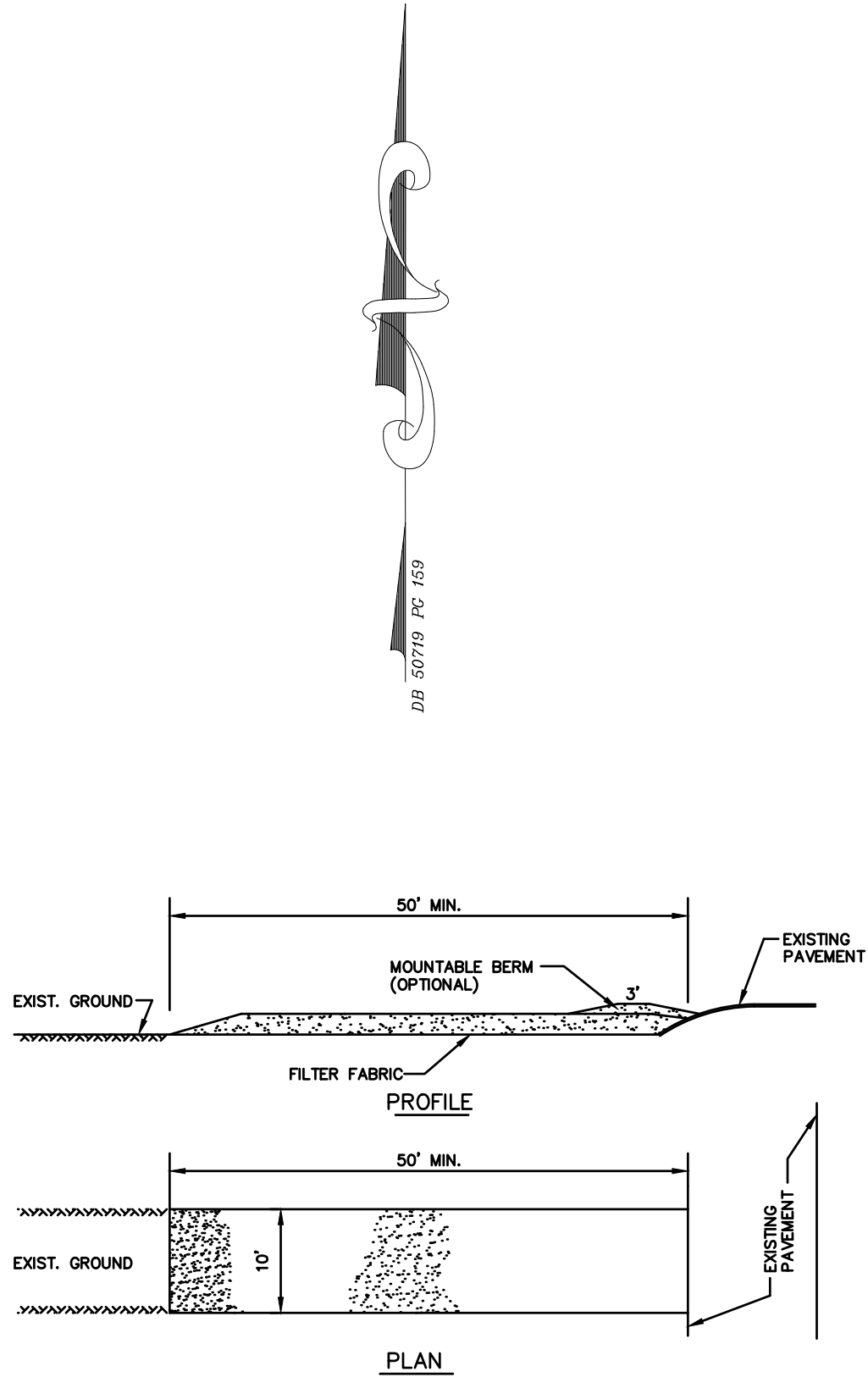
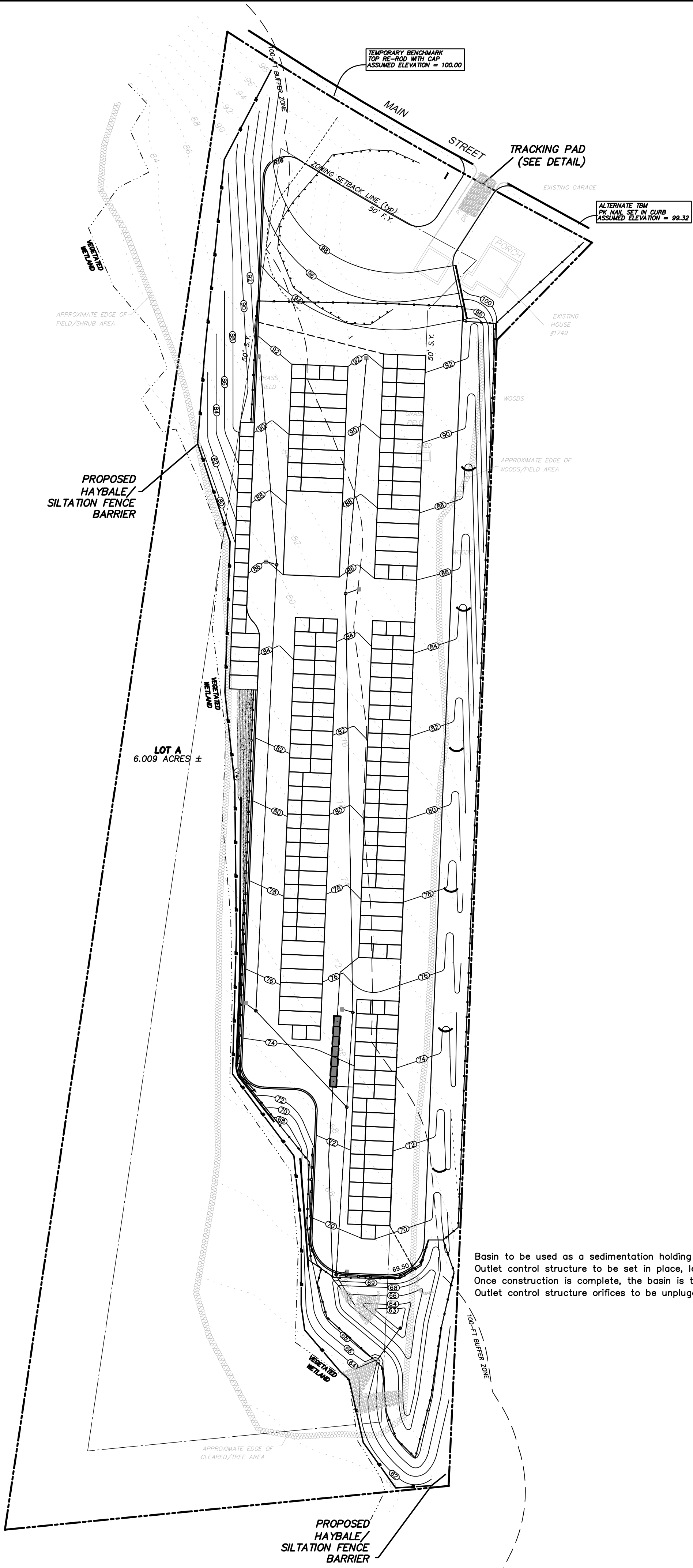
NO.	DATE	REVISION
1	9/22/16	REVISED PER REVIEW COMMENTS



DOC ENGINEERING & SURVEYING, INC.
300 HARTFORD STREET, SUITE 100, BOSTON, MA 02109
617-552-1100
508-769-0059
508-341-2127

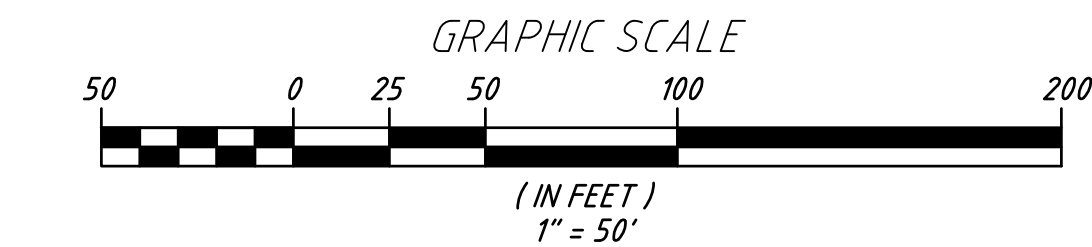
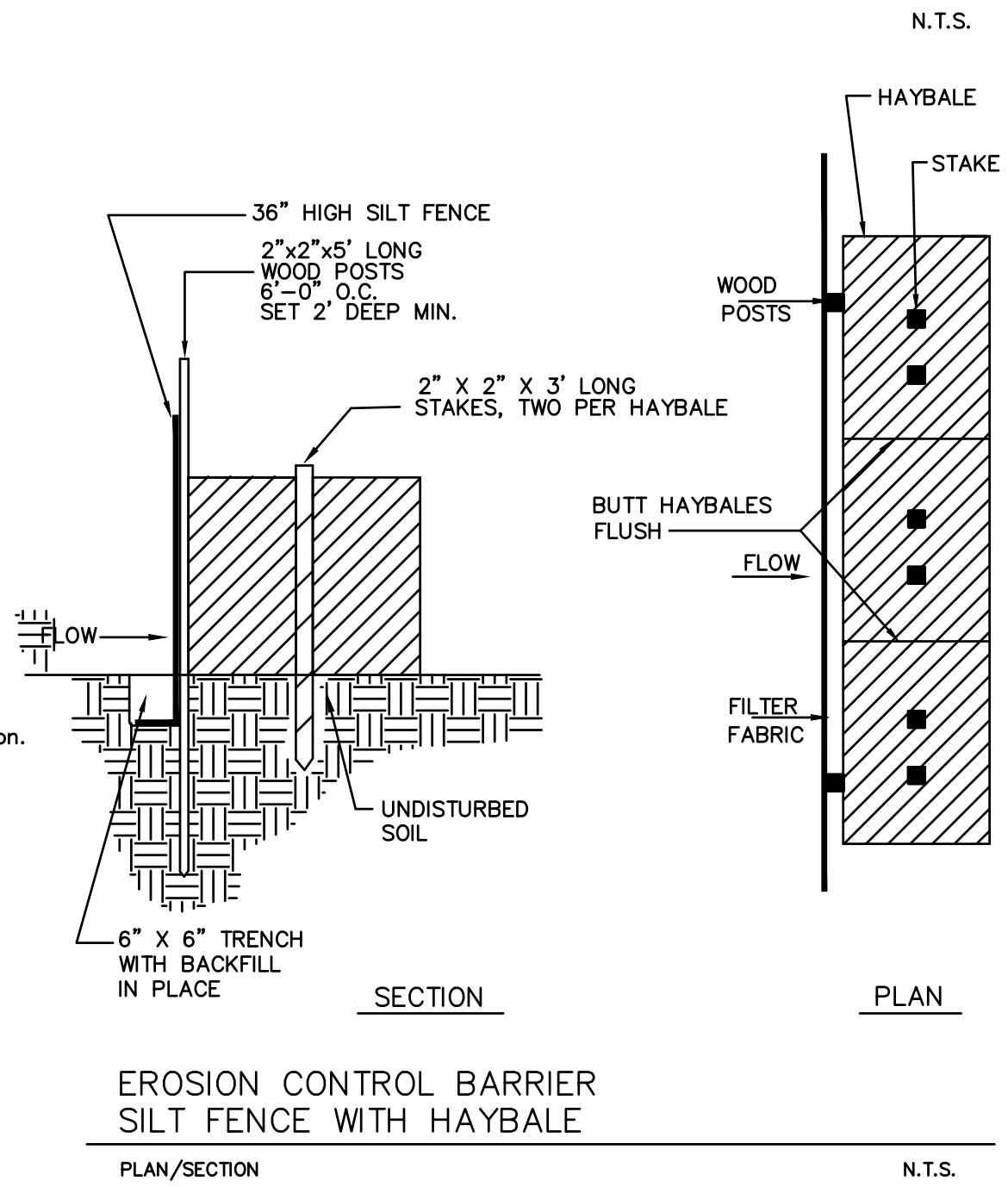
CLIENT: C&J REALTY TRUST PO BOX 99 PAXTON, MA 01612 LANDSCAPE PLAN	SITE ADDRESS: 1749 MAIN STREET LEICESTER, MA
DRAWN BY: JDD	CK'D BY: JDD
DATE: 7-9-16	SCALE: 1"=50'
PROJECT #: 16-137	DWG. NO.: L-1

NOTE:
ALL DISTURBED AREAS TO BE
TREATED WITH 6" LOAM & SEED
UNLESS OTHERWISE NOTED



- CONSTRUCTION SPECIFICATIONS**
- Stone size – Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length – As required, but not less than 50 feet.
 - Thickness – Not less than six (6) inches.
 - Width – Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter fabric – Will be placed over the entire area prior to placing of stone
 - Surface water – All surface water flowing or diverted toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance – The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be cleaned and or swept by the end of the working day.
 - Washing – Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping enclosure.
 - Periodic inspection and needed maintenance shall be provided after each rain.

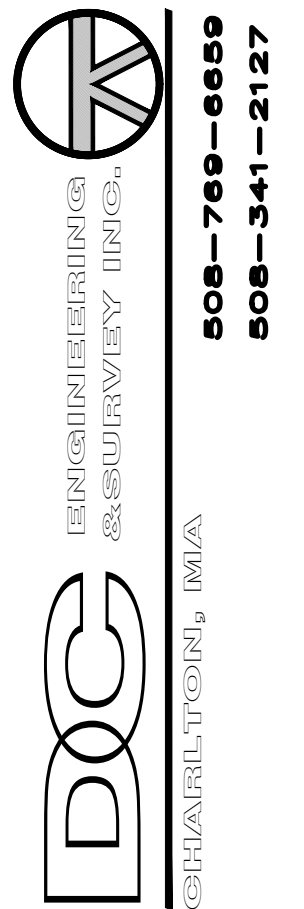
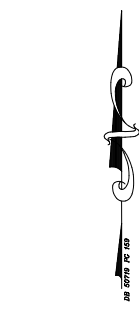
CONSTRUCTION ENTRY



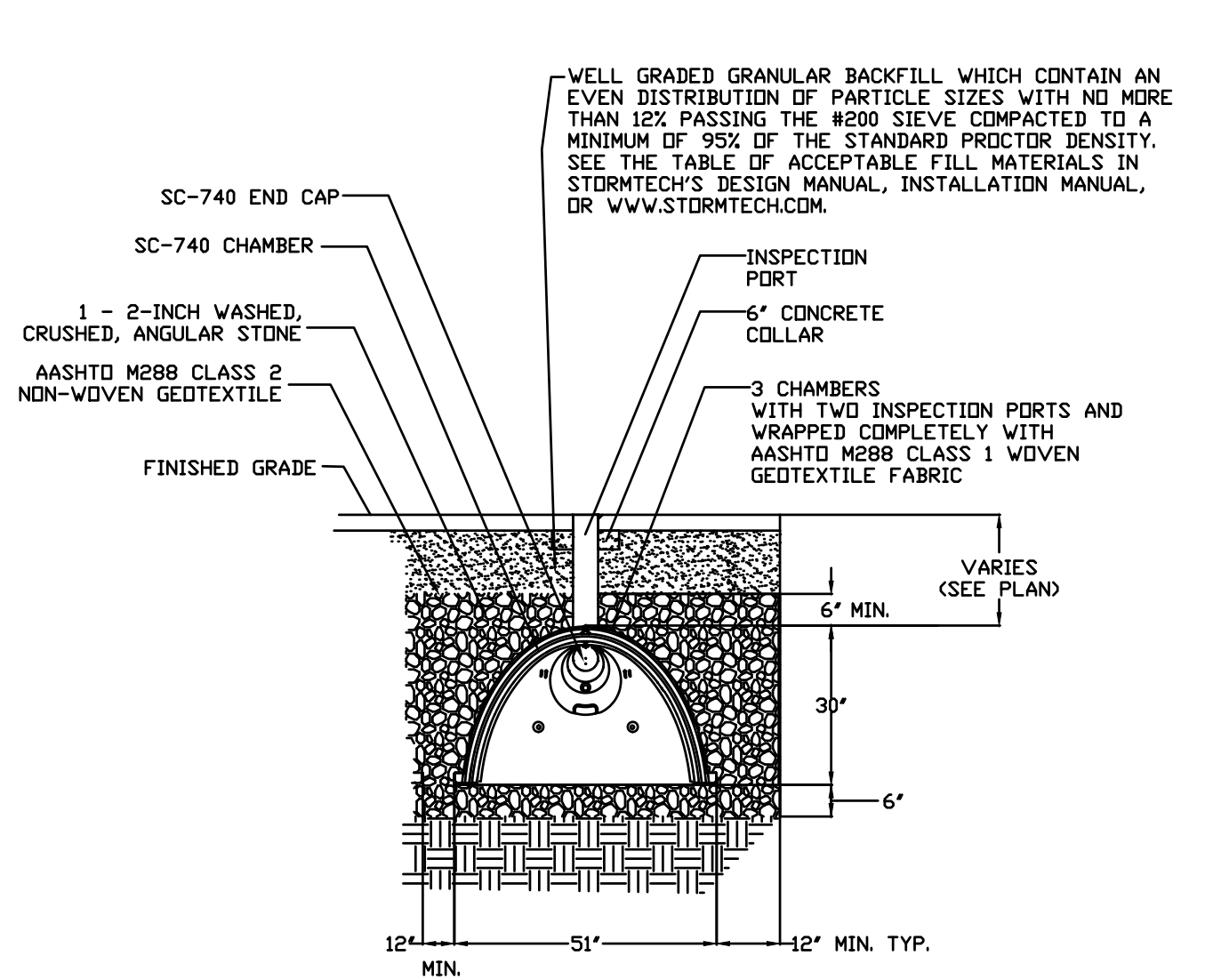
JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.A.L.S. NO. 4872

NO.	DATE	REVISION
1	9/22/16	REVISED PER REVIEW COMMENTS

NORTH

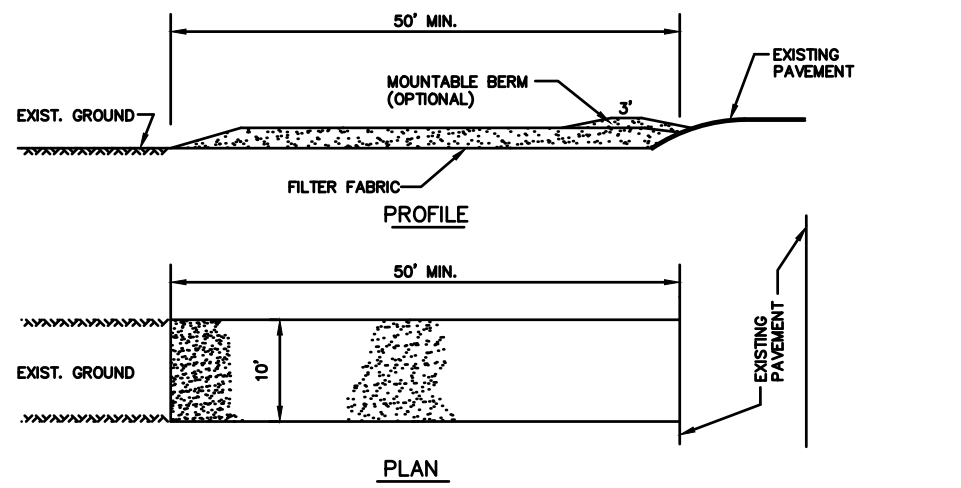


CLIENT: C&J REALTY TRUST PO BOX 99 PAXTON, MA 01612	EROSION CONTROL PLAN
DRAWN BY: JDD	DATE: 7-9-16
CK'D BY: JDD	SCALE: 1"=50'
PROJECT #: 16-137	DWG. NO.: EC-1



STORMTECH SC-740 CHAMBER SYSTEM

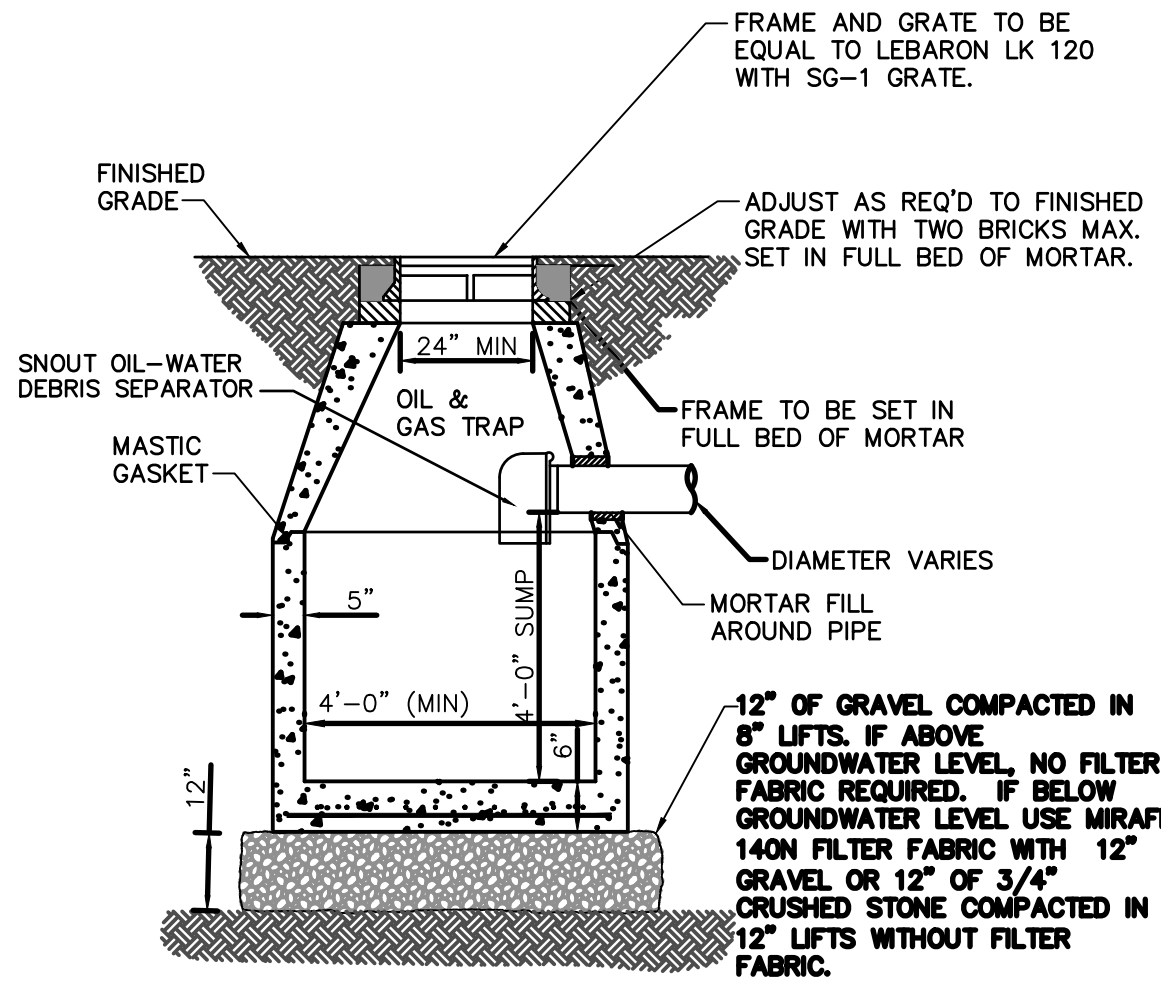
N.T.S.



- CONSTRUCTION SPECIFICATIONS**
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 2. Length - As required, but not less than 50 feet.
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 5. Filter fabric - Will be placed over the entire area prior to placing of stone
 6. Surface water - All surface water flowing or diverted toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
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 9. Periodic inspection and needed maintenance shall be provided after each rain.

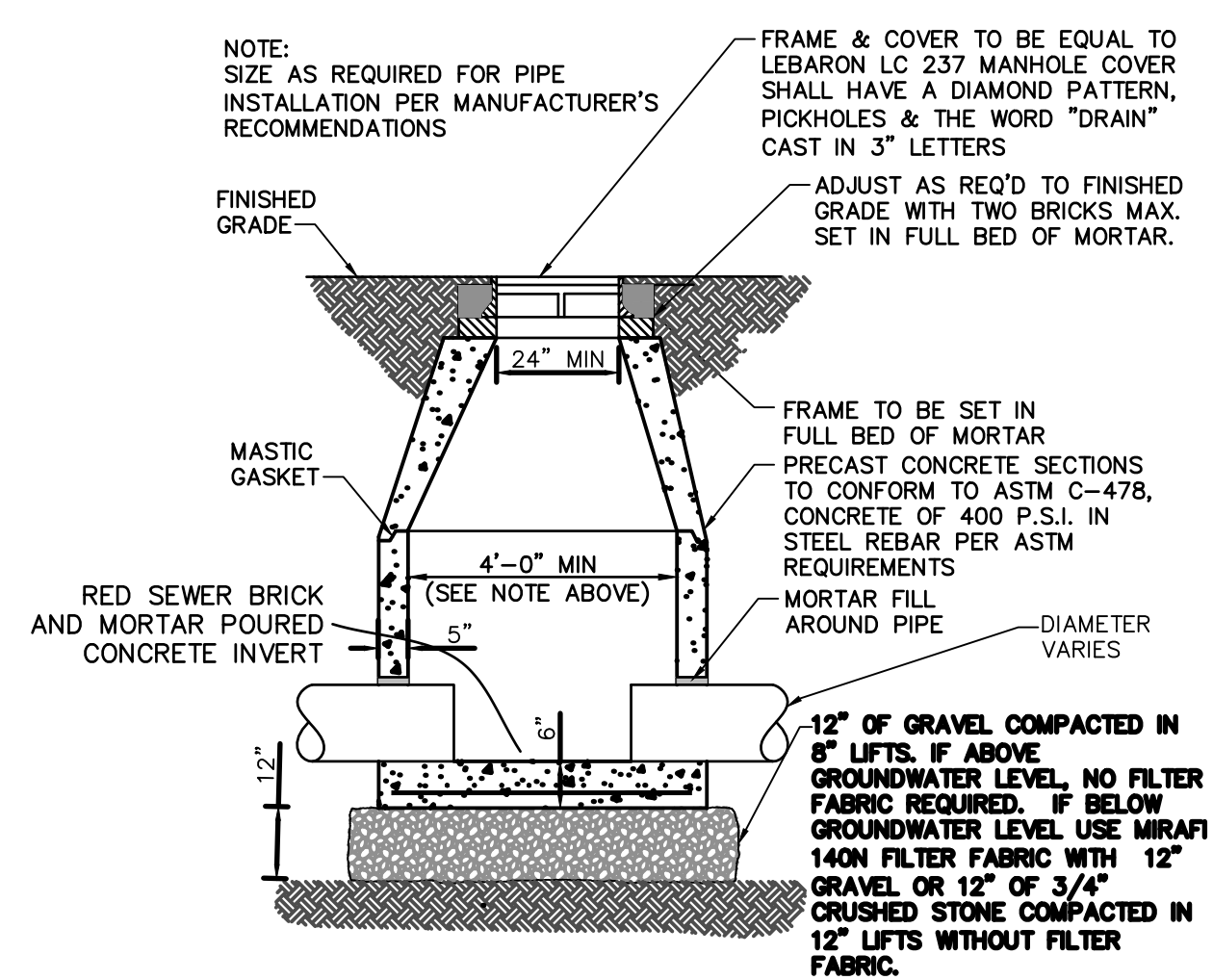
CONSTRUCTION ENTRY

N.T.S.



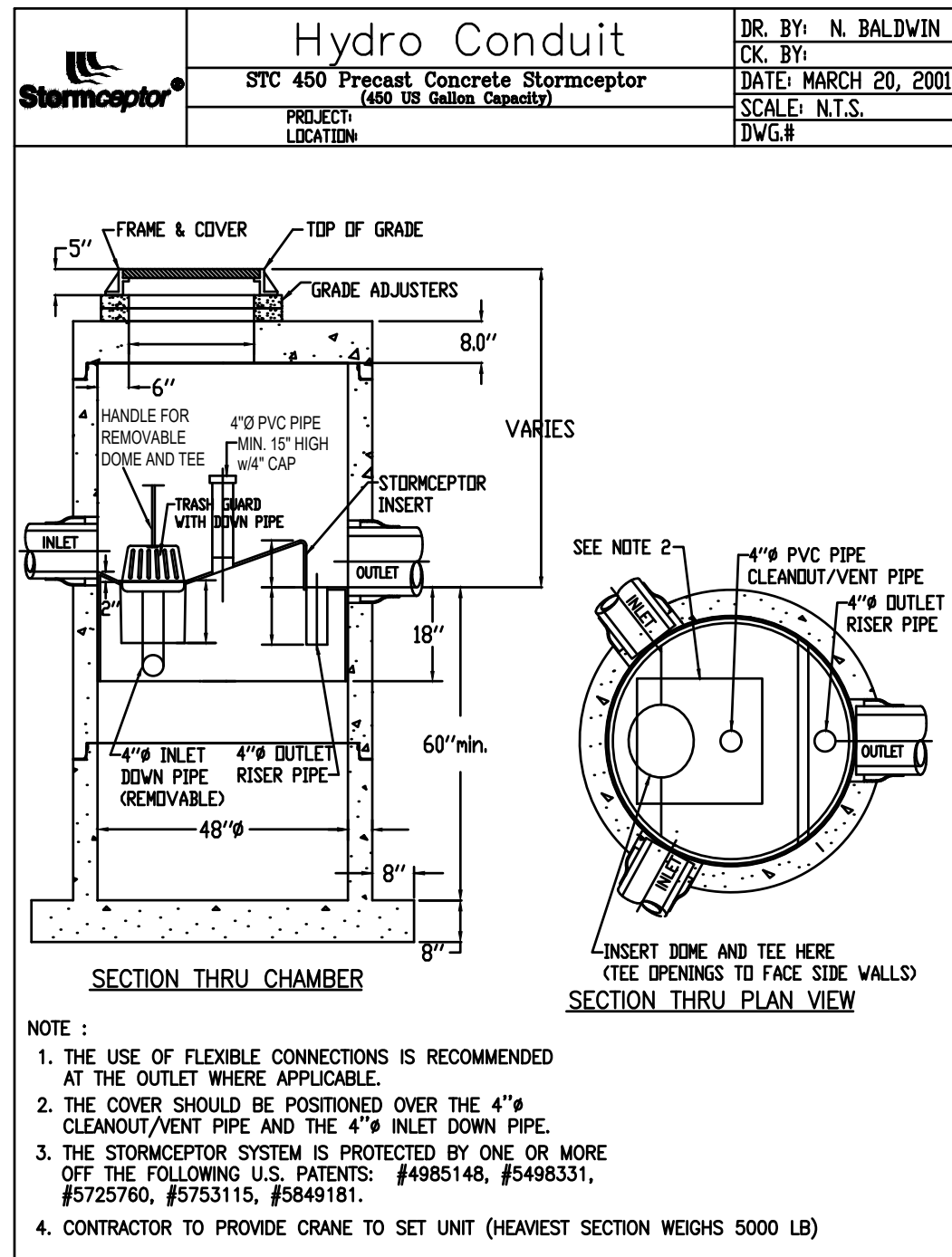
DEEP SUMP CATCH BASIN

NOT TO SCALE



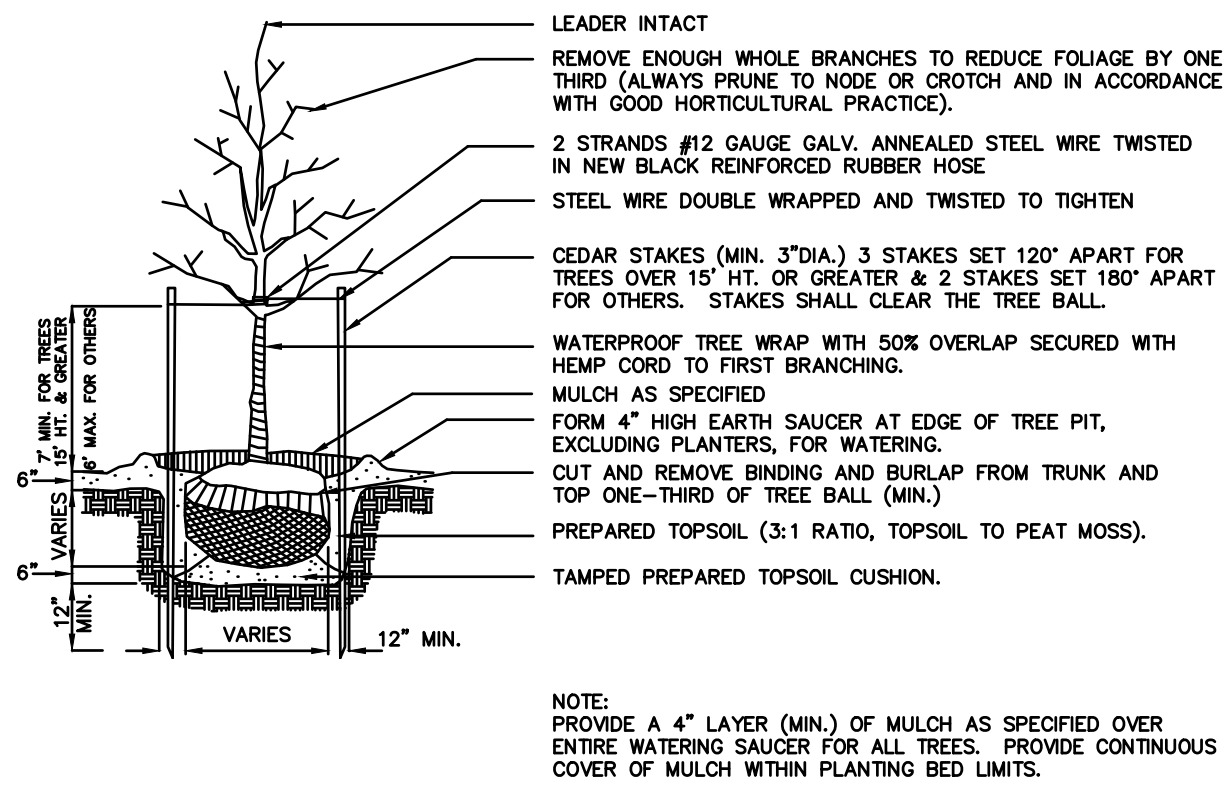
STANDARD DRAIN MANHOLE DETAIL

NOT TO SCALE

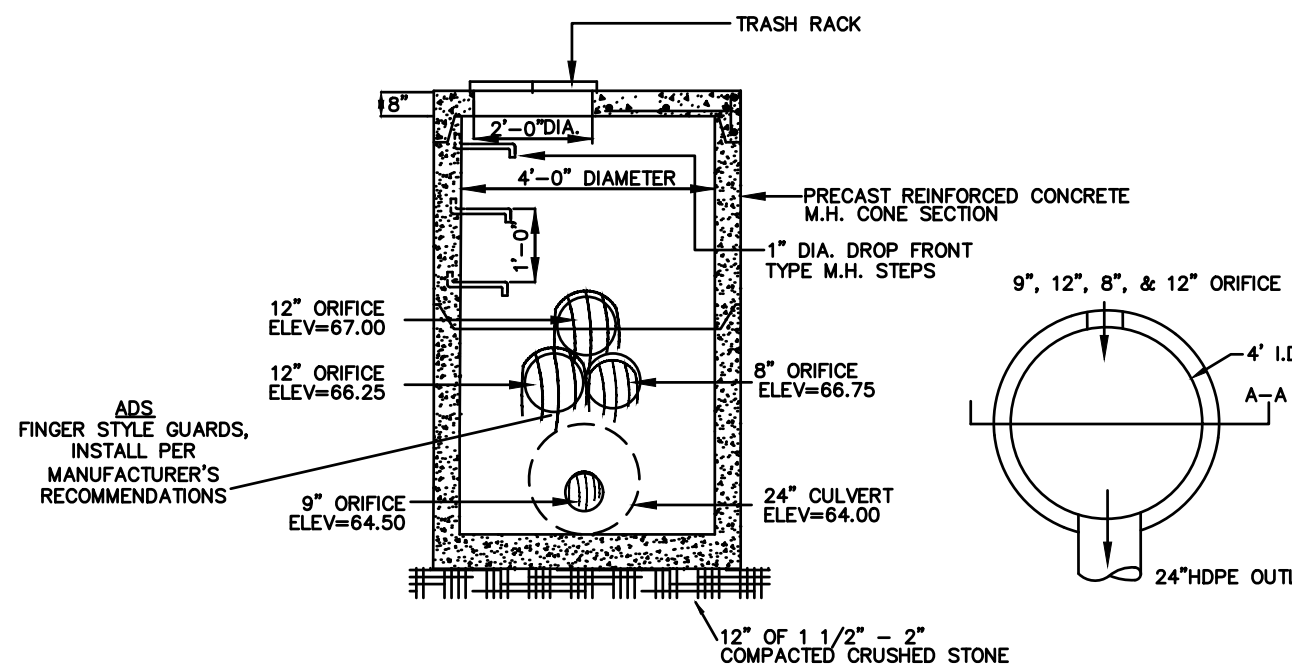


STORMCEPTOR DETAIL

N.T.S.

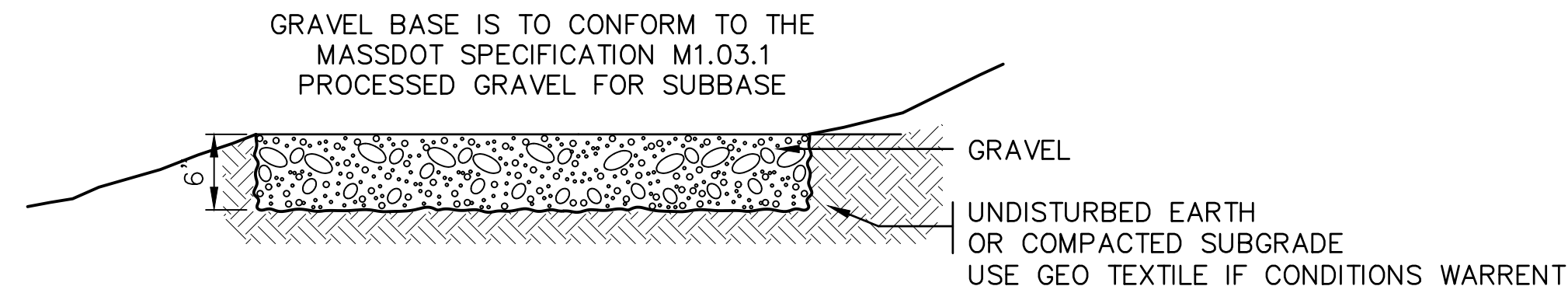


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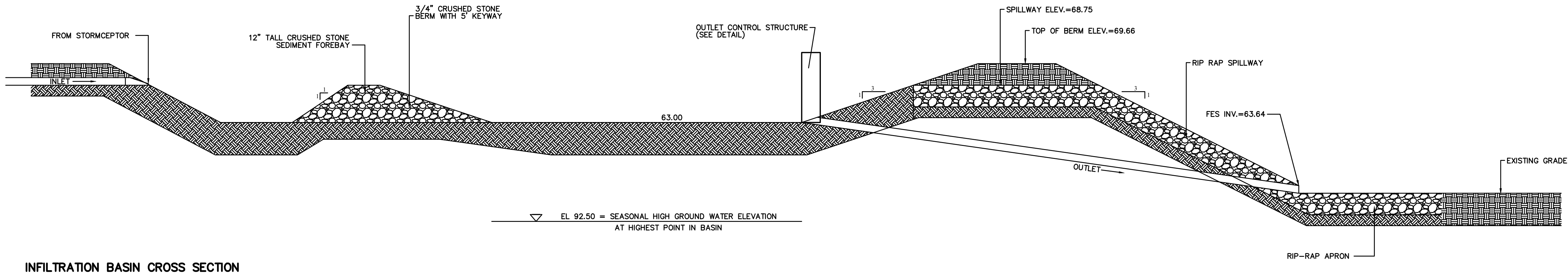
OUTLET CONTROL STRUCTURE

N.T.S.



GRAVEL AREA DETAIL

NOT TO SCALE



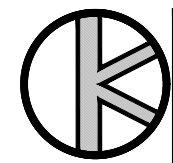
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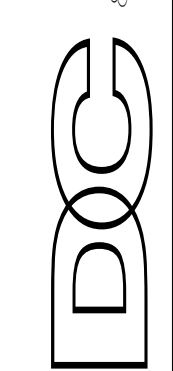
JEREMY S. CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.A.S.L.C. NO. 4972

REVISION
NO. 1
DATE 9/22/16
REVISED PER REVIEW COMMENTS

NORTH



D&C ENGINEERING, INC.
828 GUILDFORD STREET, SUITE 200
GUILDFORD, VT 05703



808-769-0059
808-341-2127

CLIENT: C&J REALTY TRUST

PO BOX 99
PAXTON, MA 01612

SITE DETAILS
SITE ADDRESS:
1749 MAIN STREET
LEGISTON, MA

DRAWN BY: JDD

CK'D BY: JDD

DATE: 7-21-16

PROJECT #: 16-137

REV #: 0

SCALE: N.T.S.

DWG. NO.: D-1