

GENERAL NOTES:

- 1: BOUNDARIES SHOWN ARE THE RESULTS OF A FIELD SURVEY BY GREEN HILL ENGINEERING, STURBRIDGE MA., BASED ON AVAILABLE MAPS, DEEDS OF RECORD AND PHYSICAL EVIDENCE, BUT ARE SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AGREEMENTS, AND RIGHTS AND ENCUMBRANCES OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.
- 2: THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND AND DEPICT THEM ON THE SURVEY; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 3: LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- 4: SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- 5: VERTICAL DATUM IS ASSUMED
6. ABUTTERS NAMES ARE IN RESPECT TO THE LATEST ASSESSORS RECORDS AVAILABLE.

RECORD OWNERS
C&J REALTY TRUST
PO BOX 99
PAXTON, MA
DB 51518 PG 371

PLAN REFERENCES:
(WORCESTER COUNTY REGISTRY OF DEEDS)

PLAN BOOK 721 PLAN 108

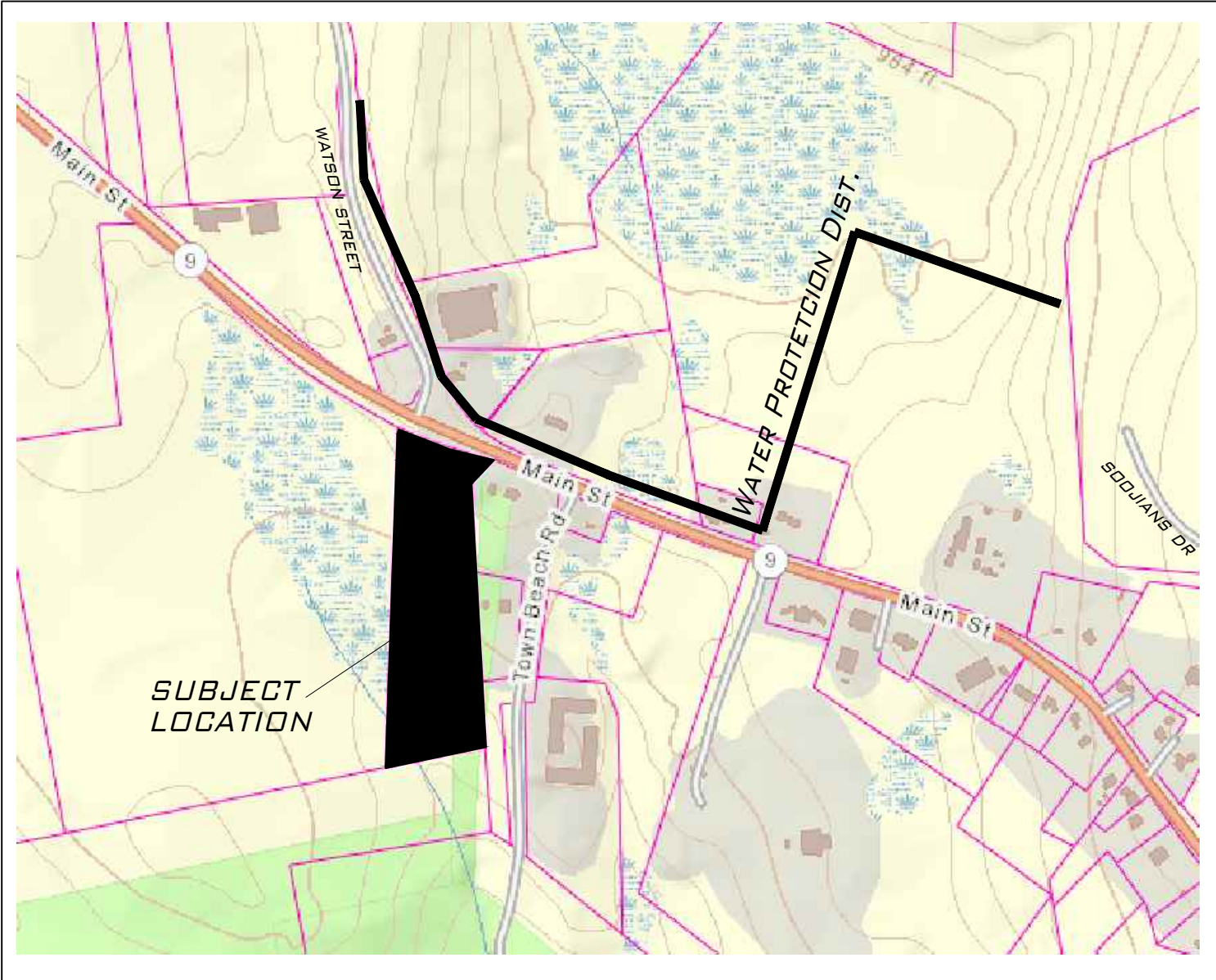
ASSESSORS REFERENCE:
TAX MAP 17-A-8

DESIGN ENGINEER
DC ENGINEERING & SURVEY, INC.
36 CRANBERRY MEADOW ROAD
CHARLTON, MA 01507
(508)769.6659 (508)341.2127

SYMBOL KEY

MONUMENT	■	CHAIN LINK FENCE	— x —
IRON PIPE	○	WOOD / STOCKADE FENCE	— □ —
MONUMENT TO BE SET	○MS	WATER LINE	— W —
DRAIN MANHOLE	⊙DMH	SEWER LINE	— S —
SEWER MANHOLE	⊙SMH	DRAIN LINE	— D —
SEWER CLEANOUT	+CO	GAS LINE	— G —
ELECTRIC MANHOLE	⊙	ELECTRIC WIRES	— E —
CATCH BASIN	■CB	OVERHEAD WIRES	— OHW —
UTILITY POLE	⊙	CONTOUR 5' INTERVAL	— 5' —
UTILITY POLE W/ STREET LIGHT	⊙SL	CONTOUR 1' INTERVAL	— 1' —
GUY WIRE	— GUY —	X 69.33'	— X —
FIRE HYDRANT	⊙HYD	BITUMINOUS	— BIT —
WATER GATE	●WG	CONCRETE	— CONC. —
GAS GATE	●G	INVERT	— INV. —
BOLLARD	●BOL	REINFORCED CONCRETE PIPE	— RCP —
LIGHT DECORATIVE (15'± HEIGHT)	●	POLYVINYL CHLORIDE PIPE	— PVC —
BENCH MARK	⊙	HIGH DENSITY PLASTIC	— HDPE —
SIGN	⊙	IRON PIPE	— I.P. —
MASSHIGHWAY SIGNAL BOX	⊙MSB	FOUND	— FND. —
MONITOR WELL	⊙MW	BOLLARD	— BOL. —
		SEWER MANHOLE	— SMH —
		DRAINAGE MANHOLE	— DMH —
		WATER GATE	— WG —
		HYDRANT	— HYD. —
		UTILITY POLE	— UP —
		GUY WIRE	— GUY —
CURB LEGEND			
VERTICAL GRANITE CURB	VGC		
BITUMINOUS CONCRETE CURB	BTC		

PROPOSED SITE PLAN
FOR
C & J REALTY TRUST
1749 MAIN STREET
TOWN OF LEICESTER
WORCESTER COUNTY, MASSACHUSETTS



LOT LOCUS
1"=500'

DISTRICT DIMENSIONAL REGULATIONS	
District	HB-1 HIGHWAY BUSINESS
Use	MIXED
Min. Lot Size	60,000 SQ. FT.
Min. Frontage	200 FT.
Min. Front Yard Depth	50 FT.
Min. Side Yard Depth	50 FT.
Min. Rear Yard Depth	50 FT.

EXISTING LAND USE: RESIDENTIAL

PROPOSED LAND USE: MIXED USE (SELF STORAGE/CONTRACTOR'S YARD/RESIDENTIAL)

PROPOSED BUILDING COVERAGE: 33,550 S.F. / 261,752 S.F. = 12.8%

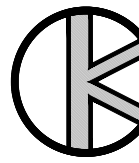
DRAWING LIST	
C	COVER SHEET
X-1	EXISTING CONDITIONS
S-1,2	SITE PLAN
L-1	LANDSCAPE PLAN
EC-1	EROSION CONTROL PLAN
D-1	CONSTRUCTION DETAILS



JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.L.S. NO.: 4672

		REVISED PER REVIEW COMMENTS
6	5/8/18	REVISED 50'X150' BUILDING
5	2/5/18	REVISED 50'X60' BUILDING
4	10/16/17	REVISED PER REVIEW COMMENTS
3	11/4/16	REVISED PER REVIEW COMMENTS
2	10/28/16	REVISED PER REVIEW COMMENTS
1	9/22/16	REVISION
NO.	DATE	

NORTH



ENGINEERING
& SURVEY, INC.
CHARTERED PROFESSIONAL ENGINEER

508-769-6659
508-341-2127

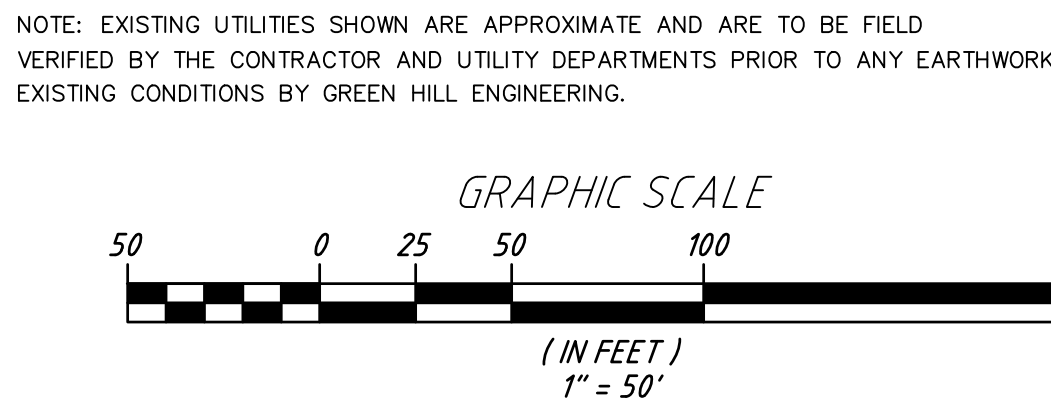
CLIENT:
C&J REALTY TRUST

PO BOX 99
PAXTON, MA 01612

COVER SHEET

SITE ADDRESS:
1749 MAIN STREET
LEICESTER, MA

DRAWN BY:	JDD
CK'D BY:	JDD
DATE:	7-9-16
PROJECT #:	16-137
REV #:	6
SCALE:	1"=20'
DWG. NO.:	C-1



MONUMENT		CHAIN LINK FENCE	
IRON PIPE		WOOD / STOCKADE FENCE	
MONUMENT TO BE SET		WATER LINE	
DRAIN MANHOLE		SEWER LINE	
SEWER MANHOLE		DRAIN LINE	
SEWER CLEANOUT		GAS LINE	
ELECTRIC MANHOLE		ELECTRIC LINE	
CATCH BASIN		OVERHEAD WIRES	
UTILITY POLE		CONTOUR 5' INTERVAL	
UTILITY POLE W/ STREET LIGHT		CONTOUR 1' INTERVAL	
GUY WIRE		X 69.33'	
FIRE HYDRANT		BITUMINOUS	BIT.
WATER GATE		CONCRETE	CONC.
GAS GATE		INVERT	INV.
BOLLARD		REINFORCED CONCRETE PIPE	RCP
LIGHT DECORATIVE (15'± HEIGHT)		POLYVINYL CHLORIDE PIPE	PVC
BENCH MARK		HIGH DENSITY PLASTIC	HDPE
SIGN		IRON PIPE	I.P.
MASSHIGHWAY SIGNAL BOX		FOUND	FND.
MONITOR WELL		BOLLARD	BOL.
		SEWER MANHOLE	SMH
		DRAINAGE MANHOLE	DMH
		WATER GATE	WG
		HYDRANT	HYD.
		UTILITY POLE	UP
		GUY WIRE	GUY

GRAPHIC SCALE

50 0 25 50 100 200

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ENGINEERING & SURVEY INC.

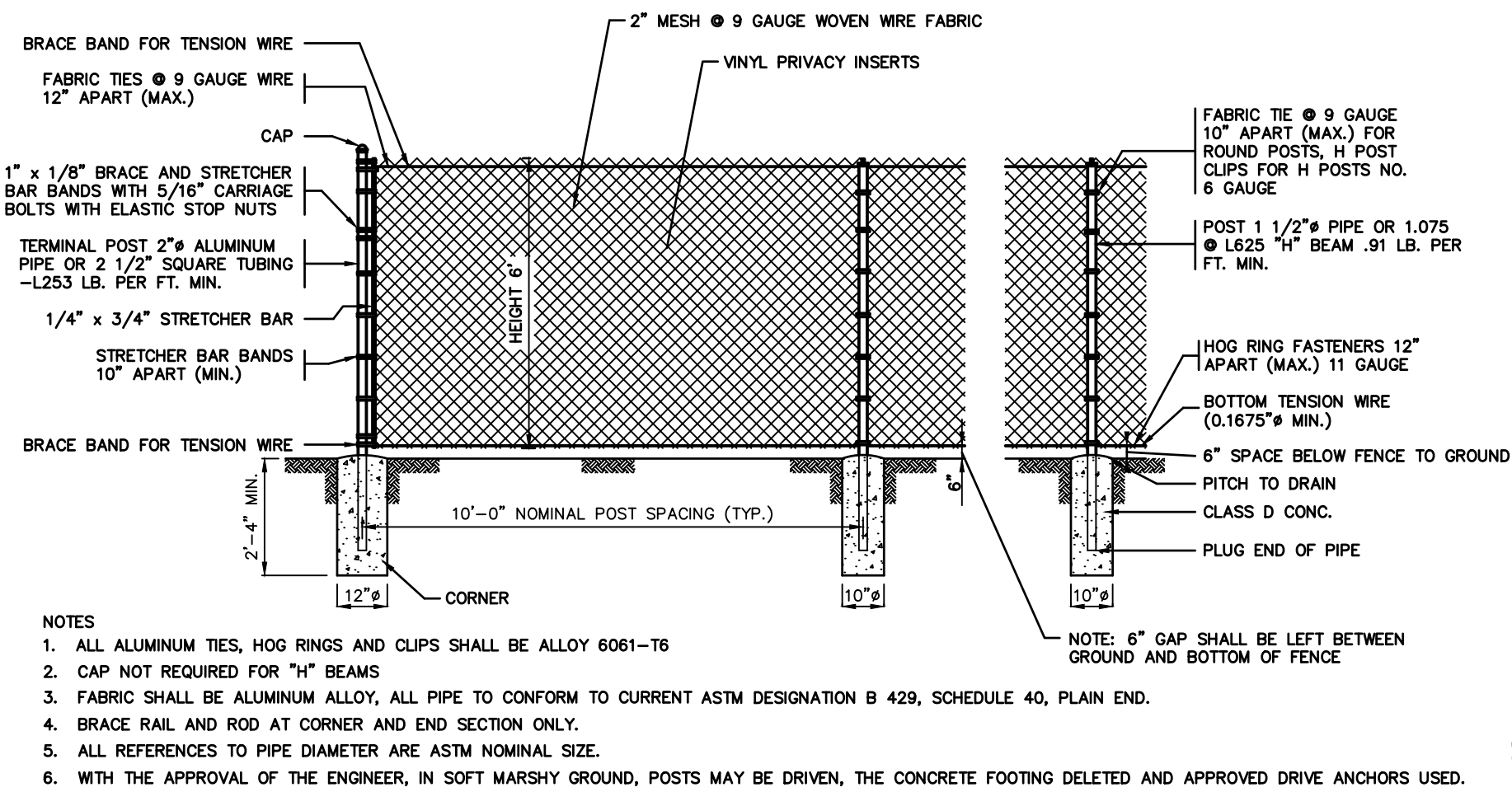
508-769-6659
508-341-2127

C&J REALTY TRUST

1181 MAIN STREET
LEICESTER, MA

1749 MAIN STREET
WILMINGTON, MA 01890

DRAWN BY:		JDD	
CK'D BY: JDD		REV #: 6	
DATE: 7-9-16		SCALE: 1'=50'	
PROJECT #: 16-137		DWG. NO.: X-1	

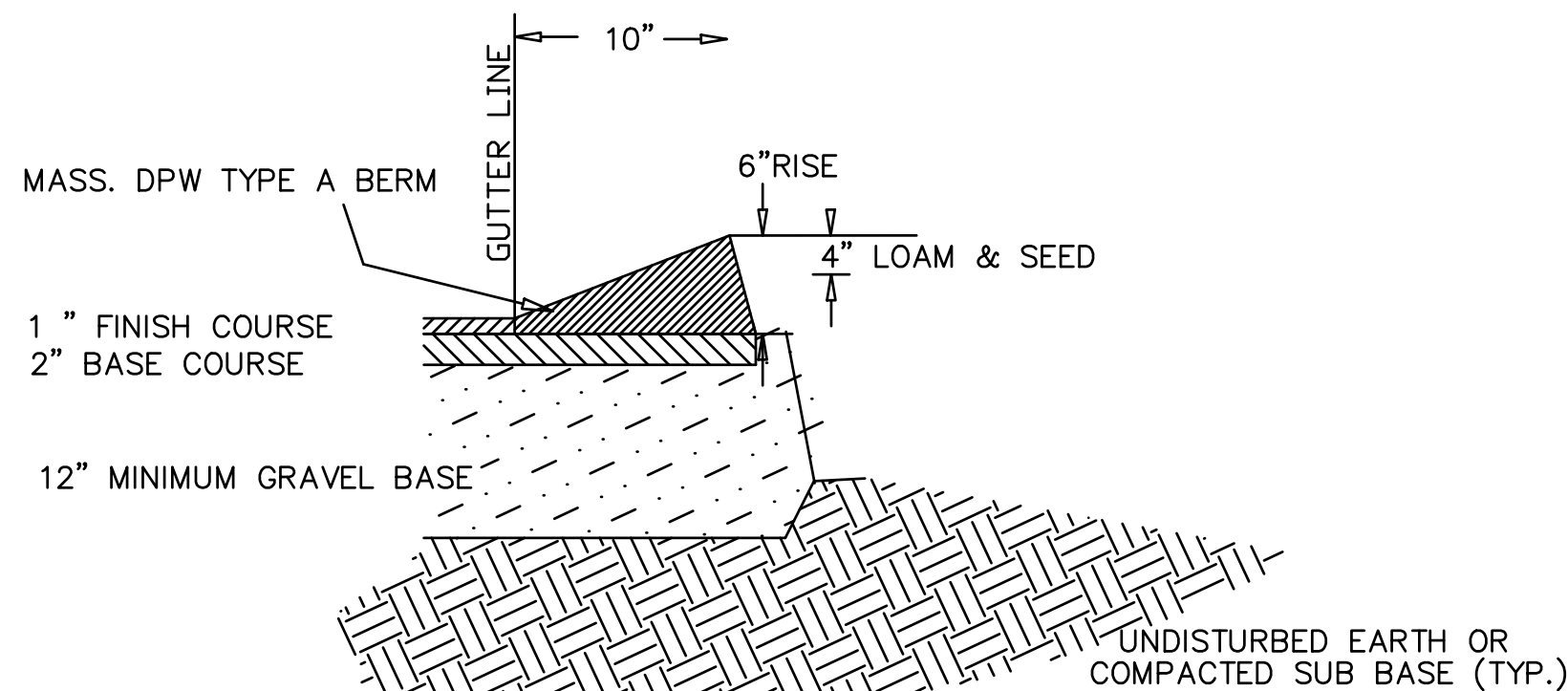


CHAIN LINK FENCE DETAIL

NOT TO SCALE

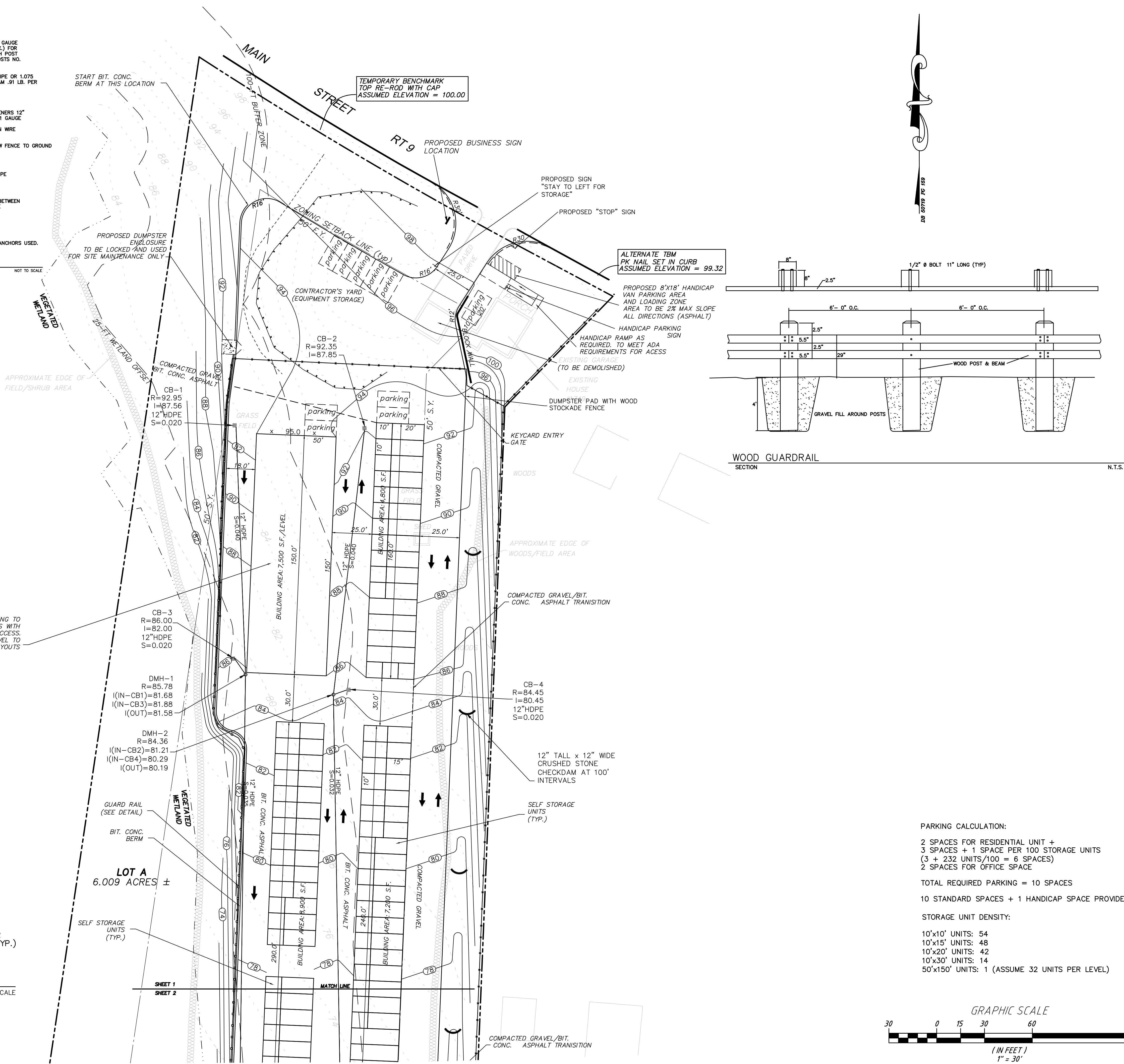
APPROXIMATE EDGE OF
FIELD/SHRUB AREA

CLIMATE CONTROLLED BUILDING TO
HAVE INTERIOR HALLWAYS WITH
INTERIOR STORAGE UNIT ACCESS.
MAIN LEVEL AND LOWER LEVEL TO
HAVE SIMILAR INTERIOR LAYOUTS

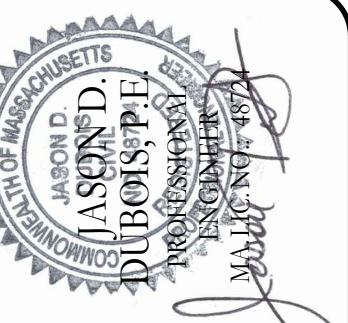
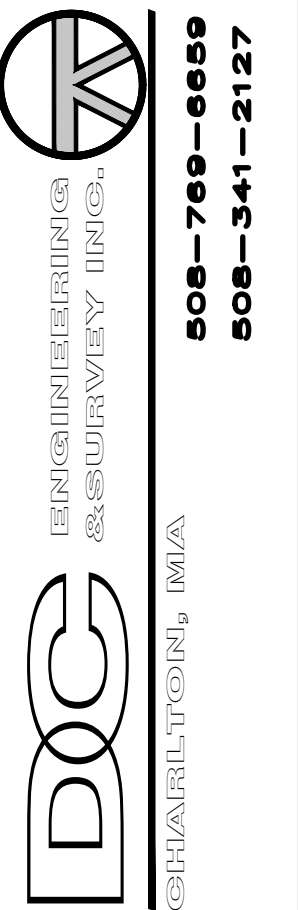


MODIFIED CAPE COD TYPE BERM

NOT TO SCALE



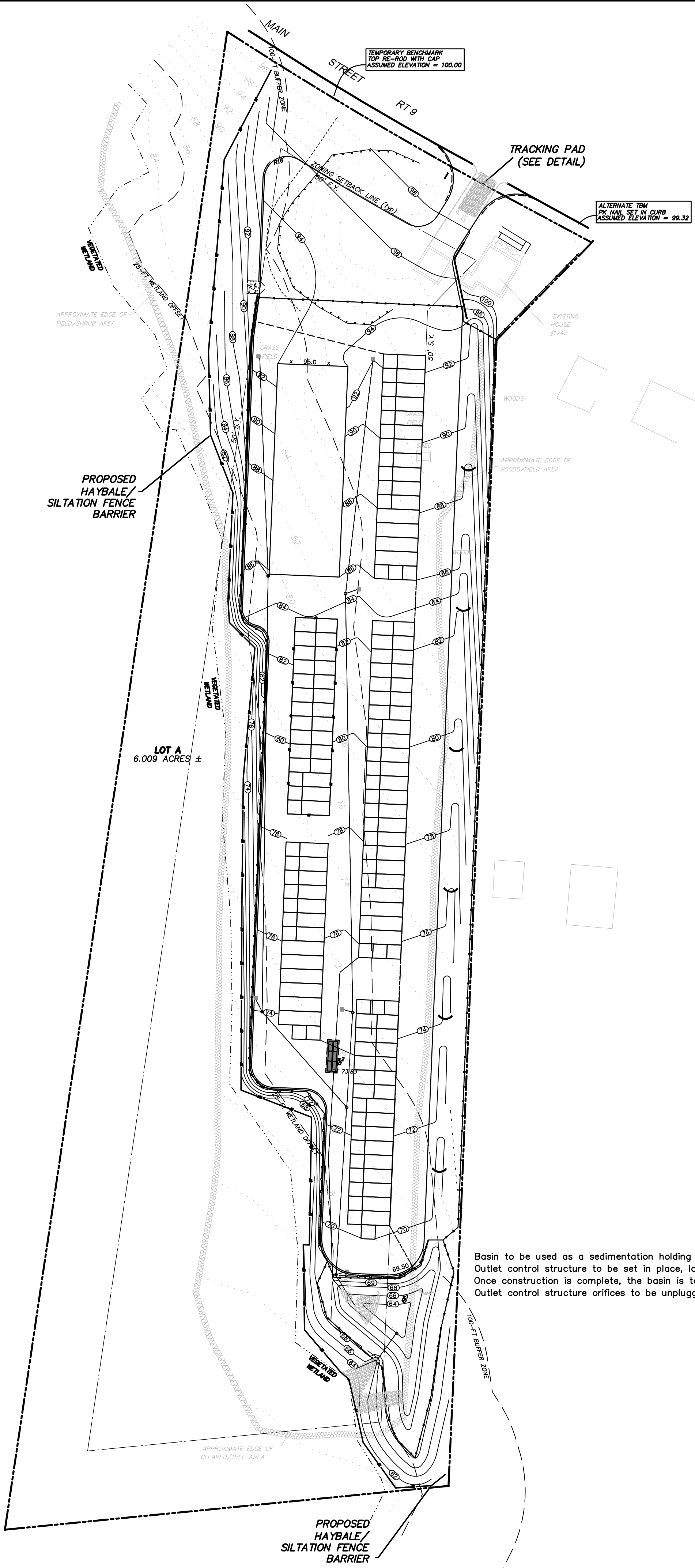
KEY		QTY.	BOTANICAL NAME	COMMON NAME	SIZE
●		20	TIGER LILY	LILIUM LANCIFOLIUM	1 QT
		6	HYDRANGEA	HYDRANGEA MACROPHYLLA	2 GALLON
		8	RHODODENDRON	RHODODENDRON FERRUGINEUM	2 GALLON
		12	WASHINGTON HAWTHORN	CRAETAGUS PHAENOPYRUM	3"–3.5", B&B
		8	CRABAPPLE	MALUS SPP.	3"–3.5", B&B
		6	WHITE PINE	PINUS STROBUS	3"–3.5", B&B

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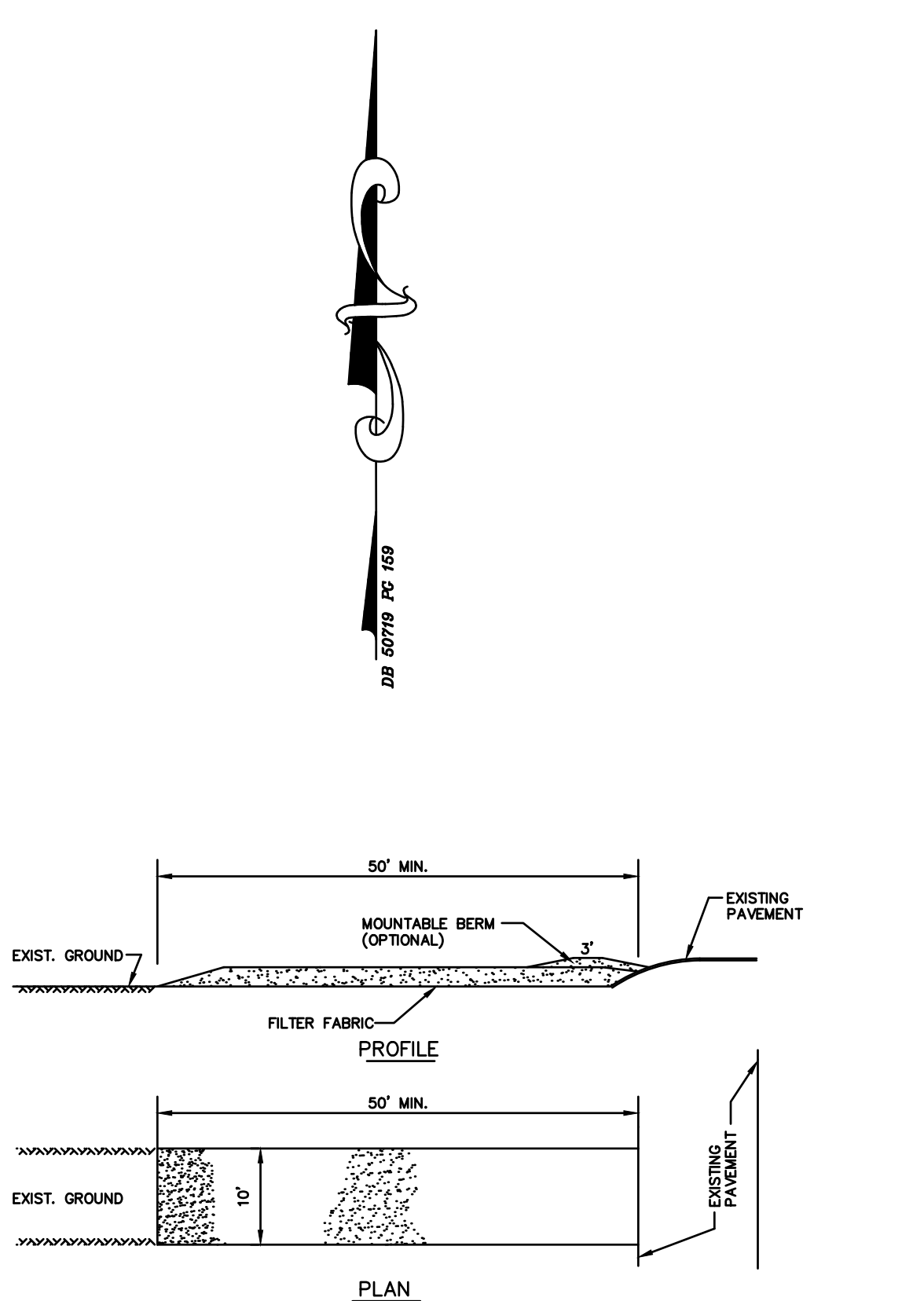
C&J REALTY TRUST

DRAWN BY:		JDD
REV'D BY:	JDD	REV #: 4
DATE:	7-9-16	SCALE: 1"=50'
PROJECT #:	16-137	DWG. NO.: L-1

NOTE:
ALL DISTURBED AREAS TO BE
TREATED WITH 6" LOAM & SEED
UNLESS OTHERWISE NOTED

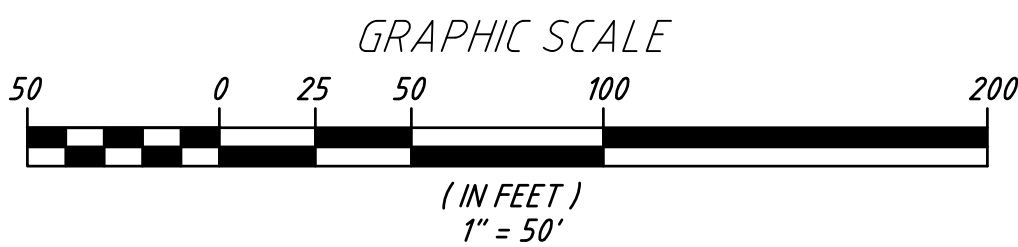
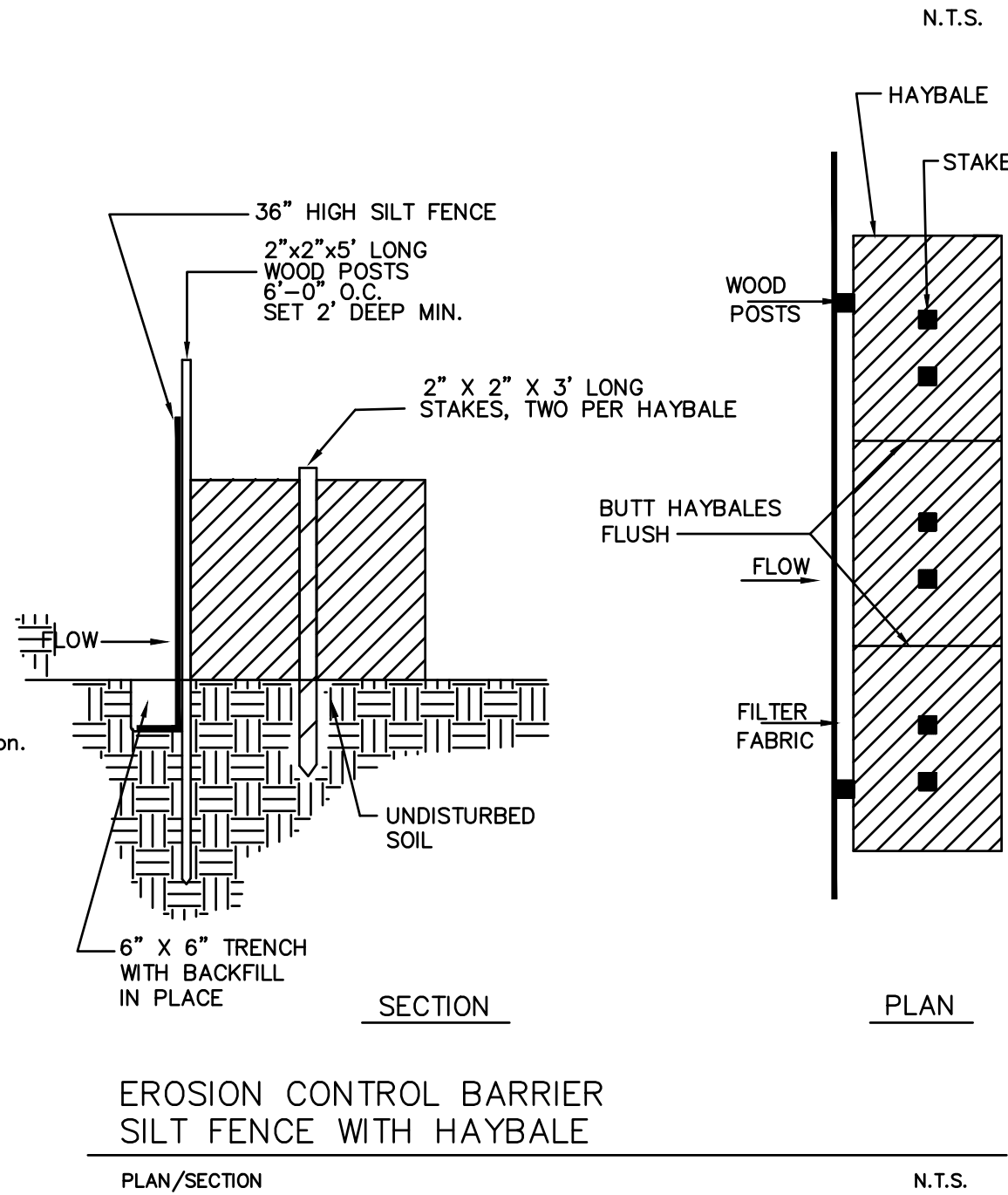


Basin to be used as a sedimentation holding area during construction.
Outlet control structure to be set in place, lowest orifice is to be plugged during construction.
Once construction is complete, the basin is to have all silt removed from the surface.
Outlet control structure orifices to be unplugged. Basin floor to be loamed & seeded.



- CONSTRUCTION SPECIFICATIONS**
- Stone size – Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length – As required, but not less than 50 feet.
 - Thickness – Not less than six (6) inches.
 - Width – Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter fabric – Will be placed over the entire area prior to placing of stone
 - Surface water – All surface water flowing or diverted toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance – The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be cleaned and or swept by the end of the working day.
 - Washing – Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping enclosure.
 - Periodic inspection and needed maintenance shall be provided after each rain.

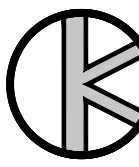
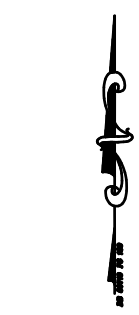
CONSTRUCTION ENTRY



JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.A.L.C. NO. 4872

REVISED PER REVIEW COMMENTS	DATE	NO.	REVISION
REVISED 50'X150' BUILDING	5/8/18	6	
REVISED 50'X60' BUILDING	2/5/18	5	
REVISED PER REVIEW COMMENTS	10/16/17	4	
REVISED PER REVIEW COMMENTS	11/4/16	3	
REVISED PER REVIEW COMMENTS	10/28/16	2	
REVISED PER REVIEW COMMENTS	9/22/16	1	
	DATE	NO.	REVISION

NORTH



D&C ENGINEERING & SURVEYING, INC.
2008-769-0059
2008-341-2127

CLIENT: C&J REALTY TRUST PO BOX 99 PAXTON, MA 01612	EROSION CONTROL PLAN
DRAWN BY: JDD	DATE: 7-9-16
CK'D BY: JDD	SCALE: 1"=50'
PROJECT #: 16-137	DWG. NO.: EC-1