

1: BOUNDARIES SHOWN ARE THE RESULTS OF A FIELD SURVEY BY GREEN HILL ENGINEERING, STURBRIDGE MA, BASED ON AVAILABLE MAPS, DEEDS OF RECORD AND PHYSICAL EVIDENCE, BUT ARE SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AGREEMENTS, AND RIGHTS AND ENCUMBRANCES OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.

2: THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND AND DEPICT THEM ON THE SURVEY; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

3: LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.

4: SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

5: VERTICAL DATUM IS ASSUMED

6. ABUTTERS NAMES ARE IN RESPECT TO THE LATEST ASSESSORS RECORDS AVAILABLE.

C&J REALTY TRUST
PO BOX 99
PAXTON, MA
DB 51518 PG 371

(WORCESTER COUNTY REGISTRY OF
DEEDS)

ASSESSORS REFERENCE:
TAX MAP 17-A-8

DC ENGINEERING & SURVEY, INC.
36 CRANBERRY MEADOW ROAD
CHARLTON, MA 01507
(508)769.6659 (508)341.2127

A map showing the subject location, which is a black rectangular area. The map includes Main St, Water Protection Dist., and surrounding areas. A label 'SUBJECT LOCATION' points to the black rectangle. Other labels include 'Main St', 'Water Protection Dist.', 'Town Beach Rd', '904 St', and '300 Lakes Dr'. The map also shows a road with a '9' marker and a 'WATER STREET' label.

$$1'' = 500'$$
[illegible]

EXISTING LAND USE: RESIDENTIAL

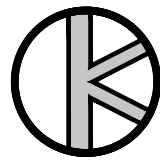
PROPOSED LAND USE: MIXED USE (SELF STORAGE/CONTRACTOR'S YARD/RESIDENTIAL)

PROPOSED BUILDING COVERAGE: 35,139 S.F. / 261,752 S.F. = 13.4%

COMMONWEALTH OF MASSACHUSETTS
JASON D.
DUBOIS, P.E.
PROFESSIONAL ENGINEER
MA Lic. No. 4872

JEREMY S.
CRÖTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
MA.LIC. NO.: 48722

		3	11/4/16	REVISED PER REVIEW COMMENTS
		2	10/28/16	REVISED PER REVIEW COMMENTS
		1	9/22/16	REVISED PER REVIEW COMMENTS
		NO.	DATE	REVISION

ENGINEERING
& SURVEYING INC.

508-769-6659
508-341-2127

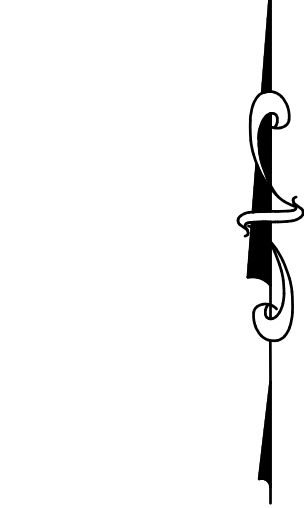
PO BOX 99
PAXTON, MA 01612

COVER SHEET

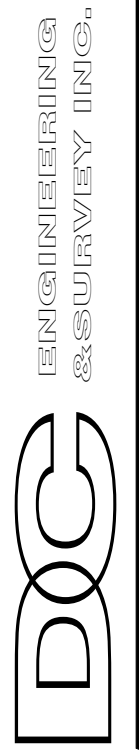
1749 MAIN STREET
LEICESTER MA

DRAWN BY:

JDD	
CK'D BY JDD	REV #: 3
DATE: 7-9-16	SCALE: 1'=20'
PROJECT #: 16-137	DWG. NO.: C-1



3	11/4/16	REVISED PER REVIEW COMMENTS
2	10/28/16	REVISED PER REVIEW COMMENTS
1	9/22/16	REVISED PER REVIEW COMMENTS
NO.	DATE	REVISION



508-769-6659
508-341-2127

1749 MAIN STREET
LIVERMORE, MA

JDD
REV #
3

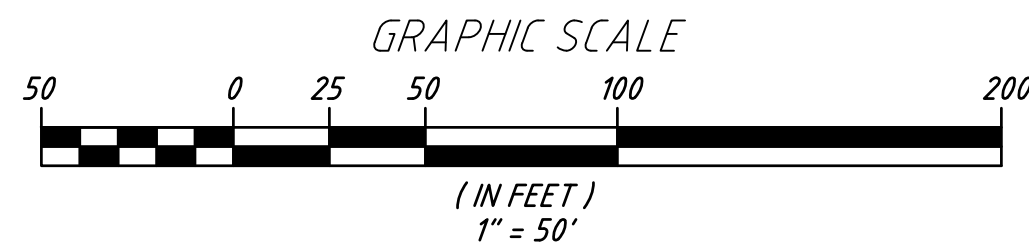
CALE:
1' = 50'

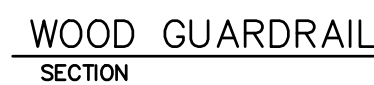
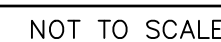
WG. NO.:
X-1

x
 a
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 d
 g
 e
 OHW

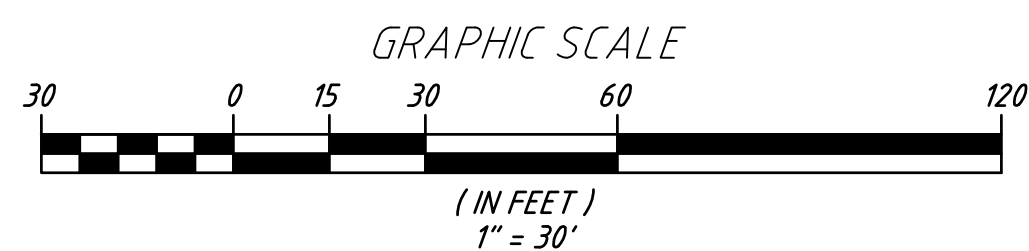
SPOT GRADE

BIT.
 CONC.
 INV.
 RCP
 PVC
 HDPE
 I.P.
 FND.
 BOL.
 SMH
 DMH
 WG
 HYD.
 UP
 GU'Y

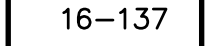




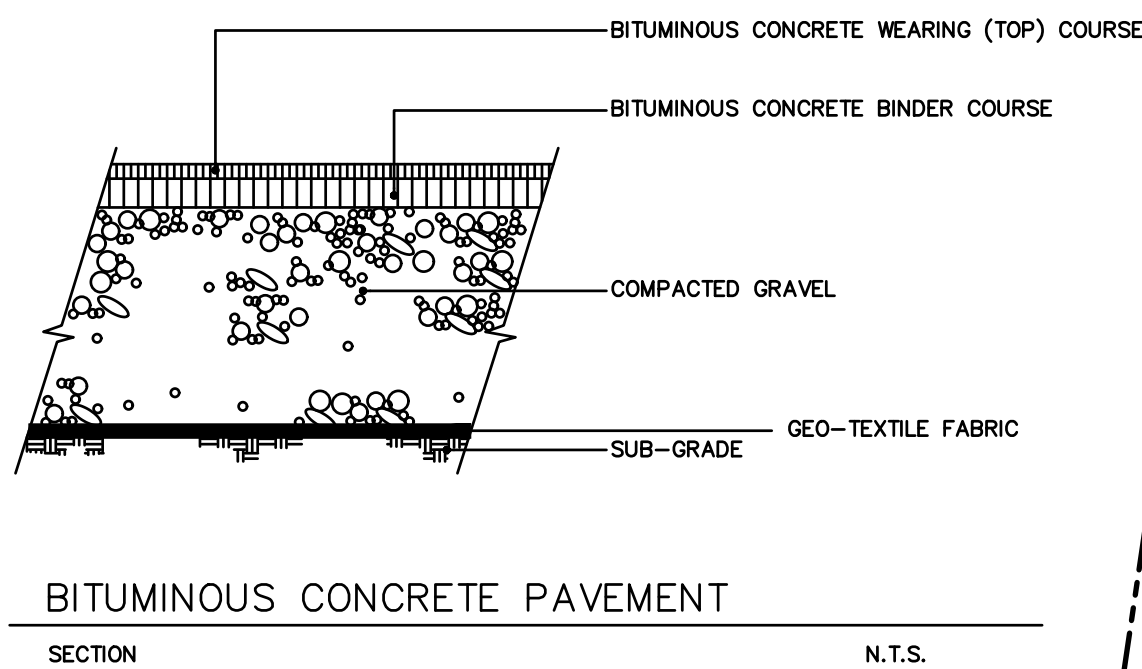
N.T.S.



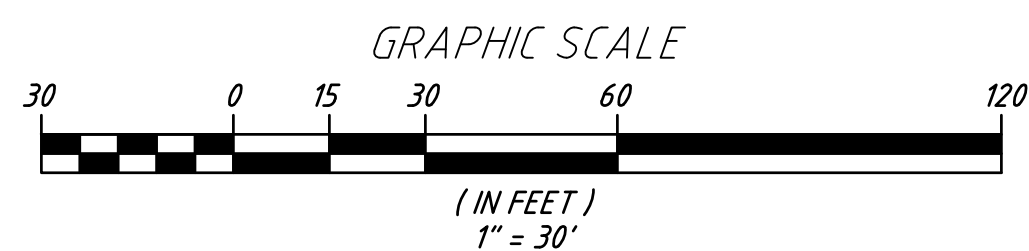
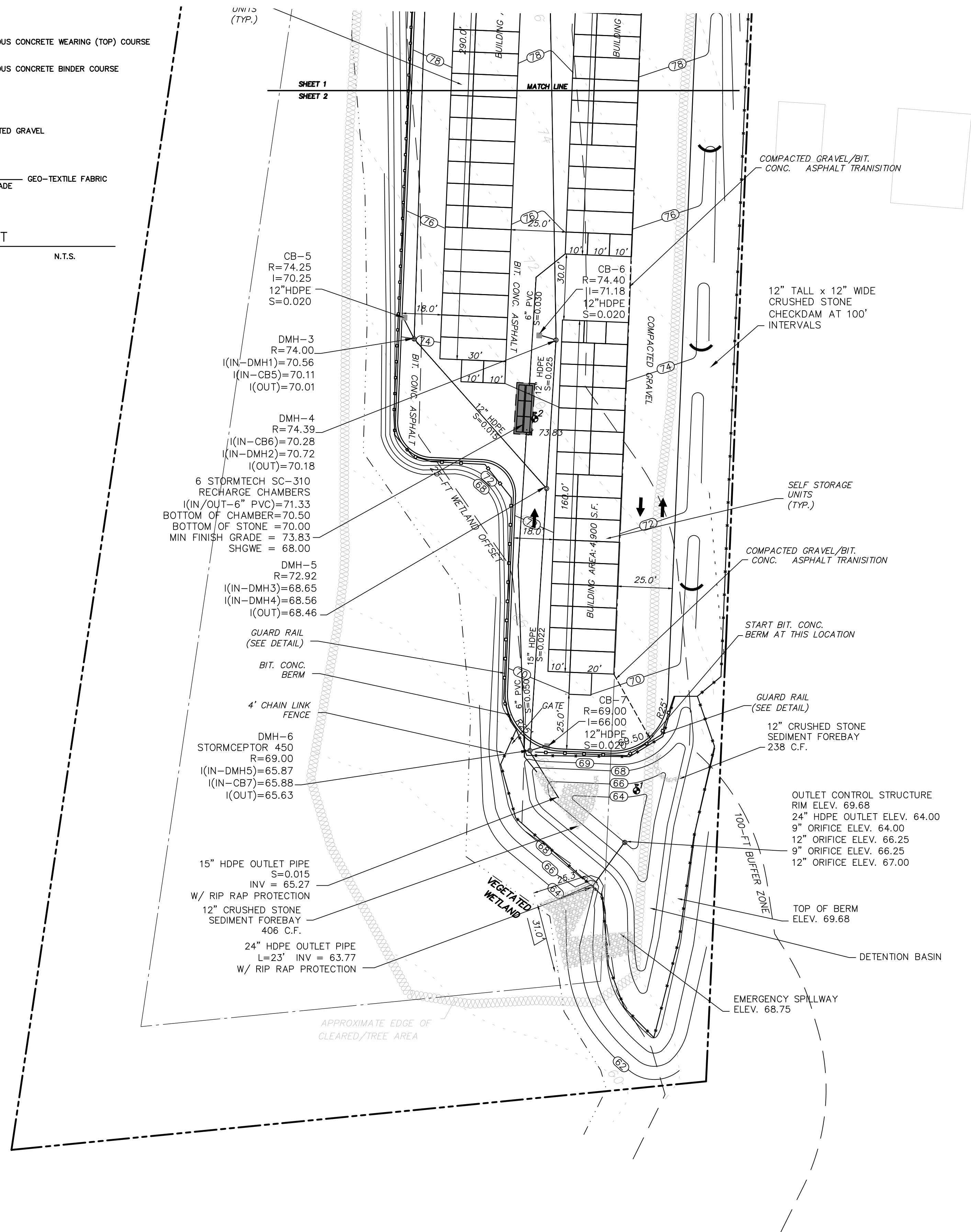
10'x10'	UNITS:	67
10'x15'	UNITS:	48
10'x20'	UNITS:	44
10'x30'	UNITS:	22
40'x60'	UNITS:	1



508-769-6659
508-341-2127



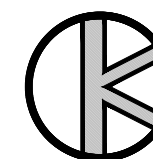
REDOX @ 18"	REDOX @ 24"
GROUND WATER ELEV (WEEP) <u>N/A</u> MOTTILING ELEV (OBSERVED) <u>18"</u> REFUSAL ELEV <u>N/A</u>	GROUND WATER ELEV (WEEP) <u>N/A</u> MOTTILING ELEV (OBSERVED) <u>24"</u> REFUSAL ELEV <u>N/A</u>



JEREMY S.
CRÖTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
MA.LIC.NO.: 48722

NO.	DATE	REVISION
1	9/22/16	REVISED PER REVIEW COMMENTS
2	10/28/16	REVISED PER REVIEW COMMENTS
3	11/4/16	REVISED PER REVIEW COMMENTS

NORTH



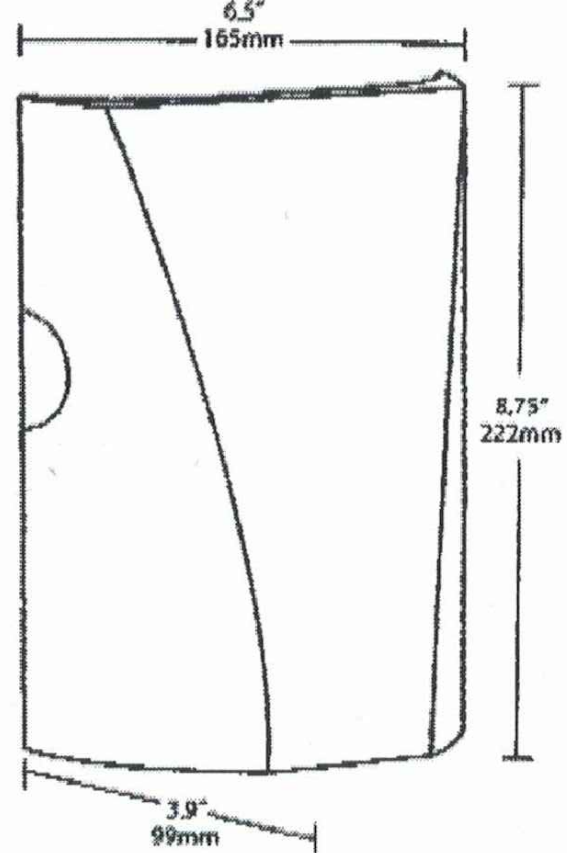
DC ENGINEERING & SURVEY INC.,
CHARTERED, MALA
508-7669
508-3411

CLIENT: C&J REALTY TRUST P.O. BOX 99 PAXTON, MA 01612		PROPOSED SITE PLAN SITE ADDRESS: 1749 MAIN STREET LEICESTER, MA	
DRAWN BY:		JDD	
CK'D BY	JDD	REV #:	3
DATE:	7-9-16	SCALE:	1"=30'
PROJECT #:	16-137	DWG. NO.:	S-2

SITE PLANT LIST					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	
•	20	TIGER LILY	LILIUM LANCIFOLIUM	1 QT	
○	6	HYDRANGEA	HYDRANGEA MACROPHYLLA	2 GALLON	
○	8	RHODODENDRON	RHODODENDRON FERRUGINEUM	2 GALLON	
⊗	20	CRIMSON KING MAPLE	ACER PLATANOIDES 'CRIMSON KING'	3"-3.5", B&B	

SLIM18

Dimensions



Features

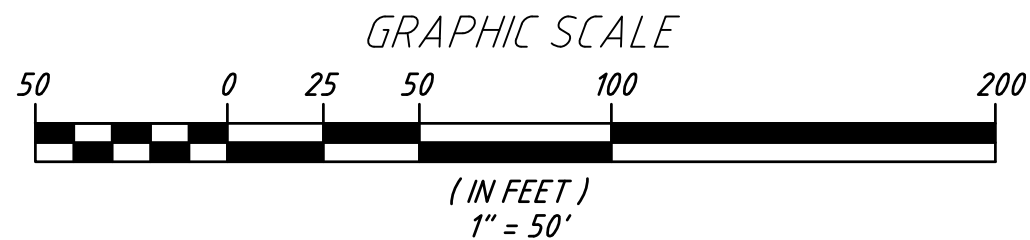
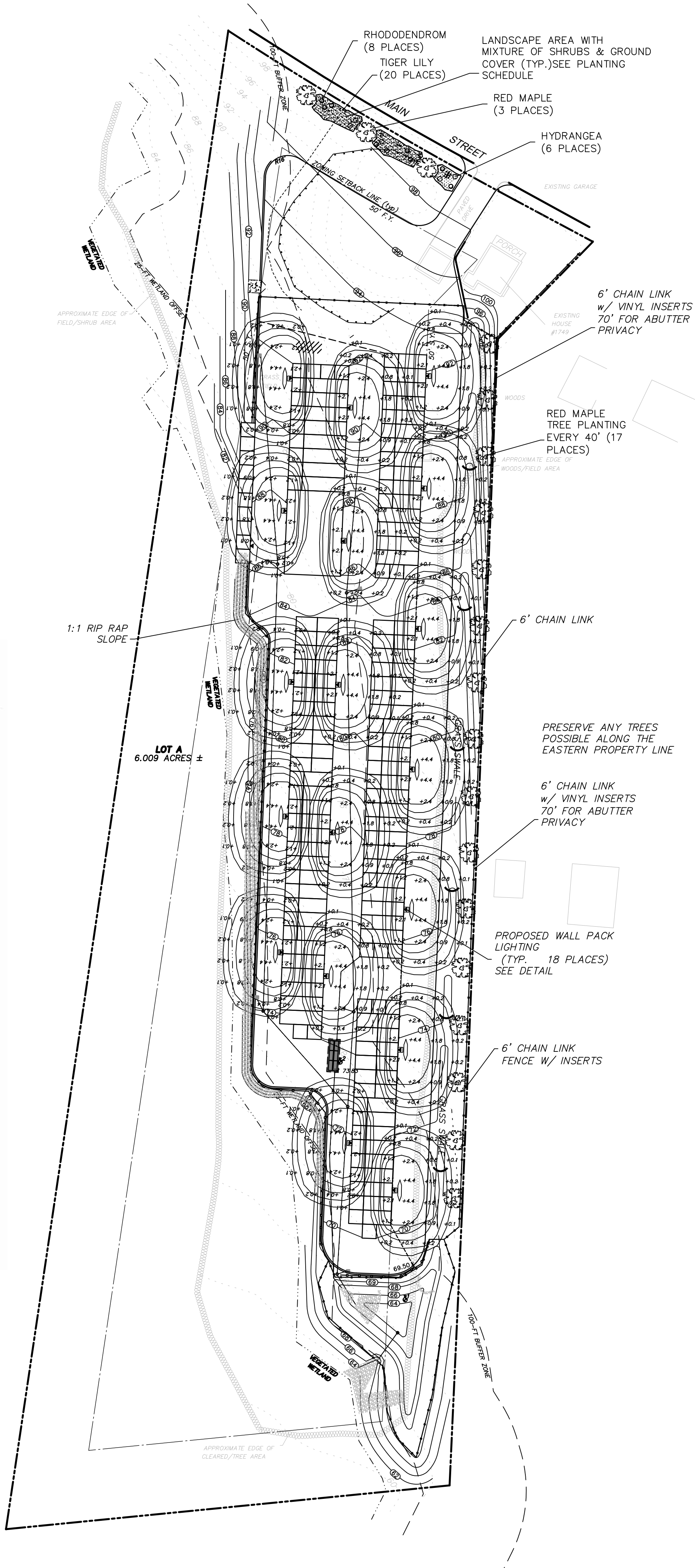
- Full cutoff, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Contractor friendly features for easy installation
- 100,000-hour LED Life
- 5-Year Warranty

Ordering Matrix

Family	Watts	Color Temp	Finish	Photocell	Dimming
SLIM	26 = 26W 18 = 18W 12 = 12W	Blank = 5000K (Cool) Y = 3000K (Warm) N = 4000K (Neutral)	Blank = Bronze W = White	Blank = No Photocell /PC = 120V Button /PC2 = 277V Button	Blank = No Dimming /D10 = Dimmable

WALL PACK LIGHTING DETAIL

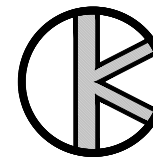
NOT TO SCALE



JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
LICENSE NO. 4672

NO.	DATE	REVISION
3	11/4/16	REVISED PER REVIEW COMMENTS
2	10/16/16	REVISED PER REVIEW COMMENTS
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NORTH



ENGINEERING
& SURVEYING, INC.
508-769-6659
508-341-2127

CLIENT:
C&J REALTY TRUST

PO BOX 99
PAXTON, MA 01612

SITE ADDRESS:
1749 MAIN STREET
LEICESTER, MA

DRAWN BY:

JDD

CK'D BY:

JDD

DATE:

7-9-16

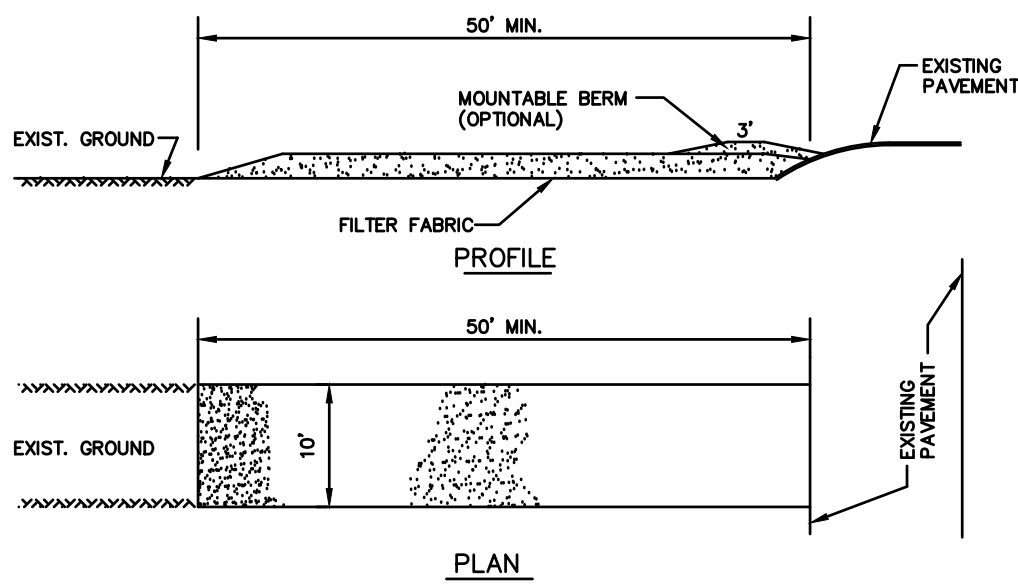
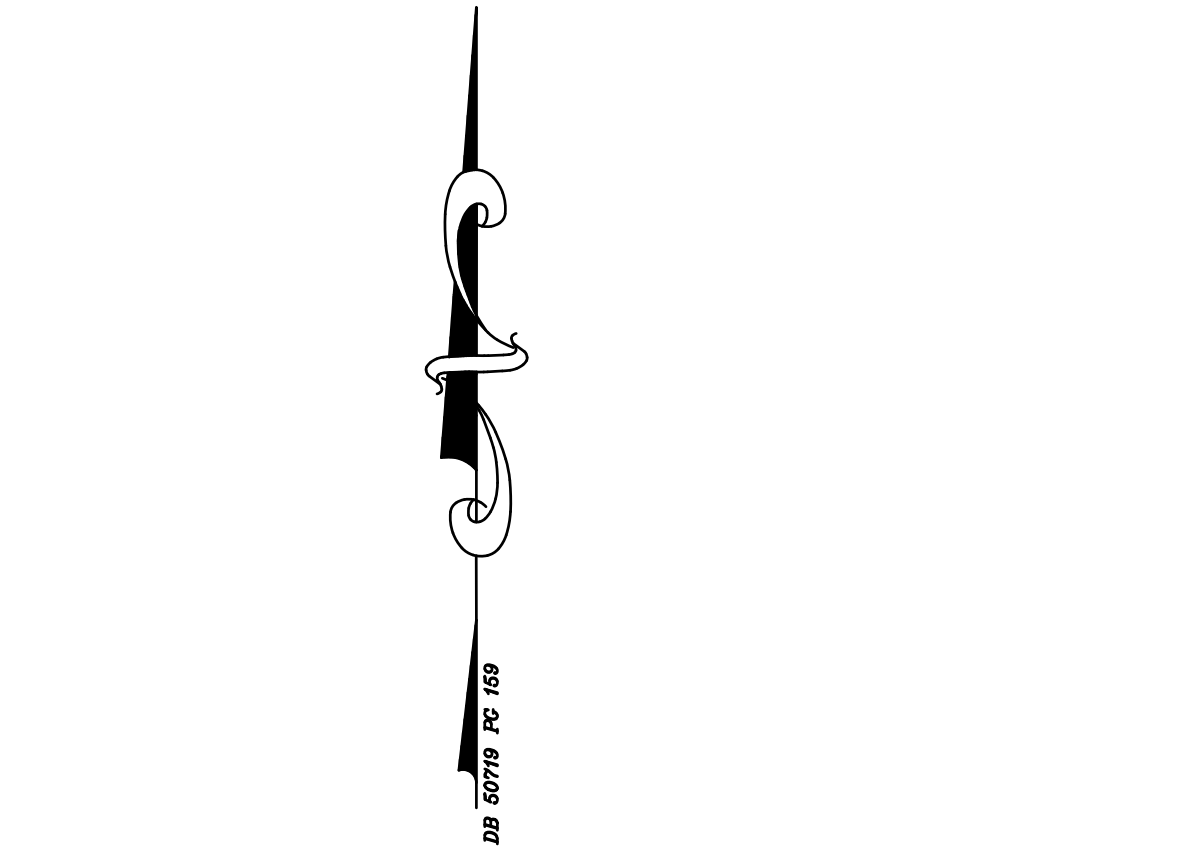
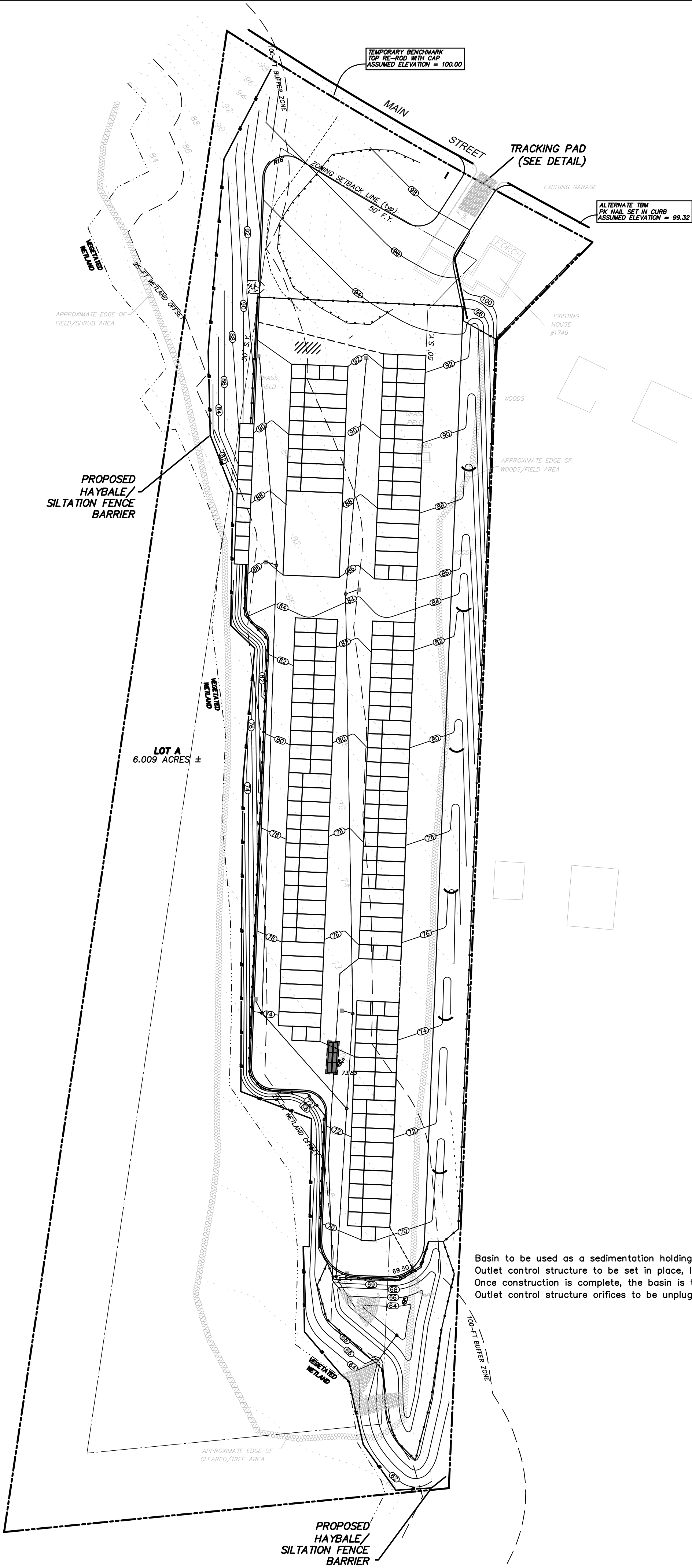
PROJECT #:

16-137

DWG. NO.:

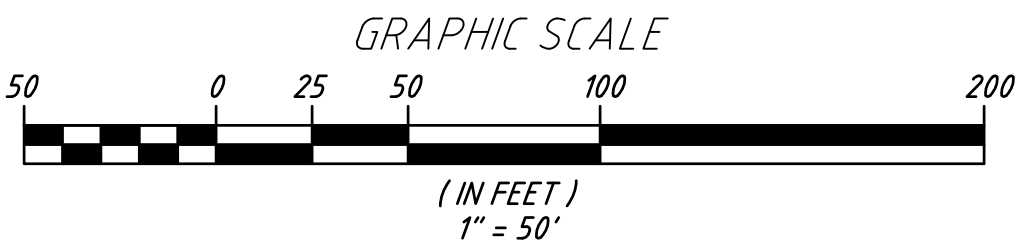
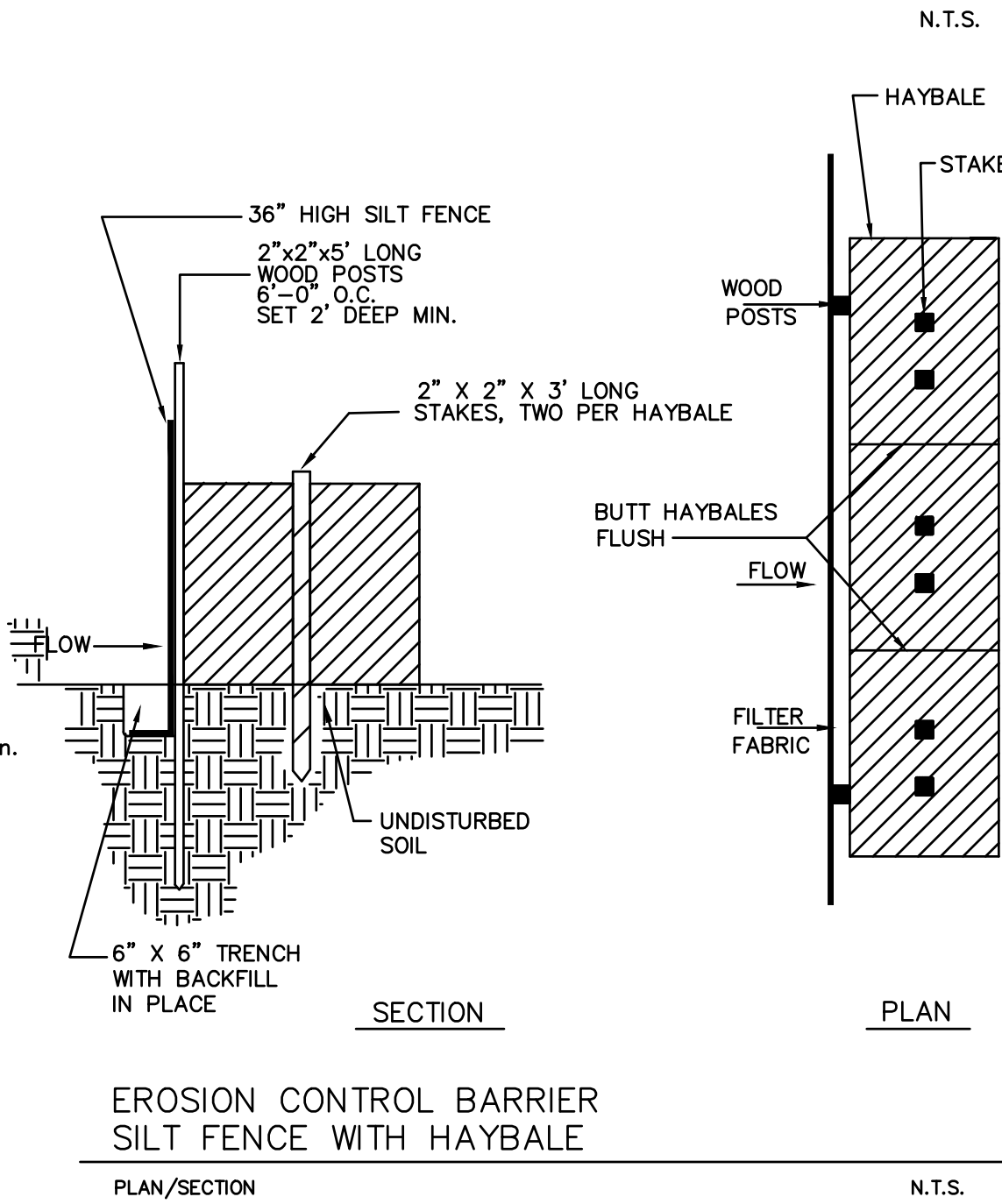
L-1

NOTE:
ALL DISTURBED AREAS TO BE
TREATED WITH 6" LOAM & SEED
UNLESS OTHERWISE NOTED



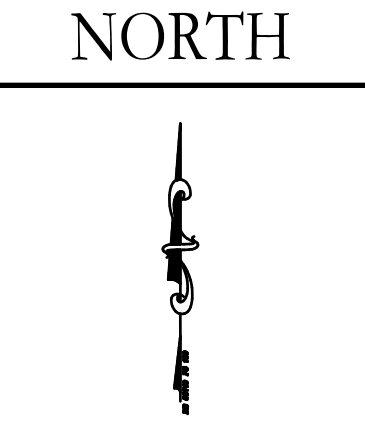
- CONSTRUCTION SPECIFICATIONS**
- Stone size – Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length – As required, but not less than 50 feet.
 - Thickness – Not less than six (6) inches.
 - Width – Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter fabric – Will be placed over the entire area prior to placing of stone
 - Surface water – All surface water flowing or diverted toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance – The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be cleaned and or swept by the end of the working day.
 - Washing – Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping enclosure.
 - Periodic inspection and needed maintenance shall be provided after each rain.

CONSTRUCTION ENTRY



JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.L.S. NO. 4672

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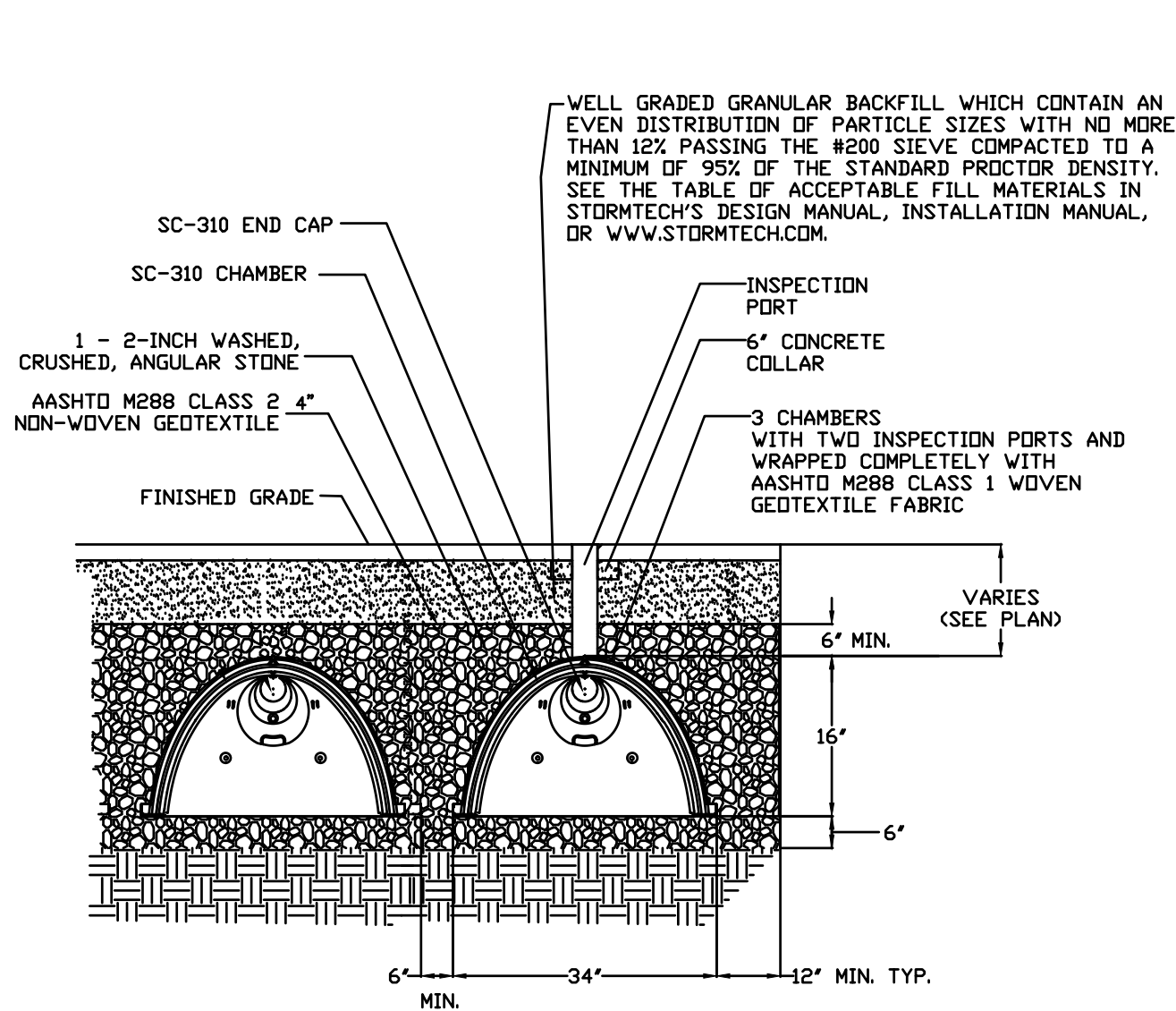
DCG ENGINEERING & SURVEYING, INC.
CERTAURILTON, MA
508-769-6659
508-341-2127

CLIENT: C&J REALTY TRUST
PO BOX 99
PAXTON, MA 01612
SITE ADDRESS: 1749 MAIN STREET
LEICESTER, MA

EROSION CONTROL PLAN

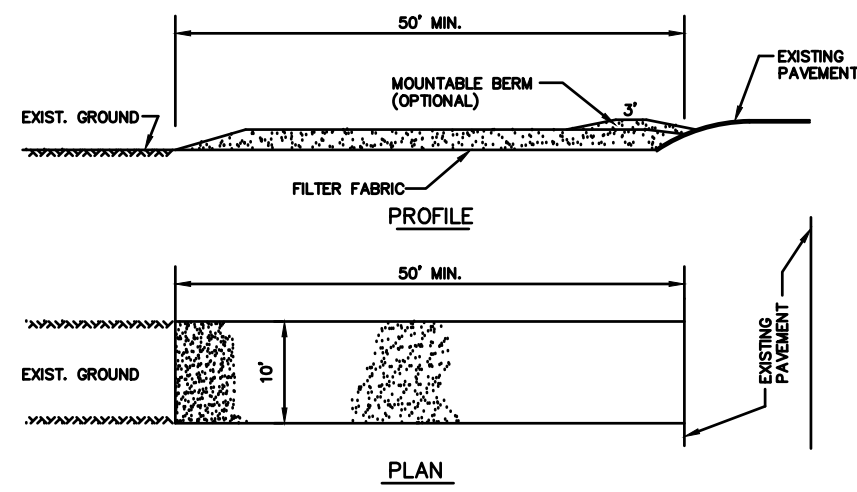
DRAWN BY: JDD
CK'D BY: JDD
DATE: 7-9-16
PROJECT #: 16-137

REV #:
3
SCALE: 1"=50'
DWG. NO.: EC-1



STORMTECH SC-310 CHAMBER SYSTEM

N.T.S.

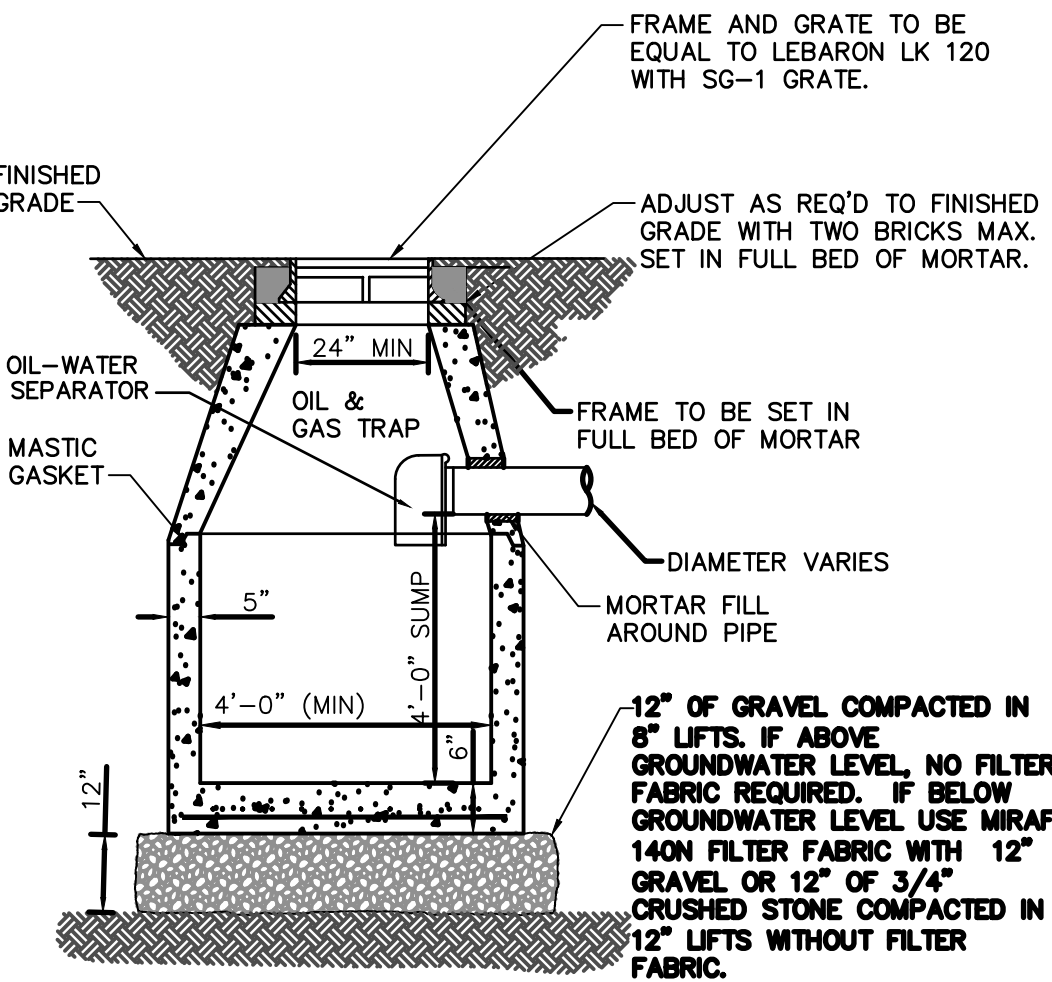


CONSTRUCTION SPECIFICATIONS

1. Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet.
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter fabric - Will be placed over the entire area prior to placing of stone
6. Surface water - All surface water flowing or diverted toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public right-of-way must be cleaned and or swept by the end of the working day.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping enclosure.
9. Periodic inspection and needed maintenance shall be provided after each rain.

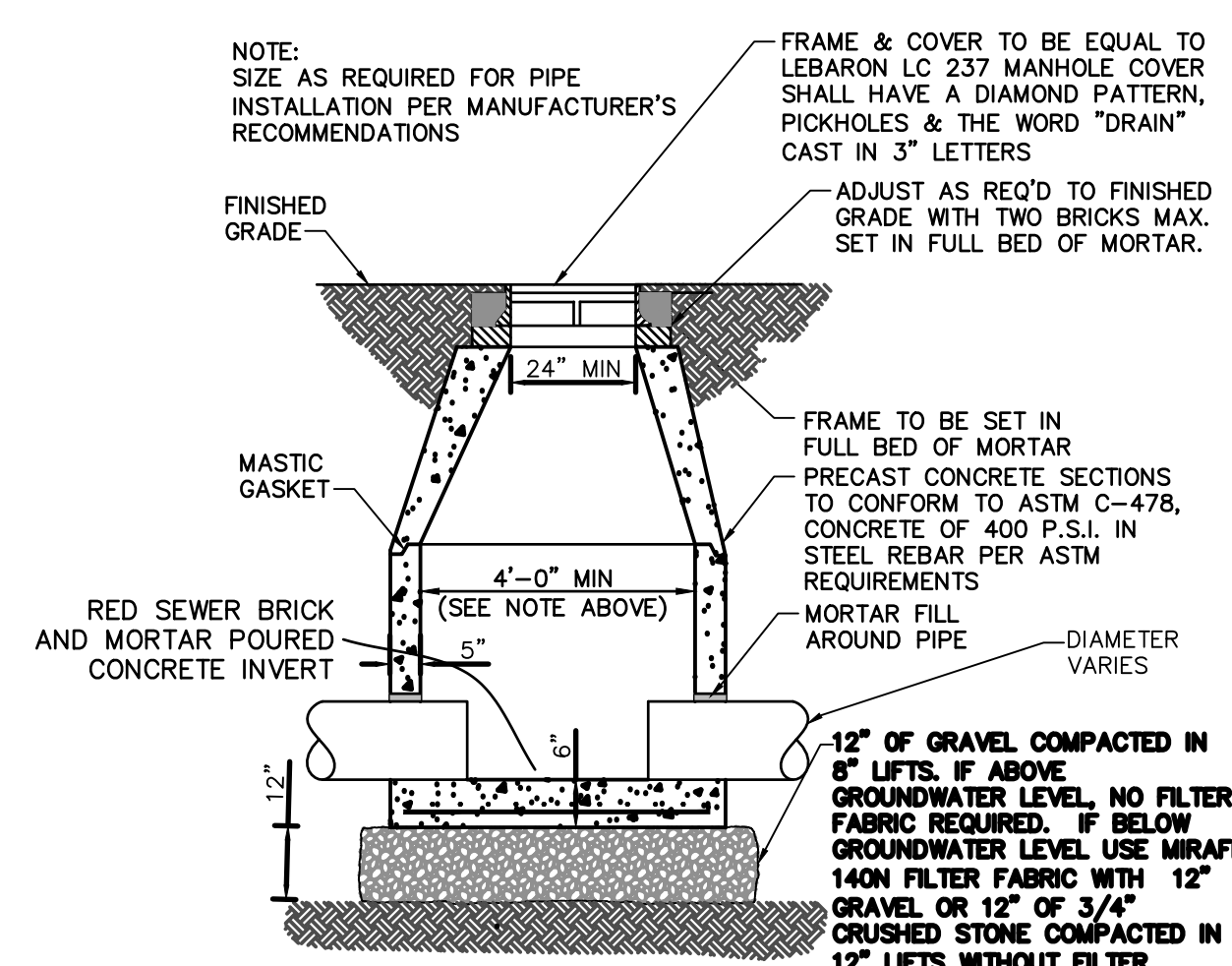
CONSTRUCTION ENTRY

N.T.S.



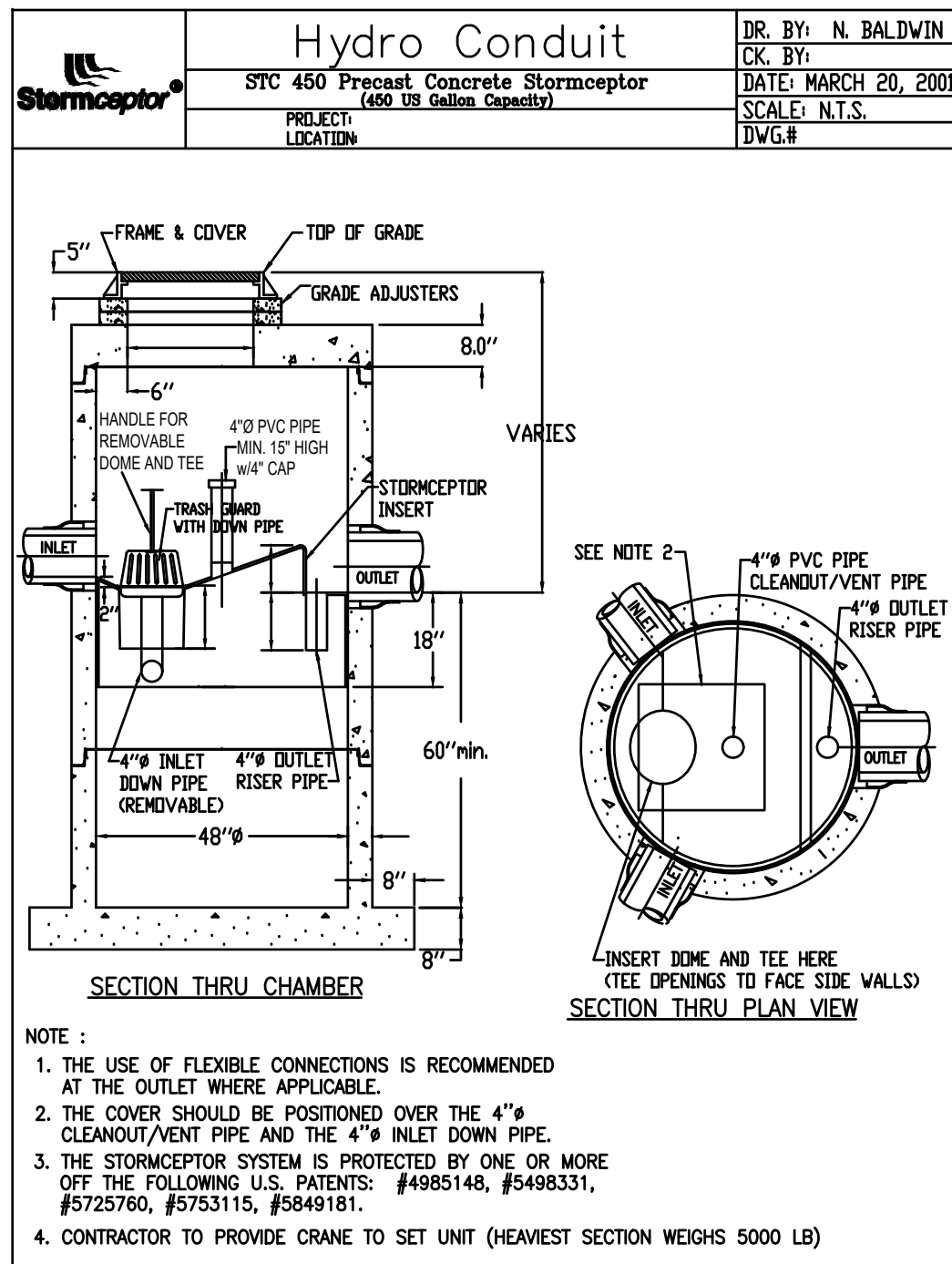
DEEP SUMP CATCH BASIN

NOT TO SCALE



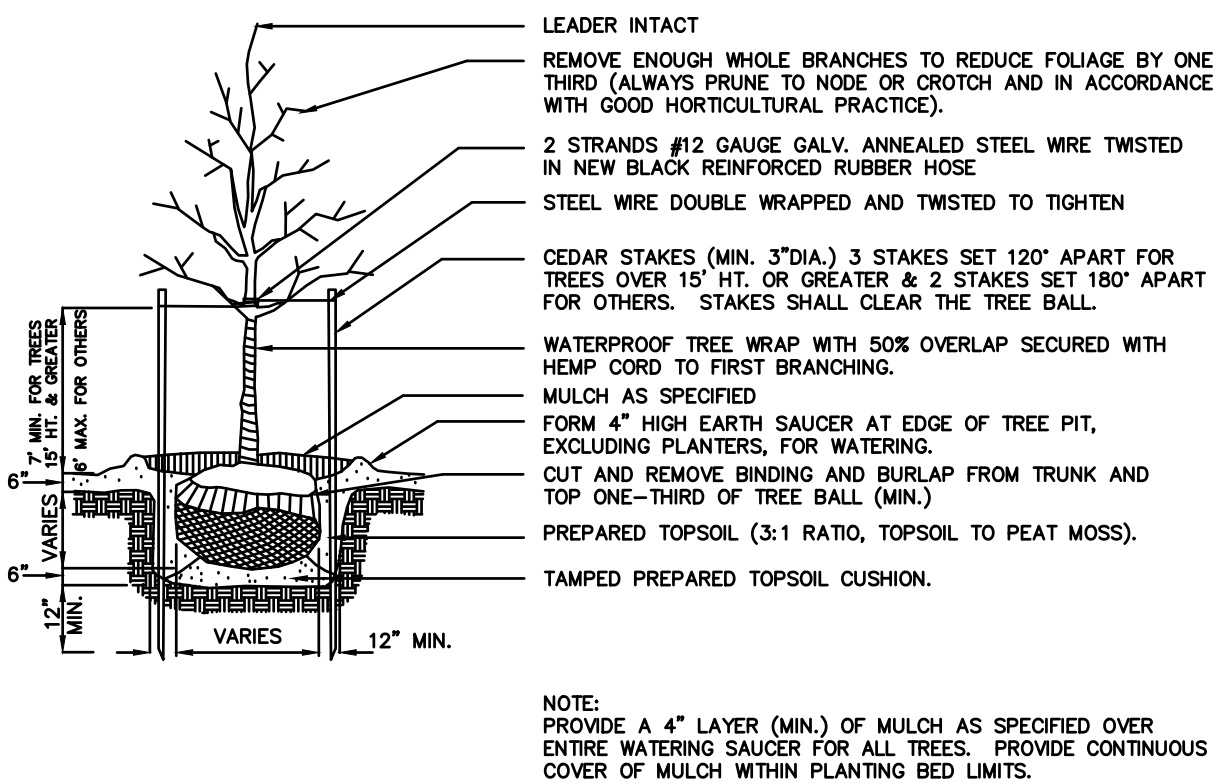
STANDARD DRAIN MANHOLE DETAIL

NOT TO SCALE



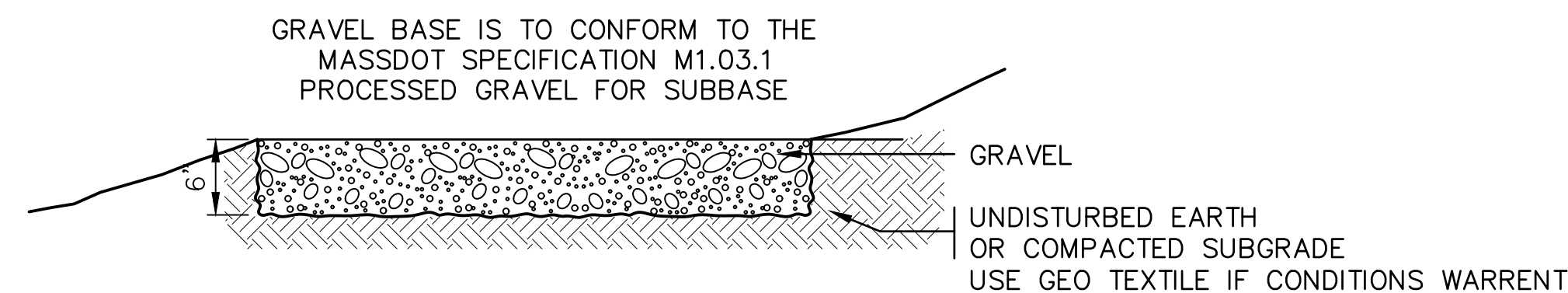
STORMCEPTOR DETAIL

N.T.S.



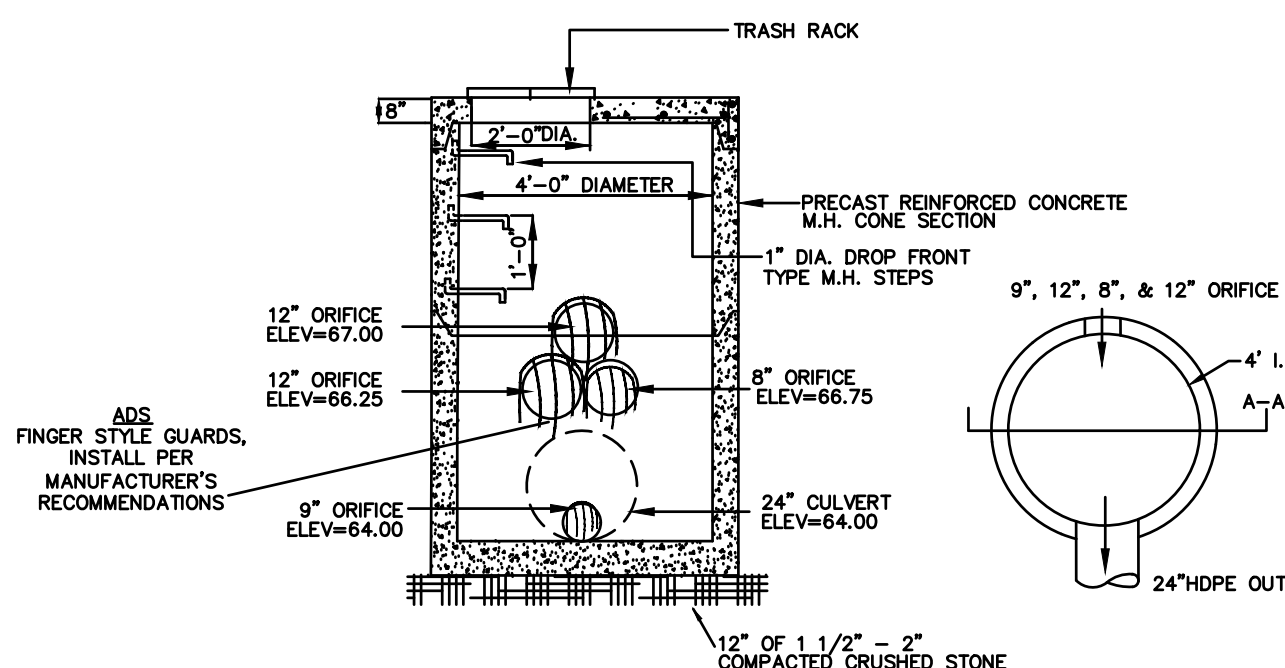
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



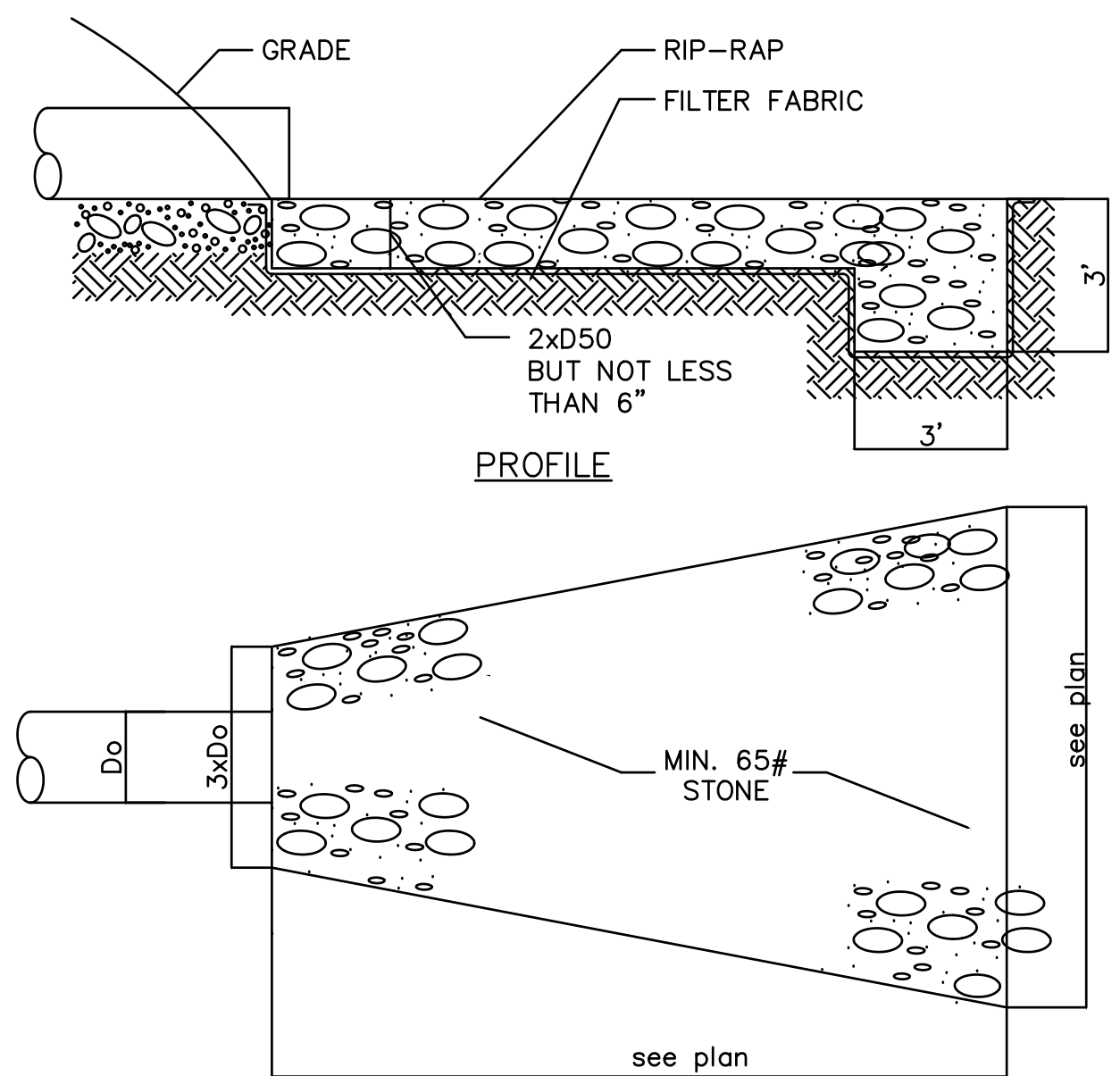
GRAVEL AREA DETAIL

NOT TO SCALE



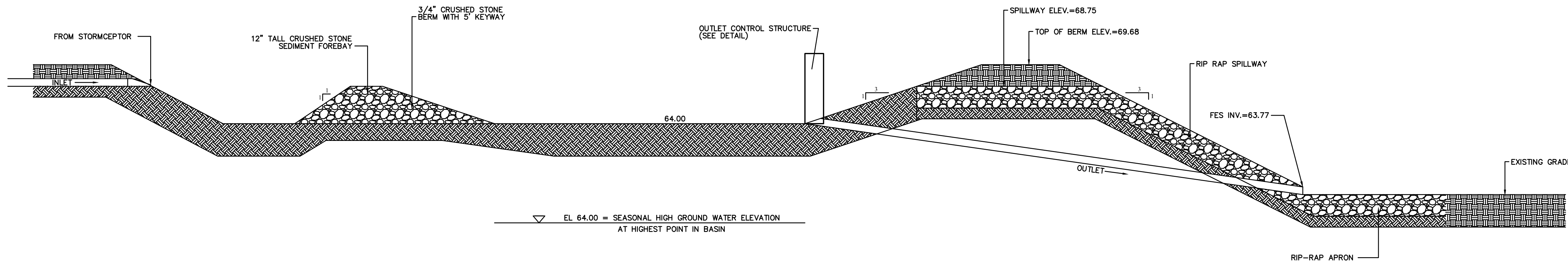
OUTLET CONTROL STRUCTURE

N.T.S.



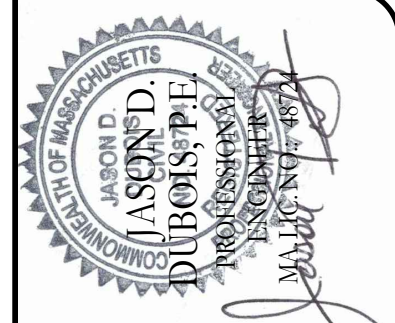
RIP RAP APRON DETAIL

NOT TO SCALE



INFILTRATION BASIN CROSS SECTION

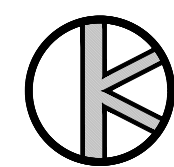
NOT TO SCALE



JEREMY S. CROTEAU, P.E.
PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4672

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3	11/4/16	REVISED PER REVIEW COMMENTS
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NORTH



D&C ENGINEERING & SURVEYING, INC.
CERTIFIED CONSULTING ENGINEER
508-769-6666
508-341-2127

CLIENT:
C&J REALTY TRUST

PO BOX 99
PAXTON, MA 01612

SITE DETAILS
SITE ADDRESS:
1749 MAIN STREET
LEICESTER, MA

DRAWN BY:
JDD

CK'D BY:
JDD

REV #:
3

DATE:
7-21-16

SCALE:
N.T.S.

PROJECT #:
16-137

DWG. NO.:
D-1