

GENERAL NOTES:

- 1: BOUNDARIES SHOWN ARE THE RESULTS OF A FIELD SURVEY BY GREEN HILL ENGINEERING, STURBRIDGE MA., BASED ON AVAILABLE MAPS, DEEDS OF RECORD AND PHYSICAL EVIDENCE, BUT ARE SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AGREEMENTS, AND RIGHTS AND ENCUMBRANCES OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.
- 2: THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND AND DEPICT THEM ON THE SURVEY; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 3: LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- 4: SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- 5: VERTICAL DATUM IS ASSUMED
6. ABUTTERS NAMES ARE IN RESPECT TO THE LATEST ASSESSORS RECORDS AVAILABLE.

RECORD OWNERS

C&J REALTY TRUST
PO BOX 99
PAXTON, MA
DB 51518 PG 371

PLAN REFERENCES:

(WORCESTER COUNTY REGISTRY OF DEEDS)

PLAN BOOK 721 PLAN 108

ASSESSORS REFERENCE:

TAX MAP 17-A-8

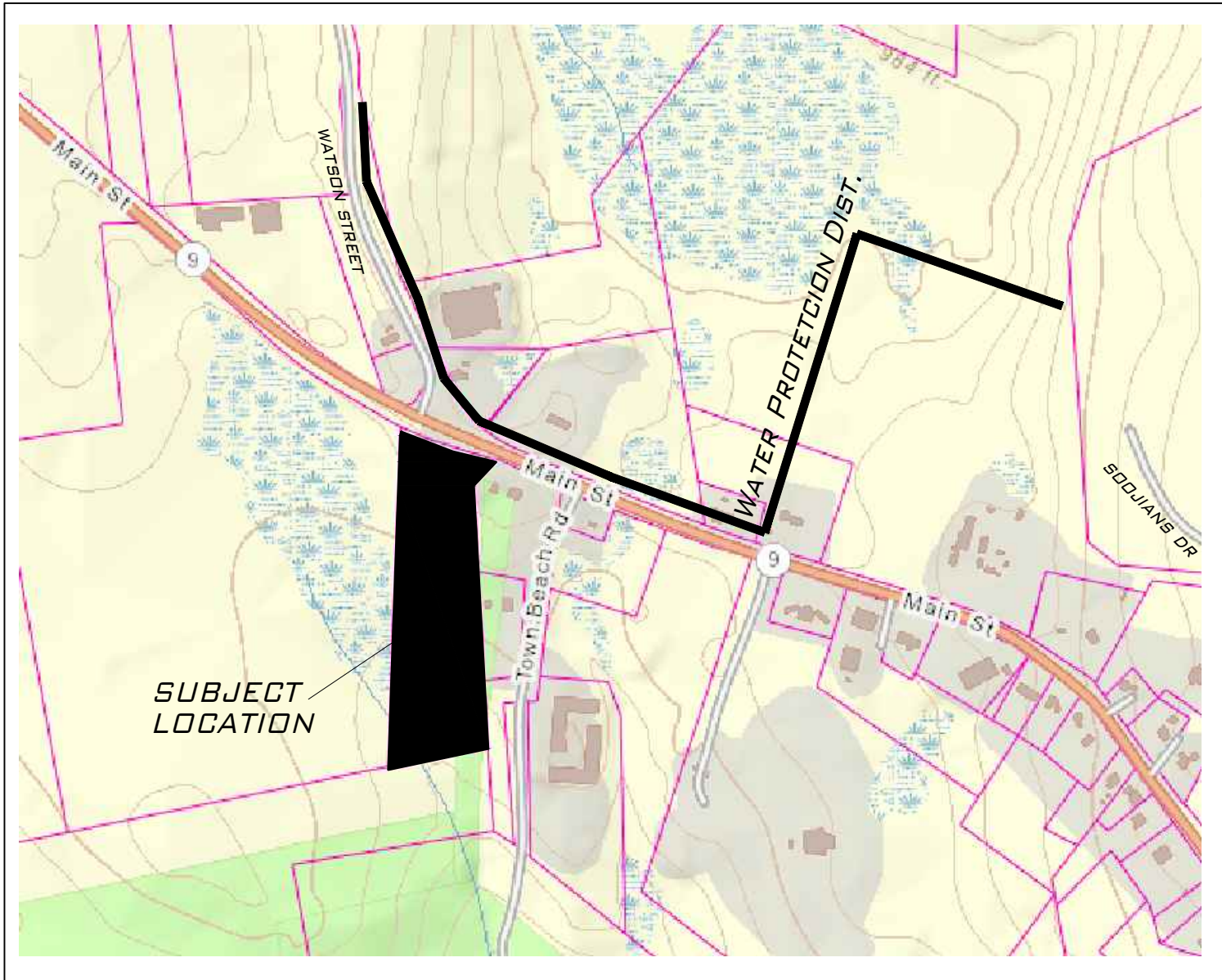
DESIGN ENGINEER

DC ENGINEERING & SURVEY, INC.
36 CRANBERRY MEADOW ROAD
CHARLTON, MA 01507
(508)769.6659 (508)341.2127

SYMBOL KEY

MONUMENT	■	CHAIN LINK FENCE	— x —
IRON PIPE	○	WOOD / STOCKADE FENCE	— □ —
MONUMENT TO BE SET	○MS	WATER LINE	— W —
DRAIN MANHOLE	⊙DMH	SEWER LINE	— S —
SEWER MANHOLE	⊙SMH	DRAIN LINE	— D —
SEWER CLEANOUT	+CO.	GAS LINE	— G —
ELECTRIC MANHOLE	⊙	ELECTRIC LINE	— E —
CATCH BASIN	■CB	OVERHEAD WIRES	— OHW —
UTILITY POLE	⊙	CONTOUR 5' INTERVAL	— — —
UTILITY POLE W/ STREET LIGHT	⊙⊙	CONTOUR 1' INTERVAL	— — —
GUY WIRE	GUYx	X 69.33'	SPOT GRADE
FIRE HYDRANT	XXHYD	BITUMINOUS	BIT.
WATER GATE	●WG	CONCRETE	CONC.
GAS GATE	GG	INVERT	INV.
BOLLARD	⊙BOL.	REINFORCED CONCRETE PIPE	RCP
LIGHT DECORATIVE (15'± HEIGHT)	★	POLYVINYL CHLORIDE PIPE	PVC
BENCH MARK	⊙	HIGH DENSITY PLASTIC	HDPE
SIGN	— T —	IRON PIPE	I.P.
MASSHIGHWAY SIGNAL BOX	MSB	FOUND	FND.
MONITOR WELL	⊙MW	BOLLARD	BOL.
		SEWER MANHOLE	SMH
		DRAINAGE MANHOLE	DMH
		WATER GATE	WG
		HYDRANT	HYD.
		UTILITY POLE	UP
		GUY WIRE	GUY
CURB LEGEND			
VERTICAL GRANITE CURB	VGC		
BITUMINOUS CONCRETE CURB	BTC		

PROPOSED SITE PLAN
FOR
C & J REALTY TRUST
1749 MAIN STREET
TOWN OF LEICESTER
WORCESTER COUNTY, MASSACHUSETTS



LOT LOCUS

1"=500'

DISTRICT DIMENSIONAL REGULATIONS

District	HB-1 HIGHWAY BUSINESS
Use	MIXED
Min. Lot Size	60,000 SQ. FT.
Min. Frontage	200 FT.
Min. Front Yard Depth	50 FT.
Min. Side Yard Depth	50 FT.
Min. Rear Yard Depth	50 FT.

EXISTING LAND USE: RESIDENTIAL

PROPOSED LAND USE: MIXED USE (SELF STORAGE/CONTRACTOR'S YARD/RESIDENTIAL)

PROPOSED BUILDING COVERAGE: 35,139 S.F. / 261,752 S.F. = 13.4%

DRAWING LIST

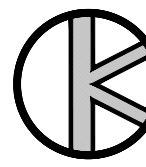
C	COVER SHEET
X-1	EXISTING CONDITIONS
S-1,2	SITE PLAN
L-1	LANDSCAPE PLAN
EC-1	EROSION CONTROL PLAN
D-1	CONSTRUCTION DETAILS



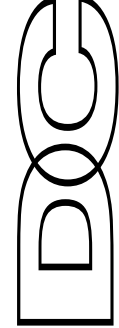
JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.A.L.S. NO. 4672

REVISED 50'X150' BUILDING	5	2/5/18
REVISED 50'X60' BUILDING	4	10/16/17
REVISED PER REVIEW COMMENTS	3	11/4/16
REVISED PER REVIEW COMMENTS	2	10/28/16
REVISED PER REVIEW COMMENTS	1	9/22/16
REVISION	NO.	DATE

NORTH



ENGINEERING & SURVEY, INC.
36 CRANBERRY MEADOW ROAD
CHARLTON, MA 01507



508-769-6659
508-341-2127

CLIENT:
C&J REALTY TRUST

PO BOX 99
PAXTON, MA 01612

COVER SHEET

SITE ADDRESS:
1749 MAIN STREET
LEICESTER, MA

DRAWN BY:

JDD

CK'D BY:

JDD

REV #:

5

DATE:

7-9-16

PROJECT #:

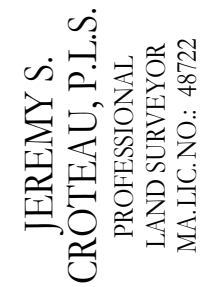
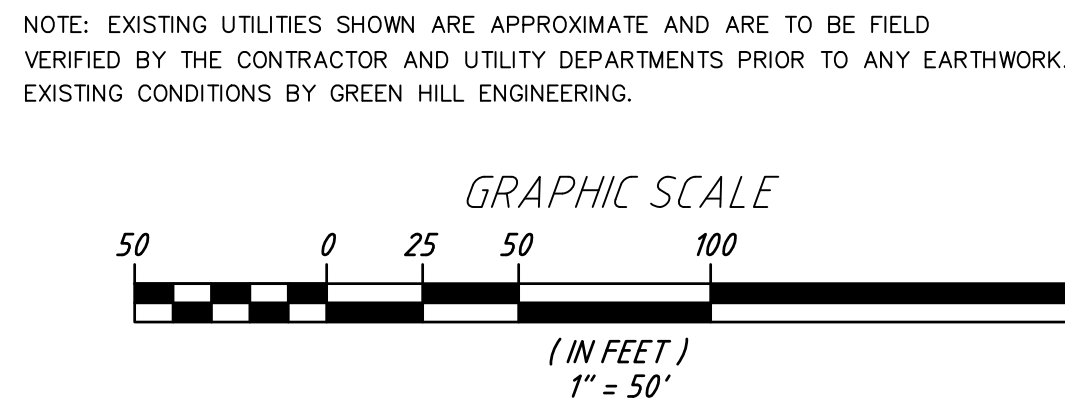
16-137

SCALE:

1'=20'

DWG. NO.:

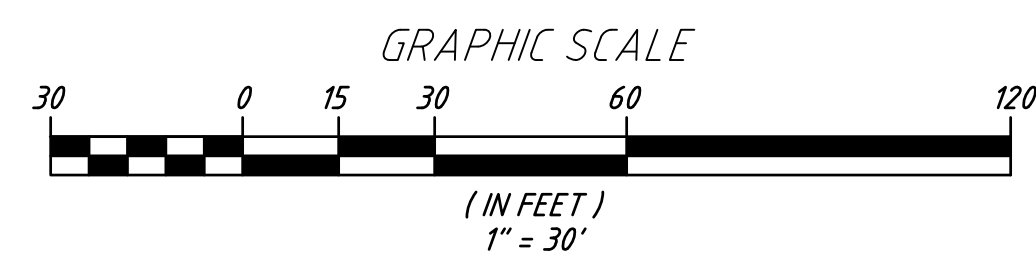
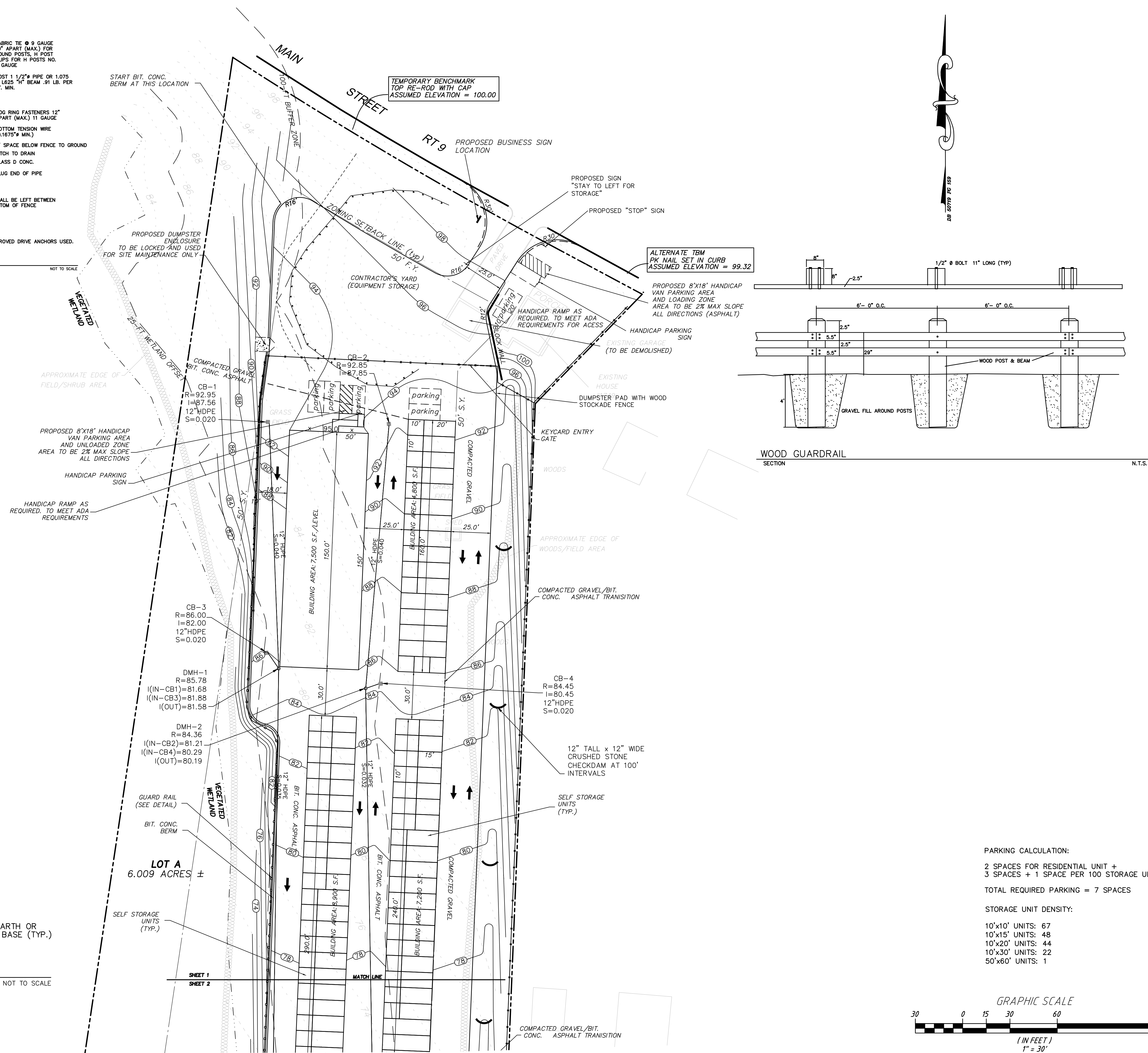
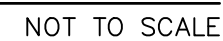
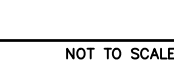
C-1

NORTH

DOC
ENGINEERING & SURVEYING INC.
508-769-0650

CLIENT: C&J REALTY TRUST 1181 MAIN STREET LEICESTER, MA		EXISTING CONDITIONS PLAN	
DRAWN BY:		SITE ADDRESS: 1749 MAIN STREET LEICESTER, MA	
CK'D BY: JDD		JDD REV. #: 5	
DATE: 7-9-16		SCALE: 1"=50'	
PROJECT #: 16-137		DWG. NO.: X-1	

MONUMENT		CHAIN LINK FENCE	
IRON PIPE		WOOD / STOCKADE FENCE	
MONUMENT TO BE SET		WATER LINE	
DRAIN MANHOLE		SEWER LINE	
SEWER MANHOLE		DRAIN LINE	
SEWER CLEANOUT	+C.O.	GAS LINE	
ELECTRIC MANHOLE		ELECTRIC LINE	
CATCH BASIN	CB	OVERHEAD WIRES	
UTILITY POLE		CONTOUR 5' INTERVAL	
UTILITY POLE W/ STREET LIGHT		CONTOUR 1' INTERVAL	
GUY WIRE	GUY#	X 69.33'	SPOT GRADE
FIRE HYDRANT	HFD	BITUMINOUS	BIT.
WATER GATE	WG	CONCRETE	CONC.
GAS GATE	GG	INVERT	INV.
BOLLARD	BOL	REINFORCED CONCRETE PIPE	RCP
LIGHT DECORATIVE (15'± HEIGHT)	*	POLYVINYL CHLORIDE PIPE	PVC
BENCH MARK		HIGH DENSITY PLASTIC	HDPE
SIGN		IRON PIPE	I.P.
MASSHIGHWAY SIGNAL BOX	M.S.B. 	FOUND	FND.
MONITOR WELL	MW	BOLLARD	BOL.
		SEWER MANHOLE	SMH
		DRAINAGE MANHOLE	DMH
		WATER GATE	WG
CURB LEGEND		HYDRANT	HYD.
VERTICAL GRANITE CURB	VGC	UTILITY POLE	UP
BITUMINOUS CONCRETE CURB	BTC	GUY WIRE	GUY

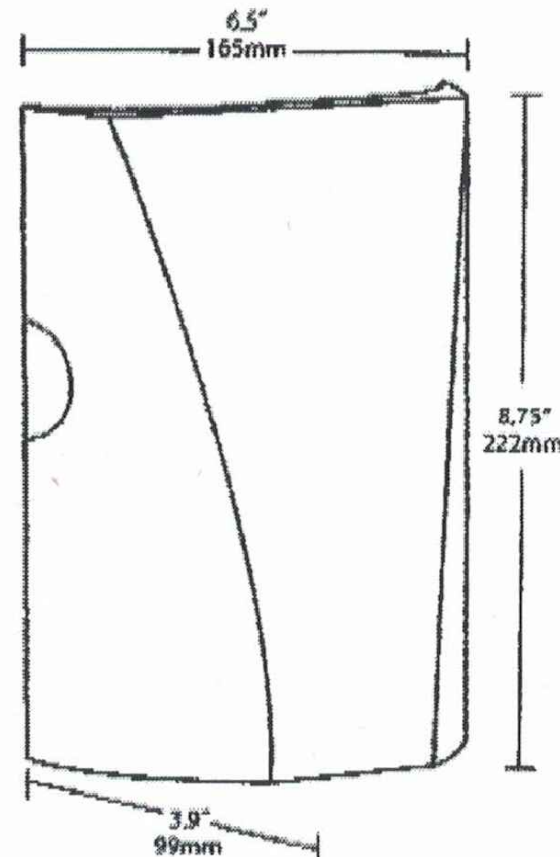


CK'D BY JDD		DATE: 7-9-16	DRAWN BY: JDD		CLIENT: C&J REALTY TRUST PO BOX 99 PAXTON, MA 01612		PROJECT #: 16-137		DWG. NO.: S-1							
REV # 5		SCALE: 1"=30'	JDD		PROPOSED SITE PLAN SITE ADDRESS: 1749 MAIN STREET LIGONIER, MA		DGC DESIGN GROUP CONSULTING, INC. 608-769-6656 608-341-2127 info@designgroupinc.com 608-769-6656		NORTH  		NO. 1 DATE 9/22/16 REVISION REVIEW		JEREMY S. CROTEAU, P.L., S. PROFESSIONAL LAND SURVEYOR MA LIC. NO.: 4672		JASON D. DIVOIS, P.E. PROFESSIONAL LAND SURVEYOR MA LIC. NO.: 4674 	

SITE PLANT LIST				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
•	20	TIGER LILY	LILIUM LANCIFOLIUM	1 QT
○	6	HYDRANGEA	HYDRANGEA MACROPHYLLA	2 GALLON
⊙	8	RHODODENDRON	RHODODENDRON FERRUGINEUM	2 GALLON
⊗	20	CRIMSON KING MAPLE	ACER PLATANOIDES 'CRIMSON KING'	3"-3.5", B&B

SLIM18

Dimensions



Features

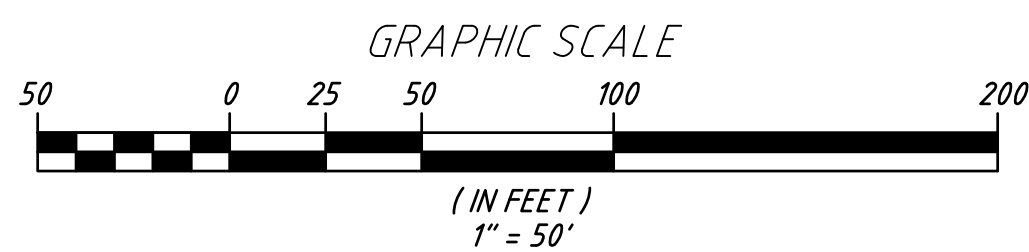
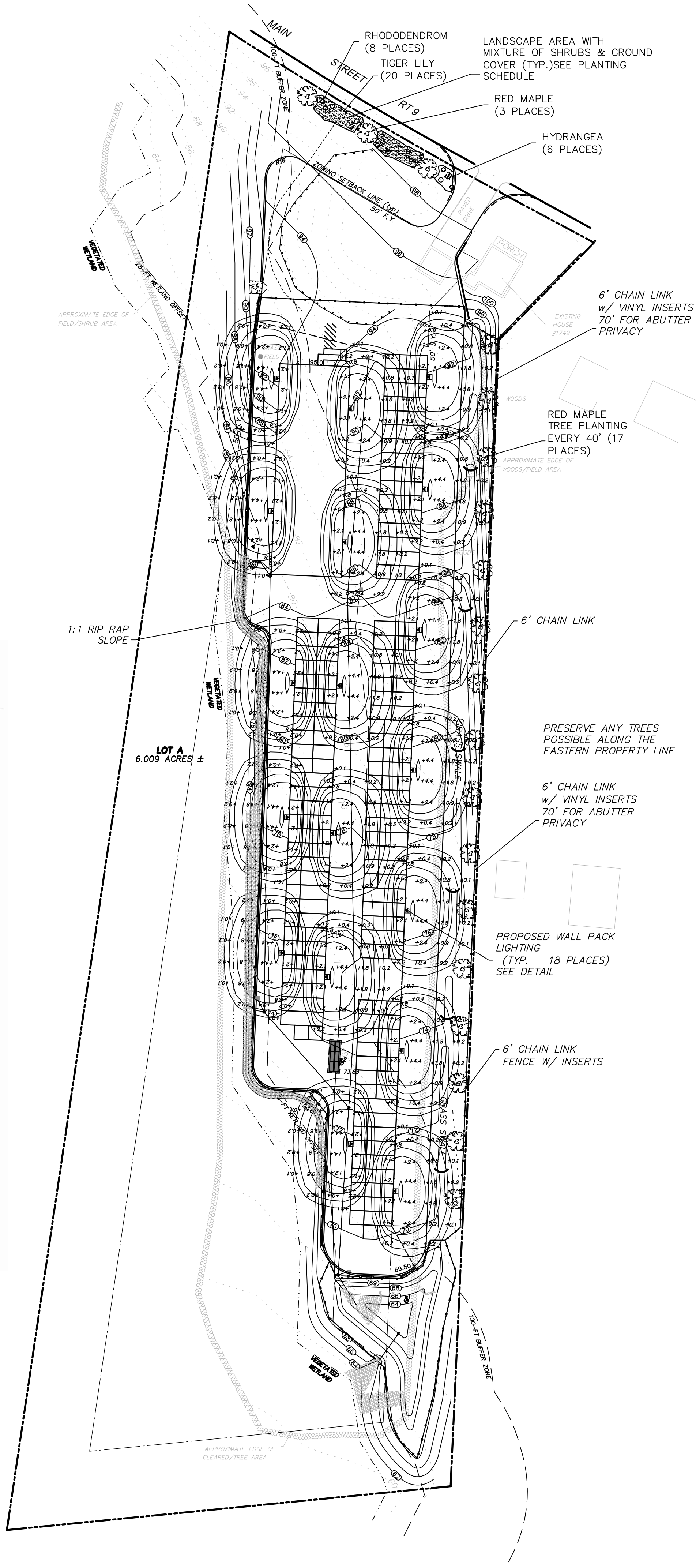
- Full cutoff, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Contractor friendly features for easy installation
- 100,000-hour LED Life
- 5-Year Warranty

Ordering Matrix

Family	Watts	Color Temp	Finish	Photocell	Dimming
SLIM	26 = 26W	Blank = 5000K (Cool)	Blank = Bronze	Blank = No Photocell	Blank = No Dimming
	18 = 18W	Y = 3000K (Warm)	W = White	/PC = 120V Button	/D10 = Dimmable
	12 = 12W	N = 4000K (Neutral)		/PC2 = 277V Button	

WALL PACK LIGHTING DETAIL

NOT TO SCALE



JEREMY S. CROTEAU, P.E.
PROFESSIONAL
LAND SURVEYOR
MA LIC. NO. - 48722

REVISED 50'X150' BUILDING	5	2/5/18	NO.	DATE
REVISED 50'X60' BUILDING	4	10/16/17		
REVISED PER REVIEW COMMENTS	3	11/4/16		
REVISED PER REVIEW COMMENTS	2	10/16/16		
REVISED PER REVIEW COMMENTS	1	9/22/16		

D&C
ENGINEERING & SURVEYING, INC.
508-769-0059
508-341-2127

C&J REALTY TRUST
PO BOX 99
PAXTON, MA 01612

LANDSCAPE & LIGHTING PLAN
SITE ADDRESS:
1749 MAIN STREET
LEGISTON, MA

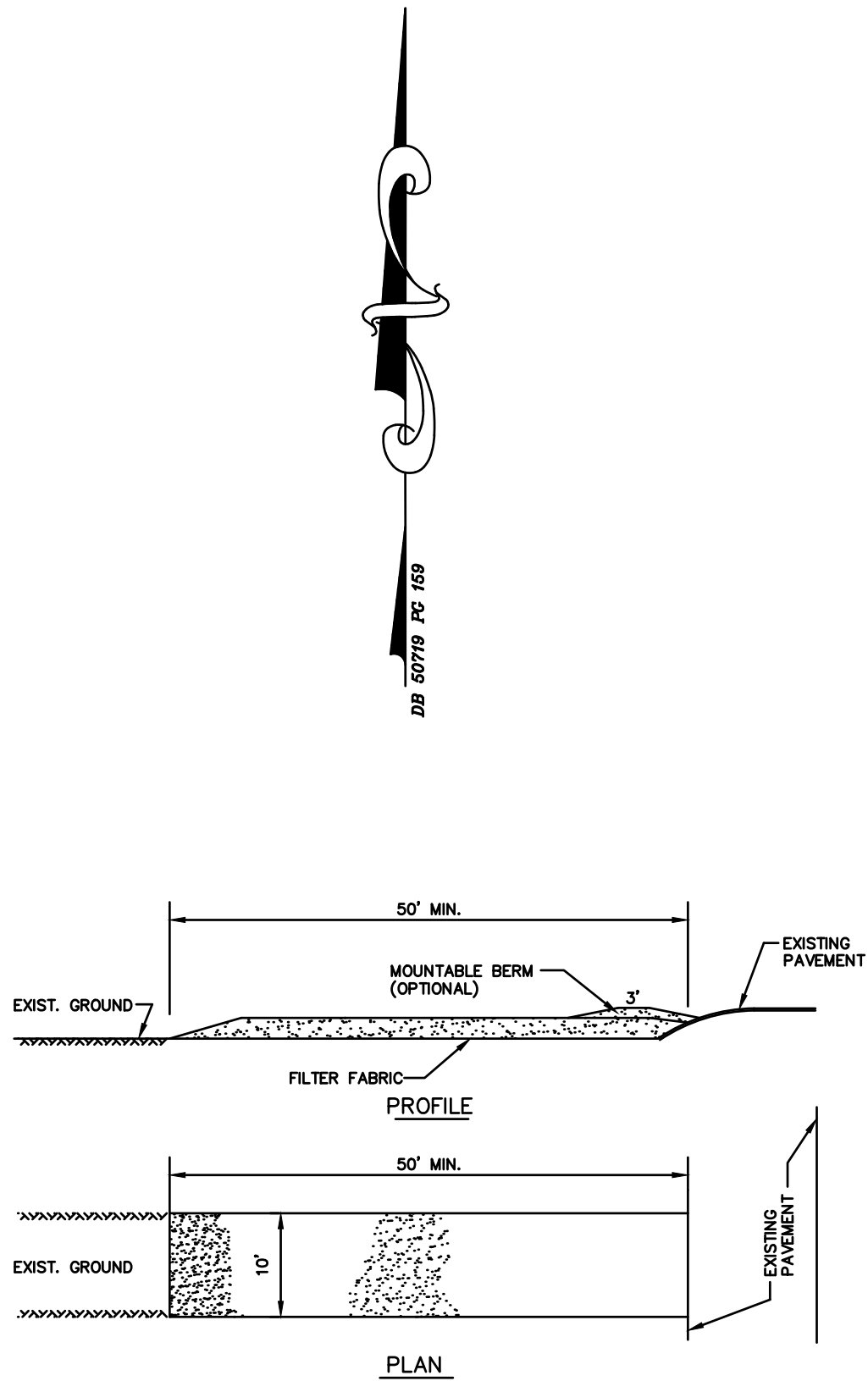
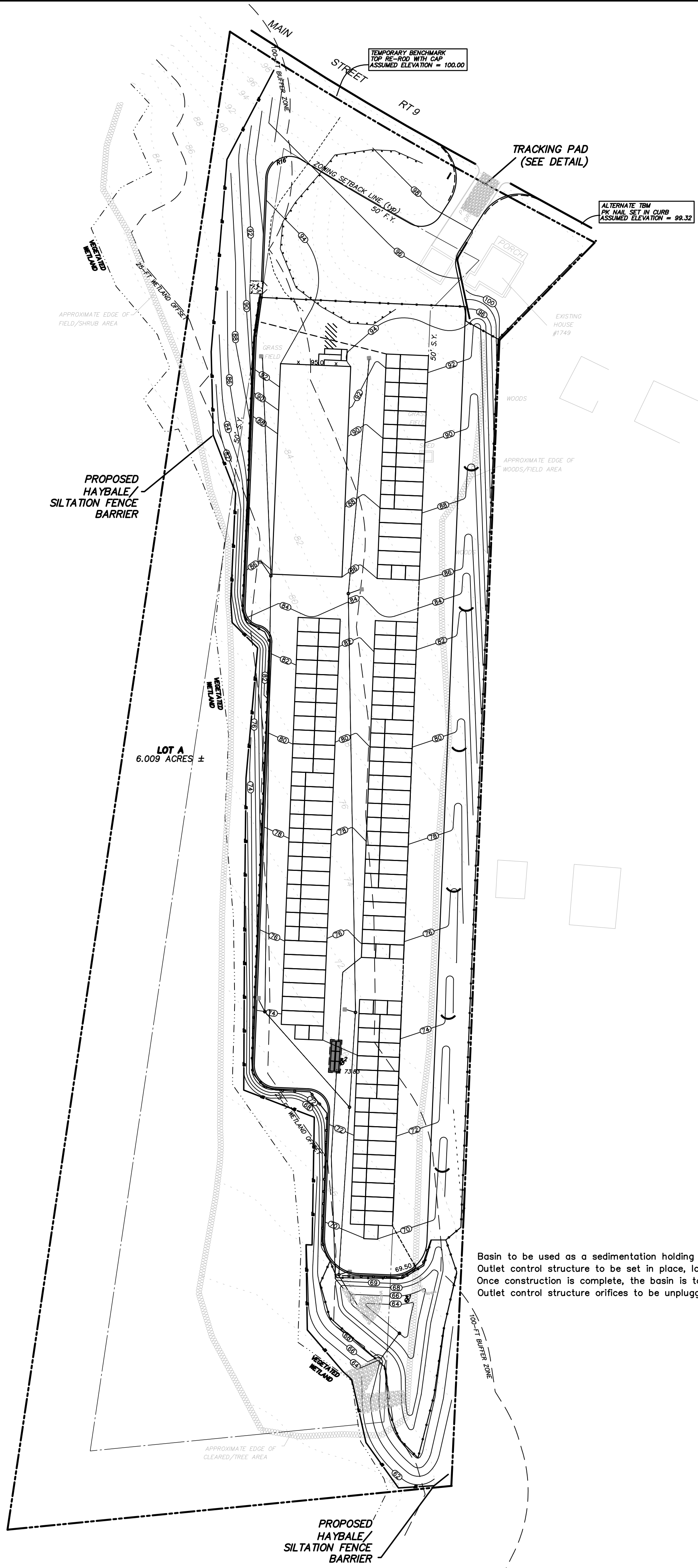
DRAWN BY: JDD

CK'D BY: JDD REV #: 5

DATE: 7-9-16 SCALE: 1"=50'

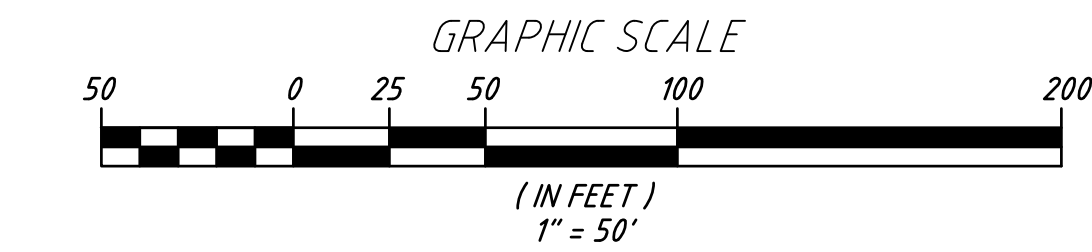
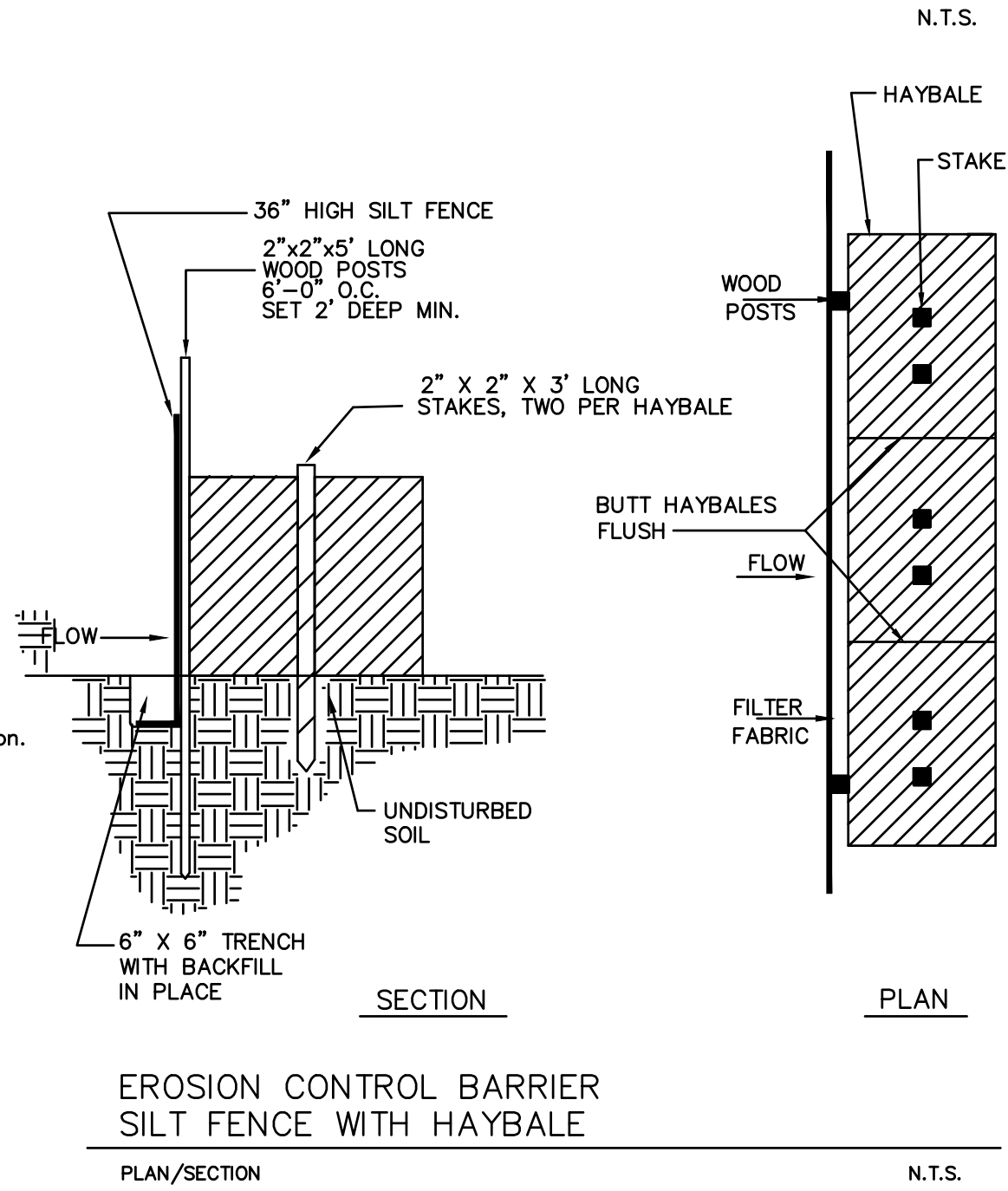
PROJECT #: 16-137 DWG. NO.: L-1

NOTE:
ALL DISTURBED AREAS TO BE
TREATED WITH 6" LOAM & SEED
UNLESS OTHERWISE NOTED



- CONSTRUCTION SPECIFICATIONS**
- Stone size – Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length – As required, but not less than 50 feet.
 - Thickness – Not less than six (6) inches.
 - Width – Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter fabric – Will be placed over the entire area prior to placing of stone
 - Surface water – All surface water flowing or diverted toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance – The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be cleaned and or swept by the end of the working day.
 - Washing – Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping enclosure.
 - Periodic inspection and needed maintenance shall be provided after each rain.

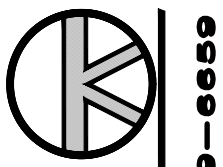
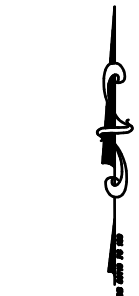
CONSTRUCTION ENTRY



JEREMY S.
CROTEAU, P.L.S.
PROFESSIONAL
LAND SURVEYOR
M.A.S.C. NO. 4872

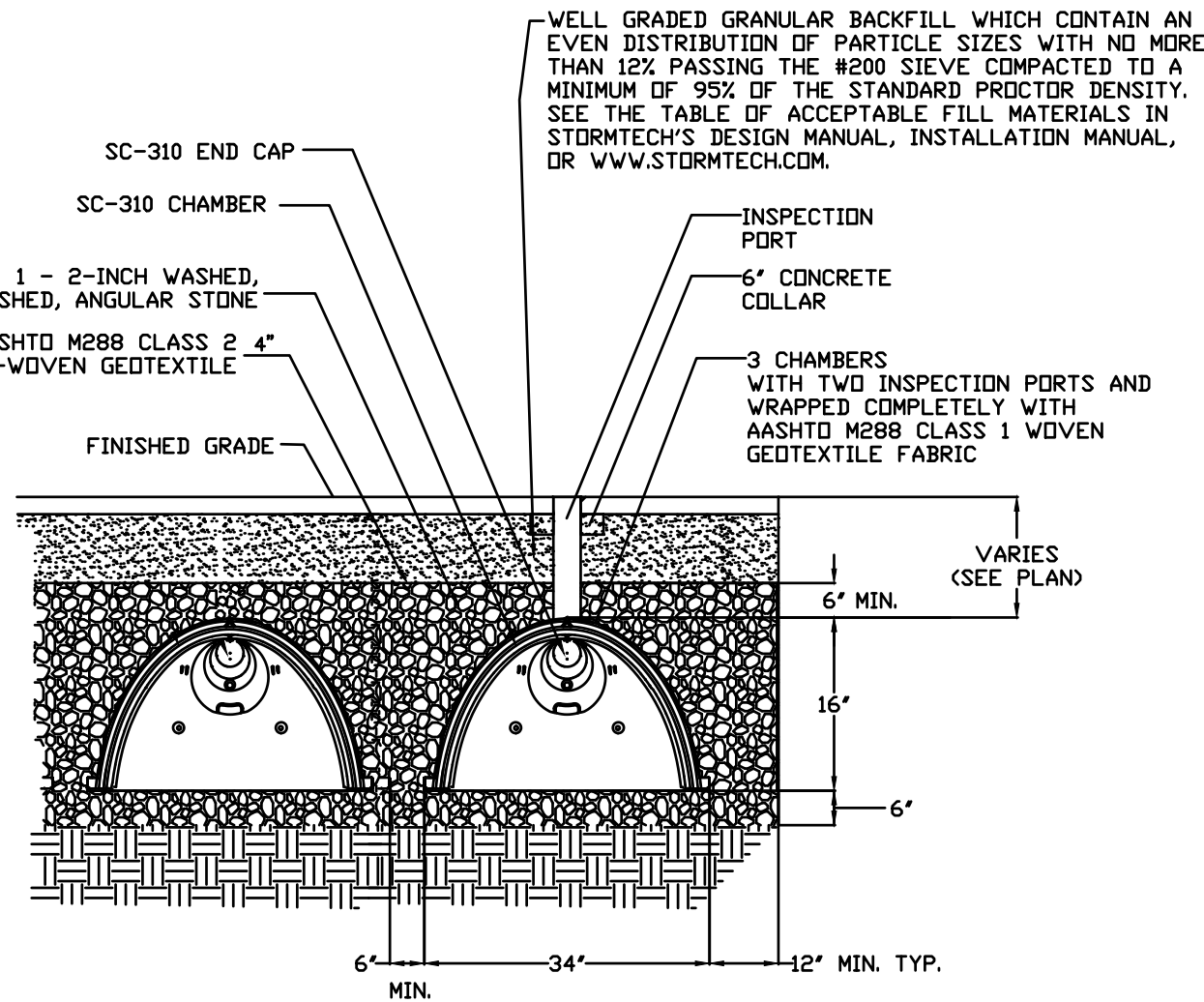
NO.	DATE	REVISION
5	2/5/18	REVISED 50'X150' BUILDING
4	10/16/17	REVISED 50'X60' BUILDING
3	11/4/16	REVISED PER REVIEW COMMENTS
2	10/28/16	REVISED PER REVIEW COMMENTS
1	9/22/16	REVISED PER REVIEW COMMENTS

NORTH



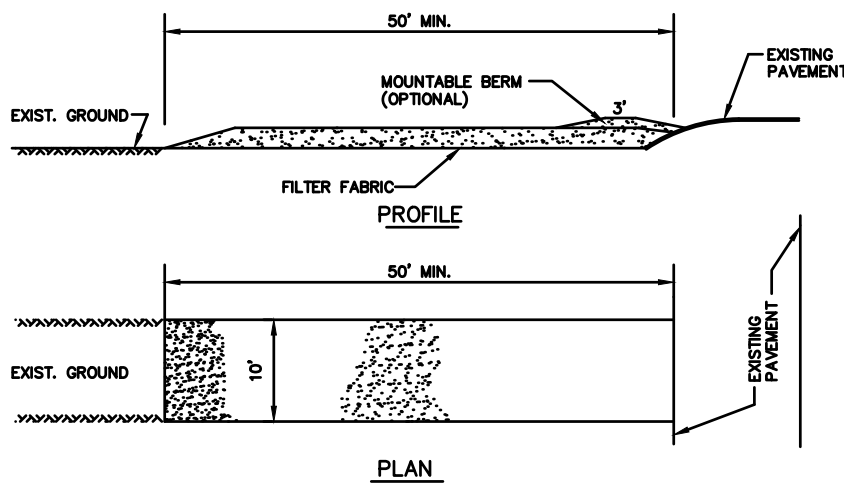
508-769-0059
508-341-2127
CONTRACT/REPLY ADDRESS: (MASS)
200 WILLOW STREET, SUITE 200
LESTER, MA 01546

CLIENT: C&J REALTY TRUST PO BOX 99 PAXTON, MA 01612	PROJECT #: 16-137
DRAWN BY: JDD	DWG. NO.: EC-1
DATE: 7-9-16	SCALE: 1"=50'
CK'D BY: JDD	REV #: 5
SITE ADDRESS: 1749 MAIN STREET LESTER, MA	
EROSION CONTROL PLAN	



STORMTECH SC-310 CHAMBER SYSTEM

N.T.S.

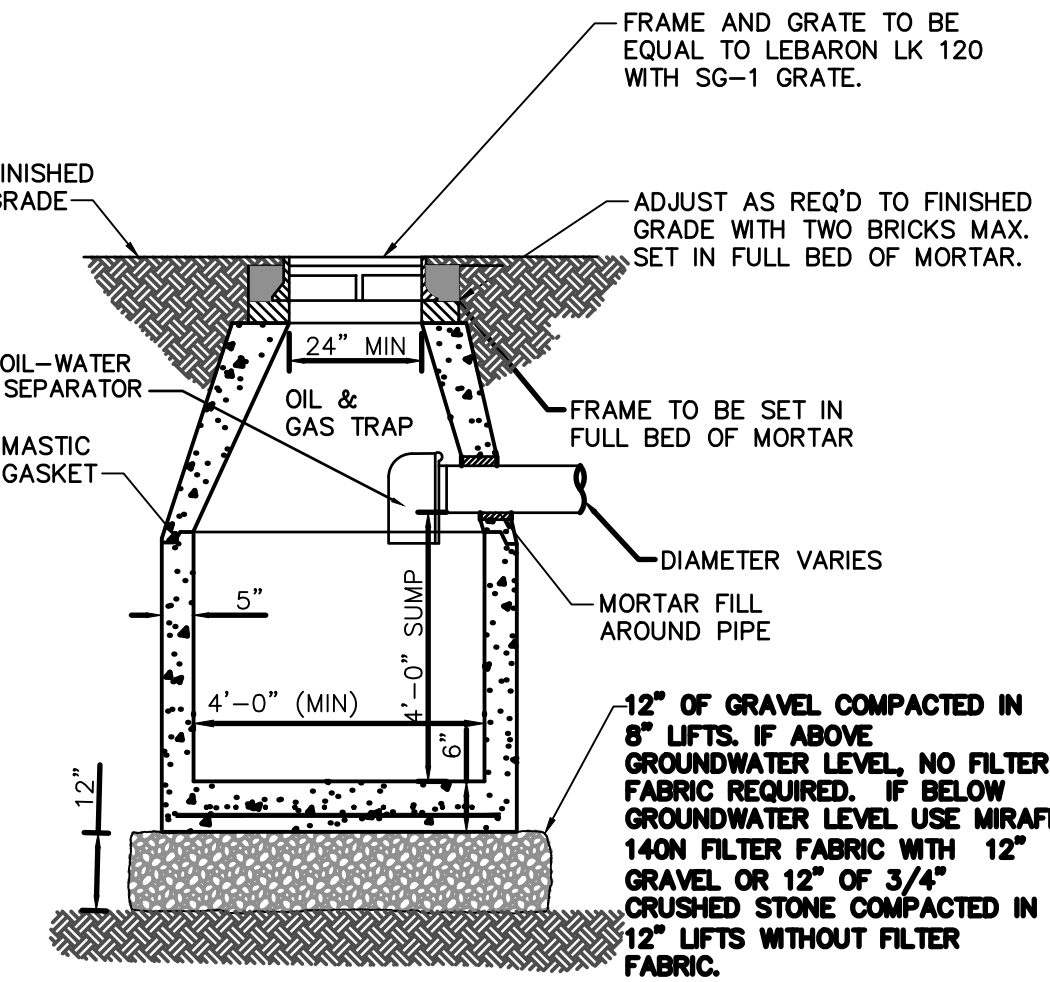


CONSTRUCTION SPECIFICATIONS

1. Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet.
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter fabric - Will be placed over the entire area prior to placing of stone
6. Surface water - All surface water flowing or diverted toward construction entrances shall be placed across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be cleaned and or swept by the end of the working day.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping enclosure.
9. Periodic inspection and needed maintenance shall be provided after each rain.

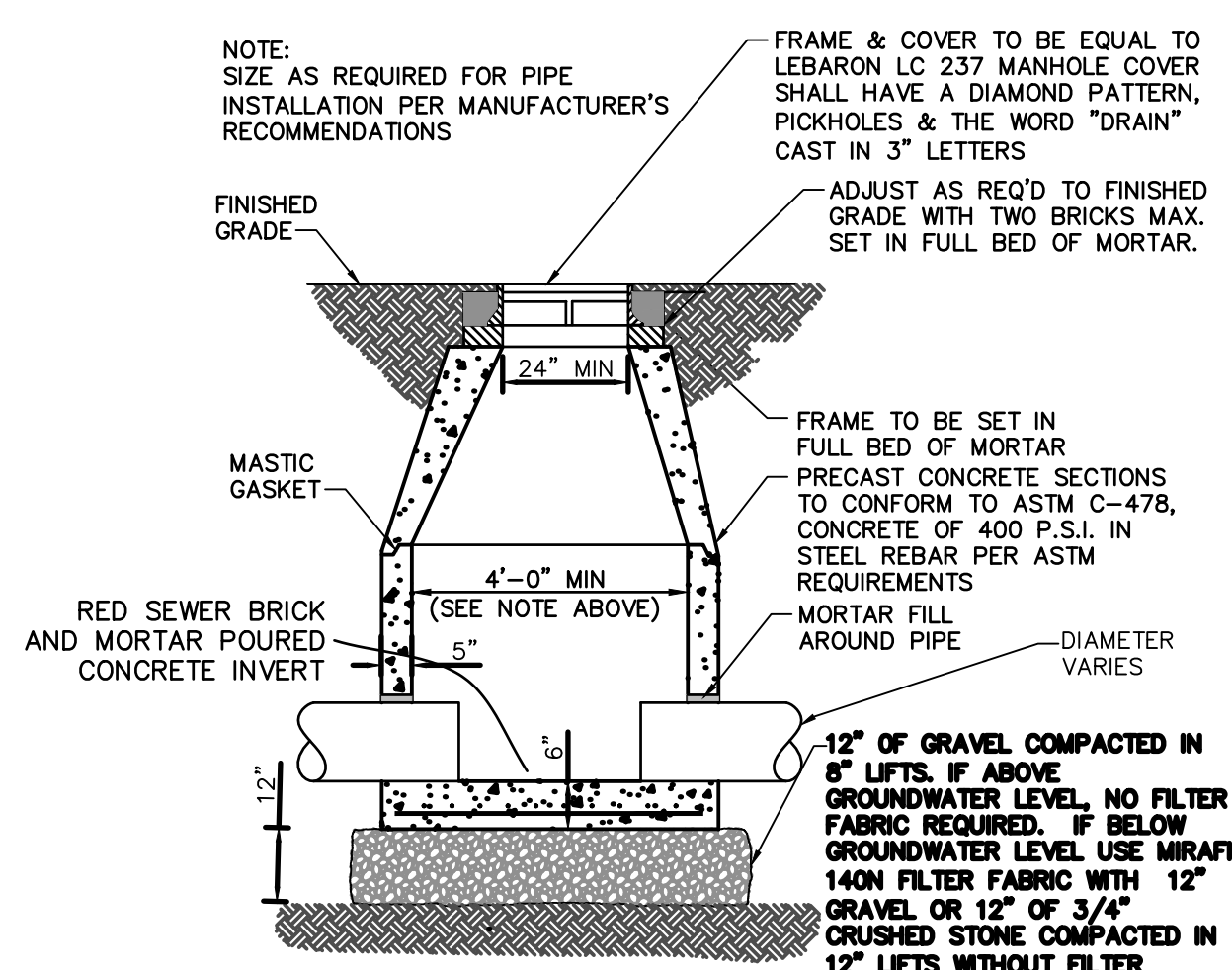
CONSTRUCTION ENTRY

N.T.S.



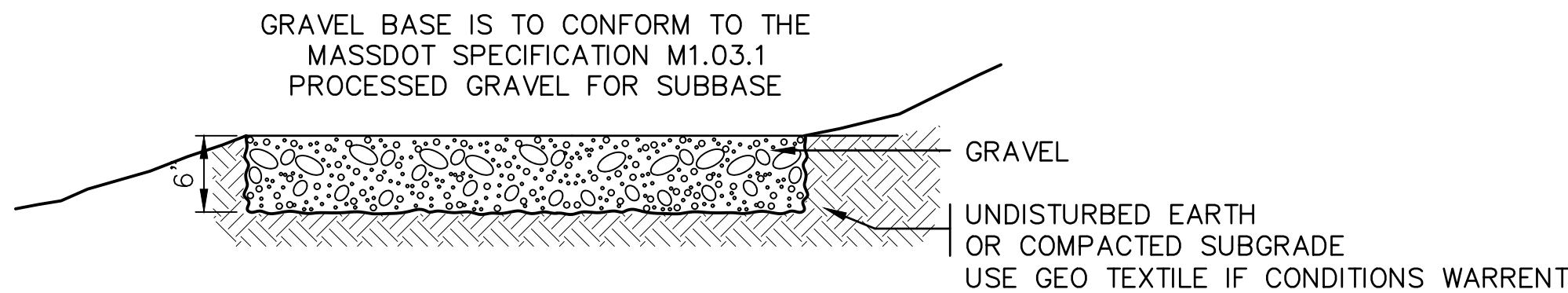
DEEP SUMP CATCH BASIN

NOT TO SCALE



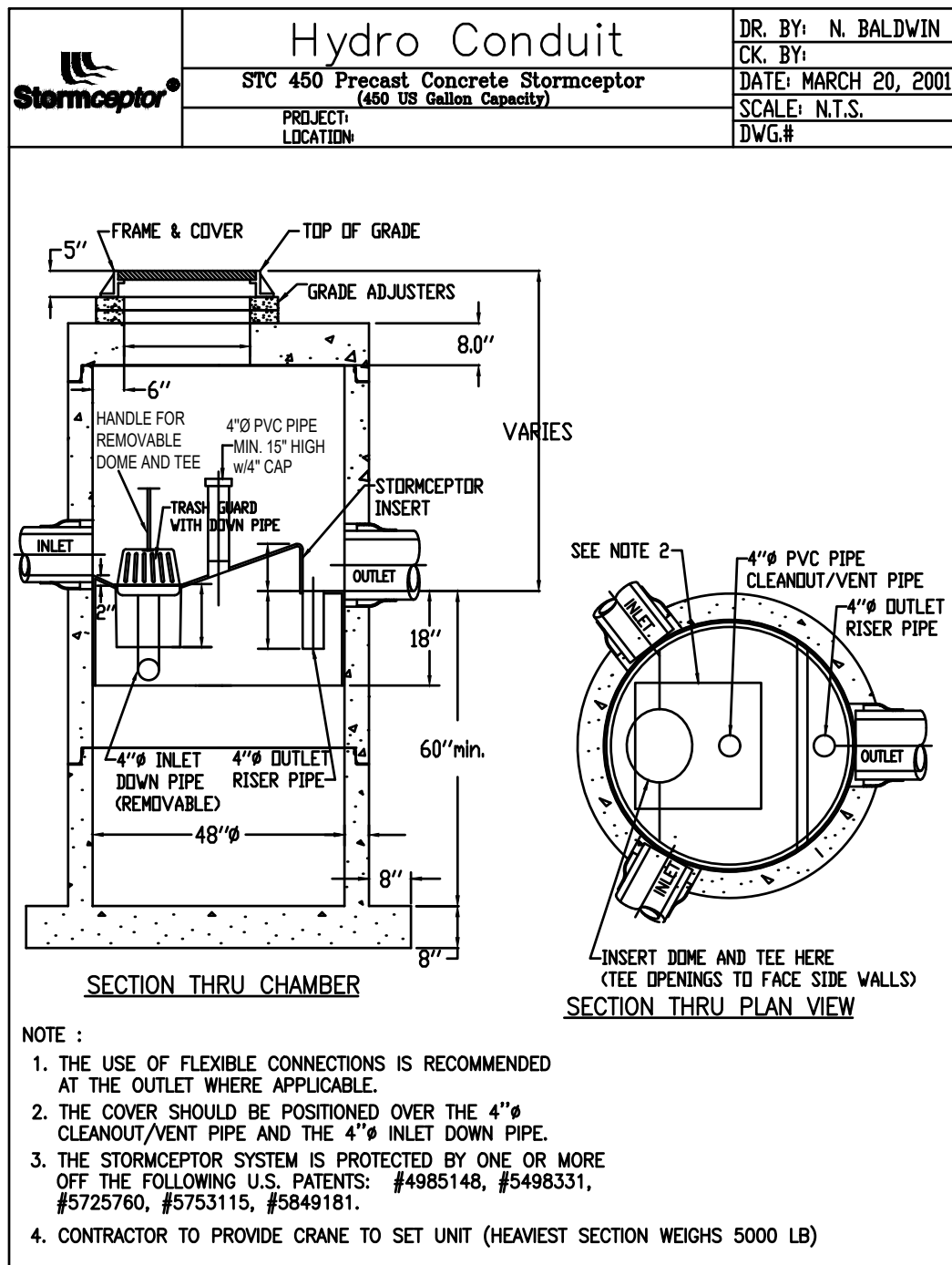
STANDARD DRAIN MANHOLE DETAIL

NOT TO SCALE



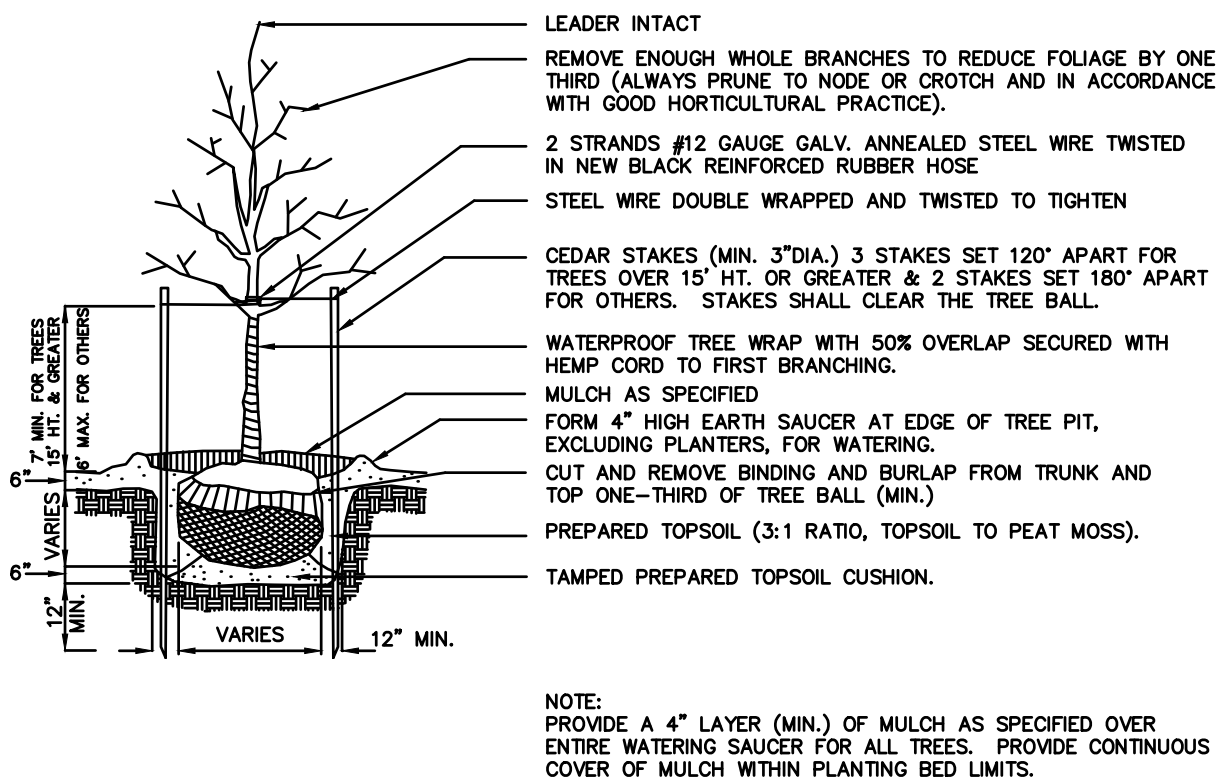
GRAVEL AREA DETAIL

NOT TO SCALE



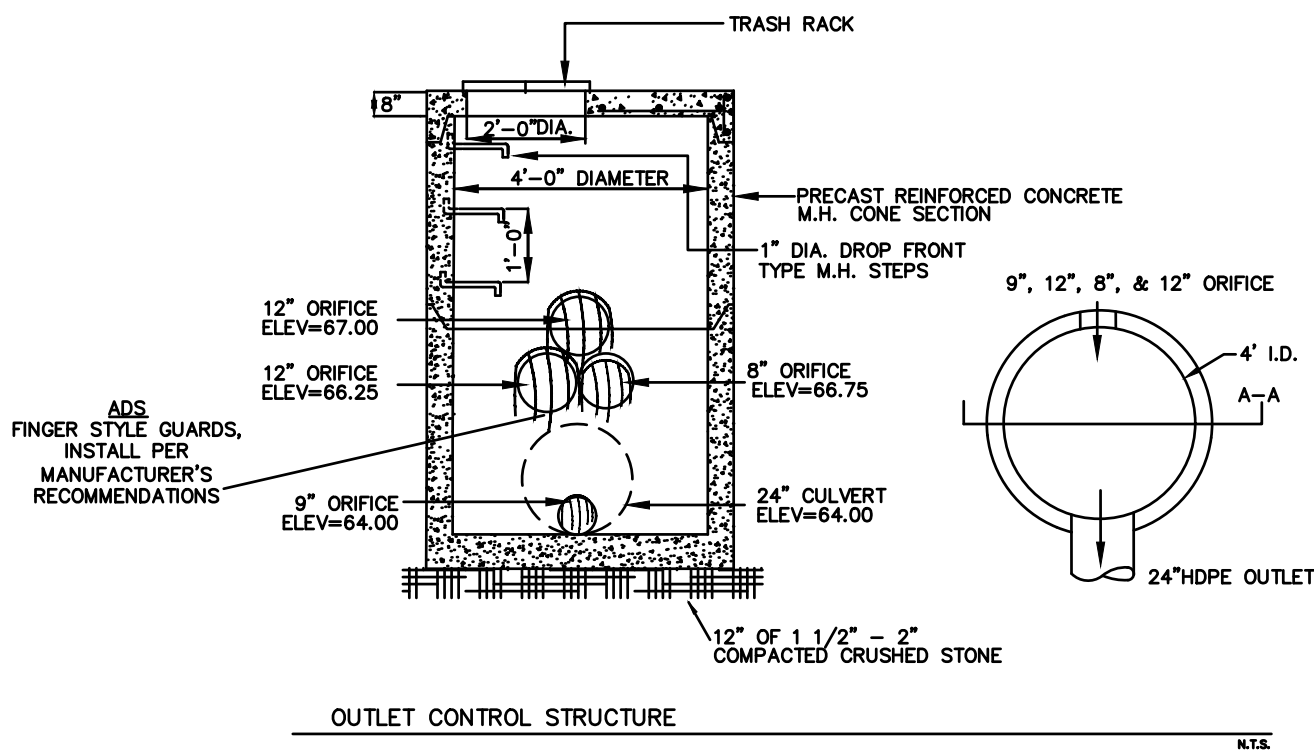
STORMCEPTOR DETAIL

N.T.S.



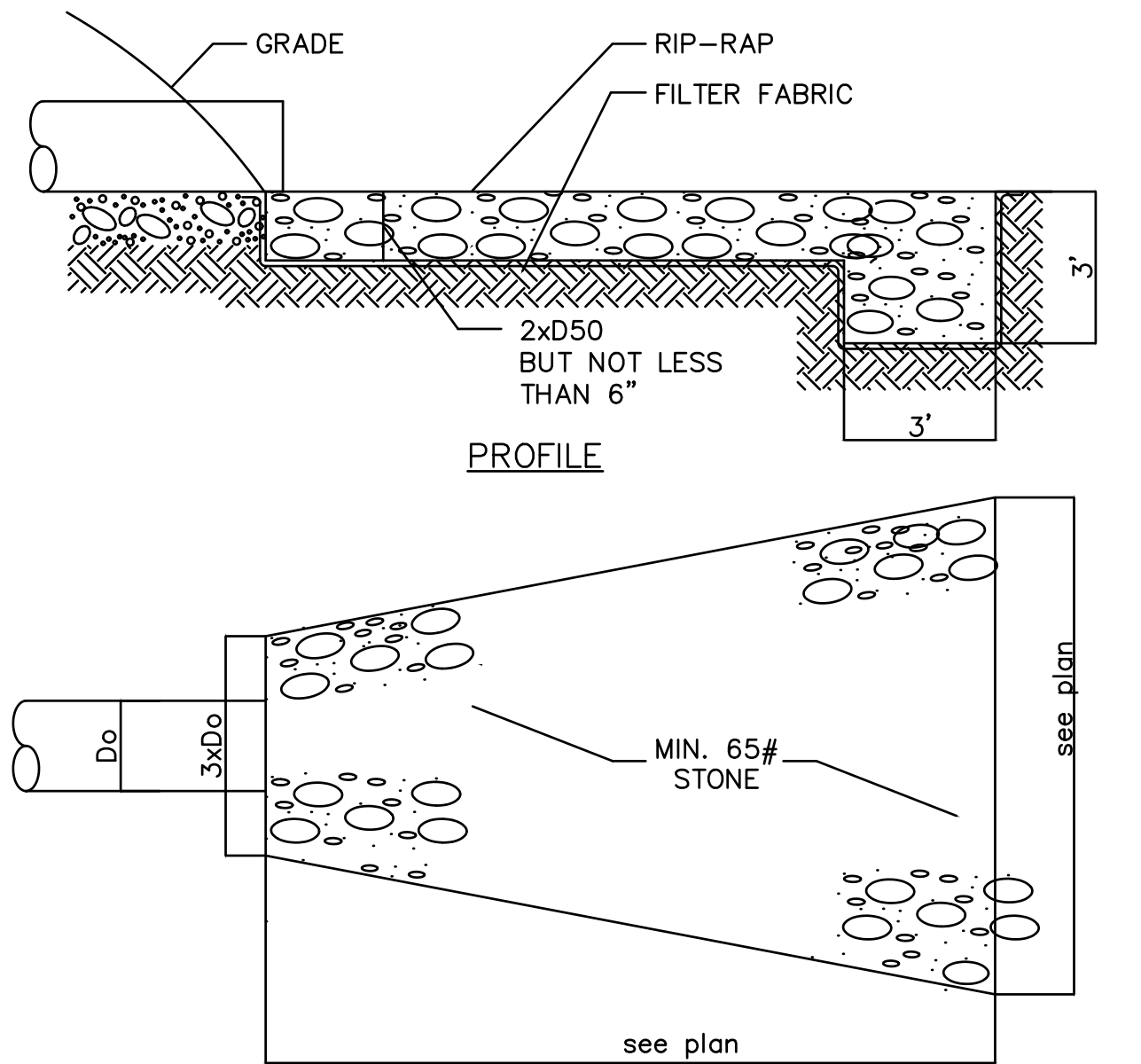
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



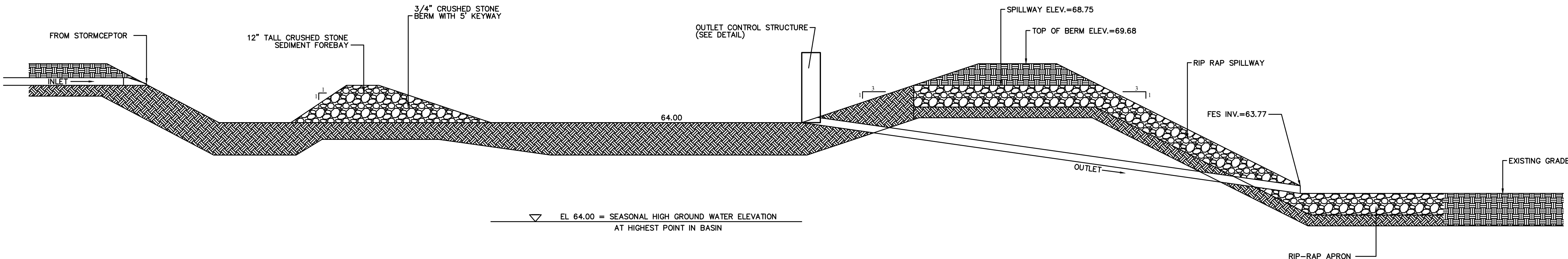
OUTLET CONTROL STRUCTURE

N.T.S.



RIP RAP APRON DETAIL

NOT TO SCALE



INFILTRATION BASIN CROSS SECTION

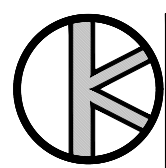
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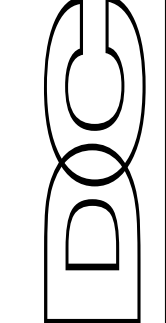
JEREMY S.
CROTEAU, P.E.
PROFESSIONAL
LAND SURVEYOR
M.A.L.C. NO. 4972

NO.	DATE	REVISION
5	2/5/18	REVISED 50'X150' BUILDING
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3	11/14/16	REVISED PER REVIEW COMMENTS
2	10/28/16	REVISED PER REVIEW COMMENTS
1	9/22/16	REVISED PER REVIEW COMMENTS

NORTH



REGISTERED PROFESSIONAL ENGINEERING FIRM
888 BRIMLEY STREET, SUITE 200
DORCHESTER, MASSACHUSETTS 01919
508-769-0669
508-341-2127



CLIENT:
C&J REALTY TRUST

PO BOX 99
PAXTON, MA 01612

SITE DETAILS
SITE ADDRESS:
1749 MAIN STREET
LEGISTON, MA

DRAWN BY: JDD

CK'D BY: JDD

DATE: 7-21-16

PROJECT #: 16-137

REV #: 5

SCALE: N.T.S.

DWG. NO.: D-1