



Town of Leicester PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

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PLANNING BOARD AGENDA Tuesday May 18, 2021 @ 7:00PM *ONLINE MEETING ONLY*

Please join the meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/328855445>

You can also dial in using your phone.

United States (Toll Free): 1 866 899 4679

Access Code: 328-855-445

ORDER OF BUSINESS*

1. 7:00PM **Parking Waiver Request**
207 Main Street, Sweet Annie's Primitive Designs (Applicant: Justin Hayes)
2. 7:05PM **Discussion, Preliminary Subdivision Plan**
Skyview Estates (PSUB2021-01), 651 Main Street, 35 Lot Residential Subdivision (Applicant: Mark Klinger/MKEP770 LLC)
3. 7:45PM ***Discussion, Request to Allow Temporary Operation Pending Site Plan Approval***
1535 Main Street, Black Sheep Bah-Bah-Q & Kitchen LLC (Applicants: Patrick Flynn & Jennifer Wright)
4. 8:00PM **Approval of Minutes**
 - April 20, 2021
5. 8:30PM **Town Planner Report/General Discussion:**
 - A. Miscellaneous Project Updates
 - B. Board Member Committee Updates
 - C. Upcoming Meeting Dates
6. **Adjourn**

****Note: Agenda times for items that are not public hearings may be taken out of order.***

"The listings of matters are those reasonably anticipated by the Chair 48 hours before said meeting, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law"



Town of Leicester PLANNING BOARD

2

3 Washburn Square
Leicester, Massachusetts, 01524-1333
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Memorandum

TO: Planning Board Members
FROM: Michelle R. Buck, AICP
Town Planner/Director of Inspectional Services
DATE: May 10, 2021
RE: **May 18, 2021 Planning Board Meeting**

Information to log in to the meeting is on the agenda, and a direct link is also available on the Planning Board web page where applications are posted. All votes must be **Roll Call** votes.

Remote Meeting – Suggested Instructions:

1. Ask the public participating to silence cell phones and mute their device during the meeting until called upon to speak
2. Ask all members of the Board to identify themselves by name for the public at the start of the meeting
3. When time for public comment, ask everyone to identify themselves before speaking.

Parking Waiver Request, 207 Main Street, Sweet Annie's Primitive Designs

The applicant proposes a retail shop for handmade décor, primitives, and furniture. The building has 7 spaces. Counting existing uses (apartment & office) plus the new use would require 8 parking spaces under our Parking Regulations. I recommend that the Planning Board grant a parking waiver for this use.

Discussion, Preliminary Subdivision Plan, Skyview Estates (PSUB2021-01), 651 Main Street

The plan shows a 35 lot subdivision located at 651 Main Street (although the plan shows 36 lots, Lot 1 is intended for drainage structures). This project is in the Business (B) zoning district, which allows for two-family and multi-family structures by special permit from the Planning Board (single-family homes are prohibited). The applicant intends to construct a mix of multi-family & two family structures on the proposed lots (exact number of units not specified at this time).

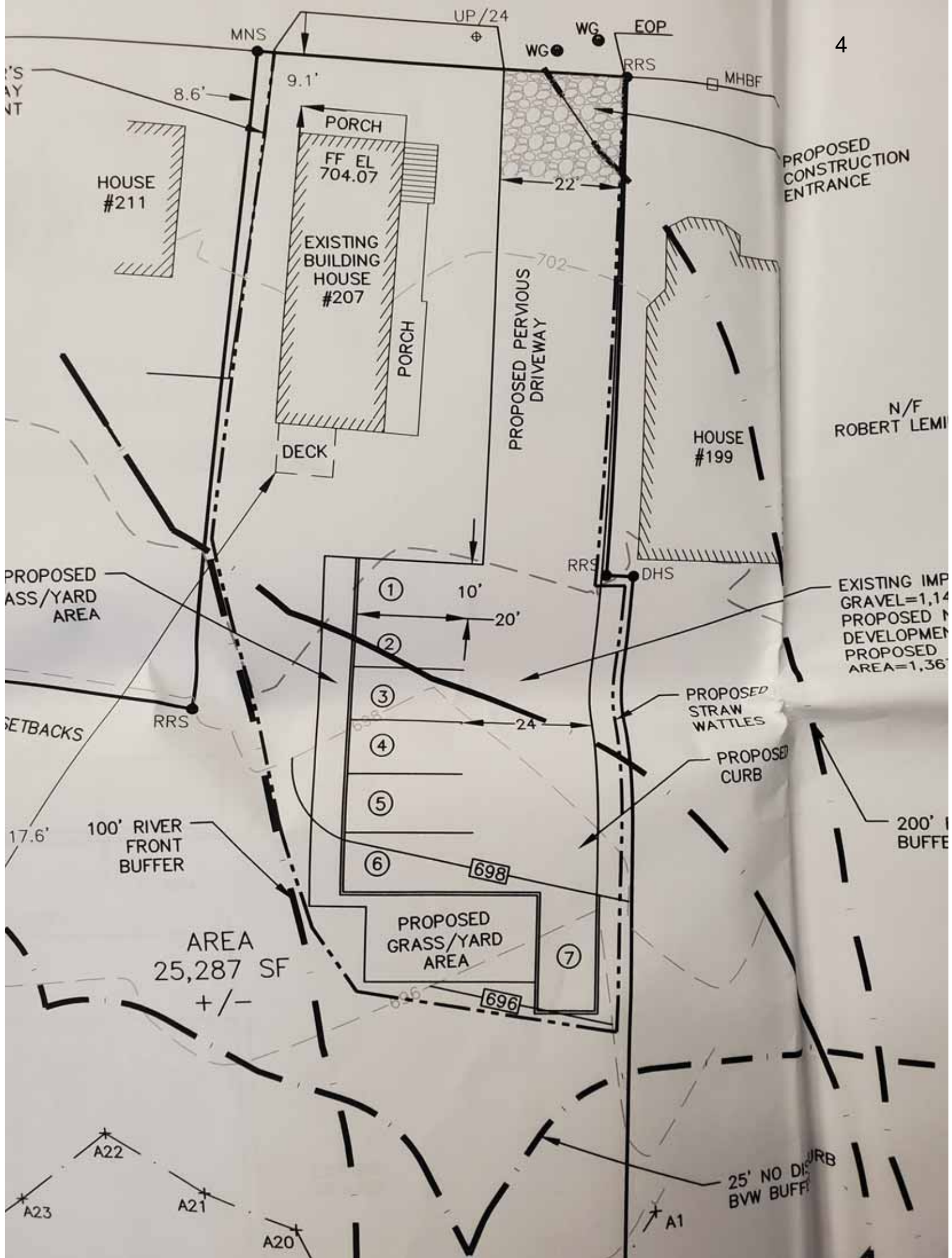
The plan as submitted would require the following waivers from Leicester's Subdivision Regulations: §VI.B.1.a. reinforced concrete storm drainage (HDPE proposed), §VI.B.1b Granite Headers, §VI.G.1. sidewalks (2 required/1 proposed), and §V.A.4 roadway maximum dead-end length (500' maximum/3.500±' proposed).

Comments from various departments enclosed. I agree that this project should have more than one means of access, especially since a large number of units are anticipated.

For a preliminary subdivision plan, the Board can approve, deny, or approve with modifications. Typically, this Board has approved with conditions requiring modifications that would be shown on the Definitive Plan. I've enclosed a copy of the Board's decision on Oak Bluff as an example. The decision filing deadline for this project is 6/3/2021, so this can be continued to the 6/1/2021 meeting if needed.

Discussion, Request to Allow Temporary Operation Pending Site Plan Approval, 1535 Main Street, Black Sheep Bah-Bah-Q & Kitchen LLC

The Applicant has applied for Site Plan approval to run a year-round food truck (discussion scheduled for 6/1/2021). However, the applicant is requesting to proceed on a temporary basis prior to Site Plan Approval.



FORM B. APPLICATION FOR APPROVAL OF PRELIMINARY PLANDate: April 20, 2021

To the Planning Board of the Town of Leicester:

The undersigned, being the applicant as defined under MGL Chapter 41, Section 81L, for approval of a proposed subdivision shown on a plan entitled:

Proposed Subdivision Plan, Sheet No. C-101

and dated April 20, 2021, located 651 Main Street, showing 35 lots on +/- 29.78 total acres. Said applicant hereby submits said plan as a Preliminary Subdivision Plan in accordance with the Rules and Regulations of the Leicester Planning Board and makes application to the Board for approval of said plan.

The owner's title to the land is derived under deed from E.F.G. Realty Trust, dated December 12, 1994, and recorded in Worcester District Registry of Deeds, Book 16761, Page 78, or under Certificate of Title No. _____, registered in Worcester Land Registry District, Book _____, Page _____

Assessors Map & Parcel # 21/B5.1

Applicant Information		Owner Information* (if not the Applicant)	
Name:	Mark Klinger	Name:	Edgar F Greeney Jr Tr
Signature:		Signature:	
Address:	MKEP 770 LLC	Address:	76 McClellan St
	65 Sunrise Highway, Suite 1368		Amherst, MA 01002
	Rockville Center, NY11570		
Phone #:	646-483-2517	Phone #:	413-277-8868

Received by the Planning Board _____.

*If there is more than one owner, all must sign.

robert greeney dotloop verified
04/20/21 11:35 AM EDT
KYT8-MEYK-TSYA-KPN2

Land Owner - Robert Greeney



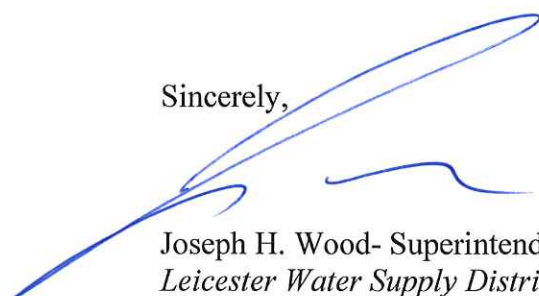
LEICESTER WATER SUPPLY DISTRICT
124 PINE STREET - P.O. BOX 86
LEICESTER, MA 01524
TEL: 508 892-8484 FAX: 508-892-1812
www.lwsd.net

To whom it may concern:

Please be advised that there is adequate water supply for the proposed 35 duplex homes at 651 Main Street.

Connection fee: per duplex
WATER: \$7,000.00

Sincerely,



Joseph H. Wood- Superintendent
Leicester Water Supply District

Cherry Valley Sewer District

Commissioners

Donald G. Manseau, Chairman

Victor M. Taylor, Commissioner

Micheal L. DellaCava, Commissioner

P. O. BOX 138

ROCHDALE, MASSACHUSETTS 01524

OFFICE: (508) 892-9616 FAX: (508) 892- 4371

Jennifer M. Wood

Treasurer

Benjamin Morris

Superintendent

March 9, 2021

RE: Availability of Public Sewers:
651 Main St (vacant lots)
Cherry Valley, MA 01611

Dear Mr. Grondin:

The intent of this letter is to verify that the above listed property is located in and serviced by the Cherry Valley Sewer District and is available for hook-up to the public sewer system.

Should you have any further questions, please feel free to contact the office at (508) 892-9616.

Respectfully,



Benjamin Morris
Superintendent

March 5, 2021

To:

Michelle R. Buck, Town Planner
Leicester Development and Inspectional Services
3 Washburn Square
Leicester, Massachusetts 01524

A&M Project #:

2889-01

Re:

Preliminary Subdivision Plan
651 Main Street
Map 21/Parcel B5.1

Copy:

Dear Ms. Buck

On behalf of our client, MKEP 770, LLC, the Applicant, Allen & Major Associates, Inc. is filing a Preliminary Subdivision Plan for the construction of a proposed subdivision off Main Street in Leicester, Massachusetts. The project includes land depicted on the Assessor's Map #21 as Parcel B5.1 (651 Main Street), owned by E.F.G. Realty Trust. The plans submitted intend to depict the land encompassing the subdivision based on the Existing Conditions Plan created by Allen & Major Associates, Inc. Dated: February 10, 2021.

It is the intent of the applicant to create a subdivision with three roadways to provide access to 35 new building lots. Enclosed, as part of this submittal, is the Application Form, the filing fee of \$2,135.00 and the review fee of \$3,150.00. We are also including two (2) full size sets of plans, two (2) reduced copies for ease of distribution and four (4) copies of all the supporting documentation.

The project property is located along the southwestern side of Main Street and northern side of Henshaw Street. The majority of the property consists of mainly woodland and brush, with a brook and small wetland pockets near the property's boundary. Electrical utility lines and a tower are located at the southwestern portion of the parcel. As stated above, the existing electrical utility lines will be separated from the development and protected by a 250 foot electric easement.

The property contains several areas subject to the Wetland Protection Act, all of which being outside direct impacts associated with the proposed roadway construction. These areas have been delineated by Gove Environmental Services, Inc. and are depicted on the Proposed Subdivision Plan. Some of the proposed drainage detention/infiltration basins are proposed to be located within the buffer zone and a filing with the Conservation Commission will be required. This will be made concurrent with the Definitive Subdivision review process.

As part of the proposed development, three interconnected roadways will be constructed to provide access to individual lots. Being considered a residential subdivision, the roadways are proposed to be 28-feet wide with a 40-foot wide right of way to be maintained. At the end of the southernmost road is a cul-de-sac that will allow vehicles to effectively turn around and return to the entrance of the development along Main Street. The length of the dead end road connected to the cul-de-sac is approximately 207 feet long.

Along with the construction of the proposed roadway, several other utility improvements will be provided as part of the overall development. The project stormwater management system will be addressed by a system of catchbasins and drainage manholes, capturing the surface runoff and directing it to various drainage detention basins for peak rate mitigation and stormwater treatment. An initial review of the drainage system and watersheds has been performed and the Grading & Drainage Plan depicts the anticipated drainage system

for the project. A full stormwater analysis will be provided as part of the Definitive Subdivision submittal. The project proposes sewer manholes to be placed within the newly aligned roadways at various locations to collect sewage and direct it to the existing municipal sewer system along Main Street. Domestic water for the property is intended to be sourced from the existing municipal water main within Main Street.

As part of this submittal, and in effort to provide comprehensive review for the Definitive Subdivision submittal, a preliminary list of waivers to the Leicester Subdivision Regulations is being submitted herewith. The applicant reserves the right to amend the list of waivers as needed during the Definitive Subdivision design and review process.

Waivers:

Section VI.B.1a – Reinforced concrete storm drainage piping required

A waiver is requested to utilize high density polypropylene (HDPE) drainage lines or approved equal within the drainage system of the subdivision.

Section VI.B.1b – Granite headers shall be placed in back of all Catch basins

A waiver is requested for the requirement of granite curb inlets at the catchbasins within the subdivision roadway.

Section VI.G.1 – Sidewalks shall be installed on both sides of all streets within a subdivision

A waiver is requested to install sidewalks on only 1 side of the roadway due to the steep terrain of the proposed subdivision and lack of connection to a municipal sidewalk along Main Street (aka Route 9)

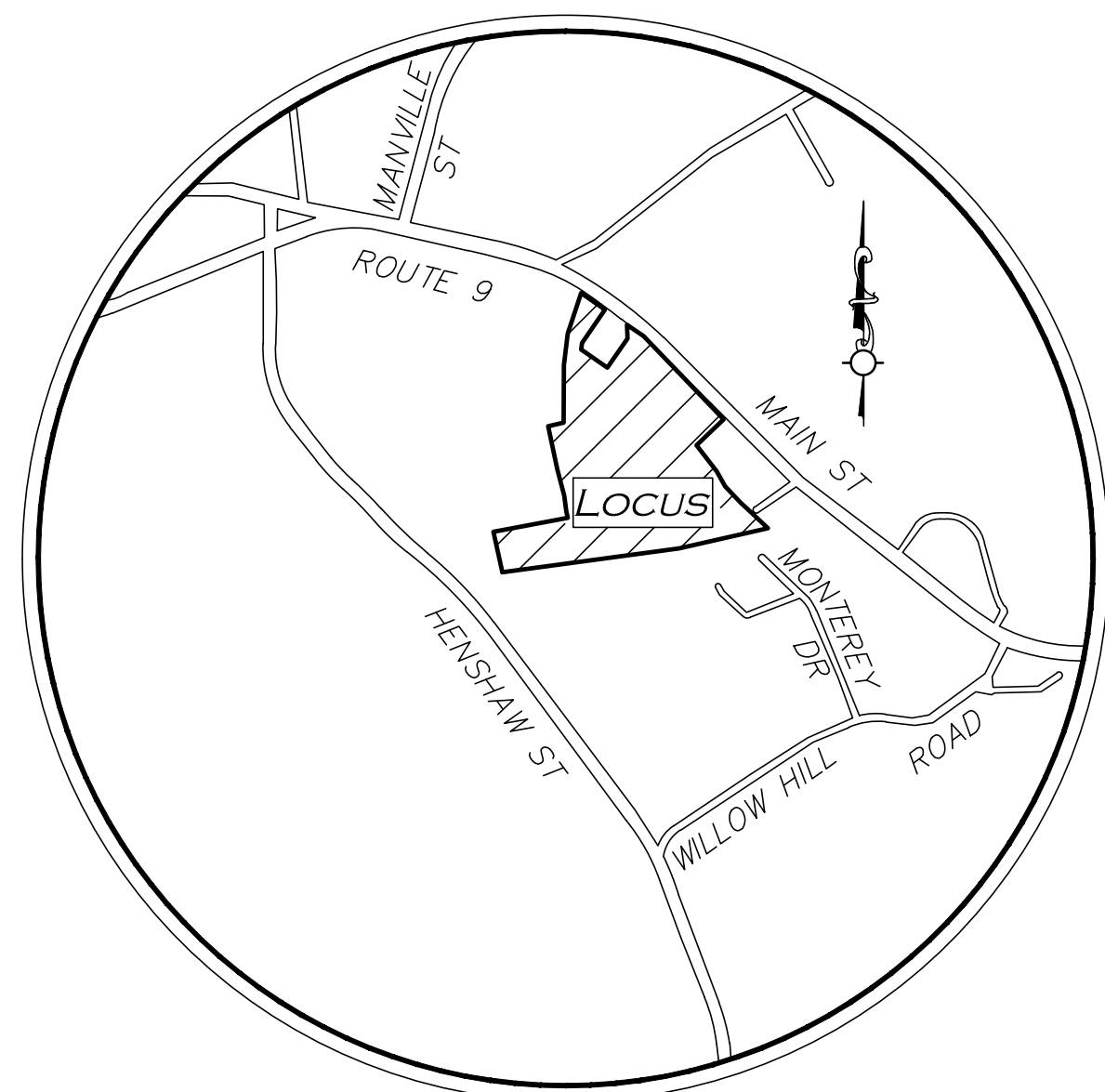
At this time, Allen & Major Associates, Inc. is requesting to be placed on the agenda for the next available meeting of the Planning Board to discuss this Preliminary Subdivision Plan. Representatives of this office and the owner/applicant will attend to present the plan and address any concerns raised by the Board at that time. We thank you in advance for your anticipated cooperation regarding this project and look forward to meeting to discuss the plans.

Very Truly Yours,

ALLEN & MAJOR ASSOCIATES, INC.



Michael Malynowski, PE
Senior Project Manager



LOCUS MAP
NOT TO SCALE

AGENT:
RE/MAX PATRIOT REALTY
55 MEAD STREET
LEOMINSTER, MA 01453

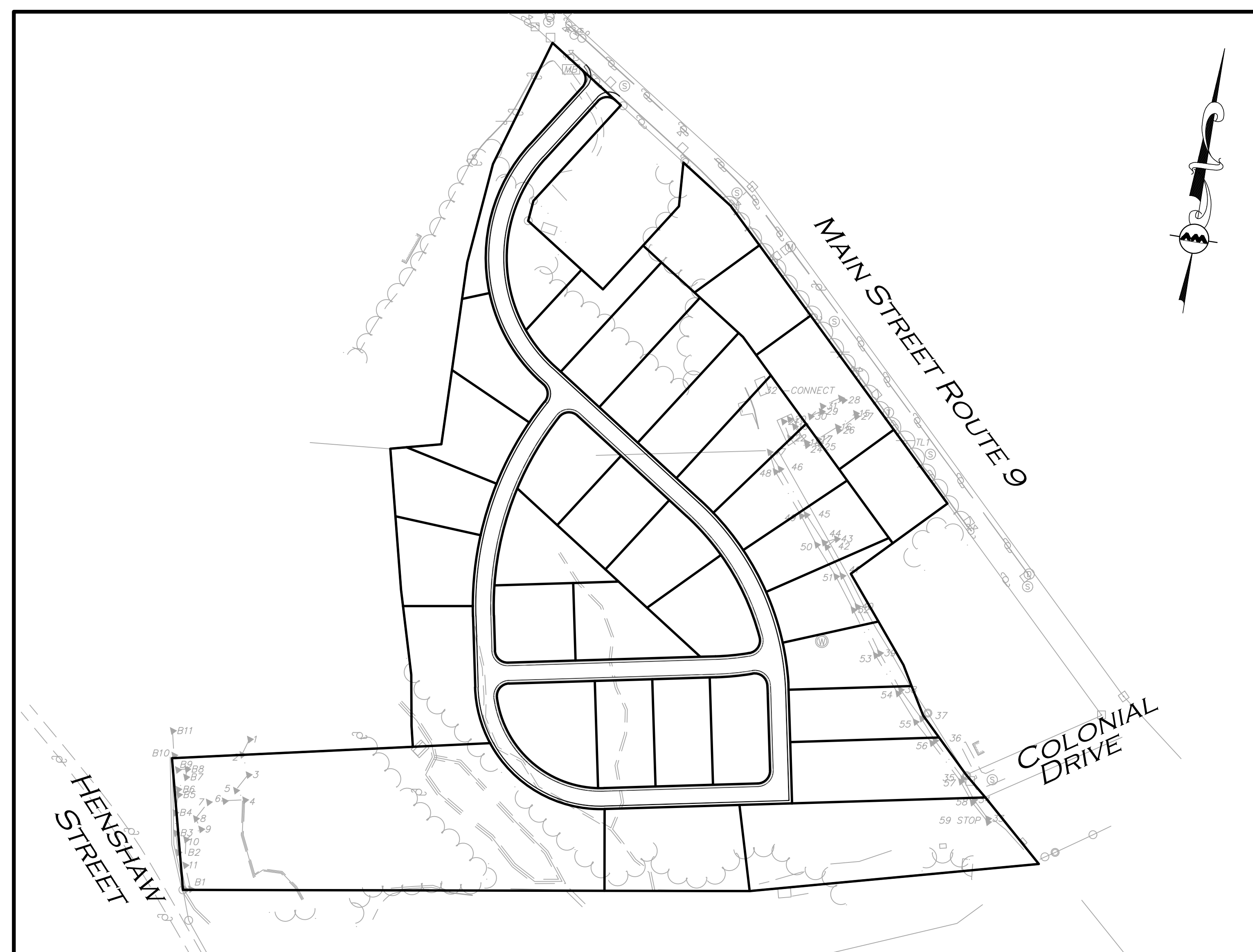
APPLICANT
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

OWNER
E F G REALTY TRUST
EDGAR GREENEY, JR - TRUSTEE
76 MCCLELLAN STREET
AMHERST, MA 01002

CIVIL ENGINEER / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801

ENVIRONMENTAL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR BLDG 2 UNIT H
EXETER NH 03833-7507

PRELIMINARY SUBDIVISION PLANS FOR SKYVIEW ESTATES MAIN STREET LEICESTER, MA 01611



LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	V-101	04-20-21	-
PROPOSED SUBDIVISION PLAN	C-101	04-20-21	-
GRADING & DRAINAGE PLAN	C-102	04-20-21	-
UTILITIES PLAN	C-103	04-20-21	-
ALIGNMENT (6) PROFILE	C-201	04-20-21	-
ALIGNMENTS (7) & (8) PROFILES	C-202	04-20-21	-

PREPARED BY:

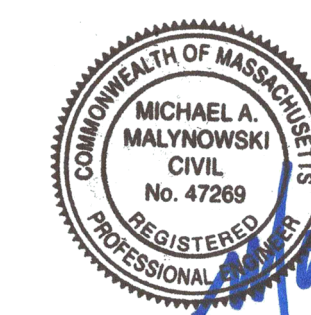
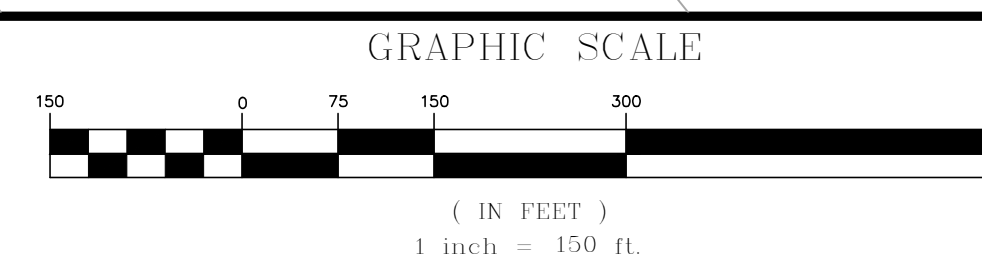


**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

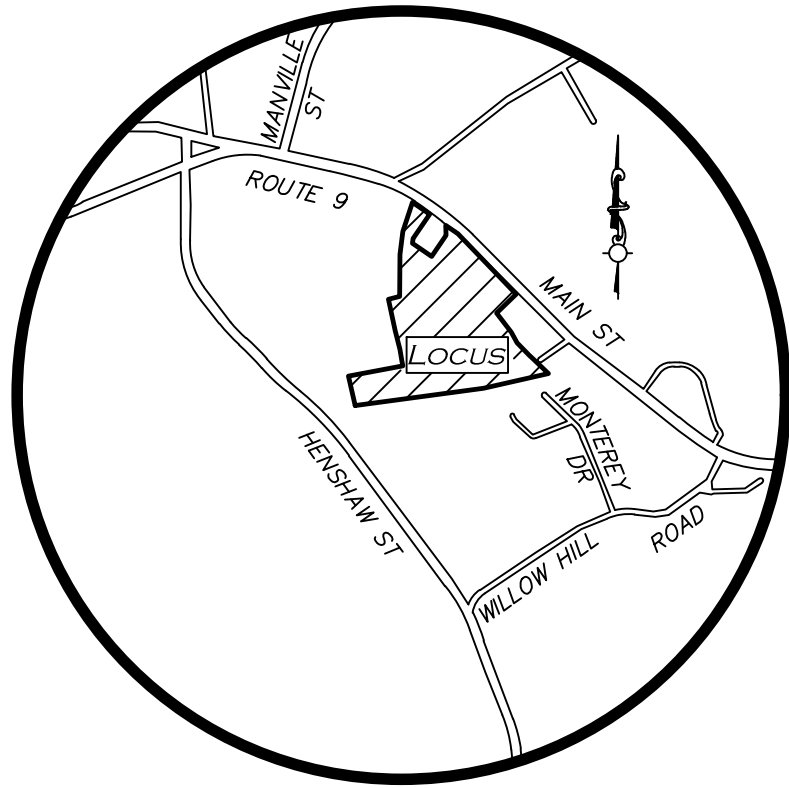
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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All Rights Reserved



Digitally signed by Michael
Malynowski
Date: 2021.04.20 08:27:10 -04'00'
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR PRELIMINARY SUBDIVISION: APRIL 20, 2021



LOCUS MAP
(NOT TO SCALE)

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LOCUS REFERENCES

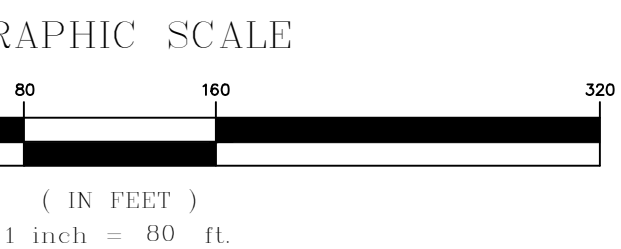
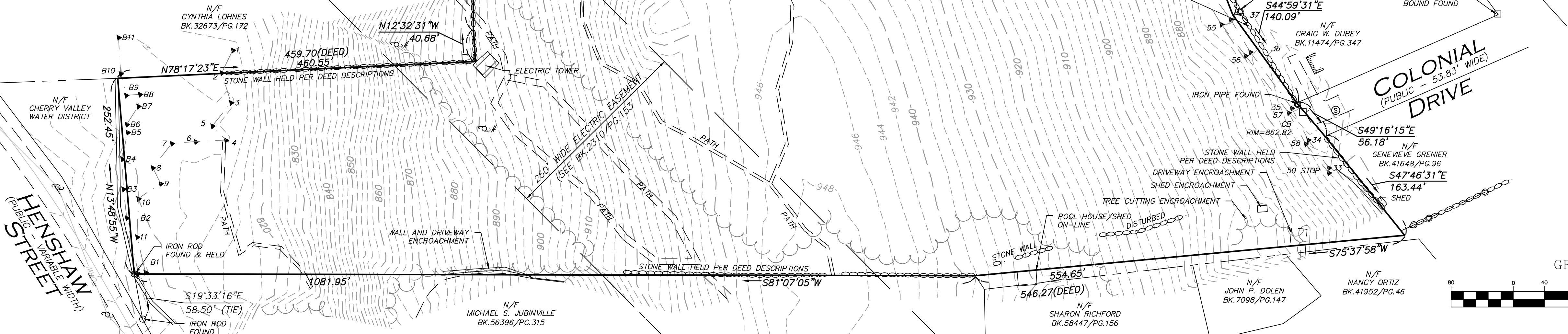
- TOWN OF LEICESTER ASSESSORS MAP 51, LOT B5.1
- RECORD OWNER: EFG REALTY TRUST
- DEED BOOK 16761, PAGE 78
- DEED BOOK 12150, PAGE 247
- DEED BOOK 3160, PAGE 136
- DEED BOOK 3142, PAGE 185
- DEED BOOK 3133, PAGE 297
- DEED BOOK 3117, PAGE 204
- DEED BOOK 3096, PAGE 487
- DEED BOOK 3085, PAGE 328
- DEED BOOK 3085, PAGE 318
- DEED BOOK 3075, PAGE 346
- DEED BOOK 3053, PAGE 61
- DEED BOOK 3052, PAGE 600
- DEED BOOK 3052, PAGE 599
- DEED BOOK 2310, PAGE 153

PLAN REFERENCES

- PLAN BOOK 25, PLAN 4
- PLAN BOOK 178, PLAN 33
- PLAN BOOK 254, PLAN 110
- PLAN BOOK 281, PLAN 59
- PLAN BOOK 357, PLAN 112
- PLAN BOOK 619, PLAN 99
- PLAN BOOK 775, PLAN 2
- PLAN BOOK 794, PLAN 34

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM WORCESTER (SOUTH) REGISTRY OF DEEDS IN WORCESTER, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').



LEGEND	
DRILL HOLE (DH)	⊙
STONE BOUND (SB)	□
IRON PIPE (IP)	○
IRON ROD (IR)	◦
DRAIN MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊙
WATER GATE	⊙
CATCH BASIN (CB)	⊙
WELL	⊙
UTILITY POLE W/LIGHT	⊙
UTILITY POLE	⊙
GUY WIRE	⊙
SIGN	⊙
WETLAND FLAG	⊙
BUILDING	⊙
WETLAND	⊙
BUFFER ZONE	⊙
EASEMENT LINE	⊙
2' CONTOUR	⊙
10' CONTOUR	⊙
PROPERTY LINE	⊙
ABUTTERS LINE	⊙
TREE LINE	⊙
EDGE OF PAVEMENT	⊙
CURB	⊙
CHAIN LINK FENCE	⊙
WATER LINE	⊙
SEWER LINE	⊙
DRAIN LINE	⊙
GAS LINE	⊙
OVERHEAD WIRES	⊙
BITUMINOUS	⊙
CONCRETE	⊙
GRANITE	⊙
NOW OR FORMERLY	⊙
BOOK	⊙
PAGE	⊙

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JANUARY 10, 2021 AND FEBRUARY 9, 2021.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.

ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF LEICESTER ASSESSOR'S INFORMATION.

THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

651 MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 03/08/21

SCALE: 1" = 80' DWG. NAME: S-2889-01-EC

DRAFTED BY: AJR CHECKED BY: NIL

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

100 COMMERCE WAY
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: EXISTING CONDITIONS SHEET NO. V-101

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_LAYOUT & MATERIALS.DWG

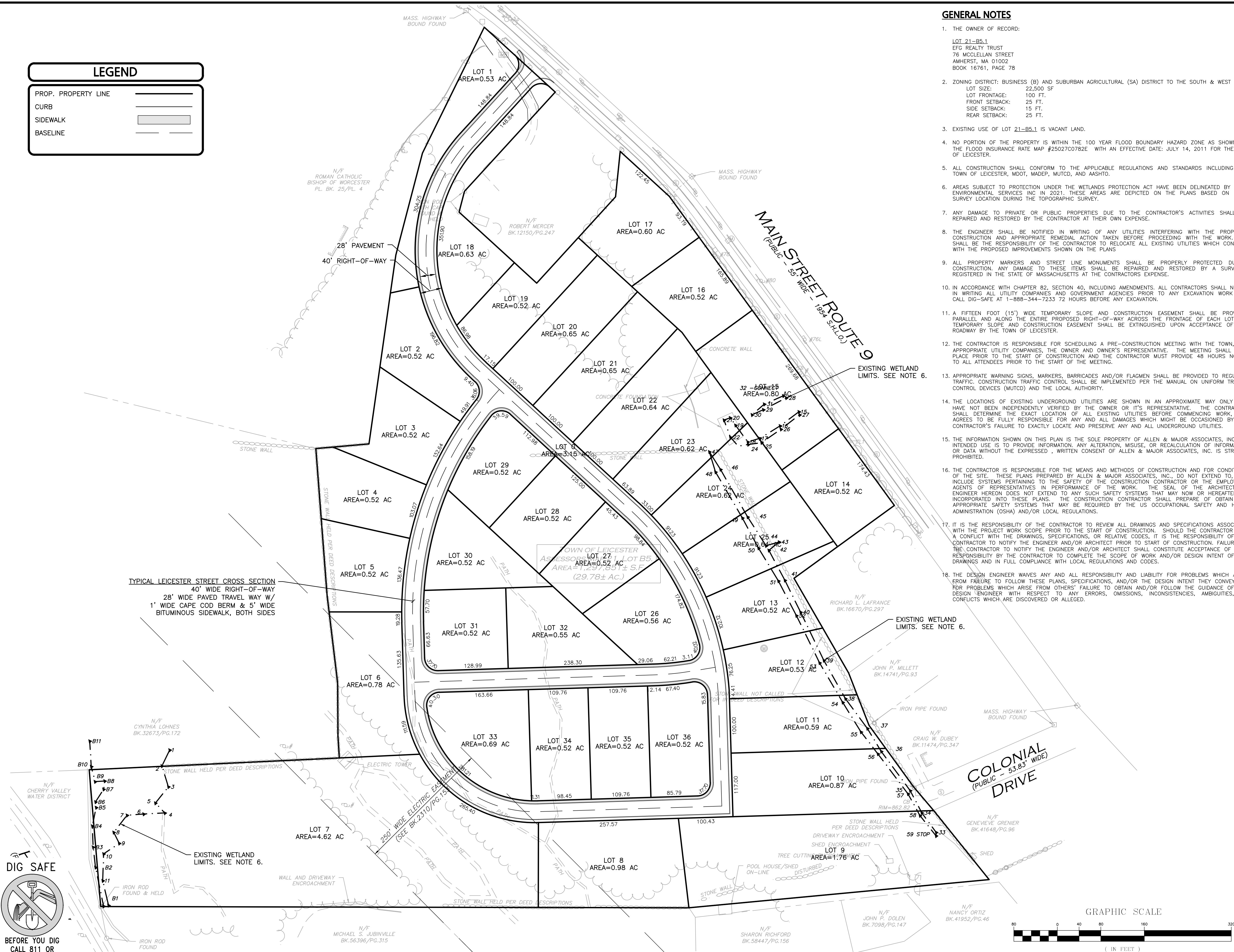
LEGEND

PROP. PROPERTY LINE

CURB

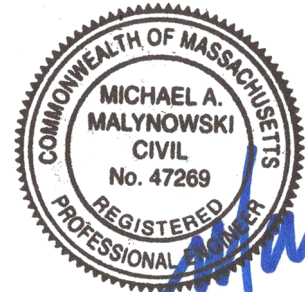
SIDEWALK

BASELINE



GENERAL NOTES

- THE OWNER OF RECORD:
LOT 21-B5.1
EFG REALTY TRUST
76 MCCLELLAN STREET
AMHERST, MA 01002
BOOK 16761, PAGE 78
- ZONING DISTRICT: BUSINESS (B) AND SUBURBAN AGRICULTURAL (SA) DISTRICT TO THE SOUTH & WEST
LOT SIZE: 22,500 SF
LOT FRONTAGE: 100 FT.
FRONT SETBACK: 25 FT.
SIDE SETBACK: 15 FT.
REAR SETBACK: 25 FT.
- EXISTING USE OF LOT 21-B5.1 IS VACANT LAND.
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND ASHTO.
- AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTORS EXPENSE.
- IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
- A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE TOWN, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
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Digitally signed by Michael Malynowski
Date: 2021.04.20 08:23:38 -0400'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 04-20-21

SCALE: 1" = 80' DWG.: C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: PROPOSED SUBDIVISION PLAN
SHEET No. C-101

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LEGEND

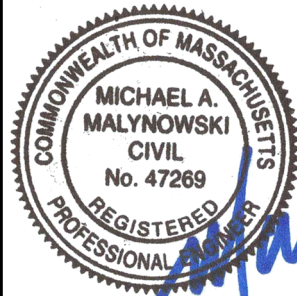
- DRAIN MANHOLE
CATCH BASIN
FLARED END SECTION
DRAIN LINE
10' CONTOUR
2' CONTOUR

APPROXIMATE LOCATION OF
DETENTION/INFILTRATION
BASIN, TYPICAL

MAIN STREET ROUTE 9
(PUBLIC - 55' WIDE - 194' SHOULDER)

GRADING & DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE
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5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
7. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
8. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT
9. ROOF DRAINS SHALL CONNECT TO NEAREST DRAIN STRUCTURE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
10. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
11. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
14. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
15. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
16. ALL UNSURFACED AREAS, DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
17. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH HOODS AND 4 FOOT SUMPS AND SHALL CONFORM TO LOCAL DRAINAGE REQUIREMENTS.
18. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
19. ALL DRAINAGE SHALL CONFORM TO LOCAL AND MADEP REQUIREMENTS.
20. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
21. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
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Digitally signed by Michael
Malynowski
Date: 2021.04.20 08:25:39 -04'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 04-20-21

SCALE: 1" = 80' DWG. : C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

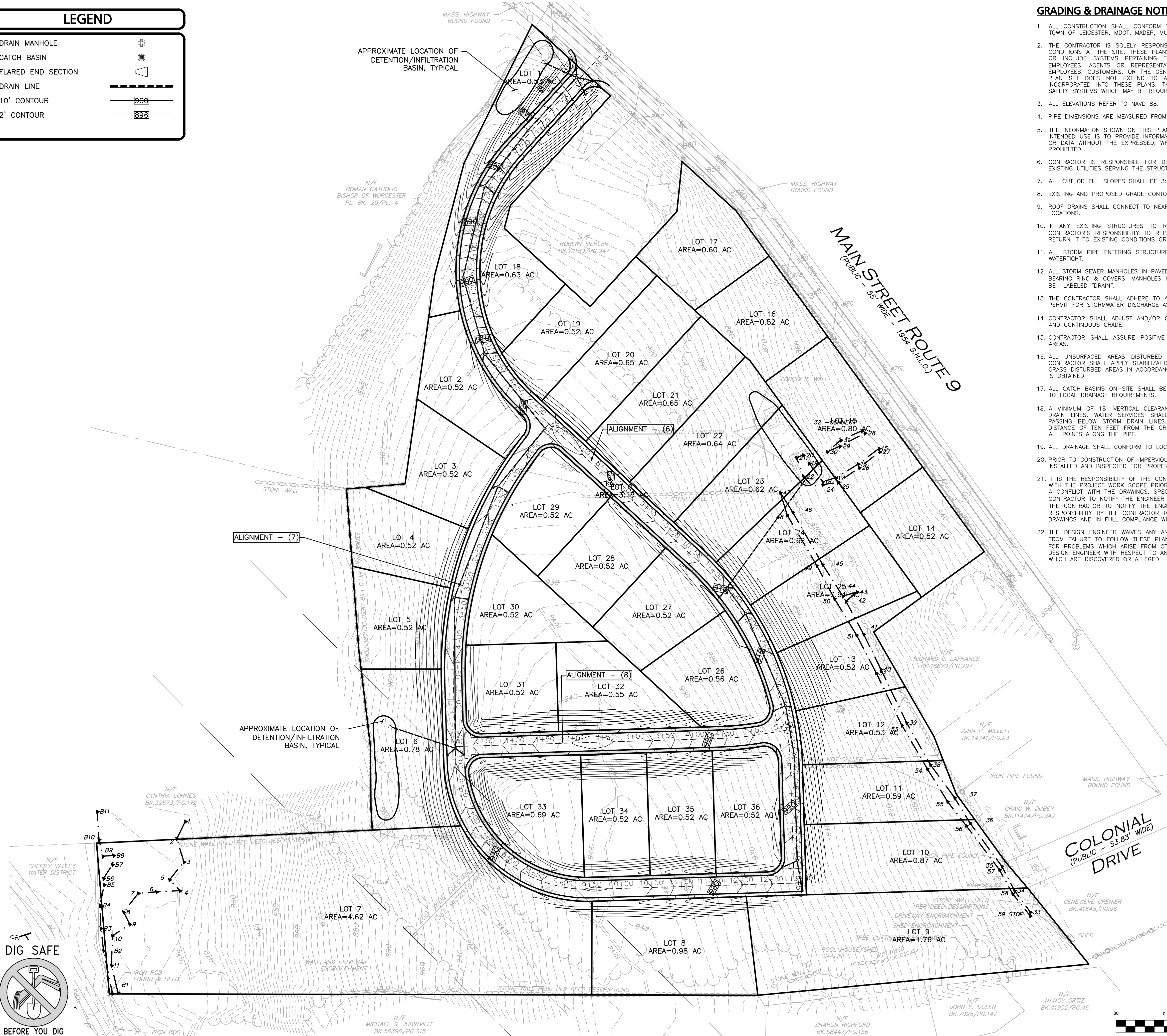
PREPARED BY:

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civil engineering • land surveying
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www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET No. C-102


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R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_GRADING & DRAINAGE.DWG

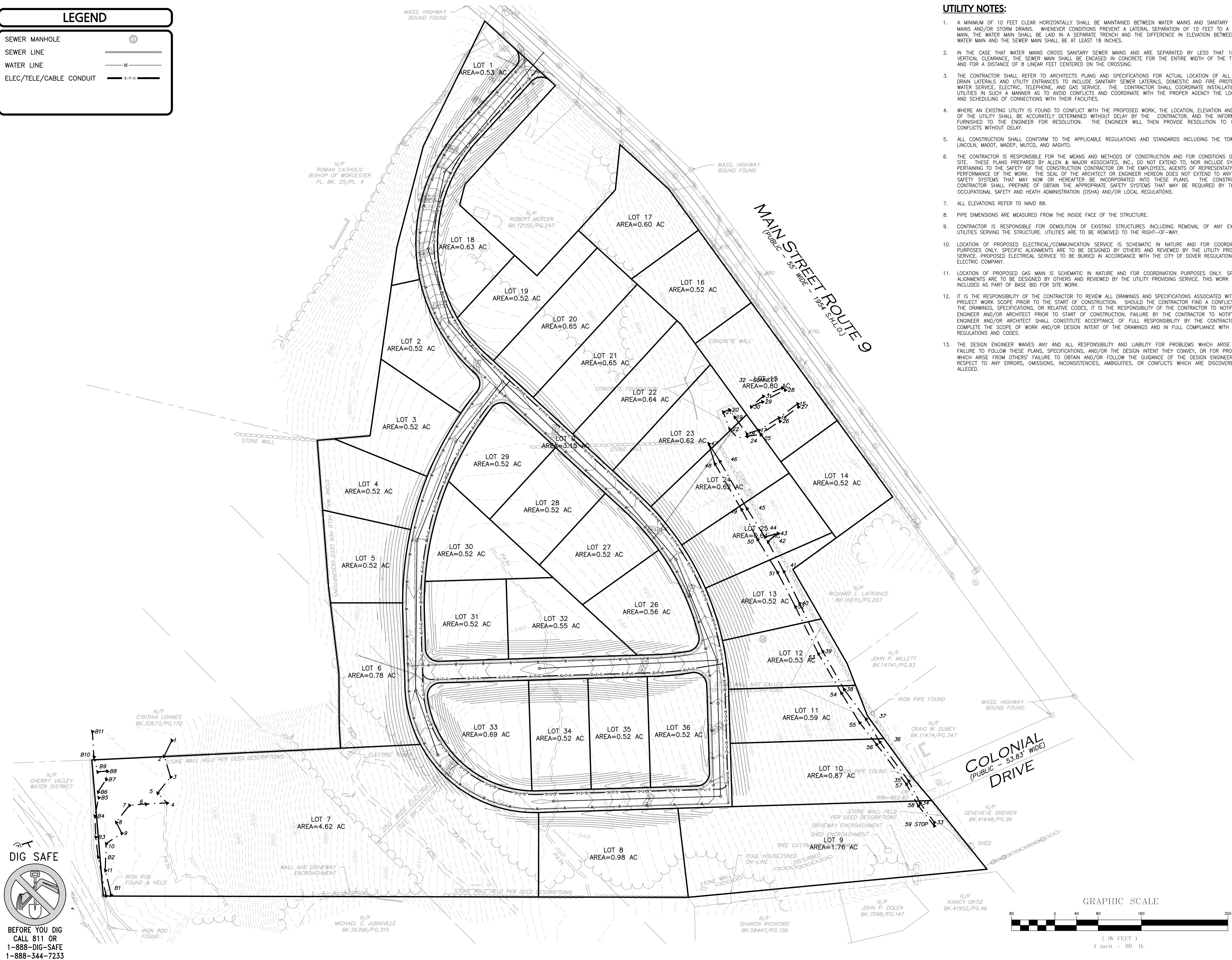
LEGEND

SEWER MANHOLE 

SEWER LINE 

WATER LINE

ELEC/TELE/CABLE CONDUIT



UTILITY NOTES:

1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
5. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LINCOLN, MADOT, MADEF, MUTCD, AND ASHTO.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE, SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OR REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
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10. LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SERVICE ALIGNMENT IS NOT TO BE ASSUMED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE CITY OF DOVER REGULATIONS AND ELECTRIC COMPANY.
11. LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT IMMEDIATELY TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
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Digitally signed by Michael
Malynowski
Date: 2021.04.20 08:26:04 -04'00

Date: 2021.04.20 08:26:04 -04'00

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

PROJECT: SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO.	2889-01	DATE:	04-20-21
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SCALE:	1" = 80'	DWG. : C-2889-01_Uilities
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DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
www.allenmajor.com

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE:

UTILITIES PLAN

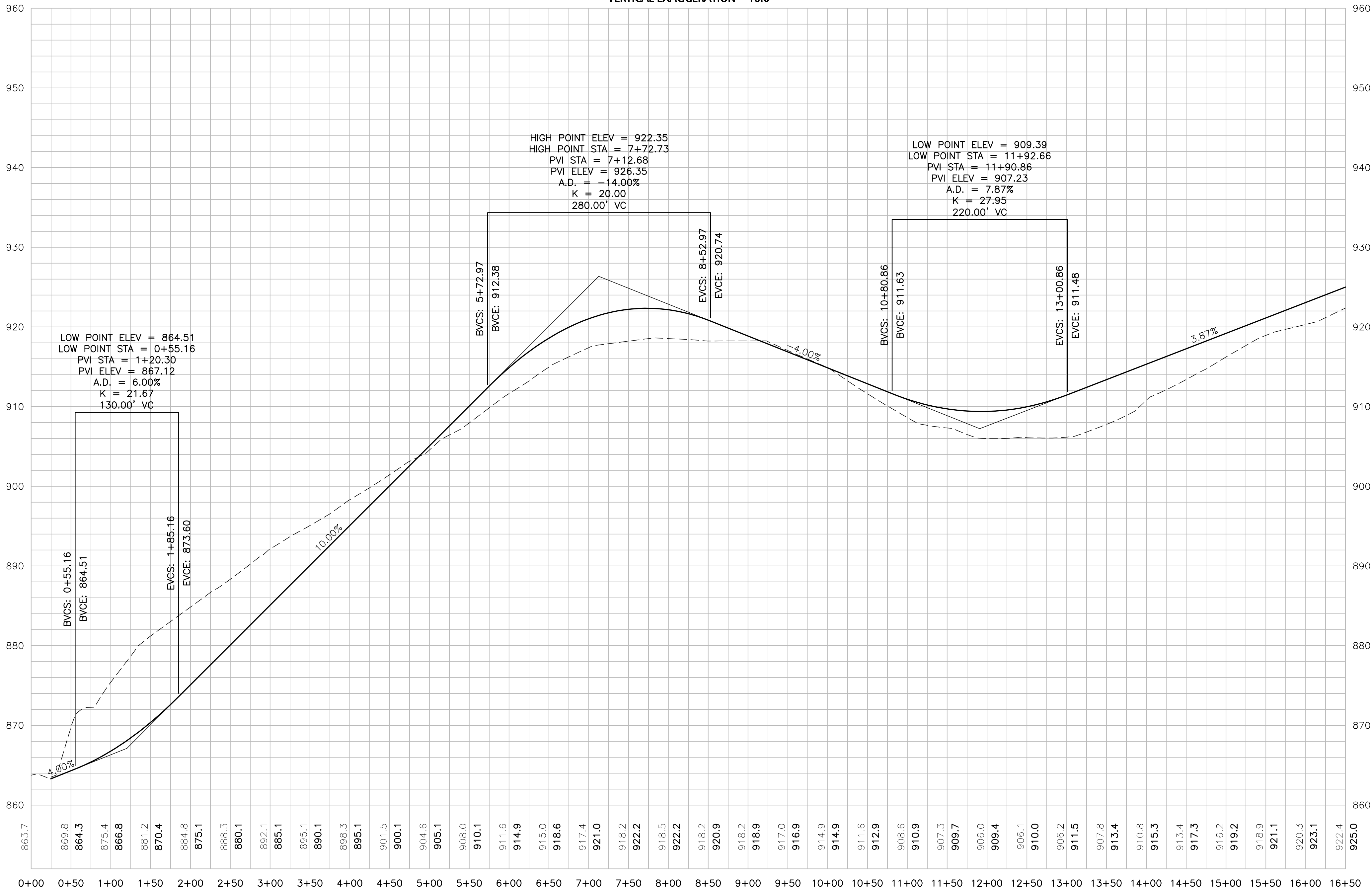
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C-103

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ALIGNMENT - (6) CENTERLINE PROFILE
VERTICAL EXAGGERATION = 10.0

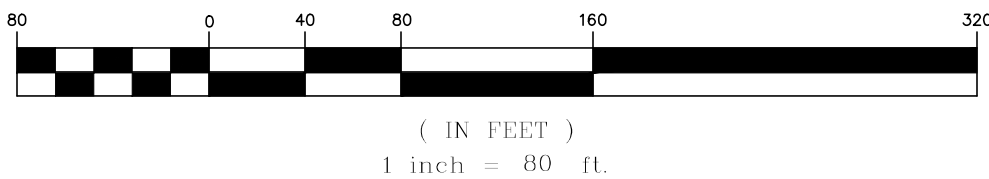


GENERAL NOTES

1. REFER TO SHEET C-102 FOR ADDITIONAL INFORMATION
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3. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
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GRAPHIC SCALE



Digitally signed by Michael Malynowski
Date: 2021.04.20 08:24:07 -04'00'

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 04-20-21

SCALE: 1" = 80' DWG.: C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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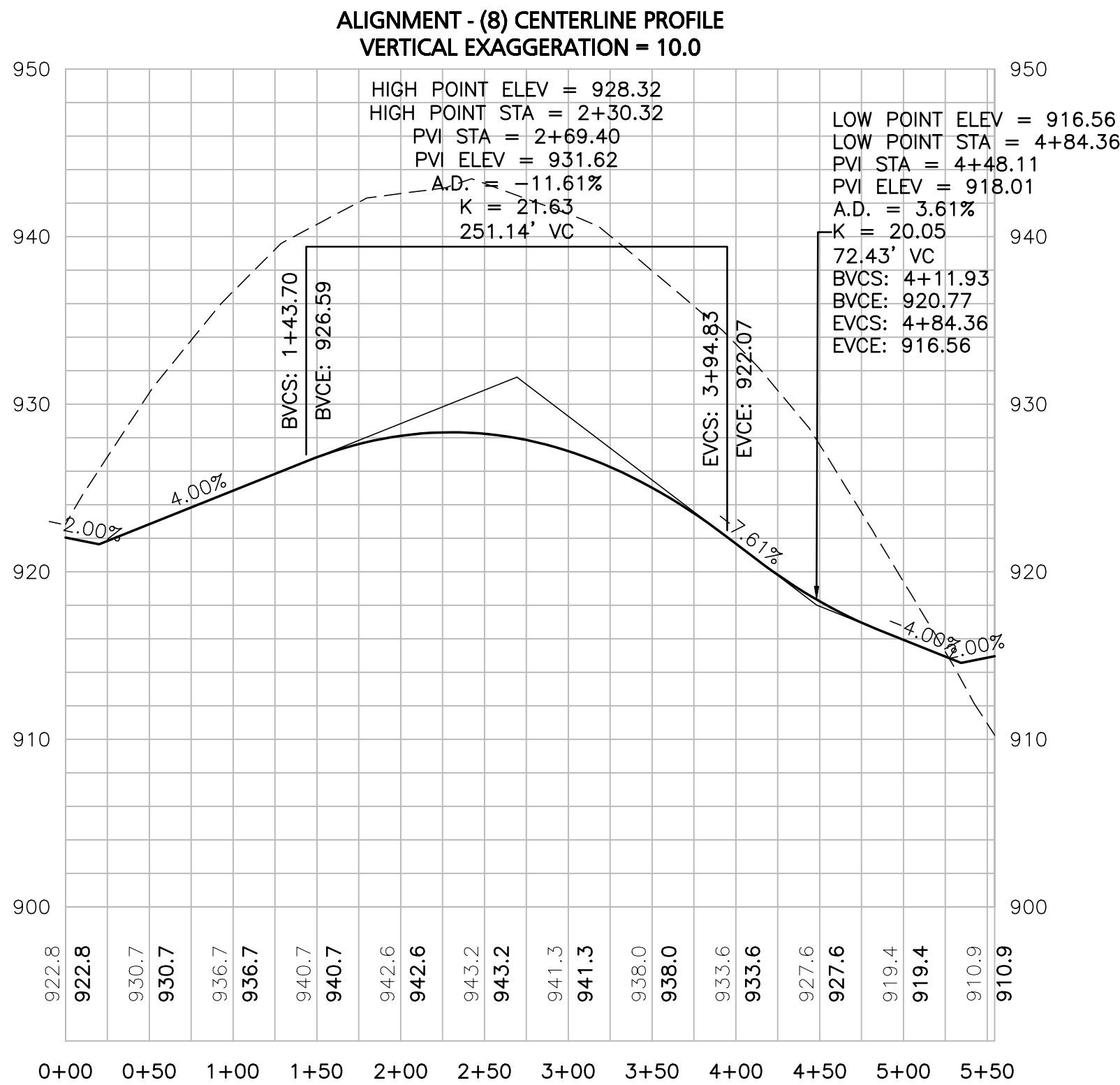
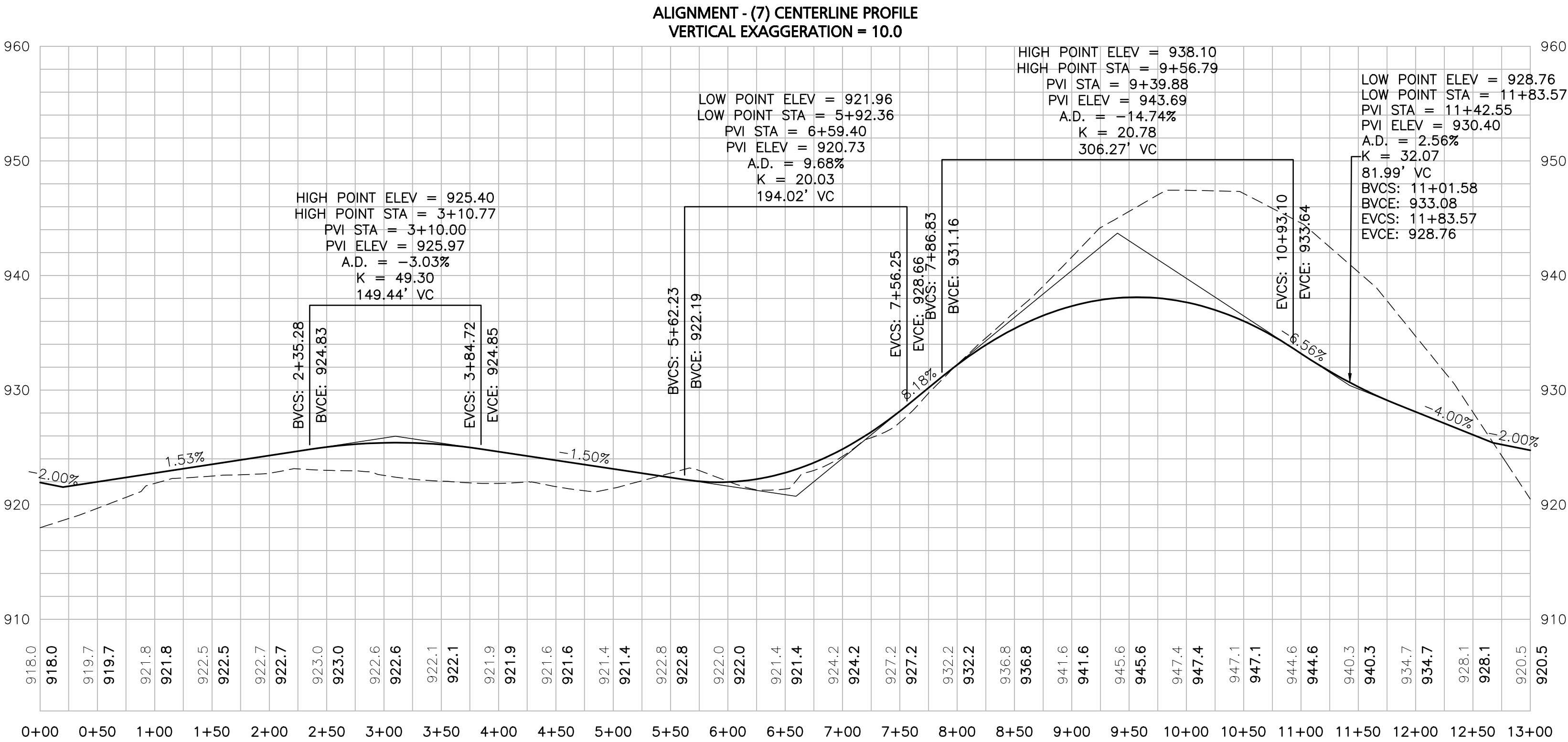
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GENERAL NOTES

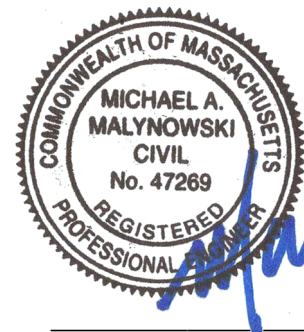
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6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.



Digitally signed by Michael Malynowski
Date: 2021.04.20 08:26:36 -04'00'
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA

PROJECT NO. 2889-01 DATE: 04-20-21
SCALE: 1" = 80' DWG.: C-2889-01_Grading & Drainage
DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: ALIGNMENTS (7) & (8) PROFILES
SHEET No. C-202
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May 6, 2021

Leicester Planning Board
Town of Leicester
3 Washburn Square
Leicester, MA 01524-1333

Re: Skyview Estates
Preliminary Subdivision Plan Review

To the Board:

This office has received the following information related to the preliminary subdivision application for the Skyview Estates project located on the parcel identified as Map 21/B5.1:

- Form B. Application for Approval of Preliminary Plan dated April 20, 2021.
- A memorandum from Joseph H. Wood – Superintendent Leicester Water Supply District, not dated.
- A memorandum from Benjamin Morris, Superintendent Cherry Valley Sewer District addressed to Mr. Grondin, dated March 9, 2021.
- A memorandum from Michael Malynowski, PE of Allen & Major Associates, Inc., addressed to Michelle R. Buck, Town Planner, dated April 20, 2021.
- Set of plans titled “Preliminary Subdivision Plans for Skyview Estates Main Street Leicester, MA 01611” prepared by Allen & Major Associates, Inc. dated April 20, 2021.

These documents have been reviewed with respect to the Subdivision Rules and Regulations, appropriate sections of the Zoning Bylaw and for general engineering practice. The submission has not been reviewed for completeness. Our comments regarding the submission can be seen below with reference to the Subdivision Rules and Regulations where applicable.

Subdivision Rules and Regulations

1. The existing driveway easement serving #747 Main Street must be labeled. (III.2.b.4)
2. The Applicant must identify the distance between the proposed roadway and the existing intersection of Main Street and Waite Street. Street jogs with centerline offsets of 125 feet should be avoided. (V.A.1.e)
3. A centerline radius would be a better design option than the proposed $\pm 90^\circ$ turn at Lot 9 and Lot 10. (V.A.1.f)
4. A 50 foot leveling area has not been provided from the sideline of Main Street along Alignment 6 and has not been provided from the sideline of Alignment 6 along Alignment 8. (V.A.3.b)

5. The proposed roadway configuration could be a public safety concern. The Town's subdivision regulations limit dead end roadways to 500 feet. The proposed subdivision consists of approximately 3,500 feet of internal roadways with a single access to Main Street and proposes a roadway length of approximately 730 feet between Main Street and the first internal intersection. Although not specified on plans, it appears that most lots could support multi-family dwellings, potentially resulting in approximately 70 new dwelling units in the development. The primary concern related to the length of dead end roadways is blockage of the road and the subsequent impact on emergency access and public safety.

The Institute of Transportation Engineers (ITE) publication *Recommended Guidelines for Subdivision Streets* recommends a maximum dead end length of 700 feet for medium to high density developments. The proposed configuration exceeds both the Town's subdivision regulations and ITE's guidelines.

It is recommended that the Applicant investigate the feasibility of providing a second access into the subdivision from Colonial Drive or from another point along the Main Street frontage in order to eliminate the dead end length issue.

This office defers to the Board on how the dead end length is determined, however regardless of how it is determined, the proposed roadway configuration requires a waiver to exceed the dead end length of 500 feet. This office does not recommend considering a waiver request until all options to avoid a dead end in excess of 500 feet have been explored. (V.A.4)

6. A sight distance evaluation must be provided at the definitive plan stage. The Applicant may want to consider evaluating the intersection sight distance at Main Street during this preliminary stage in order to identify potential sight distance issues. (V.A.6)
7. Catch basins must be installed near the corners of intersecting streets. This should be addressed at the definite plan stage. (V.C.4.)
8. The Board may require open space. None is currently proposed. (V.E.)
9. Lots 12, 23, 24 and 25 do not meet the minimum frontage requirement. (V.G.)

General Comments

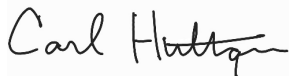
10. The proposed residential uses are not specifically listed on the plan or in the application materials, however, it appears that the lots are sized to accommodate multi-family uses. A special permit is required for multi-family uses in the Business district. (Zoning Bylaw Table 3.2.02)
11. The Applicant must clarify if the proposed roadway construction will violate the terms of the existing driveway easement granted to #747 Main Street. If there is no violation, the Applicant must clarify how the existing driveway access to #747 Main Street will be accommodated. Given the proposed impact to the access of #747 Main Street, the existing development on that property should be depicted on the plan.
12. This office has had experience with other projects where MA DOT prohibits connection to existing drain systems within the State Highway Layout. The Applicant may want to contact MA DOT to review potential connections into the existing drain system as this may affect the proposed drainage design.

13. Roadways should be designed so that low points do not occur near or within intersections as currently proposed in Alignment 7.
14. Swales are proposed along the roadways in areas of earthwork cuts. The plans do not depict a means or removing stormwater from most of the swales.
15. An existing well is depicted on the property. The Applicant must clarify if the existing well is in service and if so, what property does it serve.
16. It is unclear if all of the delineated resource areas are jurisdictional under the Wetland Protection Act Regulations. If jurisdictional, the proposed drain pipe installation and stormwater basin construction in the wetland resource areas on Lot 24 should be avoided if possible.
17. The Applicant should be aware that the property is partially located within the Water Resources Protection Overlay District and should be aware of the requirements of that district. Reference to the district does not appear to be noted on the plan.
18. The submitted narrative identifies a 207 foot dead end roadway and a cul-de-sac. Neither of these appear to apply to the proposed roadway layout.
19. Note 8 on Sheet C-102 should be revised to reflect the 2 foot contour interval provided on the plans.

Requested Waivers

- a. Section VI.B.1.a – Use of HDPE drain pipe in lieu of RCP drain pipe.
At this time, no exception is taken to the proposed waiver request. The Board may want to solicit input from the Highway Department.
- b. Section VI.B.1.b – Elimination of granite headers at catch basins.
At this time, no exception is taken to the proposed waiver request. The Board may want to solicit input from the Highway Department.
- c. VI.G.1 – Sidewalks proposed on only 1 side of the roadway.
This office defers to the Board on the appropriateness of the proposed waiver.

Sincerely,
QUINN ENGINEERING, INC.



Carl Hultgren, PE
Senior Engineer

CC: File

Brooke Hammond

From: Dennis Griffin
Sent: Friday, April 23, 2021 8:06 AM
To: Brooke Hammond
Subject: RE: Request for Comment-Preliminary Subdivision Plan 651 Main St

The access to this project is on a Ma. Dot road and drainage. There is no comment from this Dept. at this time.

From: Brooke Hammond <hammondb@leicesterma.org>
Sent: Thursday, April 22, 2021 12:22 PM
To: jlenner@norton@aol.com; Michael Silva <SilvaM@leicesterma.org>; mwilson@leicesterfireems.org; Ken Antanavica <antanavica@leicesterpd.org>; Dennis Griffin <griffind@leicesterma.org>; Francis Dagle <DagleF@leicesterma.org>; Benjamin Morris <bmorris@cvrwd.com>; Joe Wood <joe@lwsd.net>
Cc: Buck, Michelle <BuckM@leicesterma.org>
Subject: Request for Comment-Preliminary Subdivision Plan 651 Main St

The Planning Board has received a new application, as summarized below. Comments, if any, should be submitted by email to hammondb@leicesterma.org or planning@leicesterma.org.

Type of Application: Preliminary Subdivision Plan
Project Name: Skyview Estates
Location/Description: 651 Main St/ 35 lots, +/- 29.8 acres total
Water/Sewer: Leicester Water Supply District/Cherry Valley Sewer District
Planning Board Meeting Date: 5/18/2021
Deadline for Comments: 5/18/2021

The application & plans are available at the link below:
<https://www.leicesterma.org/planning-board/pages/current-applications-plans>

Brooke Hammond

Planning, Conservation, and ZBA Assistant
 Town of Leicester
 (508) 892-7007
Please note that Leicester Town Hall is closed on Fridays.

Brooke Hammond

From: jlennerton@aol.com
Sent: Thursday, April 22, 2021 12:57 PM
To: Brooke Hammond
Cc: Buck, Michelle
Subject: Re: Request for Comment-Preliminary Subdivision Plan 651 Main St

Follow Up Flag: Follow up
Flag Status: Completed

Regarding the Preliminary Subdivision Plan 651 Main St

These plans do not reflect the location or mention what is referred to on other property deeds in the area as "Old County Road" which is the old Boston Post Road, and is still state property. It passes through this proposed subdivision. Properties on Main St and Monterrey Dr, that runs parallel to Main St do not abut as the road still exits between those properties. This could be a serious legal problem.

Also this is the road that Henry Knox pulled the cannons and ammo from Fort Ticonderoga to Boston over, this could be an archeologically sensitive area as cannons balls have been located along this route.

As an aside, utilizing the town website, only the first two pages for the pdf file were able to be loaded, not 3-7.

Don Lennerton, Chair
 Historical Commission

-----Original Message-----

From: Brooke Hammond <hammondb@leicesterma.org>
To: jlennerton@aol.com <jlennerton@aol.com>; Michael Silva <SilvaM@leicesterma.org>; mwilson@leicesterfireems.org <mwilson@leicesterfireems.org>; Ken Antanavica <antanavicak@leicesterpd.org>; Dennis Griffin <griffind@leicesterma.org>; Francis Dagle <DagleF@leicesterma.org>; Benjamin Morris <bmorris@cwrwd.com>; Joe Wood <joe@lwsd.net>
Cc: Buck, Michelle <BuckM@leicesterma.org>
Sent: Thu, Apr 22, 2021 12:21 pm
Subject: Request for Comment-Preliminary Subdivision Plan 651 Main St

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Brooke Hammond

Planning, Conservation, and ZBA Assistant
 Town of Leicester
 (508) 892-7007

Please note that Leicester Town Hall is closed on Fridays.

Brooke Hammond

From: Ken Antanavica <antanavicak@leicesterpd.org>
Sent: Tuesday, April 27, 2021 10:39 AM
To: Brooke Hammond
Cc: Mike Dupuis
Subject: RE: Request for Comment-Preliminary Subdivision Plan 651 Main St

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Brooke:

I do not see any provision for sidewalks which are absolutely required from a public safety view. I do see the street lights on the plan which I also require. I think fire will require a second street entrance for a project this size. Mike Dupuis is the new fire chief who is cc on the email. Please include him in the loop.

Thank You

*Chief Kenneth M Antanavica
 Leicester Police Department
 90 S. Main St.
 Leicester, Ma 01524
 (508) 892-7010 ext 2010
 Fax (508) 892-7012*

From: Brooke Hammond <hammondb@leicesterma.org>
Sent: Thursday, April 22, 2021 12:22 PM
To: jlenneron@aol.com; Michael Silva <SilvaM@leicesterma.org>; mwilson@leicesterfireems.org; Ken Antanavica <antanavicak@leicesterpd.org>; Dennis Griffin <griffind@leicesterma.org>; Francis Dagle <DagleF@leicesterma.org>; Benjamin Morris <bmorris@cvrwd.com>; Joe Wood <joe@lwsd.net>
Cc: Buck, Michelle <BuckM@leicesterma.org>
Subject: Request for Comment-Preliminary Subdivision Plan 651 Main St

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Brooke Hammond

Planning, Conservation, and ZBA Assistant
Town of Leicester
(508) 892-7007

Please note that Leicester Town Hall is closed on Fridays.

Brooke Hammond

From: Brooke Hammond
Sent: Monday, April 26, 2021 11:51 AM
To: 'mmalynowski@allenmajor.com'
Subject: FW: Request for Comment-Preliminary Subdivision Plan 651 Main St

Please see comments below.

From: Benjamin Morris <bmorris@cvrwd.com>
Sent: Monday, April 26, 2021 11:42 AM
To: Brooke Hammond <hammondb@leicesterma.org>
Subject: RE: Request for Comment-Preliminary Subdivision Plan 651 Main St

Hi Brooke,

In regards to Cherry Valley Sewer District, the applicant has reached out to CVSD and we have informed him that connection to public sewer is available in this location. Once a detailed utility plan is prepared the developer must comply with the Districts Rules and Regulations for plan to be reviewed and approved by CVSD (this is to be done at the Developers cost). Once the plans are reviewed and approved the applicant will be subject to the additional fees set forth by the CVSD Board and the Districts Rules and Regulations for connections and inspections.

If there are any questions please let me know

Benjamin Morris

Benjamin Morris
 Superintendent
 Cherry Valley & Rochdale Water District
 Chery Valley Sewer Disitric
 PO Box 138
 Rochdale Ma. 01524
 508-892-9616 (office)
 508-892-4371 (fax)
bmorris@cvrwd.com

From: Brooke Hammond <hammondb@leicesterma.org>
Sent: Thursday, April 22, 2021 12:22 PM
To: jennerton@aol.com; Michael Silva <SilvaM@leicesterma.org>; mwilson@leicesterfireems.org; Ken Antanavica <antanavicak@leicesterpd.org>; Dennis Griffin <griffind@leicesterma.org>; Francis Dagle <DagleF@leicesterma.org>; Benjamin Morris <bmorris@cvrwd.com>; Joe Wood <joe@lwsd.net>
Cc: Buck, Michelle <BuckM@leicesterma.org>
Subject: Request for Comment-Preliminary Subdivision Plan 651 Main St

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Type of Application: Preliminary Subdivision Plan

Project Name: Skyview Estates

Location/Description: 651 Main St/ 35 lots, +/- 29.8 acres total

Water/Sewer: Leicester Water Supply District/Cherry Valley Sewer District

Planning Board Meeting Date: 5/18/2021

Deadline for Comments: 5/18/2021

The application & plans are available at the link below:

<https://www.leicesterma.org/planning-board/pages/current-applications-plans>

Brooke Hammond

Planning, Conservation, and ZBA Assistant

Town of Leicester

(508) 892-7007

Please note that Leicester Town Hall is closed on Fridays.



Town of Leicester PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

27

SAMPLE DECISION

CERTIFICATE OF APPROVAL OF A PRELIMINARY SUBDIVISION PLAN

Date: March 27, 2018

Project Name: Oak Bluff Lane

Applicant(s): Central Land Development Corporation
Attn: Matthew Schold
31 Whitewood Rd
Milford, MA 01757

Owner(s): Same as Applicant

Location: off Baldwin Street/Oak Bluff Lane, Map 48 - Parcel A1

Deed Reference: Book 57984 / Page 100

Water & Sewer: private wells & septic

Zoning District: Suburban Agriculture (SA)

Number of Lots: 5

An application for Preliminary Subdivision Approval was received by the Planning Board on February 20, 2018, entitled:

Preliminary Plan, Oak Bluff Lane Located off Baldwin Street, prepared by Graz Engineering, LLC., and dated February 20, 2018.

Project Summary:

The plan shows a subdivision located off of Baldwin Street (Oak Bluff Lane). Oak Bluff Lane is a narrow unpaved roadway (varies from 11-14' in width) connecting Baldwin Street in Leicester and Windbrook Drive and Sycamore Ave in Spencer. Five lots are shown on the above-referenced plan. One additional lot on the south side of Oak Bluff Lane (that currently has legal frontage on Baldwin Street) is proposed to use Oak Bluff for frontage and access on the pending Definitive Subdivision Plan. The Applicant is proposing upgrades to the road, including pavement and a new cul-de-sac to allow for new residential development and to seek public road acceptance. The plan as submitted would require the following waivers from Leicester's Subdivision Regulations: minimum centerline radii (200 required/100' and 170' proposed), roadway pavement width (28' required/22' feet proposed), maximum dead-end length (500' maximum/950' proposed), sidewalks (2 required/none proposed), fire cistern (required/none proposed), underground utilities (above-ground utilities proposed).

Decision

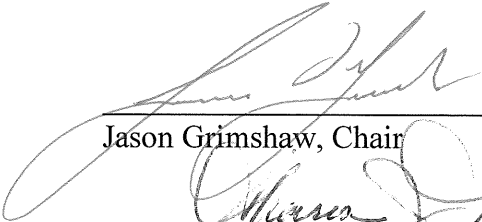
At a duly called and posted meeting of the Leicester Planning Board, held on March 27, 2018, it was voted to approve the above-referenced preliminary subdivision as proposed subject to the following conditions and modifications:

1. The Applicant shall provide a paved road width of 24 feet on the Definitive Subdivision Plan.
2. If the roadway will not be served by Leicester school buses, the Applicant shall provide 1 sidewalk.
3. The Definitive Plan shall clearly show all new residential lots that will have frontage and access on Oak Bluff Lane.
4. The Applicant shall work to address the Highway Department's concern with keeping stormwater/drainage easements free of future obstructions.
5. The Applicant shall provide a fire cistern to the satisfaction of the Leicester Fire Department on the Definitive Plan.
6. The Applicant shall coordinate with the Leicester Post Office and incorporate their preferences with mailbox locations into the Definitive Plan.
7. If the Fire Department requires a 100 foot radius cul-de-sac on the Definitive Plan, the Applicant shall show a grass/landscaped island at the center of the cul-de-sac to minimize impervious surface.

g:\town planners office\subdivisions\oak bluff lane\decisions-amendments\oak bluff lane preliminary decision.docx

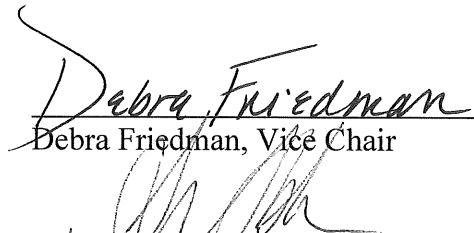
RECORD OF VOTE

The following members of the Planning Board vote to approve this Preliminary Subdivision Plan subject to the above-stated terms and conditions:


 Jason Grimshaw, Chair


 Sharon Nist


 Andrew Kularski


 Debra Friedman, Vice Chair


 Alaa Abusalah

Copy of Decision sent to:

Applicant *

Owner

Town Administrator

Conservation Commission

Historical Commission

Applicant's Attorney (where applicable)

Building Inspector

Quinn Engineering

Assessors Office

Applicable Water District

Board of Health

Police Department

Fire Department

Highway Department

Applicable Sewer District

Applicant Engineer

* by certified mail

PROJECT INFORMATION, Continued

Size of Proposed Structure(s):		
Total Lot Area:		
Water Source: (Select One)	<input type="checkbox"/> Private Well	<input type="checkbox"/> Cherry Valley & Rochdale Water District
	<input type="checkbox"/> Hillcrest Water District	<input type="checkbox"/> Leicester Water Supply District
Sewer Source: (Select One)	<input type="checkbox"/> Private Septic System	<input type="checkbox"/> Cherry Valley Sewer District
	<input type="checkbox"/> Hillcrest Water District	<input type="checkbox"/> Leicester Water Supply District
	<input type="checkbox"/> Oxford Rochdale Sewer District	
Brief Project Description: Please include a brief description on this form (i.e. do not write "see attached"). [Examples: New construction of a 20,000s.f. retail building and associated parking; Use of a 1,000s.f. portion of an existing structure for a proposed pet grooming clinic.]		

Application Checklist

Use this checklist to ensure you have provided all required information. See Planning Board Site Plan Review & Special Permit Regulations for details. 13 copies are required except where noted.

<input type="checkbox"/> Plans (2-full-size & 11-11"x17")	<input type="checkbox"/> Detailed Project Narrative including any waiver requests ¹	<input type="checkbox"/> Drainage Analysis/ Stormwater Report, (3 copies) <input type="checkbox"/> n/a
<input type="checkbox"/> Documentation of Availability of Water & Sewer <input type="checkbox"/> n/a	<input type="checkbox"/> Certified Abutters List (1 copy) ² <input type="checkbox"/> n/a	<input type="checkbox"/> Traffic Study (3 copies) <input type="checkbox"/> n/a
<input type="checkbox"/> Fees ³	<input type="checkbox"/> .pdf copy of all required submittals (CD or USB Drive)	

¹ See Planning Board Site Plan Regulations for details on what should be included in a Project Narrative. For special permits that don't require conformance with Site Plan Review submittal requirements, submit a narrative explaining conformance with special permit approval criteria (see Special Permit Regulations for details).

² certified abutters lists are required for all Special Permits applications and for Major Site Plan Review Applications (new construction over 30,000 s.f. and ground-mounted solar over 250,000 s.f or 2 acres or more of tree clearing)

³ Please refer to the Planning Board's Fee Regulations. Checks must be made out to the Town of Leicester

For Planning Board Use:			
Date of Submittal:			
Public Hearing/Meeting Date(s):			
Date of Planning Board Vote:			
Date Decision Filed with Town Clerk:			

Leicester Planning Board Site Plan Review & Special Permit Application Form

PERMIT TYPE: ☐ Special Permit ☐ Site Plan Review

CONTACT INFORMATION

Owner Information			
Name:		Company Name:	
Signature:			
Address:			
Phone:		Email:	
Applicant Information			
Name:		Company Name:	
Signature:			
Address:			
Phone:		Email:	
Primary Contact Person <small>(The person that will be contacted by Planning Board staff during the application process.)</small>			
Name:		Company Name:	
Address:			
Phone:		Email:	

PROJECT INFORMATION

Project Address:		Zoning District:	
Assessors Map & Parcel #		Deed Reference (Book & Page):	
Applicable Zoning Bylaw Section(s):			
Proposed Land Use:			
Existing Land Use:			

We are Patrick Flynn and Jennifer Wright, owner/operators of Black Sheep Bah-Bah-Q & Kitchen LLC, a newly re-built BBQ Smoker trailer with a full kitchen. We recently signed a lease with the owner of 1535 Main Street, Leicester, MA in order to use the property as a semi-permanent vending location through the end of October with a month to month agreement afterwards.

Our Lease Agreement details that we will be using only part of the land, from the back of the existing building forward to the road. We will not be occupying the building and, in fact, the property owner has said that he will be responsible for boarding it up so access is unavailable to the public.

Our trailer is equipped with two propane tanks to fuel the indoor kitchen equipment, and a generator to supply electricity to the refrigeration, etc. The smoker unit is a 6' wood fired smoker located at the front of the trailer itself. We will be bringing and securely storing all our water, both potable and non, as well as removing all grey and black water from the premises in approved storage and transport containers.

There is 400 feet of street frontage on this property, allowing for ample traffic to safely flow in and out at opposite ends. We propose angled parking for about 15 cars along the roadside. Our trailer will be placed at the approximate midpoint of the building to allow for plenty of room for people to approach the trailer, order and pick up food.

Our business model allows for online ordering, so some situations will be simply pick-up. We would like to place some picnic and or high top tables within our leased space to accommodate guests that would like to enjoy their food on the spot. We will be smoking meat and preparing all other items on the vehicle. We would potentially be open for business Tuesday through Sunday during both lunch and dinner times. Our Mobile Food Establishment Application and supporting documents have been submitted to Mr. Dagle and the Board of Health as has our New Business License Application.

We look forward to opening up as soon as possible, please let me know if there are any other documents you require.

Thank you,

Jennifer Wright & Patrick Flynn
Black Sheep Bah-Bah-Q & Kitchen LLC

**LEICESTER PLANNING BOARD
MEETING MINUTES 4/20/2021**

MEMBERS PRESENT: Jason Grimshaw (Chair), Debra Freidman (Vice-Chair), Sharon Nist, James Reinke (Associate Member)

MEMBERS ABSENT: Jami-Lyn Souza

STAFF PRESENT: Michelle Buck, Town Planner; Brooke Hammond, Department Assistant

TIME: 7:00 PM.

ORDER OF BUSINESS*

1. 7:00PM **Public Hearing, Special Permit**
803 Main St, Afro Evolution Steppers (SP2021-04), reuse of existing structure for dance studio and hair braiding salon (Applicant: Candice Pabarroo)
2. 7:15PM **Public Hearing, Special Permit/Site Plan Review**
704 Main St (aka 710 Main), SP2021-05, 3 duplexes, renewal of expired permit (Applicant: Paul Doray)
3. 7:30PM **Continued Public Hearing, Special Permit**
WorcShop/11 Hankey Street (SP2021-03), Makerspace (Applicant: The WorcShop)
4. 8:00PM **Adoption of Minutes:**
 - March 16, 2021
5. 8:15PM **Town Planner Report/General Discussion:**
 - A. Open Space & Recreation Plan Survey
 - B. Miscellaneous Project Updates
 - C. Board Member Committee Updates
6. **Adjourn**

The meeting was called to order at 7:00 PM.

1. Public Hearing, Special Permit – 803 Main St/Afro Evolution Steppers

[Mr. Grimshaw reads the public hearing notice.]

Ms. Pabarroo, the applicant, plans to open a dance studio and hair salon in the existing building at 803 Main St. A variety of dance classes will be held on the first floor. Choreographers will direct the classes, and Ms. Pabarroo will be doing hair braiding herself in the salon on the second floor. Ms. Buck asks Ms. Pabarroo to provide a more detailed parking plan, along with the exact number of parking spaces.

Ms. Pabarroo notes there would only be one class at a time. Ms. Friedman asks if parents will have the options to watch their children's dance classes. Ms. Pabarroo says when COVID restrictions are lifted, yes. Ms. Freidman asks if it's possible for employees to park behind the building to save the front lot for visitors. Ms. Pabarroo says she and her employees can park in back, as the other tenants in the building don't have customers.

Ms. Friedman asks what the projected business hours will be. Ms. Pabarroo says it will be 3 pm to 7 or 8 pm, with some extended hours for adult classes. Ms. Nist asks what the age range of dancers will be. Ms. Pabarroo says her focus during this start-up period is kids ages 3 to 18. She wants to incorporate some adult classes once the studio is established. She also wants to offer wheelchair yoga in the future. Ms. Nist asks if the snow and trash removal will be handled by the landlord. Ms. Pabarroo states those services are included in the rent. Mr. Reinke asks if there is adequate accessibility i.e. if the building is ADA compliant. Ms. Pabarroo says there is a lift to the second floor as well as a ramp outside the front door. Mr. Reinke asks about the occupancy load of the space. Ms. Buck says the occupancy load would be about 90, and notes the Board is normally flexible in applications involving building reuse.

Ms. Friedman notes that the previous business in this space was not open after dark, so more exterior lighting may need to be added. Ms. Pabarroo says there is lighting by the front door as well as streetlights along the road and is willing to add motion-activated lighting. Ms. Nist asks about traffic patterns entering and exiting the parking lot; she would like to see one entrance and one exit each with appropriate signage.

Motion: Ms. Friedman moves to continue the hearing to May 4, 2021 at 7:15 PM.

Second: Ms. Nist

Discussion: The Board lists the materials they are asking the applicant to provide: a lighting plan, traffic plan, parking delineation, and occupancy capacity. Ms. Nist asks if a traffic study is necessary. Ms. Buck says the Planning Board has typically only required traffic studies for larger business with higher traffic volume, so it's not recommended at this site.

Roll-Call Vote: (4-0-0)

2. Public Hearing, Special Permit/Site Plan Review – 704 Main St

[Mr. Grimshaw reads the public hearing notice.]

Mr. Doray explains that this project was previously approved by the Planning Board in 2019. Mr. Doray had to re-apply for a special permit rather than file for an extension, but there are no changes to the plan otherwise. One building was built and the applicant is looking to start construction on the other three proposed buildings. Ms. Buck has no concerns with the project.

Motion: Ms. Friedman moves to approve the special permit.

Second: Ms. Nist

Discussion: Ms. Buck removed conditions that addressed issues already completed, but otherwise the decision is the same as 2019 decision.

Roll-Call Vote: (4-0-0)

3. Continued Public Hearing – 11 Hankey St/WorcShop

Ms. Buck says the meeting packet includes only new submittals from the WorcShop (not original submittals). A draft decision was included as well, but Ms. Buck wants the Board to spend time going over project-specific conditions.

Mr. DeSota met with Ms. Buck after the last meeting and says the new submittals address the Board's concerns. There is a more detailed lighting plan, including an emergency lighting plan for the interior and lighting along the side of the building for the emergency access lane. A noise

control policy that will be added to the WorcShop training manual is also included. A noise study using the professional equipment was conducted as well. Mr. DeSota says because of the building's position, at the nearest property line the noise level is no louder than that of a household refrigerator.

Mr. DeSota says the WorcShop will not be doing any automotive work in the near future. A list of all potential hazardous waste materials was provided to the Board in the meeting packet, along with a fire & safety narrative, and plans for both sprinkler and fire alarm systems. A designated fire lane around the building was noted on the plans as well as a parking plan with delineated spaces and appropriate signage. The last submission was an event planning narrative.

Mr. Reinke asks if there is still a cease and desist on doing work at this property. Ms. Buck says Valenti Precision is permitted to conduct business in the building, but the WorcShop is still under the cease and desist. Mr. Reinke states during a recent site visit he saw car motors and chicken coops outside the WorcShop. Mr. Meraki says no one is using the space inside the WorcShop, any materials outside are members personal belongings. Mr. Reinke asks what is being stored in the storage units outside the building. Mr. DeSota says that materials from the previous location were brought in storage units and have not yet been unloaded because of the cease and desist. Mr. Meraki adds that only 3 of the storage containers have materials from the previous location, the other containers will be removed from the property once work is permitted to resume.

Ms. Freidman asks if any work will take place outside the building. Mr. DeSota says that is not the intent and all work should take place inside once the WorcShop is operational. Outdoor storage of equipment, lumber, fuel, and waste is anticipated. Ms. Friedman notes that the outdoor storage is not designated on the plan. Ms. Friedman says outdoor storage will impact the emergency access lane and parking around the building. Mr. Meraki says materials that are dropped off outside will be transferred inside within a reasonable time frame, and the only outdoor storage will be that which was mentioned. Ms. Nist asks that temporary storage locations be added to the plan as well.

Mr. DeSota and Mr. Meraki agree that an area inside can be designated for incoming shipments of materials, but the shipping containers will stay outside temporarily while the WorcShop gets set up. Ms. Nist asks if they are expecting any shipments during this start-up period. Mr. Meraki says there will be shipments with materials for building improvements like the fire and sprinkler systems. Ms. Nist asks if shipments will be dropped off during normal business hours. The WorcShop team says all current and future deliveries will take place during daytime hours. Mr. Reinke requests a plan that includes the quantity and location of all outdoor storage containers. Ms. Nist wants to ensure temporary storage doesn't end up being permanent. Mr. DeSota suggests that the decision could be conditioned to address storage containers. Ms. Nist says she agrees to allowing storage containers on site, but no RV's or campers. Mr. Reinke mentions an RV he saw by the building during his site visit. Mr. DeSota says this is a member who invents electrical mechanisms for his RV. Mr. Reinke says RV repairs are considered an automotive use. Mr. DeSota says welding shops often modify vehicles, but no mechanical or car maintenance work will be going on in the WorcShop.

Ms. Nist says she still has concerns about WorcShop operating 24 hours a day. Mr. DeSota says limited hours would deprive members of the opportunity to work on their hobby or business when creativity strikes. He says most activity takes place during the day, but some members will

need to visit during non-business hours. Mr. Grimshaw notes that most makerspaces are in industrial areas, whereas 11 Hankey St is surrounded by residential homes. The Board agrees the WorcShop's location is the reason for reservations over allowing a 24-hour operation.

Ms. Freidman says in other 24-hour makerspaces there is a tendency to have people living inside the building. She wants to make sure this does not happen at the WorcShop. The draft permit decision includes a condition which strictly prohibits any kind of residency in the building, which Mr. Meraki says they will commit to enforcing. Mr. Reinke asks the applicant how they plan to enforce these conditions when they are currently unable to enforce a cease and desist order to halt activity on the property. Mr. Meraki says since the cease and desist his ability to pay staff has been curtailed, hence the lack of employee supervision on site. Ms. Friedman notes there should not be any members on the property at all if a cease and desist order is in place, so inability to pay staff is not relevant. Mr. Meraki states the only activity going on now is members retrieving their personal belongings from the property.

Mr. Reinke says 24 hour a day business model is not normally accepted in Leicester or by the Planning Board. Mr. DeSota asks the Board to propose business hours they would deem acceptable; he says the WorcShop's business model has always revolved around them being open 24/7, and asks why the Board did not propose a condition cutting business hours in the first hearing on March 6th.

Mr. Grimshaw says he would agree to 24/7 if the occupancy and rule enforcement issues can be fully resolved. Ms. Friedman says the prior disregard of Leicester's regulations by the WorcShop is her reason for being cautious when considering the special permit. Mr. DeSota and Mr. Meraki say they will commit to enforcing all rules put in place. They plan to increase security by limiting key distribution and installing member key-card scanners at the doors, as well as increasing enforcement efforts.

Mr. Grimshaw asks the Board if their other concerns such as noise and lighting from the last meeting have been addressed. Ms. Friedman says she wants to wait for approval from the Fire Chief. Ms. Buck says she is waiting to hear back from the Fire Department, but that Mike Wilson has been in touch with the fire alarm company.

Public Comments

Patrick Carroll, a former WorcShop member, says operating only during standard business hours would be restrictive to current WorcShop members. He suggests 24/7 business hours with activity restrictions at night as a potential condition.

David Webb spoke in opposition to the project and says the WorcShop has a history of disregarding rules and that this will not stop.

Motion: Ms. Friedman moves to continue the hearing to May 4, 2021 at 7:30 or as soon thereafter can be heard.

Second: Ms. Nist

Discussion: The Board requests an updated plan for storage and lighting cut sheets, as well as approval from the Fire Department regarding the emergency access lane.

Mr. DeSota says he wants to address the 24-hour operation concern before the next meeting. Ms. Freidman suggests a 6-month trial period with 6 am-12 midnight business hours, with a shift to 24/7 hours after a successful trial period. Mr. Meraki asks if the Board would allow 24/7

operation if the WorcShop was always fully staffed. Ms. Nist says a trial period is necessary for the WorcShop to prove they will follow the conditions set forth by the Board. Mr. Reinke raises concerns related to a letter of opposition to the project. Ms. Buck notes that the issues raised in that letter that are unrelated to criteria in the Zoning Bylaw should not be considered by the Board.

Roll-Call Vote: (4-0-0)

4. Adoption of Minutes

Motion: Ms. Nist moves to accept the minutes from March 16, 2021.

Second: Ms. Friedman

Discussion: None

Roll-Call Vote: (3-0-0)

5. Town Planner Report/General Discussion

A survey for the 2021 Open Space and Recreation Plan are available online and hard copies will be places at the Town Hall, Library, and other locations. The survey deadline is May 7th.

Capital Improvement met and sent their rankings to the Select Board and Finance Advisory Board.

Economic Development Committee had a presentation about Leicester's local rapid recovery plan which addresses economic impacts to local businesses from COVID.

Mr. Carroll, who wants to open a machine shop at 760 Pleasant St says he is still working with Ms. Buck and the Building Inspector to figure out acceptable uses in the zoning district.

6. Adjourn

Motion: Ms. Nist

Second: Ms. Friedman

Discussion: None

Roll-Call Vote: (4-0-0)

The meeting was adjourned at 9:09 PM.

Respectfully Submitted,

Brooke Hammond, Department Assistant

Documents included in the meeting packet:

- Agenda
- Town Planner Memo
- 803 Main St/Afro Evolution Steppers:
 - Hearing Notice
 - Application
 - Project Narrative
 - Abutters List
 - Photos and Maps

- Email from Michelle Buck to Applicant dated 4/13/2021
- Building Inspector comments dated 4/13/2021
- LWSD comments
- Fire Department Comments dated 3/24/2021
- Police Department comments dated 3/24/2021
- Draft Special Permit Decision dated 4/14/2021
- 704 Main St:
 - Hearing Notice
 - Application
 - LWSD memo dated 10/30/2018
 - CVSD memo dated 11/8/2021
 - Project Narrative
 - Building Plans
 - Abutters List
 - Board of Health memo dated 4/5/2021
 - Police Department comments dated 4/5/2021
 - CVSD dated 4/5/2021
 - Highway Department comments dated 4/5/2021
 - Draft Special Permit Decision dated 4/14/2021
- WorcShop/11 Hankey St:
 - Email from Ethan DeSota dated 4/14/2021
 - Fire and Safety Narrative dated 4/14/2021
 - Email from Colby Fire Protection Inv to WorcShop dated 4/14/2021
 - Occupancy Plan
 - Event Planning Narrative
 - Lighting Plan Narrative
 - Courteous Neighbor Policy
 - Noise Study dated 4/14/2021
 - Hazardous Material Storage and Handling Narrative
 - Revised Traffic Control/Parking Plan
 - 3/16/2021 meeting minutes