



## Town of Leicester PLANNING BOARD

3 Washburn Square  
Leicester, Massachusetts, 01524-1333  
Phone: 508-892-7007 Fax: 508-892-7070  
www.leicesterma.org

### PLANNING BOARD AGENDA Tuesday, November 30, 2021 @ 7:00PM

<i>In-Person</i>
<b>Meeting Room 3 Leicester Town Hall, Lower Level</b>

#### ORDER OF BUSINESS\*

1. 7:00 PM **Public Hearing, Special Permit**  
SP2021-08, 1603-1605 Main Street, (gas station, convenience store, fast food restaurant w/ drive through, self-storage building.) Applicant: Skaff Fuels, Inc.
2. 7:15 PM **Public Hearing, Special Permit Amendment, Continued**  
SP2019-02, Smuggler's Cove Open Space Residential Development (reduction in road length & # of lots), Applicant: Central Land Development Corp.
3. 7:30 PM **Definitive Subdivision Plan & Special Permit**  
DSUB2021-02/SP2021-08, Skyview Estates, 651 Main Street, (74-unit residential subdivision, mix of duplex & multi-family structures), Applicant: MKPEP770, LLC.
  - *Request to withdraw the Definitive Subdivision Plan application*
  - *Request to extend the Special Permit decision deadline*
4. 7:45 PM General Discussion:
  - Miscellaneous Project Updates
  - Board Member Committee Updates
  - Upcoming Meeting Dates

#### Adjourn

**\*Note: Agenda times for items that are not public hearings may be taken out of order.**

"The listings of matters are those reasonably anticipated by the Chair 48 hours before said meeting, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law"



# Town of Leicester PLANNING BOARD

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Leicester, Massachusetts, 01524-1333  
Phone: 508-892-7007 Fax: 508-892-7070  
www.leicesterma.org

## Memorandum

**TO:** Planning Board Members  
**FROM:** Alaa Abusalah, Town Planner  
Brooke Hultgren, Department Assistant  
**DATE:** November 29, 2021  
**RE:** **Planning Board Applications – November 30, 2021**

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All application materials are available online (Planning Board page under Current Applications/Plans).

### **SP2021-08, 1603 – 1605 Main Street – Skaff Fuels Inc.**

Zoning District: HB-1

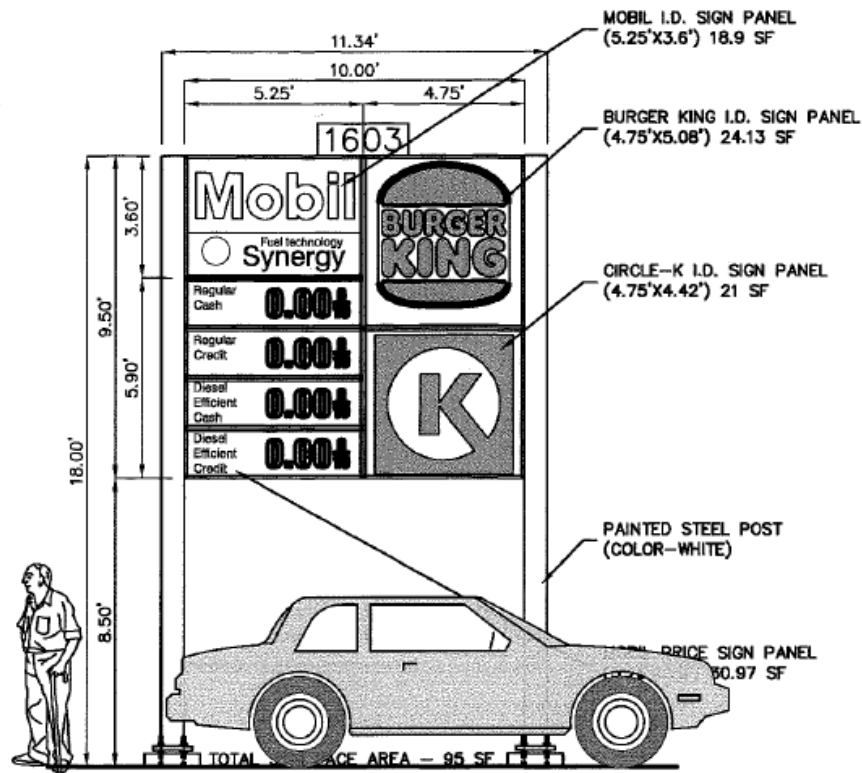
Proposal Overview: The site is a vacant/cleared lot opposite of the Walmart (Soojians Drive) entrance. The proposal seeks to construct two commercial buildings:

1. Three-story self-storage building with a footprint area of 10,000 square feet, 100 storage units/foot, 300 total units of varying sizes.
2. One-story fast-food restaurant and drive-thru with a footprint area of 4,996 square feet, and a gas station/convenience store with five auto fueling islands

Requests: Site Plan Review, Stormwater Permit, Special Permits (Section 3.2.03-7 Gasoline Station; Section 3.2.03-11 Drive-Through Facility; Section 3.2.03-13 Rental Enclosed Self-Storage Facility), and Waiver for buffer size.

### ZBA Status:

- Variances granted for curb cut and a 95 sq. ft. standing sign (rendering below).



Sign - 95 Square Feet

## REVISED VARIANCE REQUEST

### New/Updates:

- At the 11/16 Planning Board meeting, the Board requested colorized self-storage elevations, snow storage locations, vacuum location, sidewalk potential.
- Revised plans, dated November 19 (**attachment: 1603-1605 Main St. – 00047 Site Plan 11-19-21**) – Amended plans (see sheet 4) include designated parking area near Main St. in front of the self-storage building as snow storage. The vacuums have been moved away from the residential abutter and placed in front of the self-storage building, the air station is shown adjacent to the EV charging area. The Applicant notes that a sidewalk could be constructed in the future within the "Proposed Permanent Highway Easement".
- Comments from Quin Engineering, dated November 24 (**attachment: 1603-1605 Main St. - Quinn Comments – PB 11-24-21**)

**DSUB2021-02/SP2021-08, 651 Main Street – Skyview Estates, MKPEP770, LLC**

Definitive Subdivision Plan & Special Permit: residential subdivision, mix of duplex & multi-family structures. Based on recent modifications to the proposal, the applicant will need to submit an application for Major Site Plan Review, pursuant to Section 5.2.03, 4, B.

- The Applicant has submitted a request to withdraw the Definitive Subdivision Plan Application, without prejudice, as mentioned at the 11/16 Planning Board meeting. The board needs to vote on the withdrawal.
- The Special Permit hearing was continued to 1/18. The board will need to vote on the decision deadline extension.

**SP2019-02, Smuggler's Cove Open Space Residential Development – Central Land Development Corp.**

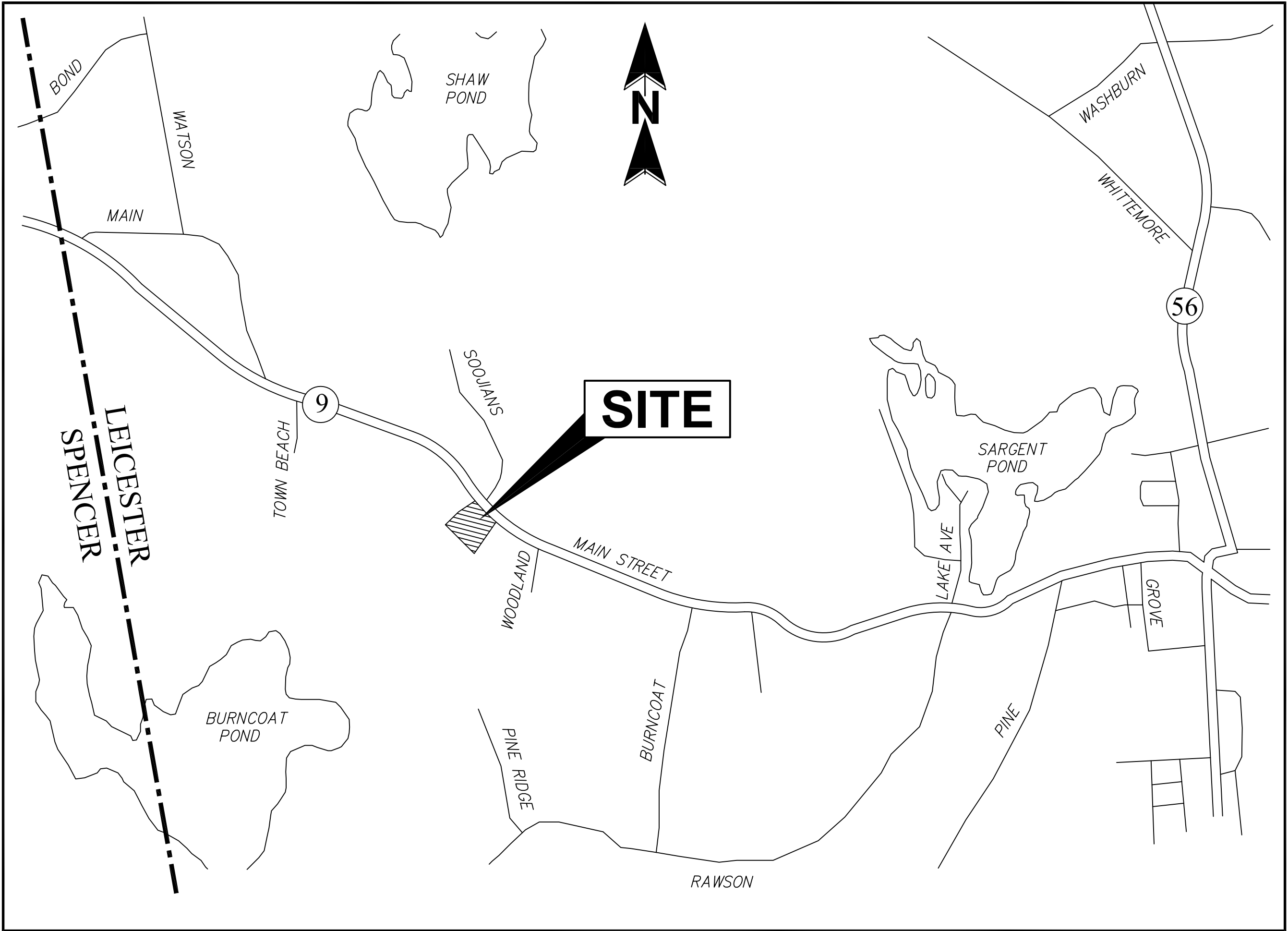
- Please see letter from Town Counsel, dated 7/30/21 (**attachment: Smugglers Cove - Combined Town Counsel opinion & request**), which addresses the process questions raised at the 11/2 Planning Board meeting. Counsel's response on referencing the letter at a public hearing:
  - *"The Select Board holds the privilege under the disclaimer in my July 31, 2021 letter, meaning that the this is not a public document unless the Select Board votes to waive the privilege and release the letter. Accordingly, the Planning Board may not reference this letter at the next public hearing without a prior vote of the Select Board waiving privilege. I would not recommend that the Select Board vote to waive the disclaimer at this time."*
- We have not received the requested DCR forestry/cutting plan.
- Letter from the Applicant's Attorney including a question on variance relief (**attachment: Smugglers Cove - ZBA Variance Question**)
- Comments from public safety/peer review from the 2019 application (**attachment: Smugglers Cove 2019 Peer Review Comments**)



Site Development Plan  
at  
#1603 - #1605 Main Street  
Leicester, Massachusetts

Plan Date: September 23, 2021

Revisions			
1	11/12/21	PER COMMENTS	BSW
2	11/19/21	PER COMMENTS	BSW
NO.	DATE	DESCRIPTION	BY



LOCUS MAP

Scale: 1 " = 1,000 ± Feet

Prepared By:

**Architect**  
Bertin Engineering  
66 Glen Avenue,  
Glen Rock, NJ 07452



**ALLEN ENGINEERING  
& ASSOCIATES, INC.**

Civil Engineers • Surveyors  
Land Development Consultants

One Charlesview Road  
Suite 2

Hopedale, Ma 01747  
(508) 381-3212 • Phone  
www.allen-ea.com

**Traffic Consultant**  
Ron Müller & Associates  
56 Teresa Road,  
Hopkinton, MA

APPROVED BY THE LEICESTER PLANNING BOARD

DATE:

**Owner**  
Leicester Main, LLC  
One Charlesview Road, Suite 1  
Hopedale, MA 01747

**Applicant**  
Skaff Petroleum, Inc.  
334 Grafton Street,  
Worcester, MA 01604

PLAN INDEX	
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LIGHTING ISOMETRIC ELEVATION	13



**NOTES:**  
THE ENTIRE AREA SHOWN IS WITHIN THE HB-1 ZONING DISTRICT.  
THE STREET ADDRESSES AND USES SHOWN TAKEN FROM THE TOWN GIS WEBSITE AND ON-LINE PROPERTY DATABASE.

MFR – MULTI-FAMILY RESIDENTIAL  
SFR – SINGLE-FAMILY RESIDENTIAL  
TFR – TWO FAMILY RESIDENTIAL

**LOCUS REFERENCES**  
ASSESSORS PARCEL: 18-8.1  
#1603 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
LAND COURT CERT. 16956  
LAND COURT PLAN 40185-B, LOT 1  
2.83 Acres

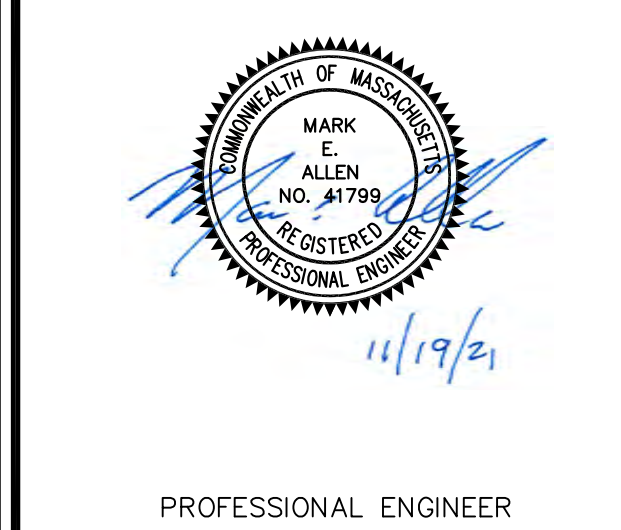
ASSESSORS PARCEL: 18A-14 & 15  
0 & #1605 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
DEED BOOK 41309, PAGE 153  
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

**NOTES**  
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODOE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020. PROPERTY LINES AND STRUCTURES BEYOND THE IMMEDIATE VICITY OF LOCUS HAVE BEEN COMPILED FROM AVAILABLE GIS MAPS AND ARE APPROXIMATE ONLY.

3. LOCUS FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.  
334 Grafton Street,  
Worcester, MA 01604

TITLE:

LOCUS PLAN  
For  
#1603 - #1605 Main Street  
In  
Leicester, MA

PREPARED BY:

**ALLEN ENGINEERING & ASSOCIATES, INC.**  
Civil Engineers • Surveyors  
Land Development Consultants  
One Charlesview Road  
Suite 2  
Hopedale, Ma 01747  
(508) 381-3212 • Phone  
www.allen-rea.com

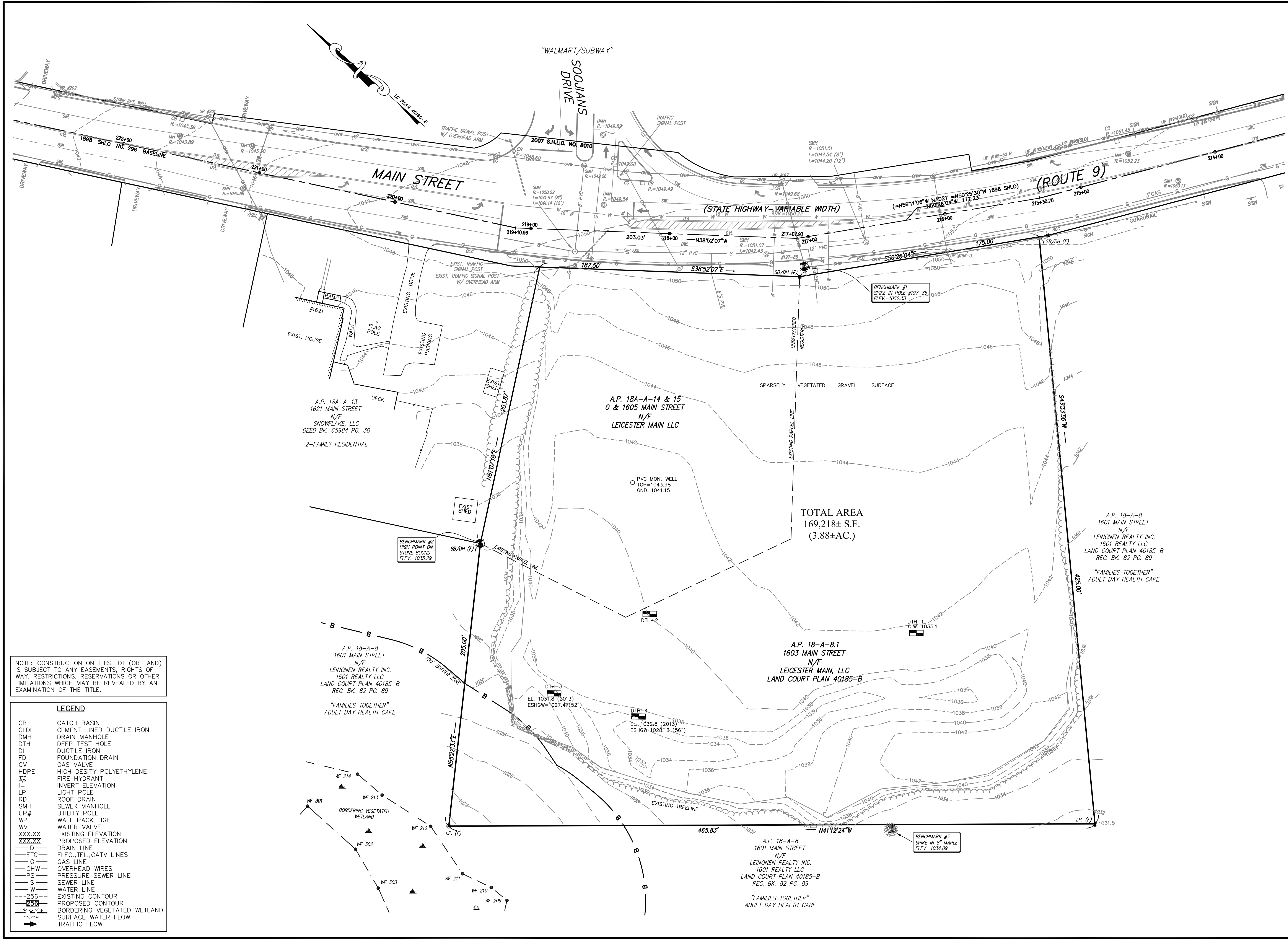
SCALE: 1"=120 FEET

DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW
2	11/19/21	PER COMMENTS	BSW

JOB NO: 00047	SHEET: 2 of 13
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NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEGEND	
CB	CATCH BASIN
CLDI	CEMENT LINED DUCTILE IRON
DMH	DRAIN MANHOLE
DTH	DEEP TEST HOLE
DI	DUCTILE IRON
FD	FOUNDATION DRAIN
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
PS	FIRE HYDRANT
I=	INVERT ELEVATION
LP	LIGHT POLE
RD	ROOF DRAIN
SMH	SEWER MANHOLE
UP#	UTILITY POLE
WP	WALL PACK LIGHT
WV	WATER VALVE
XXX.XX	EXISTING ELEVATION
XXX.XX	PROPOSED ELEVATION
-D-	DRAIN LINE
-ETC-	ELEC., TEL., CATV LINES
-G-	GAS LINE
-OHW-	OVERHEAD WIRES
-PS-	PRESSURE SEWER LINE
-S-	SEWER LINE
-W-	WATER LINE
---256---	EXISTING CONTOUR
256	PROPOSED CONTOUR
	BORDERING VEGETATED WETLAND
	SURFACE WATER FLOW
	TRAFFIC FLOW

LOCUS REFERENCES  
ASSESSORS PARCEL: 18-A-8.1  
#1603 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
LAND COURT CERT. 16956  
REG. BK. 85, PG. 156  
LAND COURT PLAN 40185-B, LOT 1

ASSESSORS PARCEL: 18A-A-14 & 15  
0 & #1605 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
DEED BOOK 41309, PAGE 153

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES  
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2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.  
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.  
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.  
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.  
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

PROFESSIONAL ENGINEER

PREPARED FOR:

Scaff Petroleum, Inc.  
334 Grafton Street,  
Worcester, MA 01604

TITLE:

EXISTING CONDITIONS  
PLAN  
For  
#1603 - #1605 Main Street  
In  
Leicester, MA

PREPARED BY:

**ALLEN ENGINEERING  
& ASSOCIATES, INC.**  
Civil Engineers • Surveyors  
Land Development Consultants  
One Charlesview Road  
Suite 2  
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SCALE: 1"=30 FEET

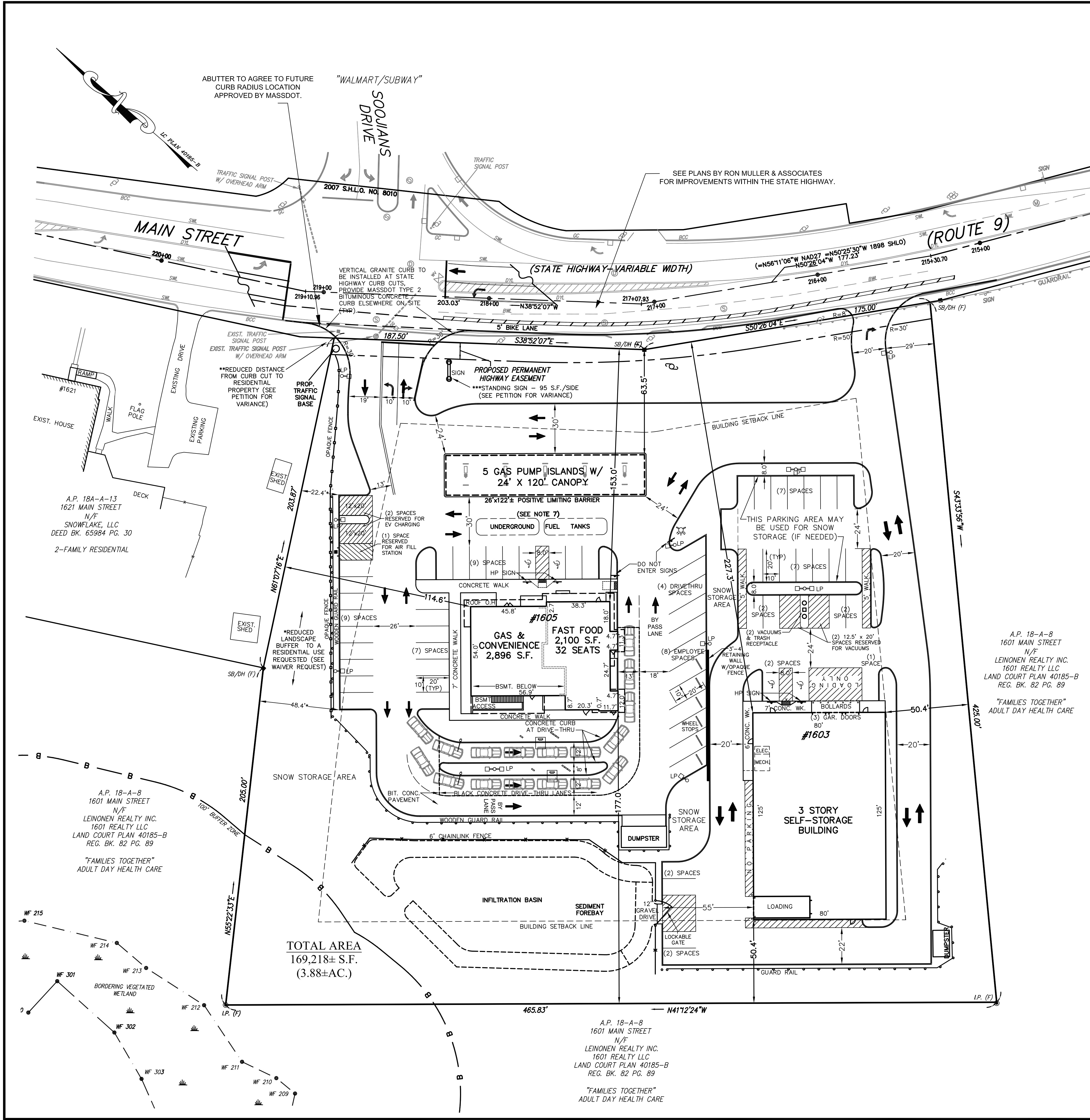
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JOB NO: 00047

SHEET: 3 of 13





**LEGEND**

- CB CATCH BASIN
- CLDI CEMENT LINED DUCTILE IRON
- DMH DRAIN MANHOLE
- DTH DEEP TEST HOLE
- DI DUCTILE IRON
- FD FOUNDATION DRAIN
- GV GAS VALVE
- HDPE HIGH DENSITY POLYETHYLENE
- XX FIRE HYDRANT
- I= INVERT ELEVATION
- LP LIGHT POLE
- RD ROOF DRAIN
- SMH SEWER MANHOLE
- UP# UTILITY POLE
- WP WALL PACK LIGHT
- WV WATER VALVE
- XXX.XX EXISTING ELEVATION
- XXX.XX PROPOSED ELEVATION
- D DRAIN LINE
- ETC ELEC., TEL., CATV LINES
- G GAS LINE
- OHW OVERHEAD WIRES
- PS PRESSURE SEWER LINE
- S SEWER LINE
- W WATER LINE
- 256- EXISTING CONTOUR
- 256 PROPOSED CONTOUR
- WETLAND BORDERING VEGETATED WETLAND
- WATER FLOW SURFACE WATER FLOW
- TRAFFIC FLOW TRAFFIC FLOW

NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

**PLANNING BOARD WAIVER REQUEST:**  
\*REDUCED LANDSCAPE BUFFER TO A RESIDENTIAL USE REQUESTED, BYLAW SECT. 5.5.02.2B. (50 FEET REQUIRED).

PROPOSED - 48.4 FEET, AND REQUEST TO ALLOW PARKING AND DRIVEWAY WITHIN THE BUFFER ADJACENT TO #1621 MAIN STREET. AN OPAQUE FENCE IS PROPOSED WITHIN THE BUFFER TO #1621 TO MITIGATE SCREENING LOST BY REDUCTION OF THE BUFFER.

**ZONING BOARD OF APPEALS PETITION FOR VARIANCE:**  
\*\*REDUCED DISTANCE FROM CURB CUT TO RESIDENTIAL PROPERTY, BYLAW SECT. 5.5.02.1.C.1. (24 FEET REQUIRED).

PROPOSED - 1 FOOT AT #1621 MAIN STREET PROPERTY. THE REDUCTION IS REQUESTED TO ALLOW THE NEW SITE ENTRANCE TO ALIGN WITH THE EXISTING SOOJIAN DRIVE INTERSECTION ACROSS MAIN STREET (ROUTE 9). GRANTING THIS VARIANCE WILL ALLOW A SAFER SIGNALIZED INTERSECTION ON THE STATE HIGHWAY. THIS REQUEST IS MADE NECESSARY DUE TO THE SPECIFIC SHAPE AND TOPOGRAPHY OF THE LOCUS LOT, AND DOES NOT GENERALLY AFFECT THE HB-1 DISTRICT IN WHICH IT IS LOCATED. (VARIANCE APPROVED OCTOBER 27, 2021)

**ZONING BOARD OF APPEALS PETITION FOR VARIANCE:**  
\*\*\*STANDING SIGN - SIZE, BYLAW SECT. 3.2.07-2 (NOT TO EXCEED 30 SQUARE FEET).

PROPOSED - STANDING SIGN WITH AN AREA OF 95 SQUARE FEET ON EACH SIDE. THE VARIANCE IS REQUESTED IN ORDER TO ALLOW THE DISPLAY OF PRICES FOR SEVERAL FUEL GRADES AT SUCH A SIZE AS CAN BE READILY SEEN BY DRIVERS, AND ADDITIONALLY PROVIDE SIGNAGE FOR THE THREE OTHER BUSINESSES ON THE PROJECT SITE. THIS PETITION OWES TO THE CIRCUMSTANCES RELATED SPECIFICALLY TO THE STRUCTURES INVOLVED, WHICH INCLUDE FOUR SEPARATE AND DISTINCT USES PROPOSED ON THIS PARTICULAR SITE, AND NOT AFFECTING GENERALLY THE HB-1 DISTRICT. (VARIANCE APPROVED NOVEMBER 17, 2021)

ZONING TABLE		#1603	#1605
ZONING DISTRICT: HIGHWAY BUSINESS-INDUSTRIAL 1	REQUIRED	PROPOSED	PROPOSED
MIN. LOT SIZE	60,000 S.F.	169,218 S.F.	
MINIMUM LOT FRONTAGE	200 FEET	362.50 FEET	
SETBACKS:			
FRONT	50 FEET	227.3 FEET	153.0 FEET
SIDE	50 FEET	50.4 FEET	114.6 FEET
REAR	50 FEET	50.4 FEET	177.0 FEET
BUILDING COVERAGE:			
MAXIMUM BUILDING HEIGHT	40% MAX.	9%	
	55 FEET	36.2 FEET	18.7 FEET
	5 1/2 STY.	3 STY.	1 STY.
PARKING REQUIREMENTS:			
STALL DIMENSIONS	10' x 20'	10' x 20'	10' x 20'
aisle width			
90° PARKING	24'	24'	26'
60° PARKING	16'		18'
NUMBER OF SPACES REQUIRED BY USE:			
RENTAL ENCLOSED SELF-STORAGE (3+1 PER 100 UNITS) 3+3	6	25	
RESTAURANT (1 PER EMP. + 1 PER 3 SEATS) 8+32/3=19	33		37
RETAIL (1 PER 200 S.F. GROSS FLOOR SPACE) 2896/200=14			
ADA PARKING REQUIREMENT: (26-50 SPACES)	2 SPACES	2 SPACES	2 SPACES
LANDSCAPING REQUIREMENTS:			
5% INTERIOR PARKING LANDSCAPE REQUIRED			
68 PARKING SPACES (10W x 20L) = 13,600 S.F.	680 S.F.	4,215 S.F.	
5% (0.05) x 13,600 S.F. = 680 S.F.			
(1) TREE PER 35 SPACES (68/35) = 1.9	2 TREES	17 TREES	

- LOCUS REFERENCES**  
ASSESSORS PARCEL: 18-8.1  
#1603 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
LAND COURT CERT. 16956  
LAND COURT PLAN 40185-B, LOT 1  
2.83 Acres
- ASSESSORS PARCEL: 18A-14 & 15  
0 & #1605 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
DEED BOOK 41309, PAGE 153  
1.05 Acres
- LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.
- NOTES**  
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODORE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.  
2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.  
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.  
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.  
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.  
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.  
7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.

PROFESSIONAL ENGINEER

PREPARED FOR:

**Skaff Petroleum, Inc.**  
334 Grafton Street,  
Worcester, MA 01604

TITLE:

**SITE LAYOUT PLAN**  
For  
#1603 - #1605 Main Street  
in  
Leicester, MA

PREPARED BY:

**ALLEN ENGINEERING & ASSOCIATES, INC.**  
Civil Engineers • Surveyors  
Land Development Consultants  
One Charlesview Road  
Suite 2  
Hopedale, MA 01747  
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SCALE: 1"=30 FEET

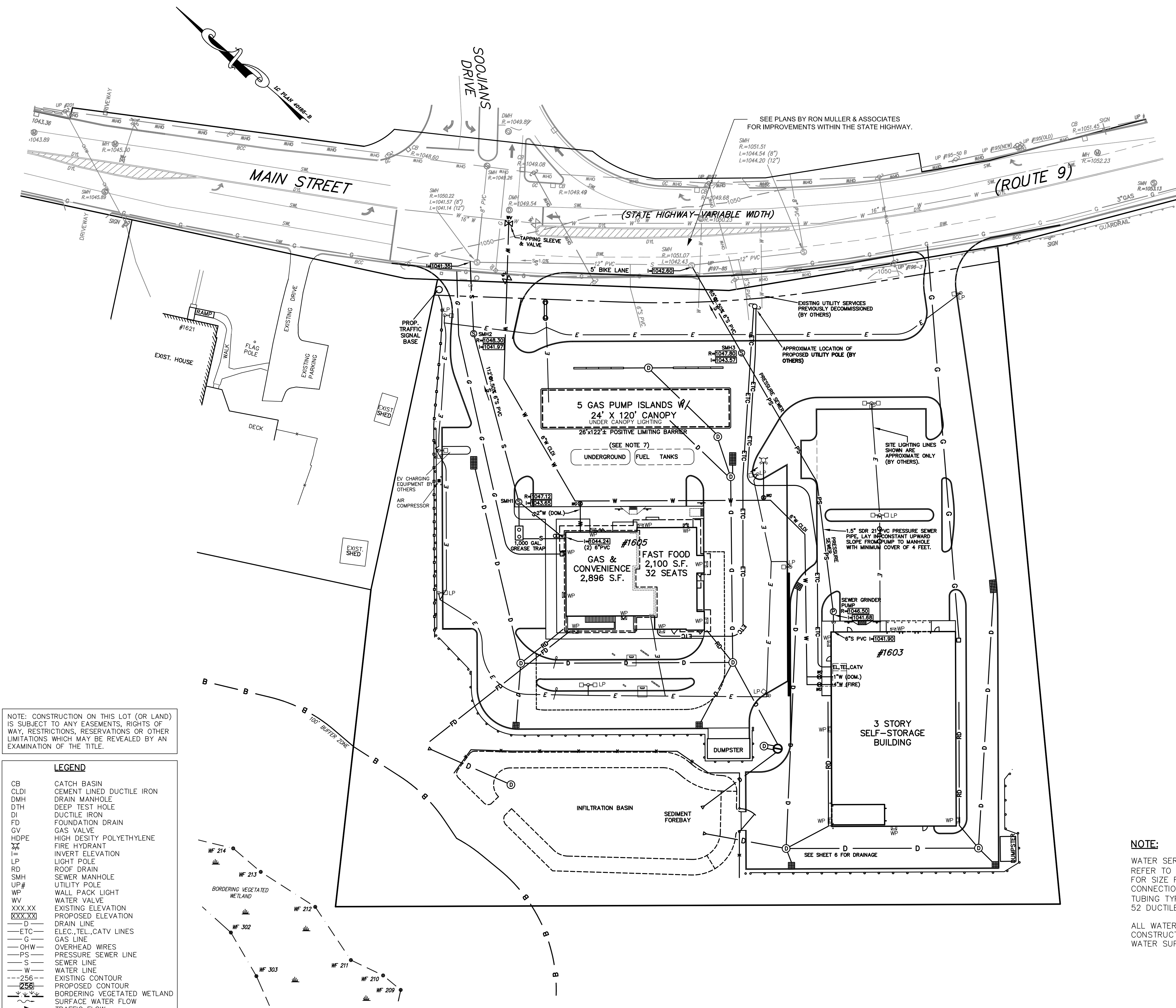
DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW
2	11/19/21	PER COMMENTS	BSW

JOB NO: 00047

SHEET: 4 of 13





LOCUS REFERENCES  
ASSESSORS PARCEL: 18-8.1  
#1603 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
LAND COURT CERT. 16956  
LAND COURT PLAN 40185-B, LOT 1  
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15  
0 & #1605 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
DEED BOOK 41309, PAGE 153  
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE  
HIGHWAY BUSINESS-INDUSTRIAL 1  
DISTRICT.

NOTES  
1. THIS PLAN IS BASED ON A FIELD  
SURVEY PERFORMED BY ODORE SURVEY  
& MAPPING IN DECEMBER 2012, AND  
UPDATED BY ALLEN ENGINEERING &  
ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88  
VERTICAL DATUM.

3. THE SITE FALLS WITHIN A FLOOD  
ZONE X (AREA OF MINIMAL FLOOD  
HAZARD) ACCORDING TO FLOOD  
INSURANCE RATE MAP PANEL NUMBER  
25027C0780E.

4. THIS SITE DOES NOT CONTAIN  
CERTIFIED VERNAL POOLS OR HABITATS  
OF RARE SPECIES ACCORDING TO THE  
MASSACHUSETTS NATURAL HERITAGE  
WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON  
THESE DRAWINGS ARE BASED ON  
AVAILABLE RECORD INFORMATION OF  
UTILITY COMPANIES AND PUBLIC  
AGENCIES AND ARE APPROXIMATE ONLY.  
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THOSE SHOWN MAY BE ON THE SITE.  
CALL "DIG SAFE" AT 811.

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UNDERGROUND STORAGE TANKS WITH  
APPLICATION FOR BUILDING PERMIT.  
DEPTH OF LEDGE/REFUSAL TO BE  
DETERMINED PRIOR TO DESIGN.

PROFESSIONAL ENGINEER

PREPARED FOR:

**Skaff Petroleum, Inc.**  
334 Grafton Street,  
Worcester, MA 01604

TITLE:

**SITE UTILITIES &  
LIGHTING PLAN**

For  
**#1603 - #1605 Main Street**  
In  
**Leicester, MA**

PREPARED BY:

**ALLEN ENGINEERING  
& ASSOCIATES, INC.**  
Civil Engineers • Surveyors  
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One Charlesview Road  
Suite 2  
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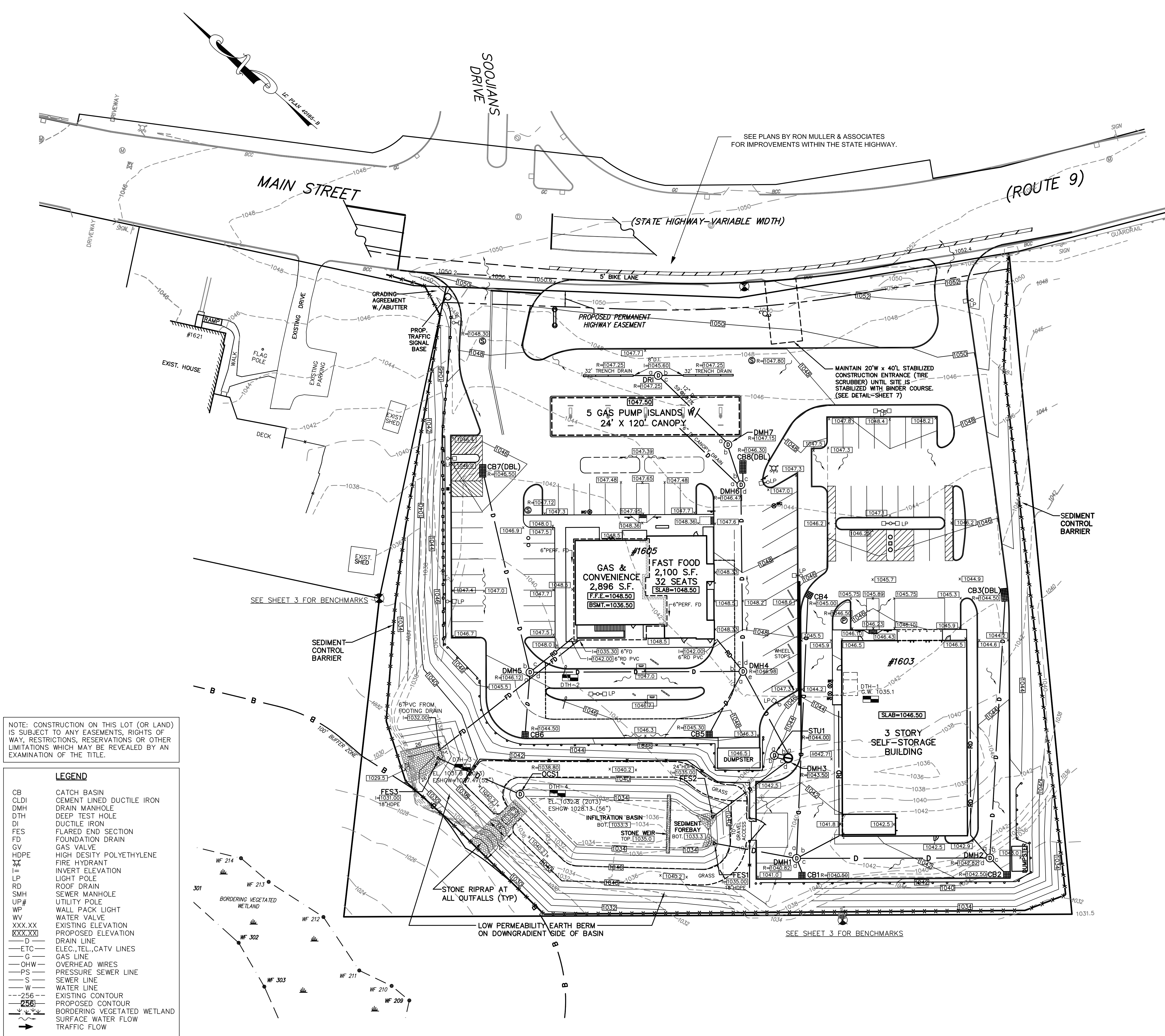
SCALE: 1"=30 FEET

DATE: **September 23, 2021**

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW
2	11/19/21	PER COMMENTS	BSW

JOB NO: 00047	SHEET: 5 of 13
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NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEGEND	
CB	CATCH BASIN
CLDI	CEMENT LINED DUCTILE IRON
DMH	DRAIN MANHOLE
DTH	DEEP TEST HOLE
DI	DUCTILE IRON
FES	FLARED END SECTION
FD	FOUNDATION DRAIN
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	FIRE HYDRANT
I=	INVERT ELEVATION
LP	ROOF DRAIN
RD	SEWER MANHOLE
SMH	UTILITY POLE
UP#	WALL PACK LIGHT
WP	WATER VALVE
WV	EXISTING ELEVATION
XXX.XX	PROPOSED ELEVATION
---D---	DRAIN LINE
---E---	ELEC. TEL. CATV LINES
---G---	GAS LINE
---OHW---	OVERHEAD WIRES
---PS---	PRESSURE SEWER LINE
---S---	SEWER LINE
---W---	WATER LINE
---256---	EXISTING CONTOUR
---258---	PROPOSED CONTOUR
WETLAND	BORDERING VEGETATED WETLAND
WATER	SURFACE WATER FLOW
ARROW	TRAFFIC FLOW

DRAINAGE SCHEDULE

- CB1  
R=1040.50  
I=1036.50 12"HDPE
- CB2  
R=1042.50  
I=1037.95 12"HDPE
- CB3 (DOUBLE)  
R=1044.50  
I=1040.00 12"HDPE
- CB4  
R=1045.00  
I=1040.00 12"HDPE
- CB5  
R=1045.30  
I=1040.30 12"HDPE
- CB6  
R=1044.50  
I=1040.75 12"HDPE
- CB7 (DOUBLE GRATE)  
R=1045.50  
I=1041.50 12"HDPE
- CB8 (DOUBLE GRATE)  
R=1046.30  
I=1040.78 18"HDPE
- DMH1  
R=1040.82  
I(a)=1036.38 12"HDPE  
I(b)=1036.32 6"PVC ROOF DRAIN  
I(c)=1036.02 15"HDPE  
I(d)=1036.38 12"HDPE  
I(e)=1035.77 18"HDPE
- DMH2  
R=1042.82  
I(a)=1038.32 6"PVC ROOF DRAIN  
I(b)=1037.77 12"HDPE  
I(c)=1037.77 12"HDPE  
I(d)=1037.52 15"HDPE
- DMH3 (5'I.D.)  
R=1043.5  
I(a)=1036.37 24"HDPE  
I(b)=1036.37 12"HDPE  
I(c)=1036.20 12"HDPE  
I(d)=1035.86 24"HDPE  
TOP DIVERSION WEIR=1036.75  
(SEE SHEET 10)
- DMH4  
R=1046.98  
I(a)=1039.67 12"HDPE  
I(b)=1038.44 18"HDPE  
I(c)=1041.50 6"PVC RD  
I(d)=1038.84 18"HDPE  
I(e)=1037.35 24"HDPE
- DMH5  
R=1046.12  
I(a)=1040.39 12"HDPE  
I(b)=1040.22 12"HDPE  
I(c)=1041.40 6"PVC RD  
I(d)=1039.89 18"HDPE
- DMH6  
R=1046.47  
I(a)=1042.30 6"DI  
I(b)=1042.04 12"HDPE  
I(c)=1040.68 18"HDPE  
I(d)=1040.58 18"HDPE
- DMH7 (4' SUMP & OUTLET TRAP)  
R=1047.15  
I(a)=1042.59 12"DI  
I(b)=1042.49 12"HDPE
- DRI (DROP INLET)  
R=1047.25  
I(a)=1045.18 8"DI  
I(b)=1045.18 8"DI  
I(c)=1043.75 12"DI
- OCS1 (OUTLET CONTROL STRUCTURE)  
R=1038.88  
I=1033.50 18"HDPE  
(SEE SHEET 9 FOR INLET ELEVATIONS)
- STU1 (STORMWATER TREATMENT UNIT)  
R=1044.0  
I(a)=1036.30 12"HDPE  
I(b)=1036.30 12"HDPE  
(SEE SHEET 10)

NOTE:  
PROPOSED GRADING SHOWN  
REQUIRES 17,400± CUBIC YARDS  
OF FILL.

LOCUS REFERENCES  
ASSESSORS PARCEL: 18-8.1  
#1603 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
LAND COURT CERT. 16956  
LAND COURT PLAN 40185-B, LOT 1  
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15  
0 & #1605 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
DEED BOOK 41309, PAGE 153  
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE  
HIGHWAY BUSINESS-INDUSTRIAL 1  
DISTRICT.

NOTES  
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SURVEY PERFORMED BY ODONE SURVEY  
& MAPPING IN DECEMBER 2012, AND  
UPDATED BY ALLEN ENGINEERING &  
ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88  
VERTICAL DATUM.

3. THE SITE FALLS WITHIN A FLOOD  
ZONE X (AREA OF MINIMAL FLOOD  
HAZARD) ACCORDING TO FLOOD  
INSURANCE RATE MAP PANEL NUMBER  
25027C0780E.

4. THIS SITE DOES NOT CONTAIN  
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APPLICATION FOR BUILDING PERMIT.  
DEPTH OF LEDGE/REFUSAL TO BE  
DETERMINED PRIOR TO DESIGN.

PROFESSIONAL ENGINEER

PREPARED FOR:  
**Skaff Petroleum, Inc.**  
334 Grafton Street,  
Worcester, MA 01604

TITLE:  
**GRADING & DRAINAGE  
PLAN**  
For  
**#1603 - #1605 Main Street**  
In  
**Leicester, MA**

PREPARED BY:  
  
**ALLEN ENGINEERING  
& ASSOCIATES, INC.**  
Civil Engineers - Surveyors  
Land Development Consultants  
One Charlesview Road  
Suite 2  
Hopedale, Ma 01747  
(508) 381-3212 - Phone  
www.allenrea.com

SCALE: 1"=30 FEET  
0 30 60 90

DATE: September 23, 2021

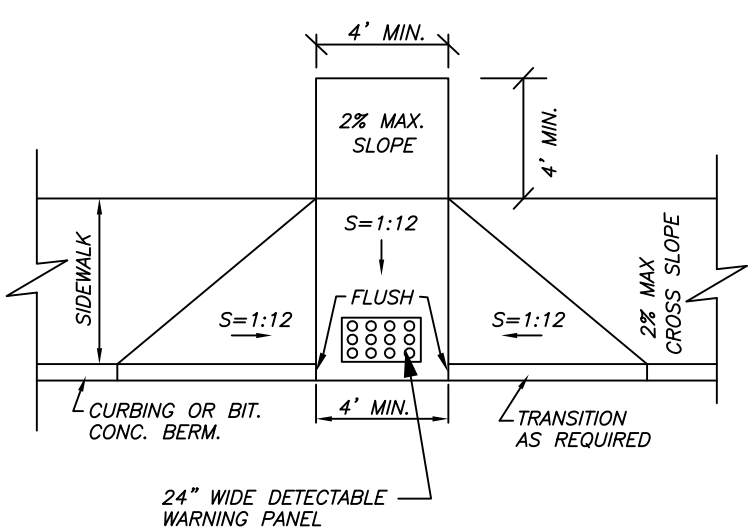
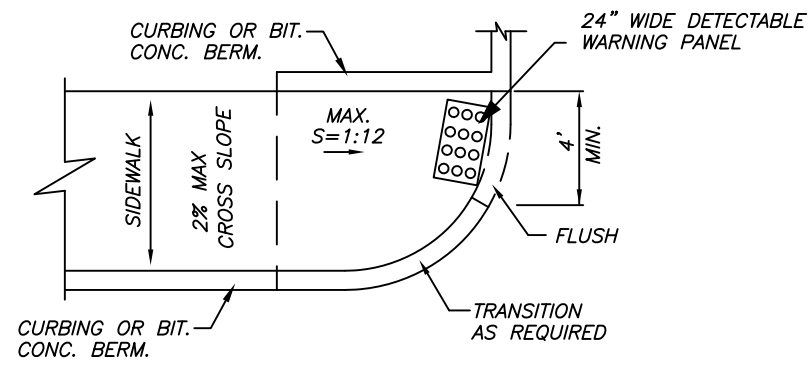
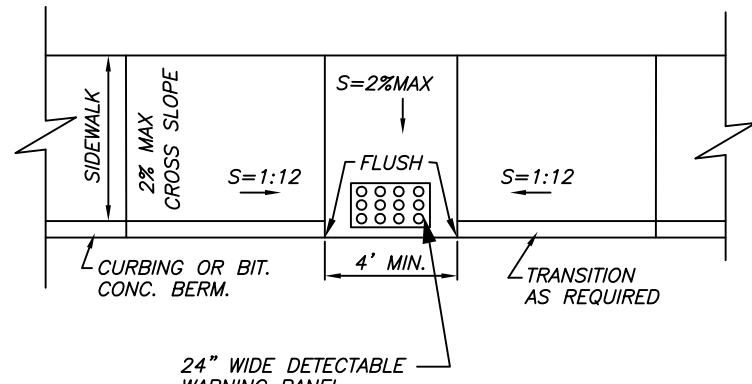
REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW
2	11/19/21	PER COMMENTS	BSW

JOB NO: 00047 SHEET: 6 of 13

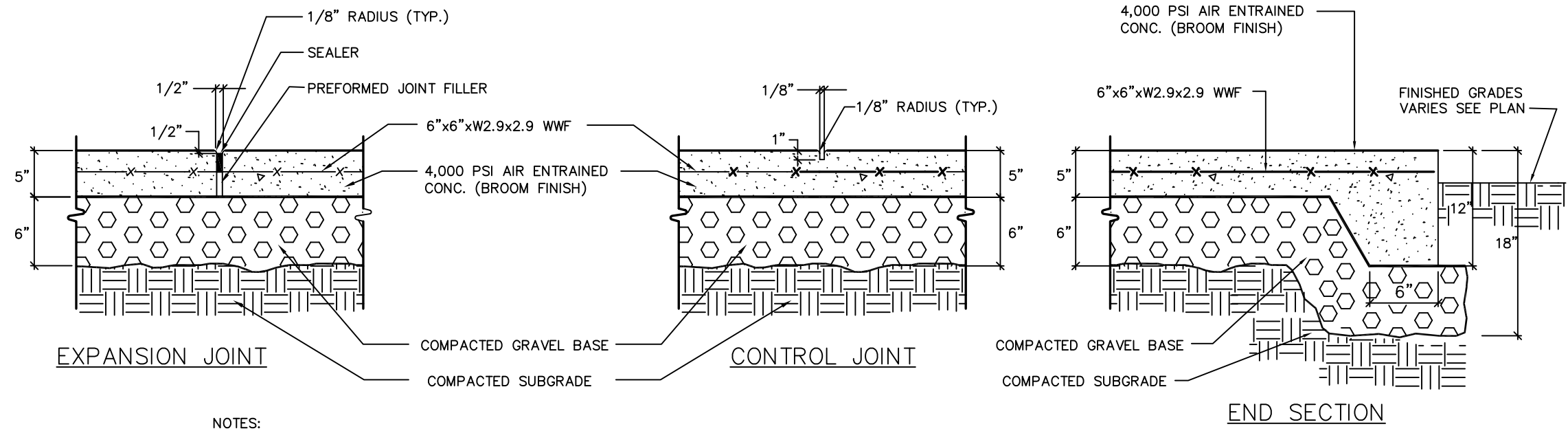




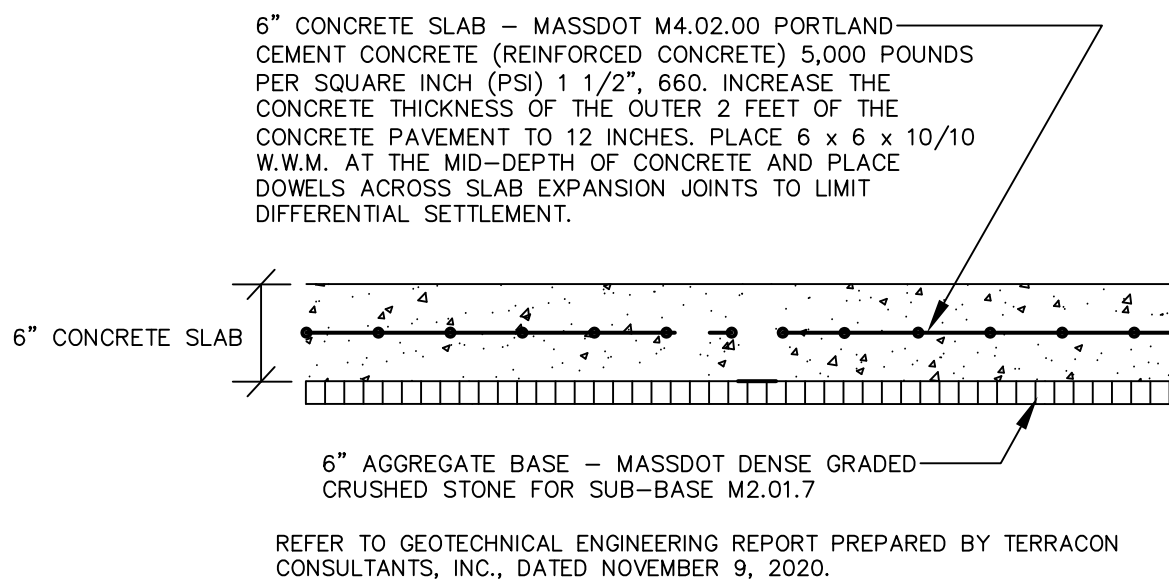




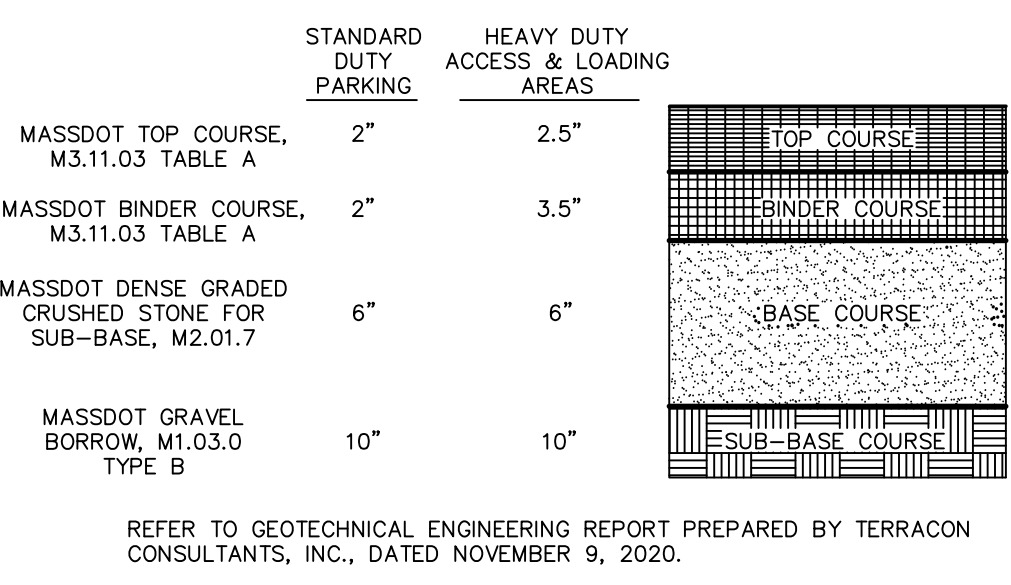
**TYPICAL SIDEWALK RAMPS**  
(NOT TO SCALE)



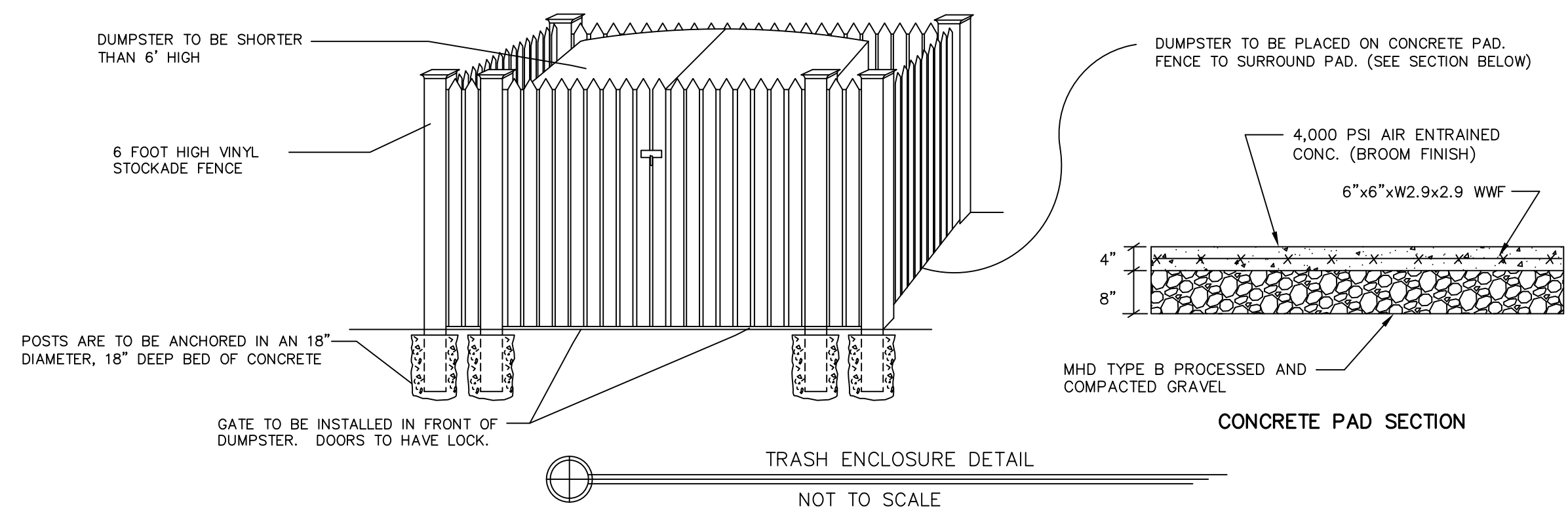
**CONCRETE WALK**  
(NOT TO SCALE)



**CONCRETE PAD FOR VEHICULAR TRAFFIC**  
(NOT TO SCALE)

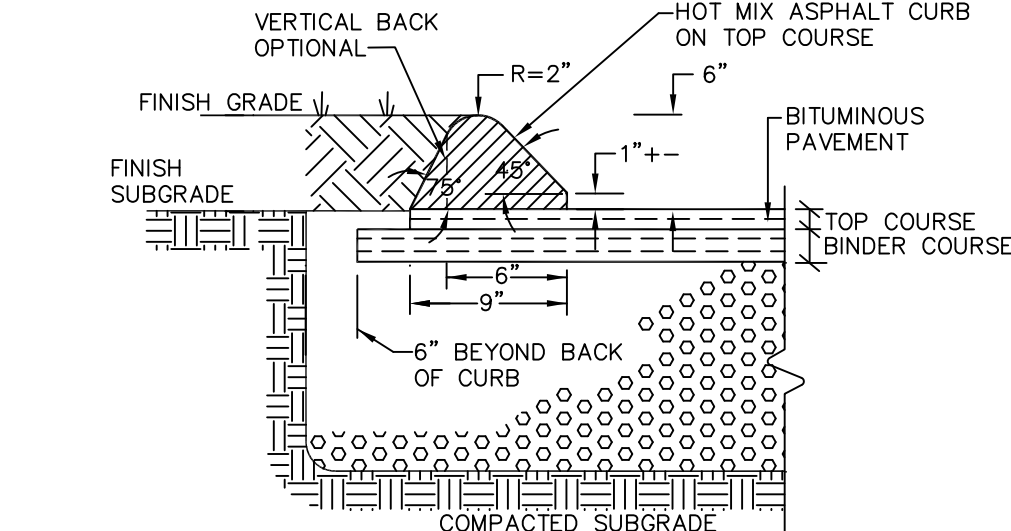


**BITUMINOUS CONCRETE PAVEMENT SECTION**  
(NOT TO SCALE)

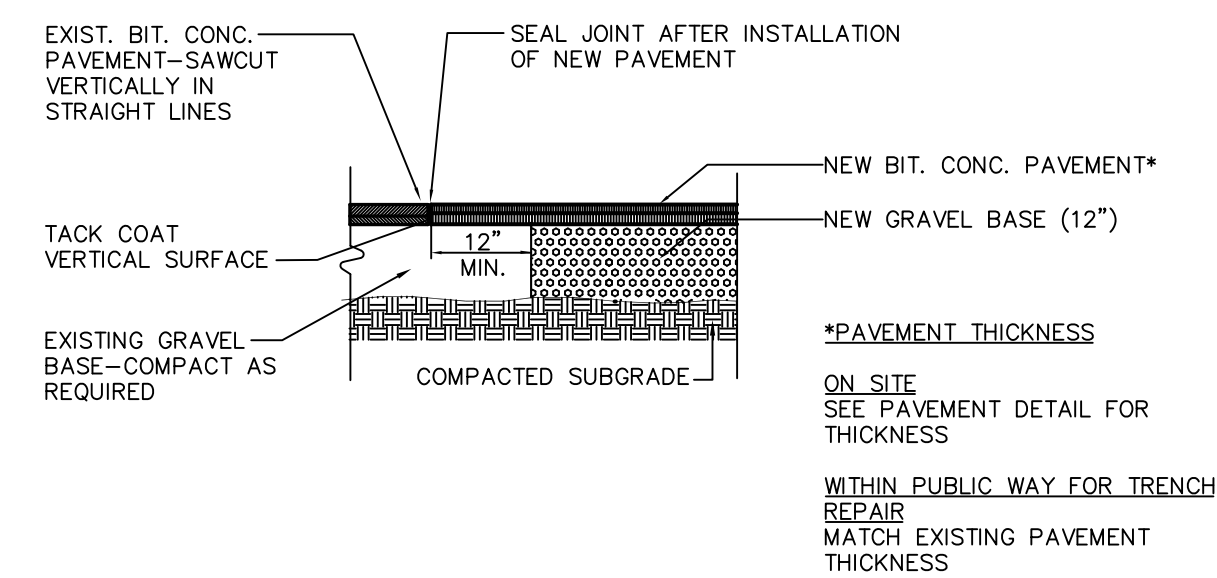


**TRASH ENCLOSURE DETAIL**

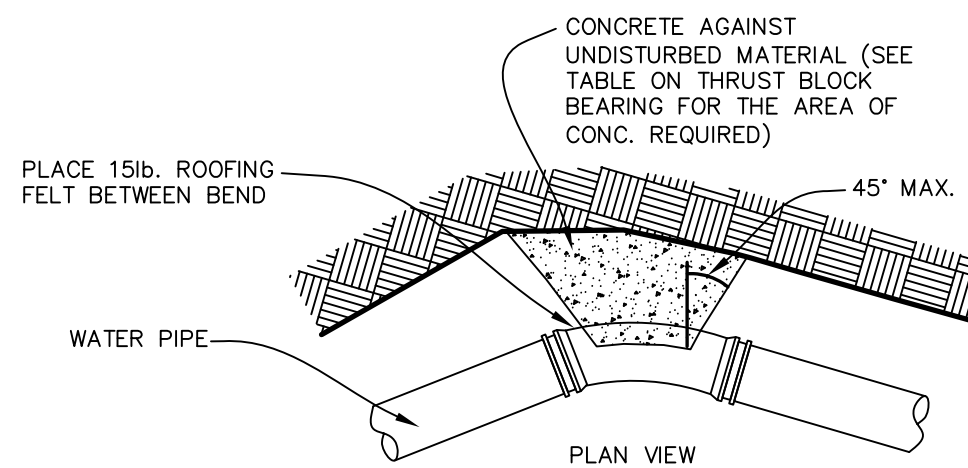
**CONCRETE PAD SECTION**



**MASSDOT TYPE 2 BITUMINOUS CONCRETE CURB**  
(NOT TO SCALE)



**PAVEMENT JOINTING**  
(NOT TO SCALE)

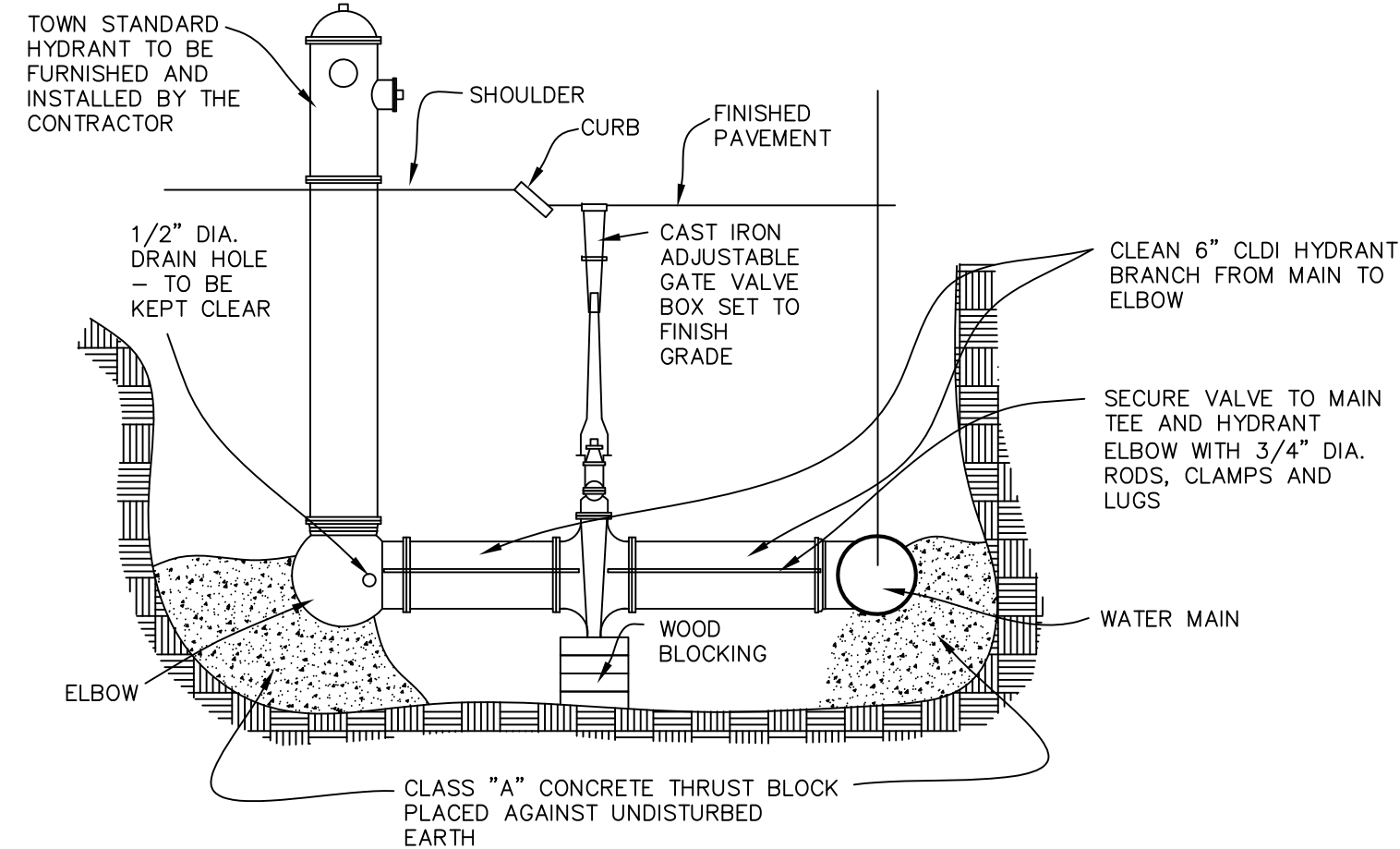


THRUST BLOCK BEARING AREAS FOR PIPE

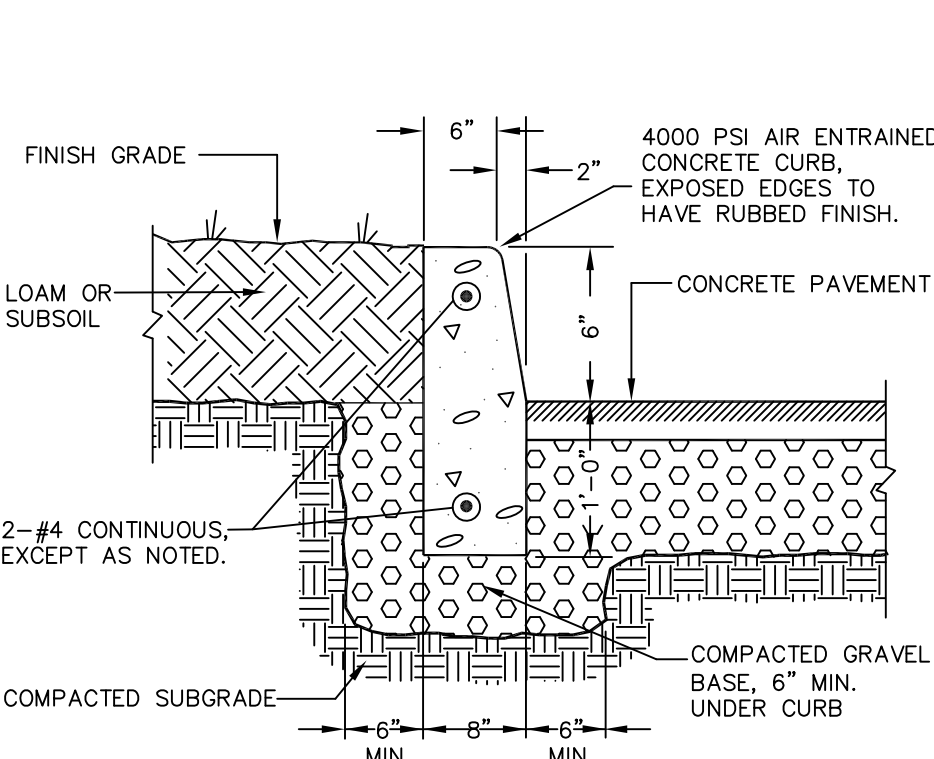
SIZE OF WATER MAIN IN INCHES	90° BEND	45° BEND
6"	4 SF	2 SF
8"	6 SF	3 SF
12"	12 SF	7 SF
16"	21 SF	12 SF

- \* THIS TABLE IS BASED ON A TYPE OF SOIL THAT IS MEDIUM CLAYEY 6 OR MORE BLOW/FT., OR LOOSE GRANULAR, 9 OR MORE BLOW/FT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.
- NOTES:
- FOR FITTINGS WITH LESS THAN 45° DEFLECTION USE BEARING AREAS FOR 45° BEND.
  - BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 PSI AND INTERNAL WATER PRESSURE OF 150 PSIG JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DISREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
  - THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE WATER DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.

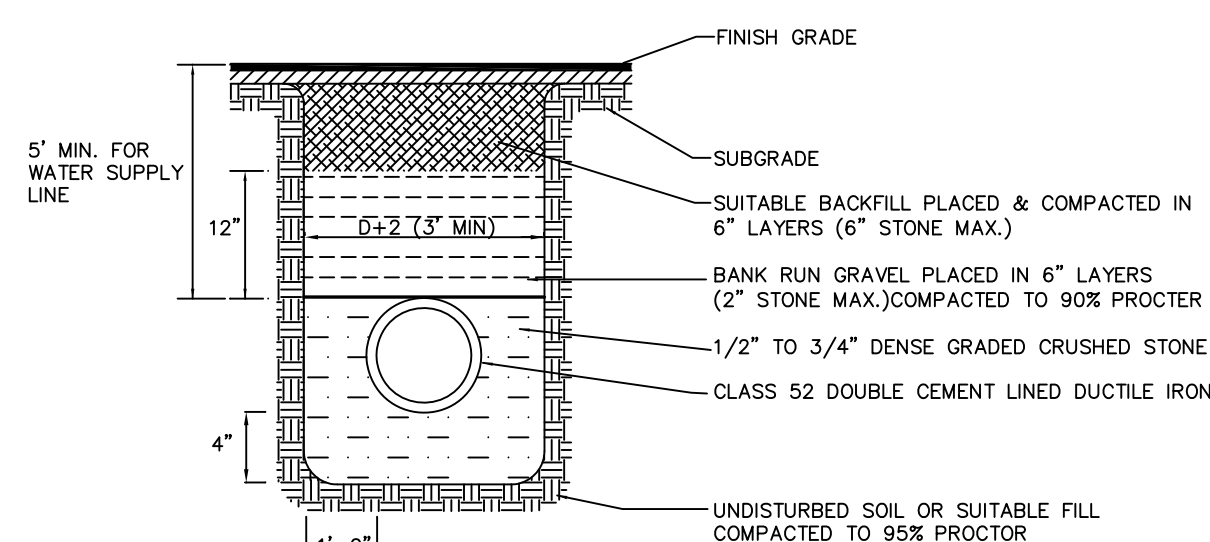
**DUCTILE IRON WATER PIPE THRUST BLOCK**  
NOT TO SCALE



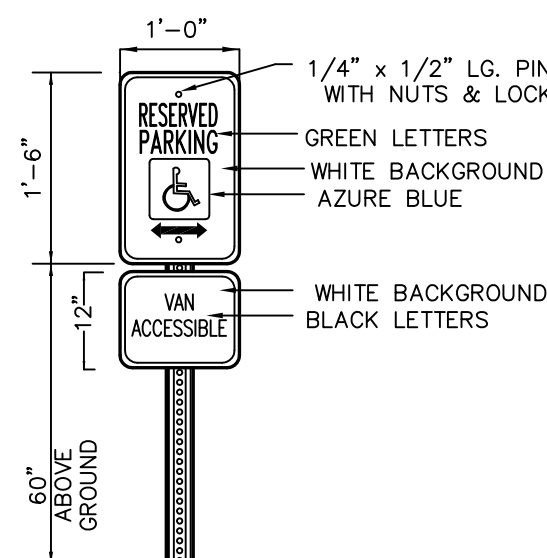
**FIRE HYDRANT**  
NOT TO SCALE



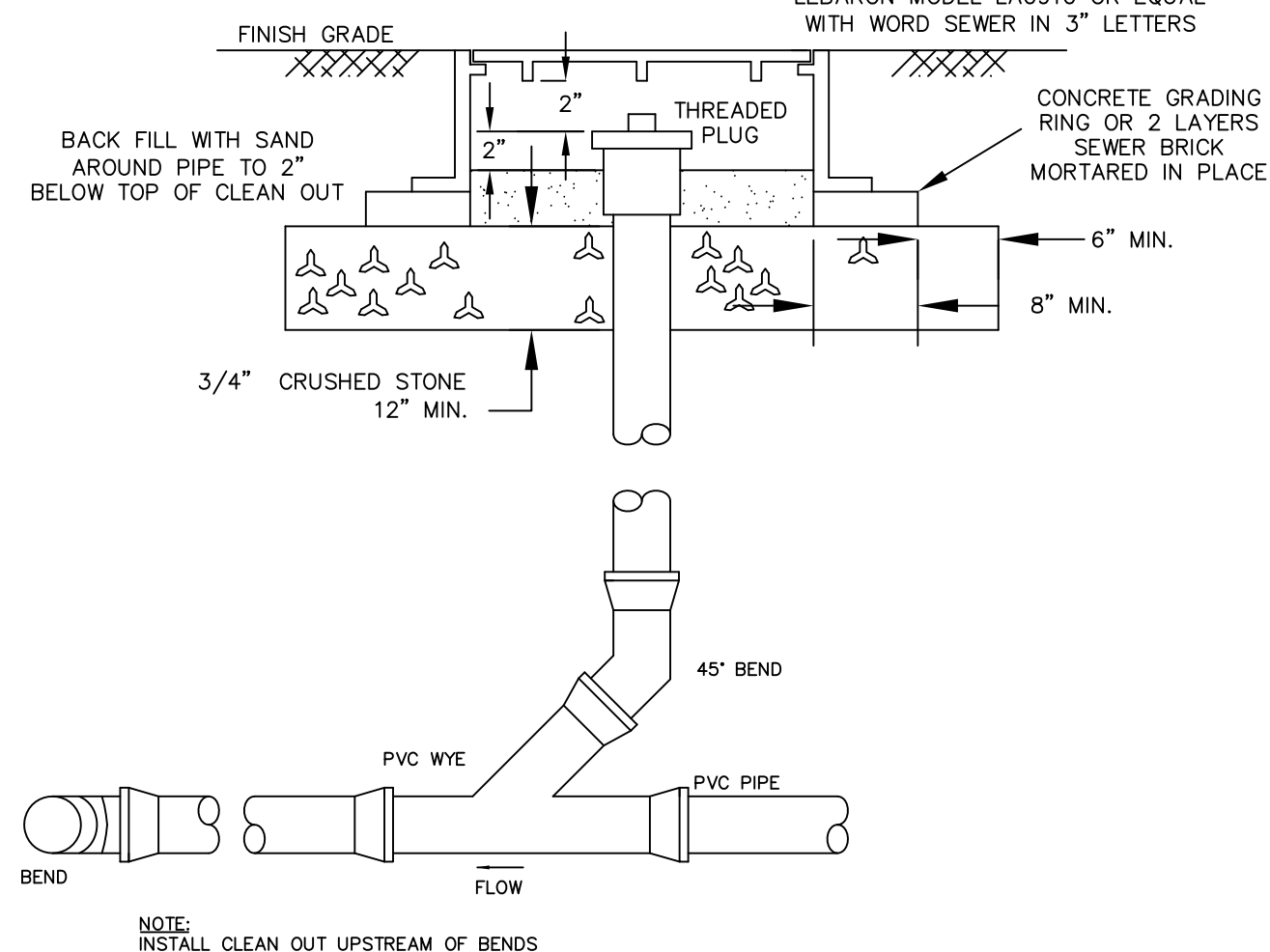
**TYPICAL PRECAST CONCRETE CURB**  
(NOT TO SCALE)



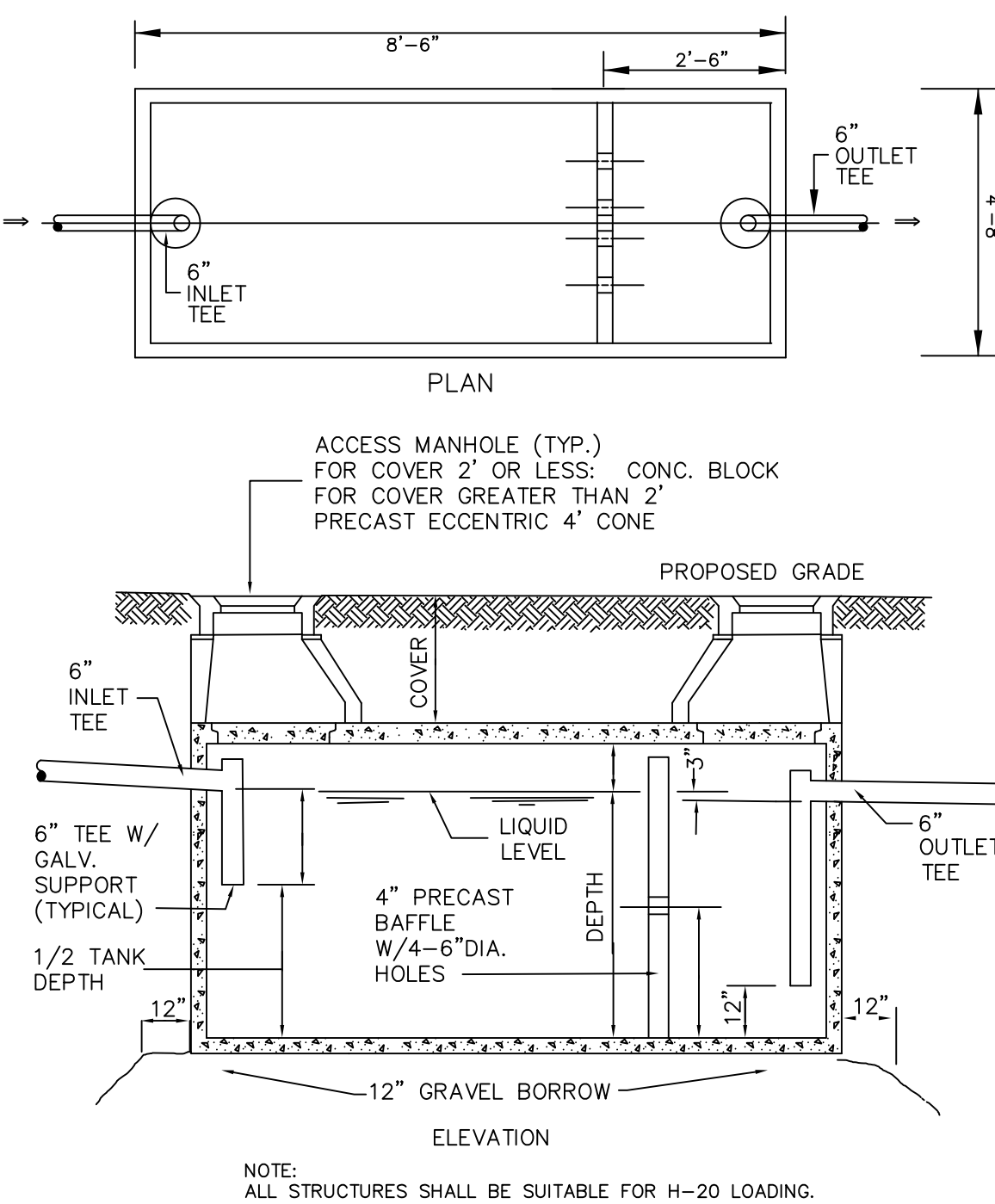
**DUCTILE IRON WATER PIPE TRENCH CROSS SECTION**  
(NOT TO SCALE)



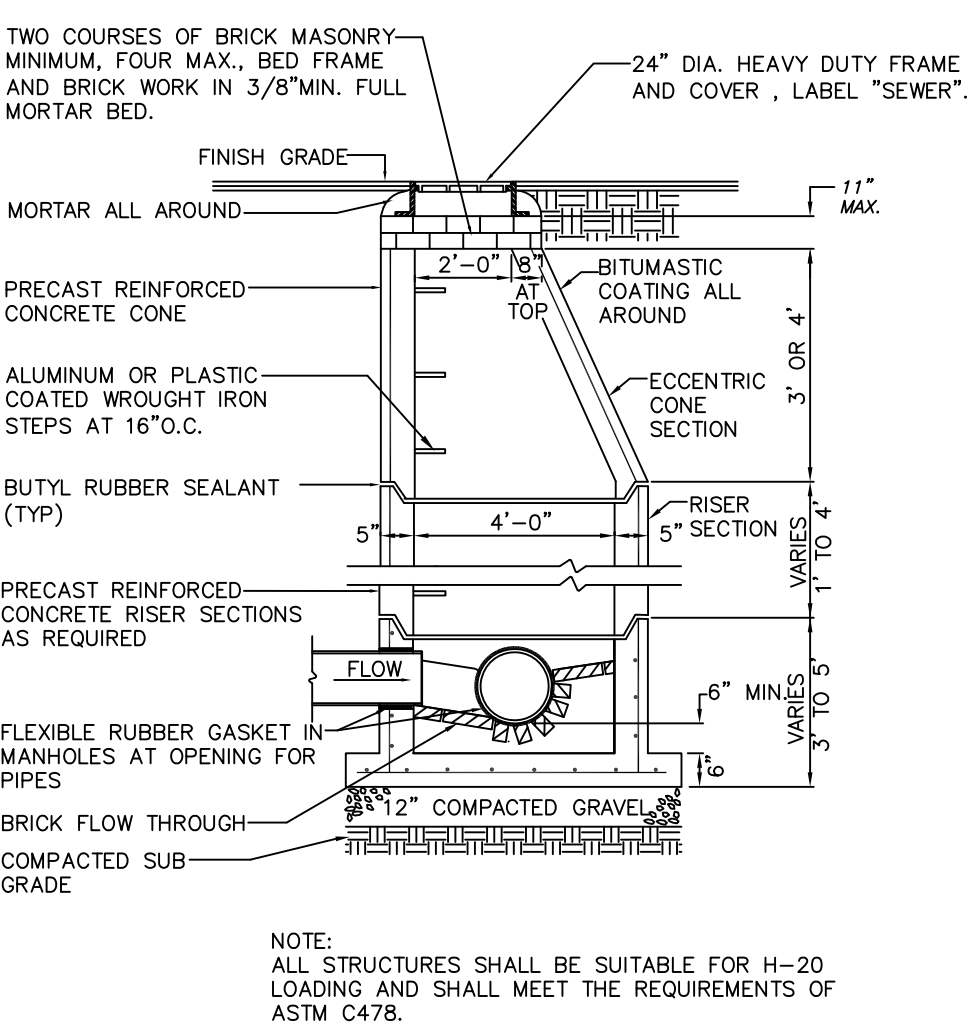
**HANDICAP PARKING SIGN**  
(NOT TO SCALE)



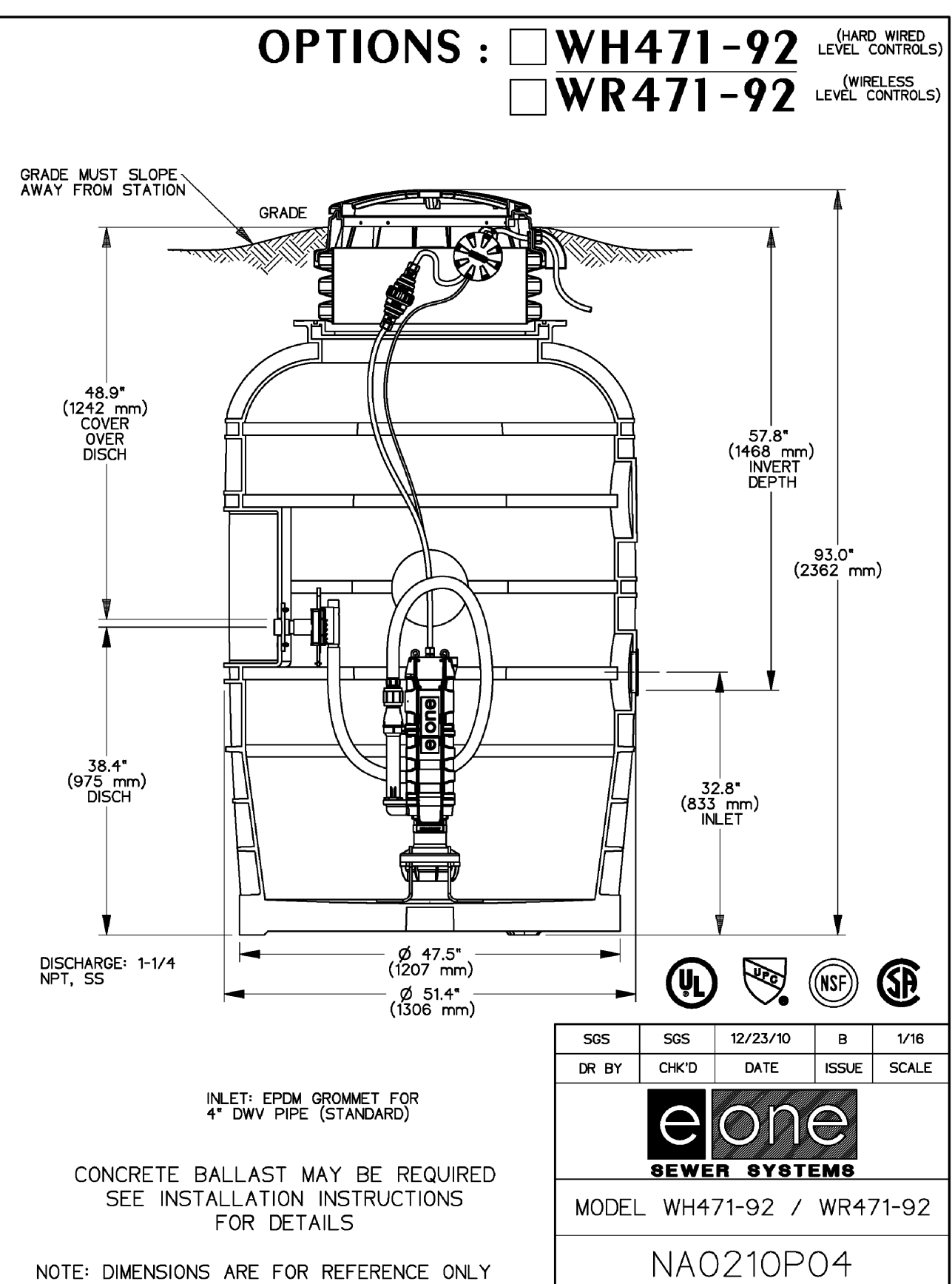
**SEWER CLEAN OUT**  
NOT TO SCALE



**1,000 GALLON GREASE TRAP**  
NOT TO SCALE



**PRE-CAST CONCRETE SEWER MANHOLE**  
NOT TO SCALE



**SEWER GRINDER PUMP STATION**  
NOT TO SCALE

LOCUS REFERENCES  
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LAND COURT CERT. 16956  
LAND COURT PLAN 40185-B, LOT 1  
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15  
0 & #1605 MAIN STREET  
OWNER: LEICESTER MAIN, LLC  
DEED BOOK 41309, PAGE 153  
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES  
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODORE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.

- ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
- THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
- THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
- EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
- THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.
- APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:  
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TITLE:  
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DETAIL PLAN  
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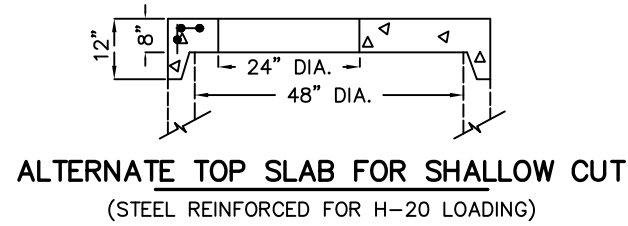
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DATE: September 23, 2021

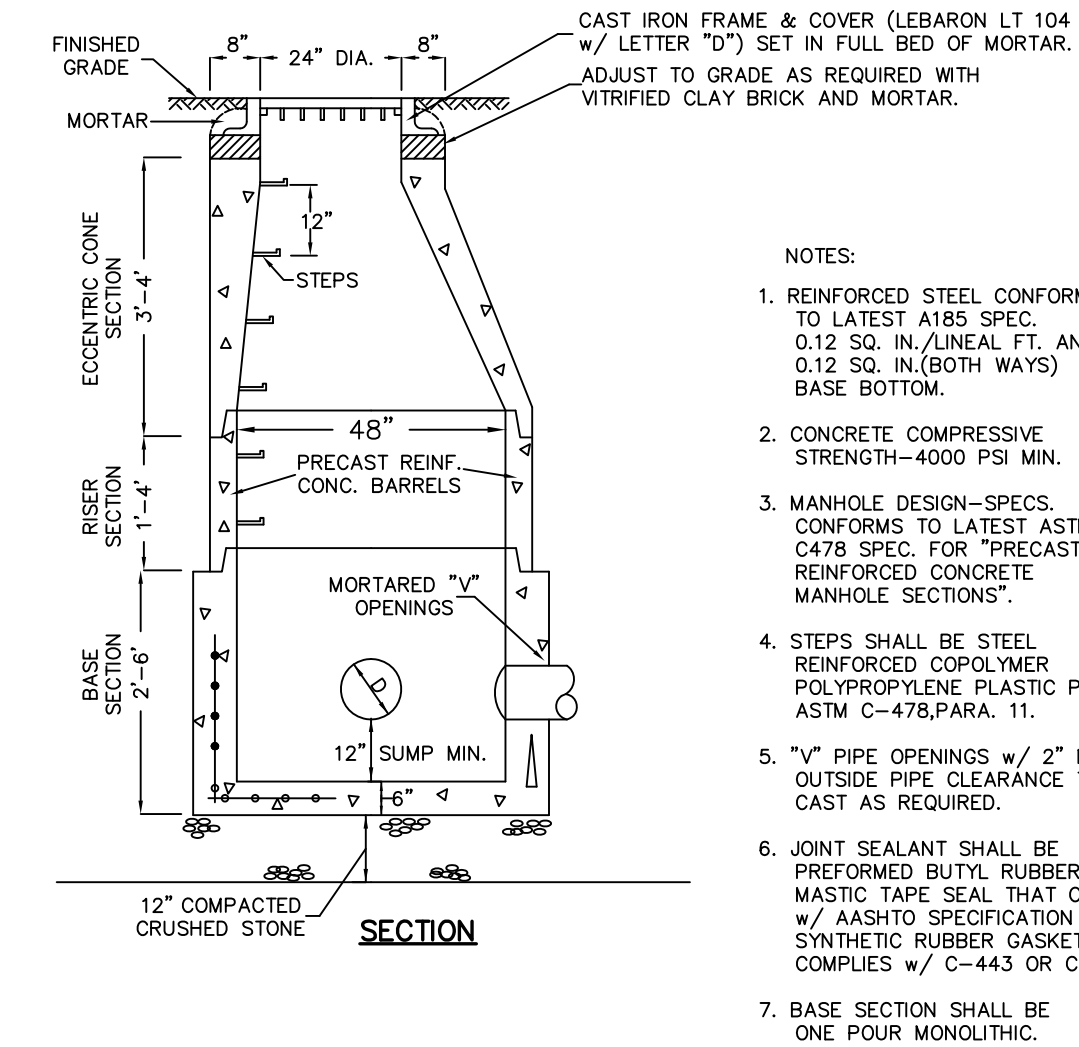
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#	DATE	DESCRIPTION	INIT
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2	11/19/21	PER COMMENTS	BSW

JOB NO: 00047 SHEET: 8 of 13

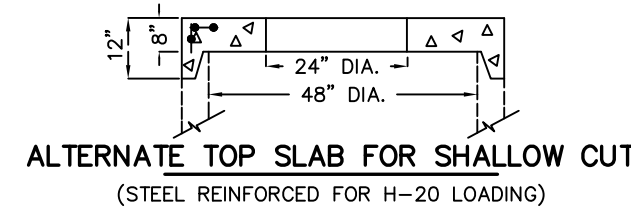




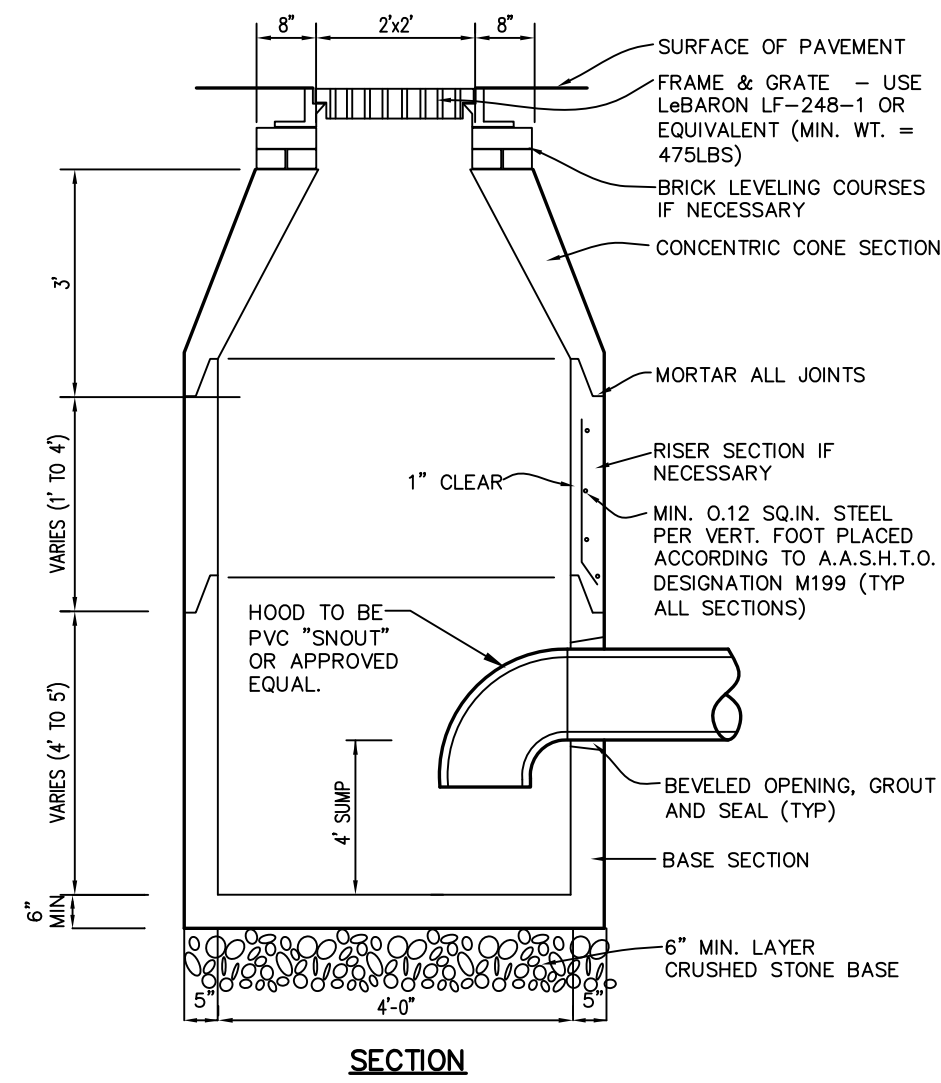
ALTERNATE TOP SLAB FOR SHALLOW CUT  
(STEEL REINFORCED FOR H-20 LOADING)



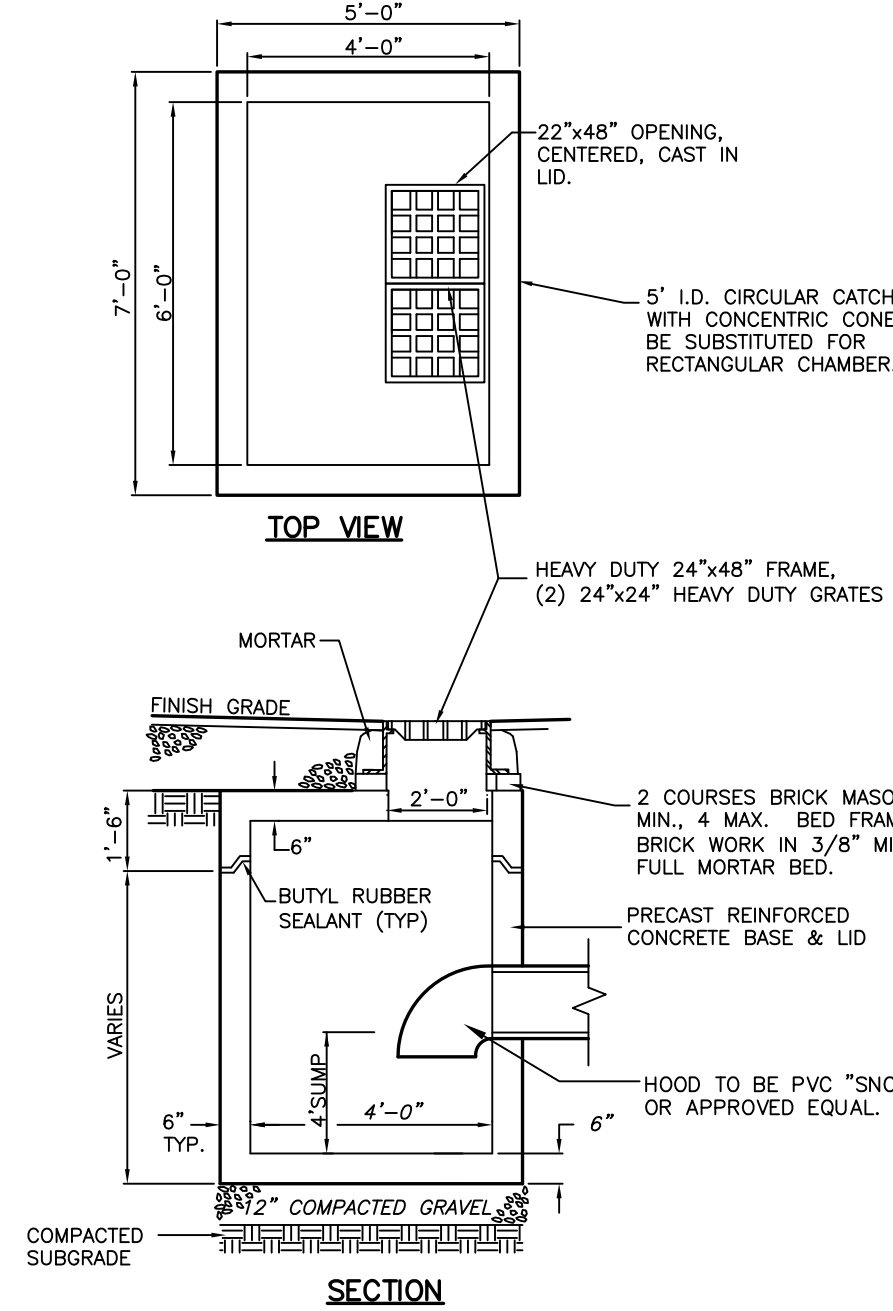
PRECAST CONCRETE DRAIN MANHOLE  
(NOT TO SCALE)



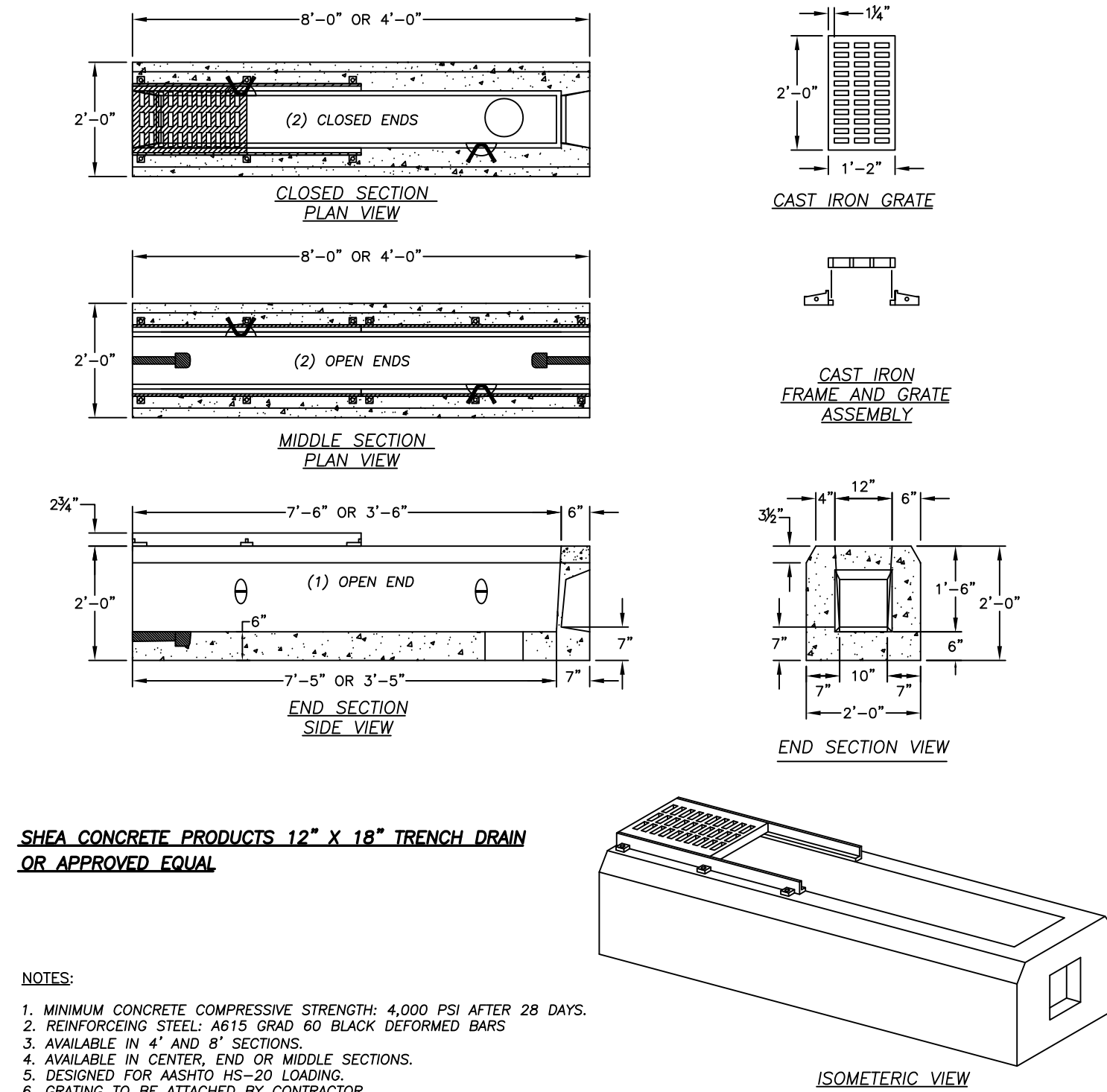
ALTERNATE TOP SLAB FOR SHALLOW CUT  
(STEEL REINFORCED FOR H-20 LOADING)



PRECAST CONCRETE CATCH BASIN  
(NOT TO SCALE)

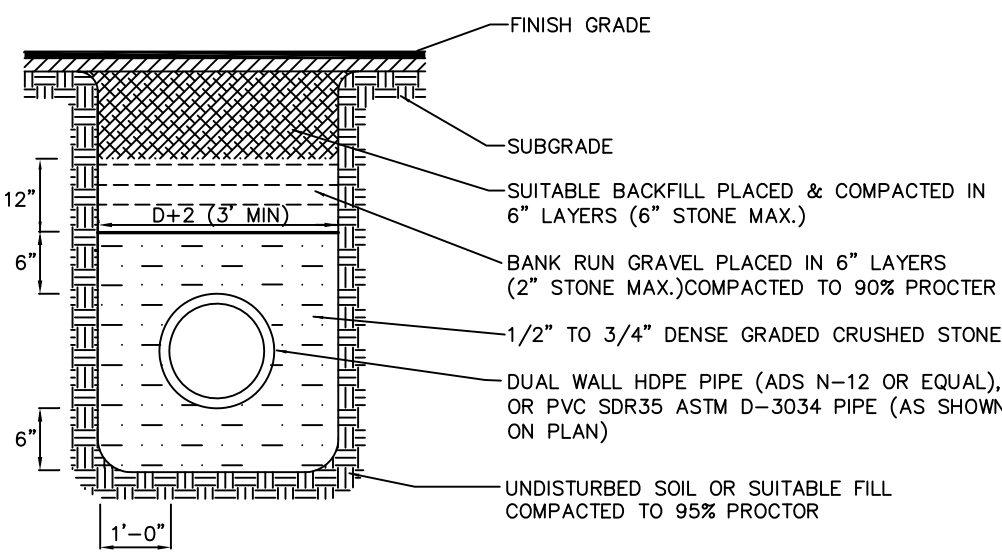


DOUBLE GRATE CATCH BASIN  
(NOT TO SCALE)

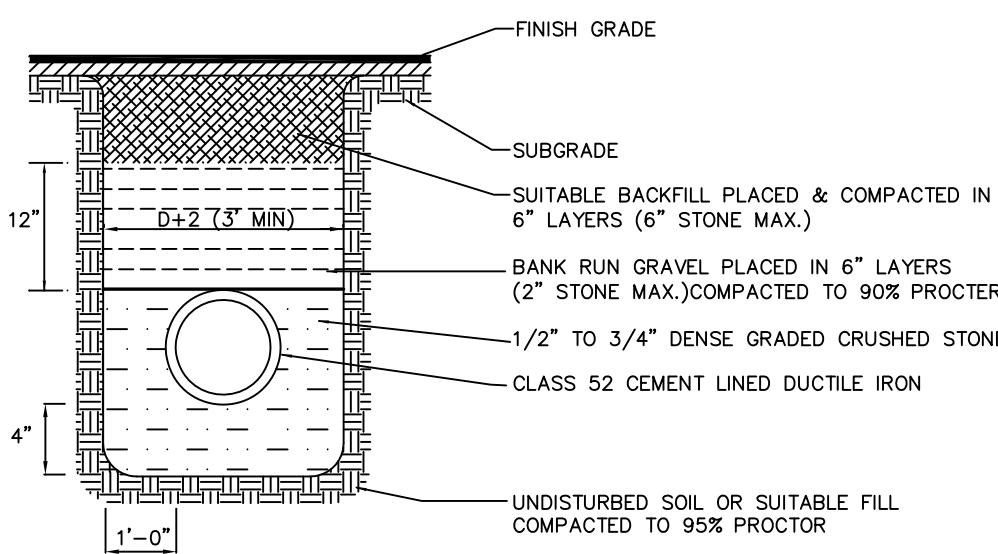


SHEA CONCRETE PRODUCTS 12" X 18" TRENCH DRAIN  
OR APPROVED EQUAL

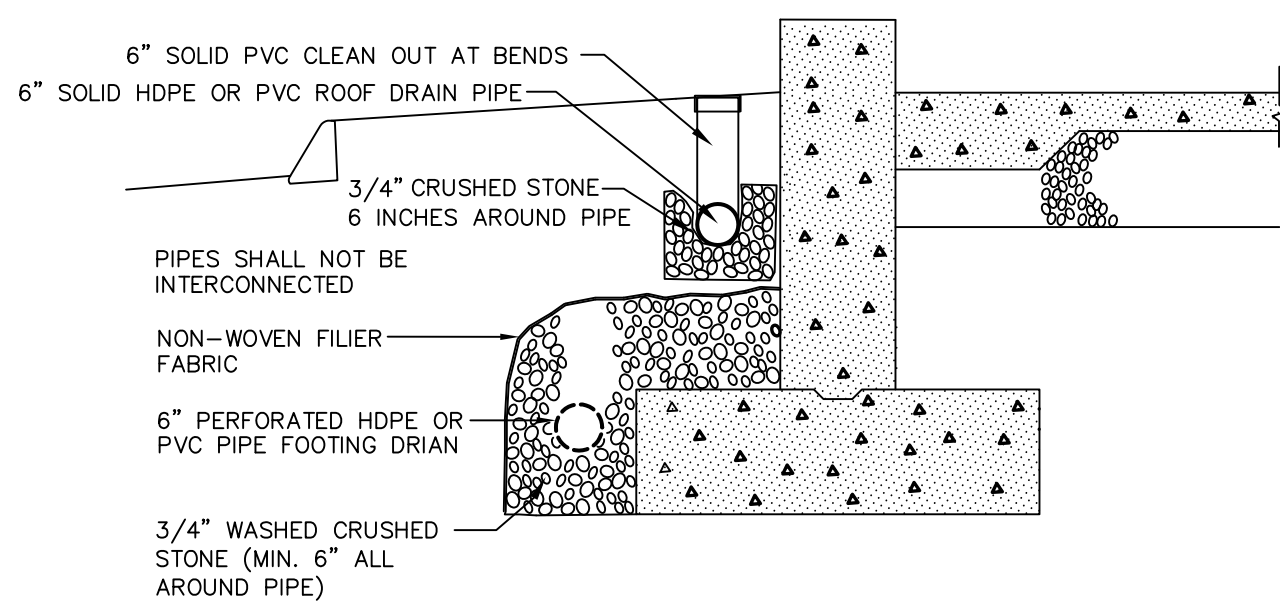
TRENCH DRAIN  
(NOT TO SCALE)



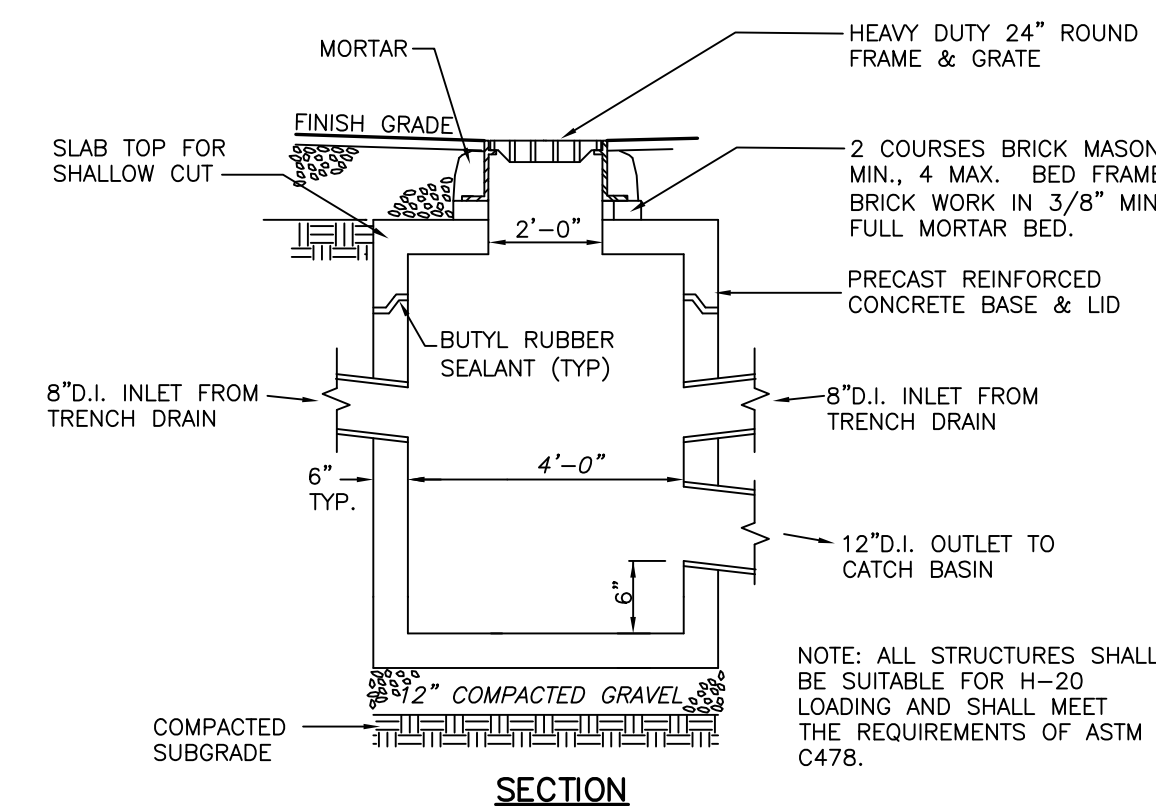
HDPE/PVC PIPE  
TRENCH CROSS SECTION  
(NOT TO SCALE)



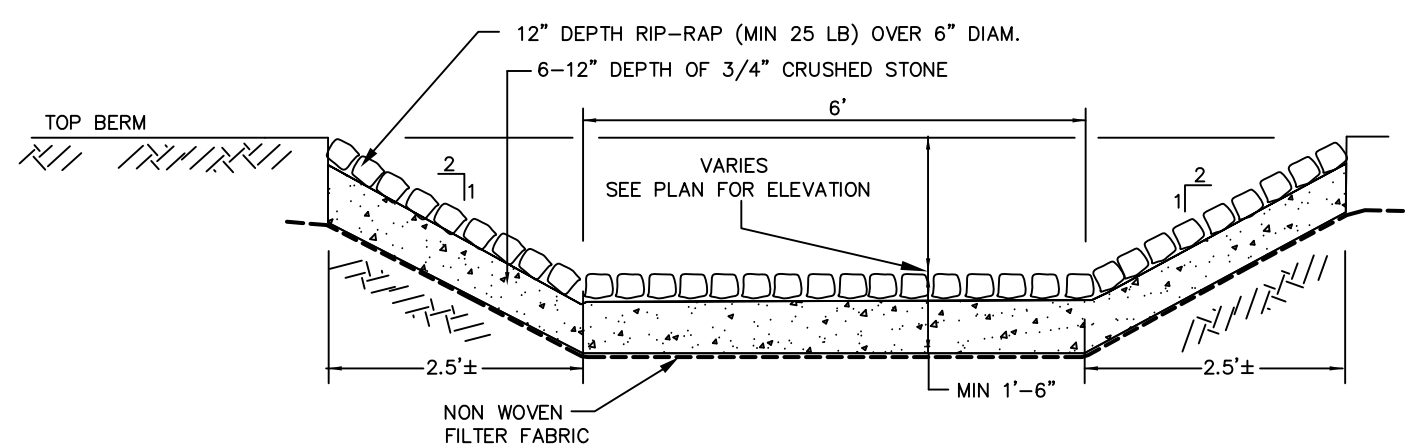
DUCTILE IRON DRAIN PIPE  
TRENCH CROSS SECTION  
(NOT TO SCALE)



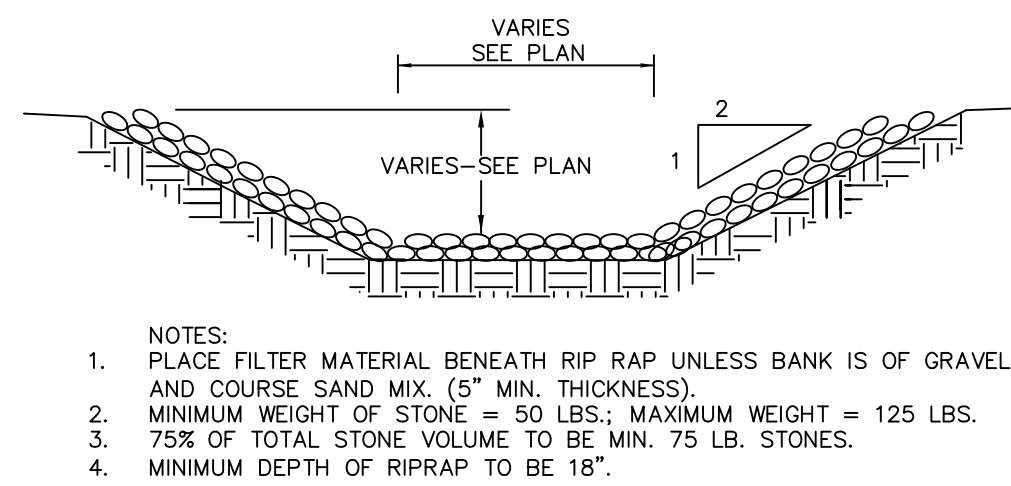
TYPICAL SECTION-ROOF DRAIN & FOOTING DRAIN  
(NOT TO SCALE)



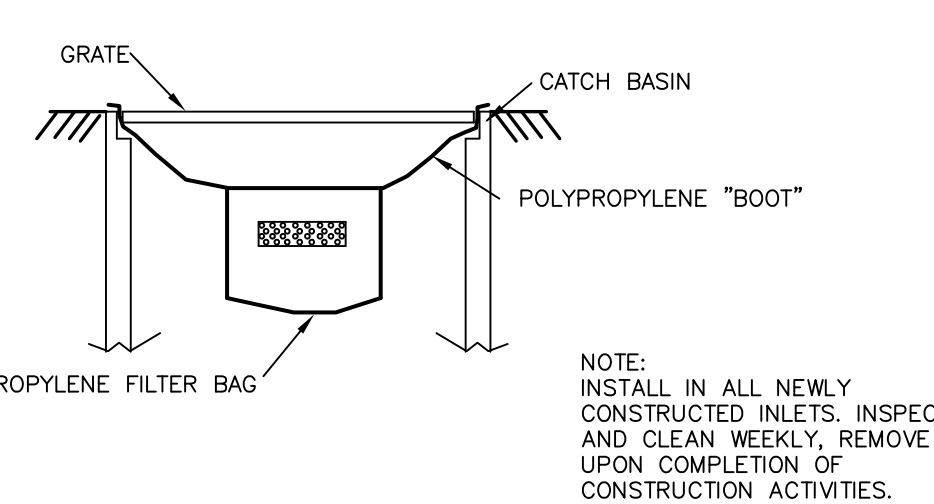
DROP INLET  
(NOT TO SCALE)



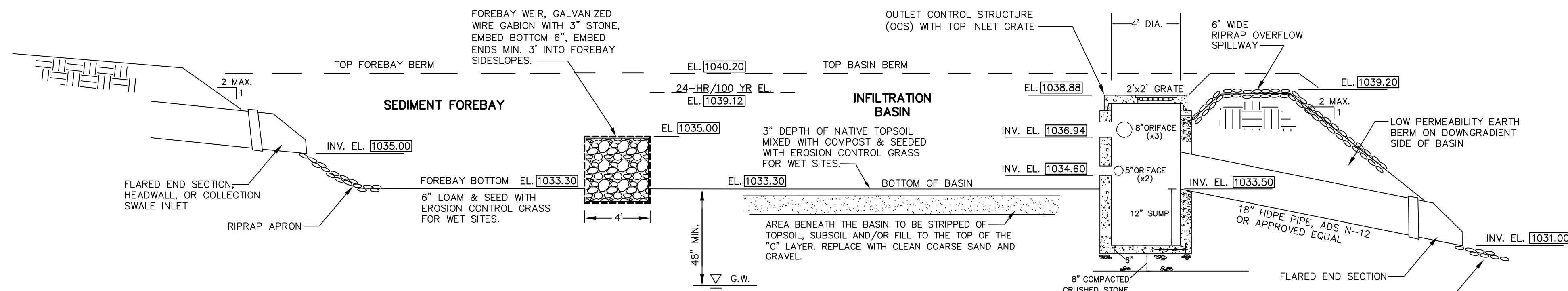
INFILTRATION BASIN  
RIPRAP OVERFLOW SPILLWAY  
(NOT TO SCALE)



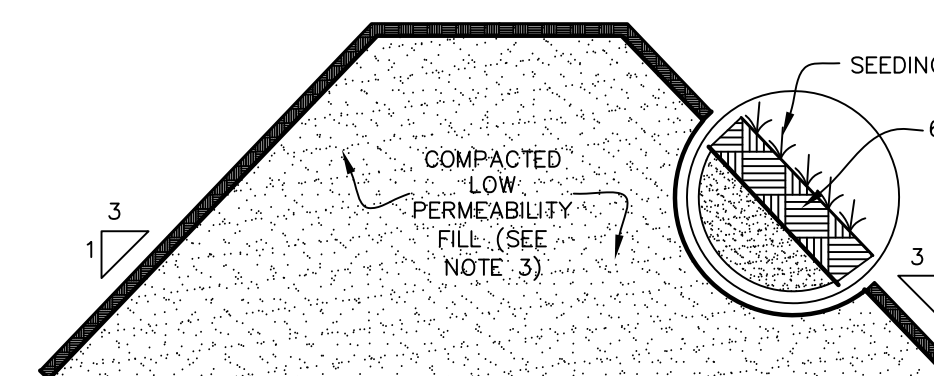
RIPRAP APRON  
FOR PIPE ENDS  
(NOT TO SCALE)



CATCH BASIN SEDIMENT  
FILTER INSERT  
(NOT TO SCALE)



STORMWATER SEDIMENT FOREBAY & INFILTRATION BASIN  
(NOT TO SCALE)



LOW PERMEABILITY EARTH BERM - SECTION  
NOT TO SCALE

LOCUS REFERENCES  
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DEED BOOK 41309, PAGE 153  
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE  
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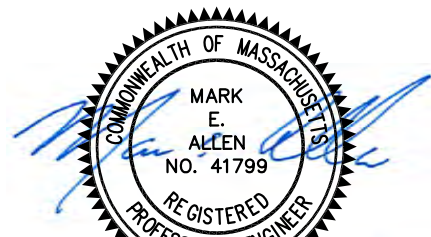
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TITLE:

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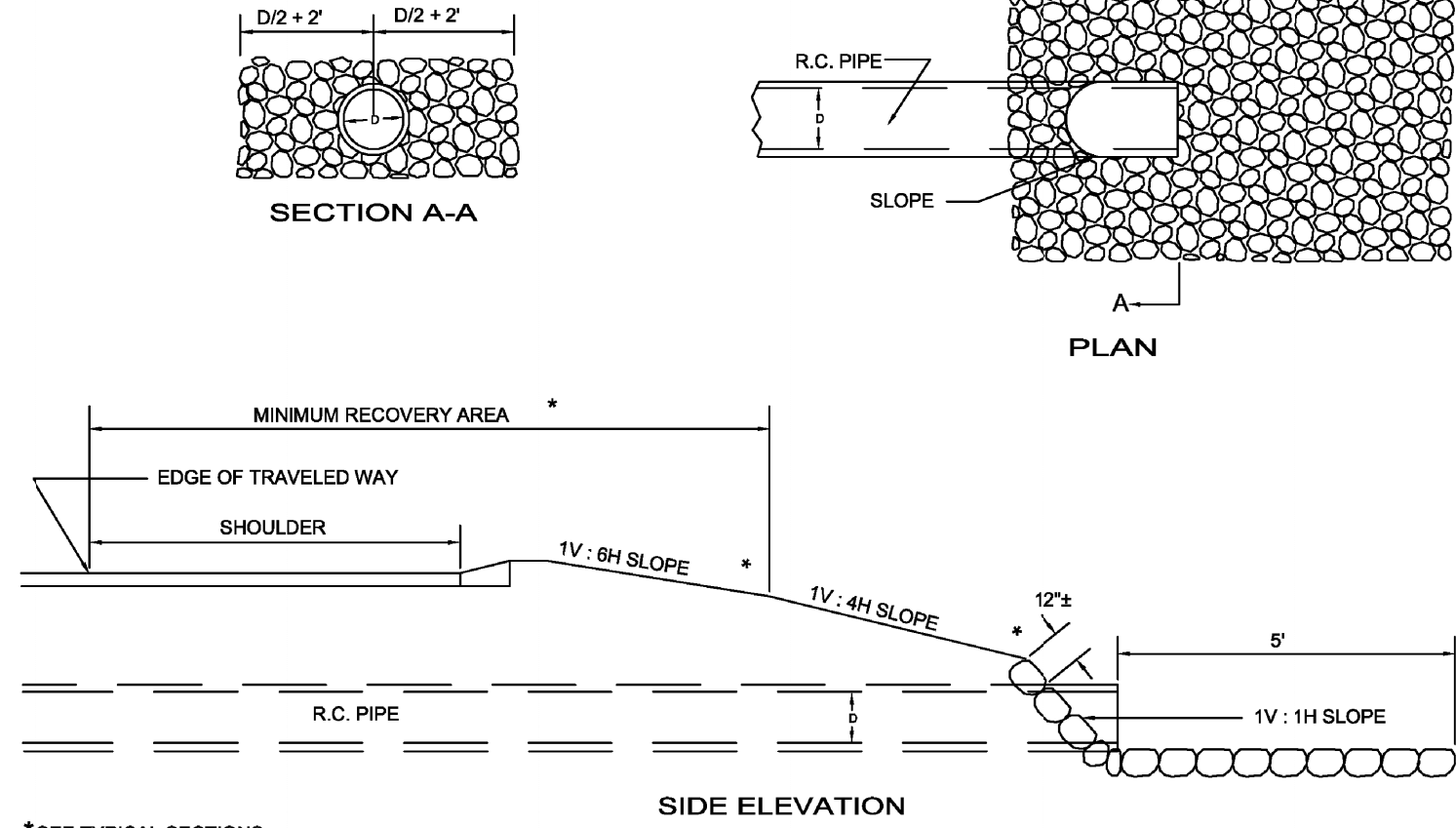
SCALE: AS NOTED

DATE: September 23, 2021

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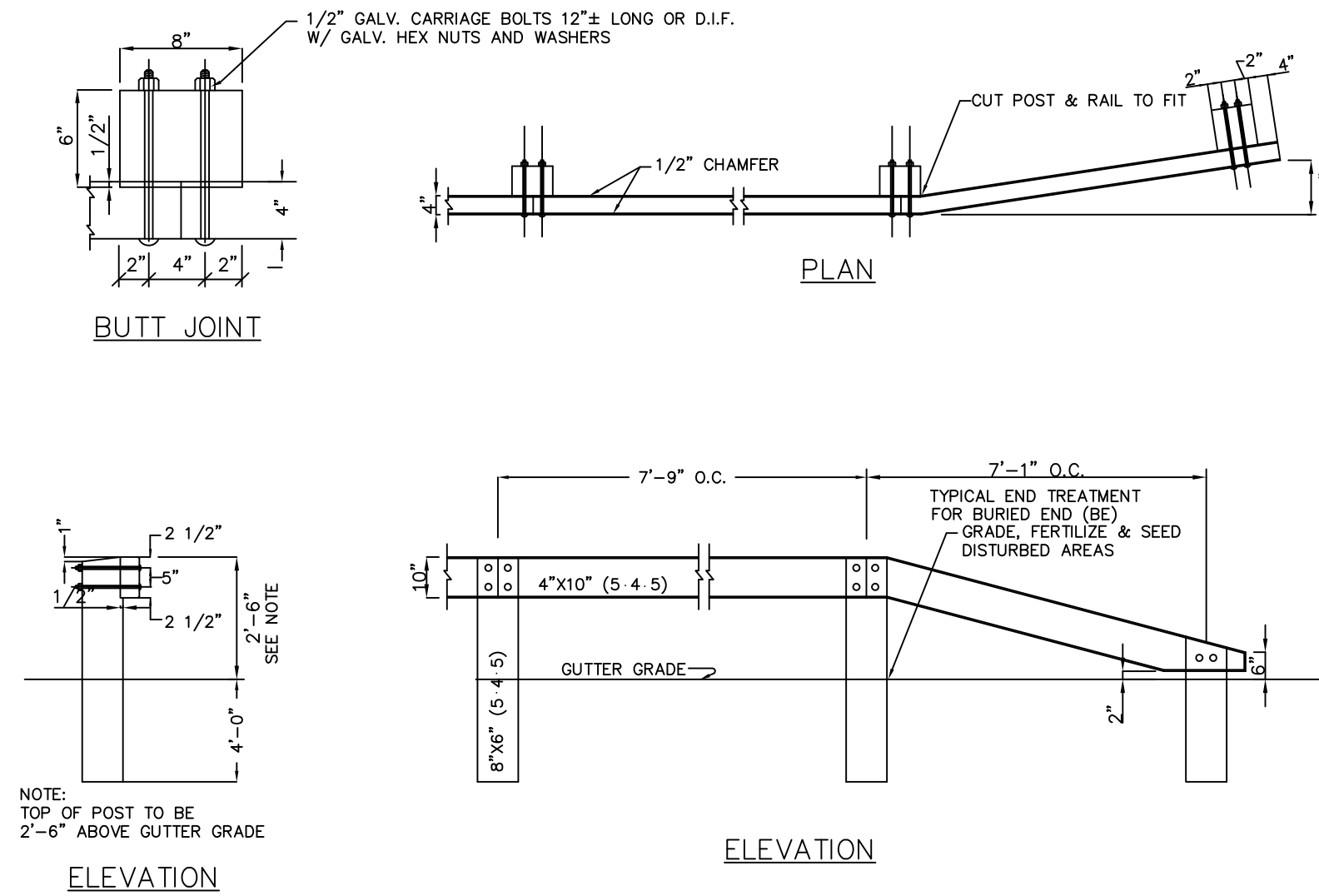
JOB NO: 00047 SHEET: 9 of 13





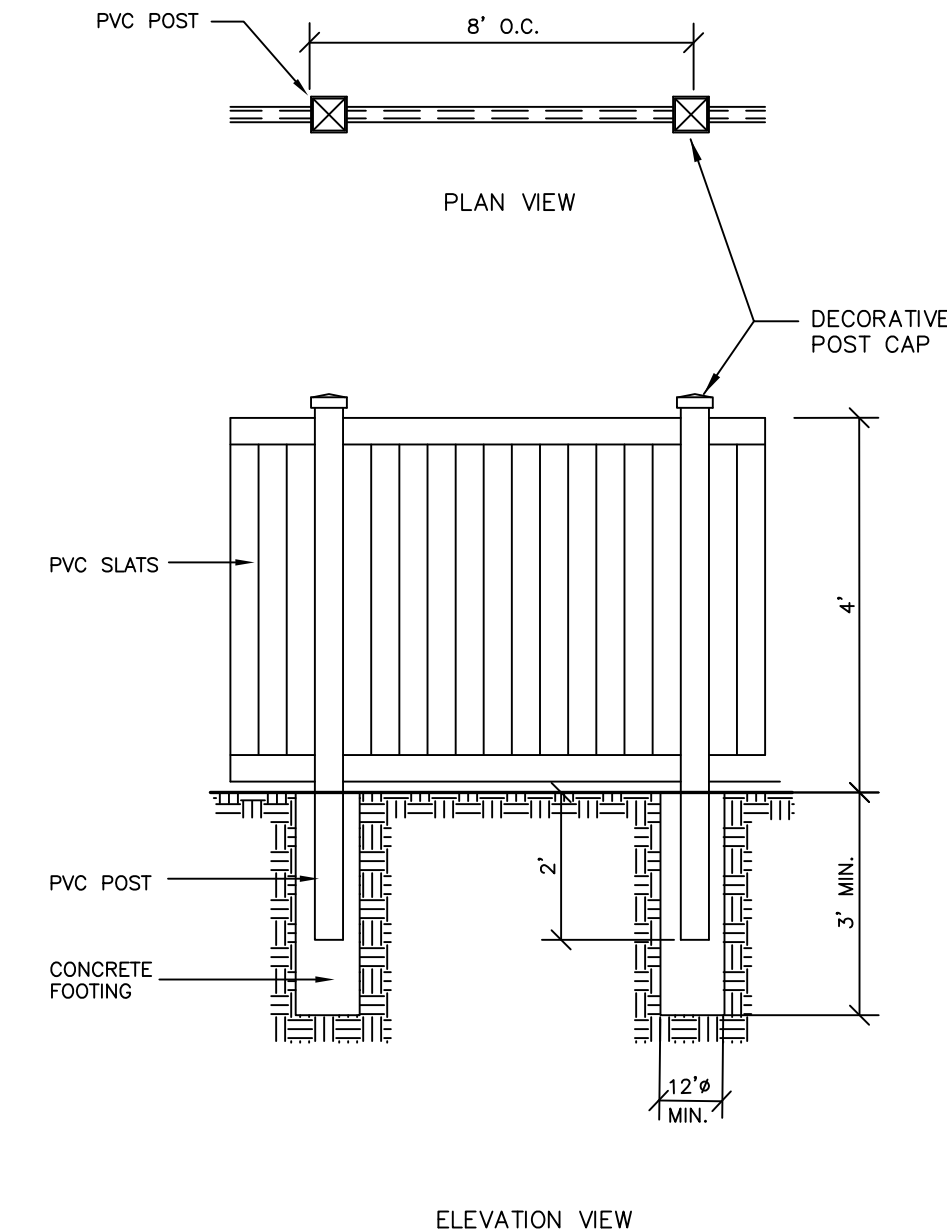
- NOTES:
1. STONE TREATMENT OF PIPE ENDS SHALL NOT BE USED IN THE VEHICLE RECOVERY AREA.
  2. MINIMUM MASS PER STONE = 50 LBS, MAXIMUM MASS PER STONE = 125 LBS.
  3. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHODS, SEE STANDARD SPECIFICATIONS.

**PIPE END RIPRAP APRON**  
(NOT TO SCALE)



**WOODEN GUARD RAIL**  
(NOT TO SCALE)

- GENERAL NOTES
1. WOOD RAILS TO BE LONGLEAF YELLOW PINE OR DOUGLAS FIR - STRUCTURAL GRADE OR BETTER.
  2. POSTS TO BE DOUGLAS FIR OR SPRUCE - STRUCTURAL GRADE OR BETTER.
  3. TIMBER PRESERVATIVES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-133. THE METHODS OF TREATMENT SHALL CONFORM TO AMER. WOOD PRESERVERS ASSN. STANDARDS C1, C2 & C3. ANY CUTS MADE IN FIELD SHALL BE PAINTED W/ 2 BRUSH COATS OF AFOREMENTIONED METHOD OF TREATMENT.
  4. METAL GUARDRAIL CONFORMING TO MASSDOT STANDARD SPECIFICATIONS MAY BE INSTALLED IN LIEU OF WOODEN GUARDRAIL.



- NOTES:
1. INSTALL PER MANUFACTURES RECOMMENDATIONS.
  2. ALL FENCE COMPONENTS TO BE WHITE FINISH.

**OPAQUE PVC FENCE DETAIL**  
(NOT TO SCALE)

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DEED BOOK 41309, PAGE 153  
1.05 Acres

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LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES  
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODRONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.

3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaft Petroleum, Inc.  
334 Grafton Street,  
Worcester, MA 01604

TITLE:  
**CONSTRUCTION  
DETAIL PLAN**  
For  
#1603 - #1605 Main Street  
In  
Leicester, MA

PREPARED BY:



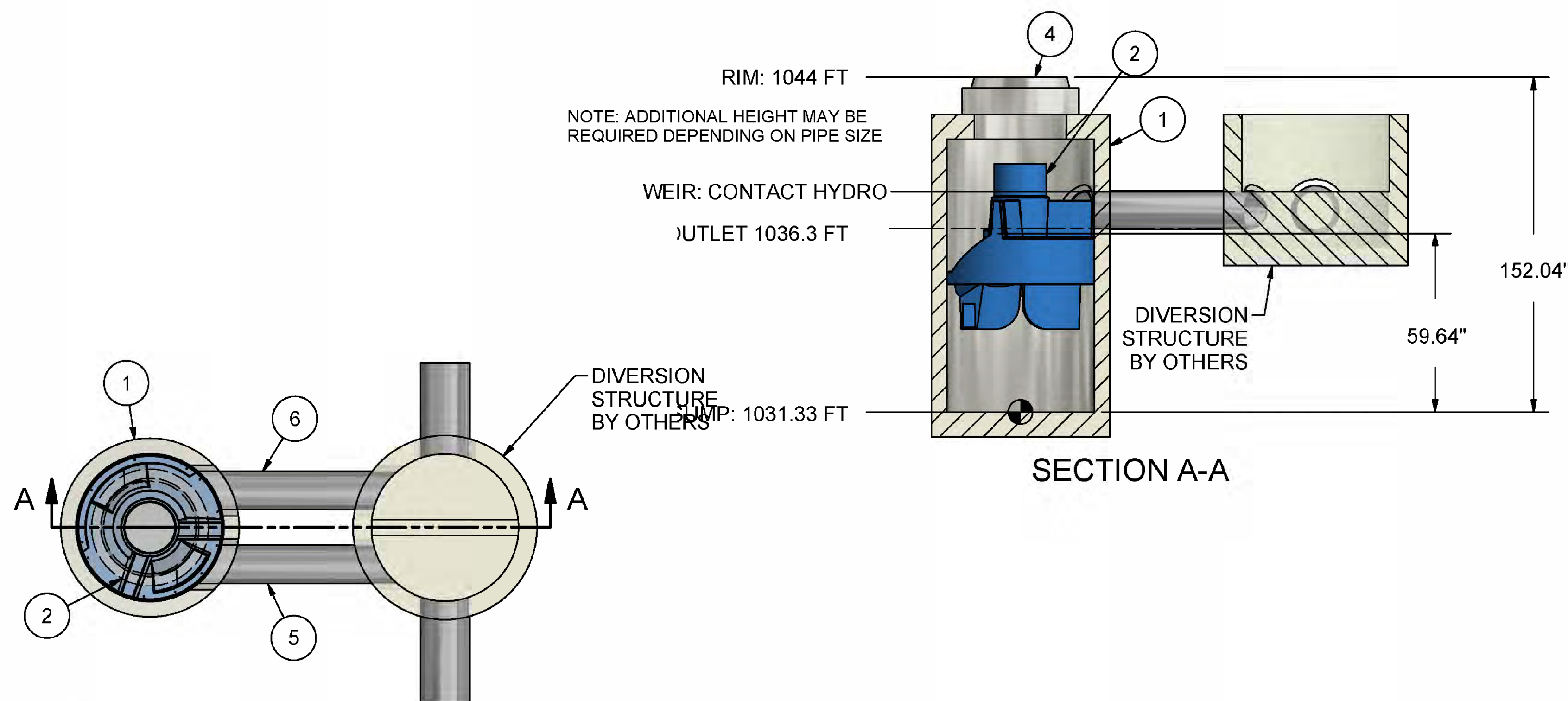
**ALLEN ENGINEERING  
& ASSOCIATES, INC.**  
Civil Engineers • Surveyors  
Land Development Consultants  
One Charlesview Road  
Suite 2  
Hopedale, Ma 01747  
(508) 381-3212 • Phone  
www.allenrea.com

SCALE: AS NOTED

DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW
2	11/19/21	PER COMMENTS	BSW

JOB NO: 00047 SHEET: 10 of 13

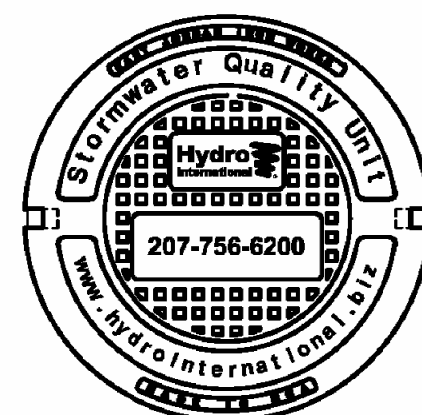


**CAPACITIES:**

1. PEAK HYDRAULIC FLOW: 17.89 cfs
2. SEDIMENT STORAGE CAPACITY: 0.7 yd3
3. OIL STORAGE CAPACITY: 191 gal
4. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
5. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.

**GENERAL NOTES :**

1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
2. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plans)
3. Peak flow rate and minimum height limited by available cover and pipe diameter.



**HYDRO FRAME AND  
COVER (INCLUDED)**  
GRADE RINGS BY OTHERS  
AS REQUIRED

- NOTE:
- NOT FOR CONSTRUCTION. CONTACT HYDRO FOR SITE SPECIFIC DETAIL.
  - MAX PIPE SIZE MAY NOT BE POSSIBLE IN OFFLINE CONFIGURATION.

PARTS LIST		
ITEM	DESCRIPTION	SIZE (in)
1	I.D. PRECAST MANHOLE	48
2	INTERNAL COMPONENTS (PRE-INSTALLED)	
4	FRAME AND COVER (ROUND)	30
5	OUTLET PIPE(BY OTHERS)	12
6	INLET PIPE(BY OTHERS)	12

WEIGHT: N/A	MATERIAL:
REFERENCE NUMBER: 21_12_1395	
DRAWING NO.:	
SHEET SIZE: B	SHEET: 1 OF 1
Rev: -	

Bruce@Allen-EA.com 4/5/2021



**IF IN DOUBT ASK**

- COMMENTS:
1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
  2. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

REVISION HISTORY		
REV	BY	DESCRIPTION
-	ER	FIRST RELEASE

DATE:	SCALE: NTS
-------	------------

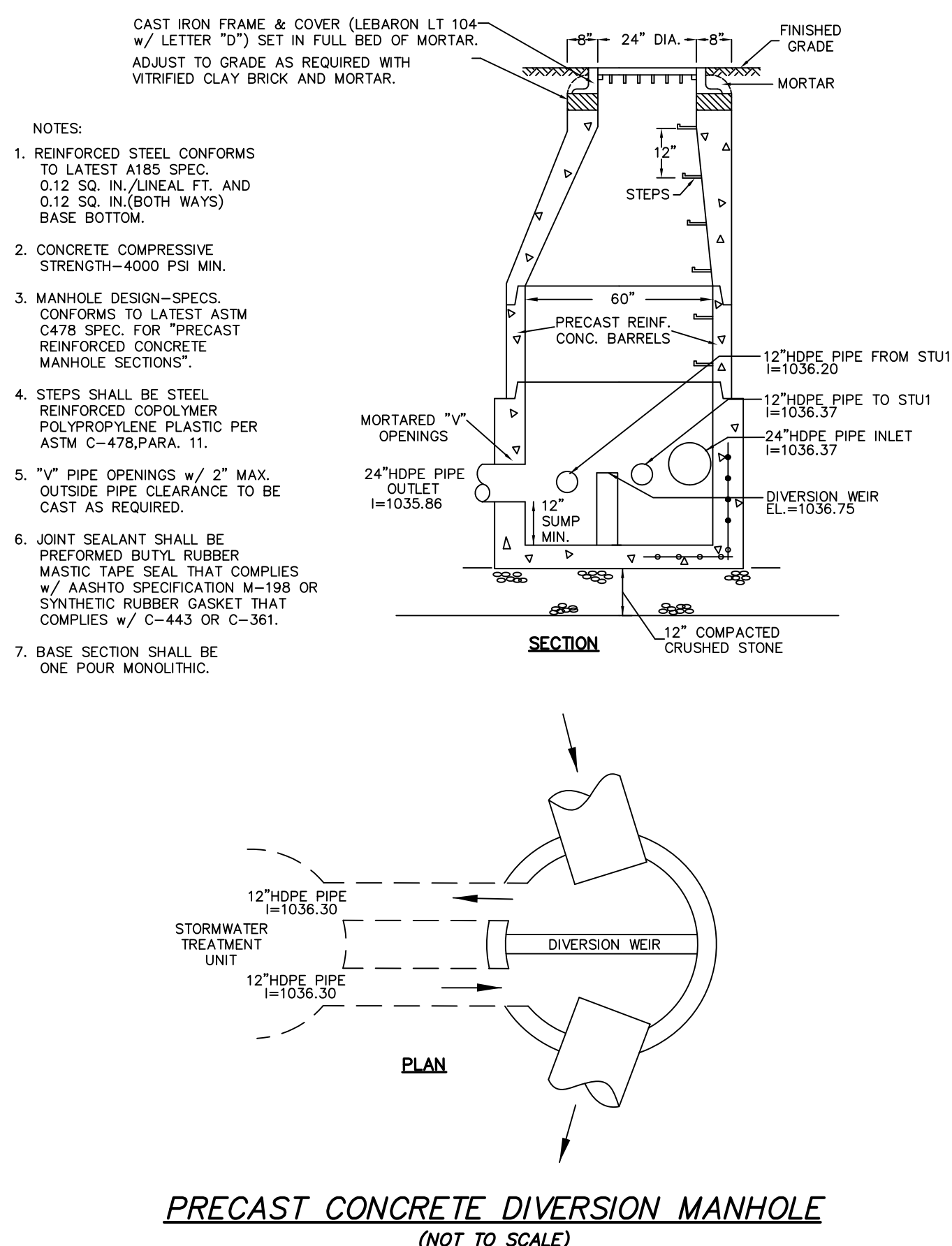
DRAWN BY: ER	CHECKED BY:	APPROVED BY:
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Title  
**4 FT FIRST DEFENSE®  
HIGH CAPACITY**

Site:  
Leicester

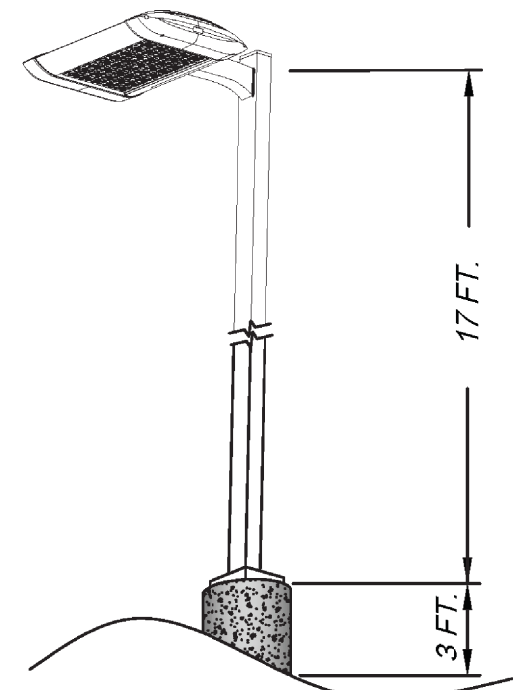
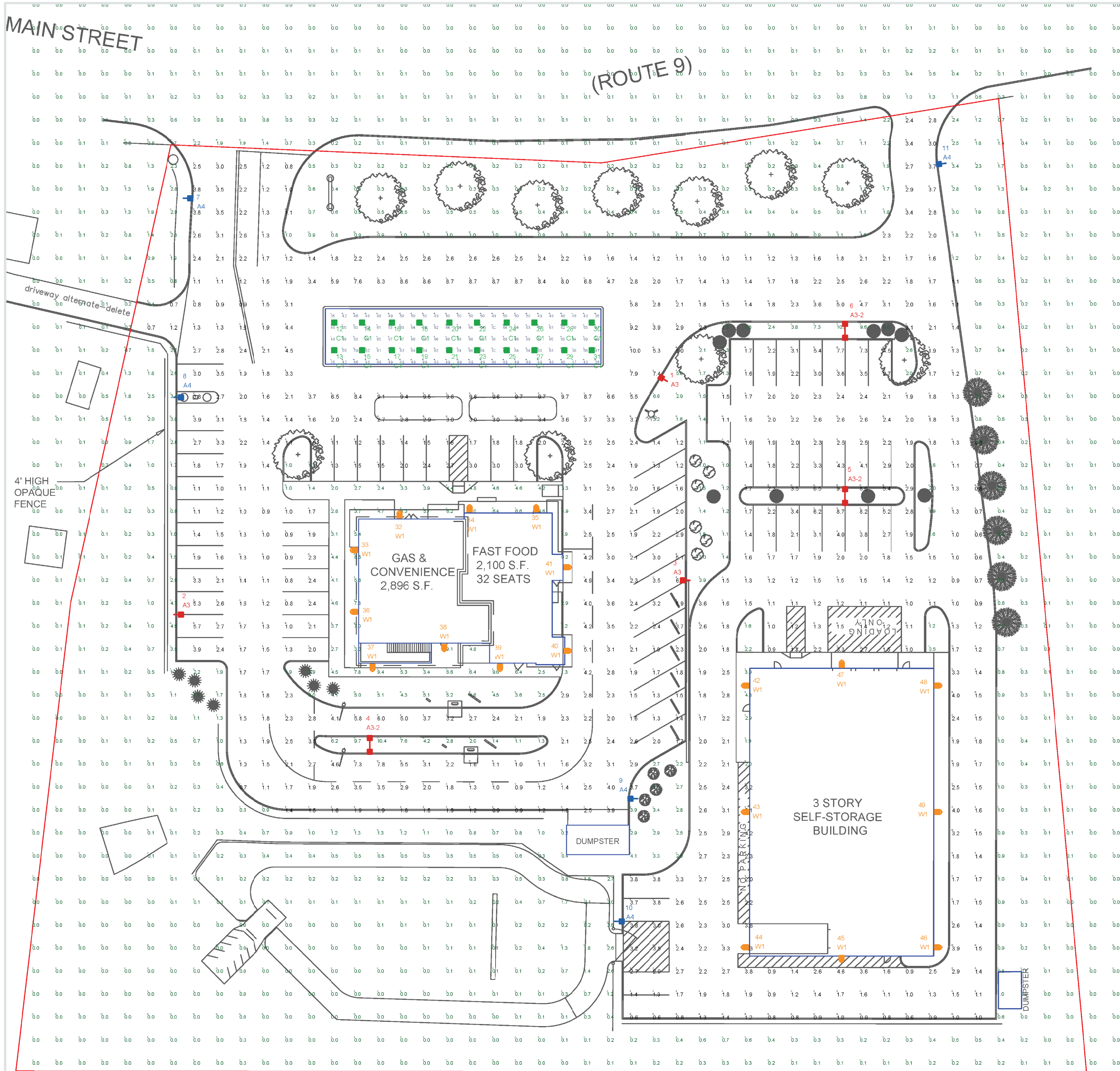
Structure No:  
STU1

**Hydro International**  
hydro-int.com  
HYDRO INTERNATIONAL



**PRECAST CONCRETE DIVERSION MANHOLE**  
(NOT TO SCALE)










NOTE:  
- ALL AREA LIGHTS ON NEW 17 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	56.03	68	35	1.60	1.94
PAVED	2.54	10.0	0.6	4.23	16.67
UNDEFINED	0.60	10.4	0.0	N.A.	N.A.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3	20
2	A3	20
3	A3	20
4	A3-2	20
5	A3-2	20
6	A3-2	20
7	A4	20
8	A4	20
9	A4	20
10	A4	20
11	A4	20
12	C1	15
13	C1	15
14	C1	15
15	C1	15
16	C1	15
17	C1	15
18	C1	15
19	C1	15
20	C1	15
21	C1	15
22	C1	15
23	C1	15
24	C1	15
25	C1	15
26	C1	15
27	C1	15
28	C1	15
29	C1	15
30	C1	15
31	C1	15
32	W1	12
33	W1	12
34	W1	12
35	W1	12
36	W1	12
37	W1	12
38	W1	12
39	W1	12
40	W1	12
41	W1	12
42	W1	15
43	W1	15
44	W1	15
45	W1	15
46	W1	15
47	W1	15
48	W1	15
49	W1	15

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	3	A3	SINGLE	11175	1.030	B2-U0-G2	72	216	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	3	A3-2	D180	11175	1.030	B2-U0-G2	72	432	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	5	A4	SINGLE	11174	1.030	B2-U0-G2	72	360	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
	20	C1	SINGLE	12516	1.030	B3-U0-G1	91.19	1823.8	Cree Lighting	CPY250-B-DM-F-13L-UL-XX-57K
	18	W1	SINGLE	4270	1.030	B1-U0-G1	31	558	Cree Inc	XSPW-B-WM-3ME-4L-57K-UL-XX

DISCLAIMER

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SCALE:  
1" = 30'  
LAYOUT BY:  
LMP  
DWG SIZE:  
D  
DATE:  
04/30/21

PROJECT NAME:  
MOBIL/BURGER KING  
LEICESTER, MA  
DRAWING NUMBER:  
RL-7353-S1-R1



**RED LEONARD ASSOCIATES**  
1340 Kemper Meadow Dr, Forest Park, OH 45240  
513-674-9600 | redleonard.com

REV.	BY	DATE	DESCRIPTION
R1	LMP	08/19/21	REVISED TO INCLUDE SELF STORAGE PARKING

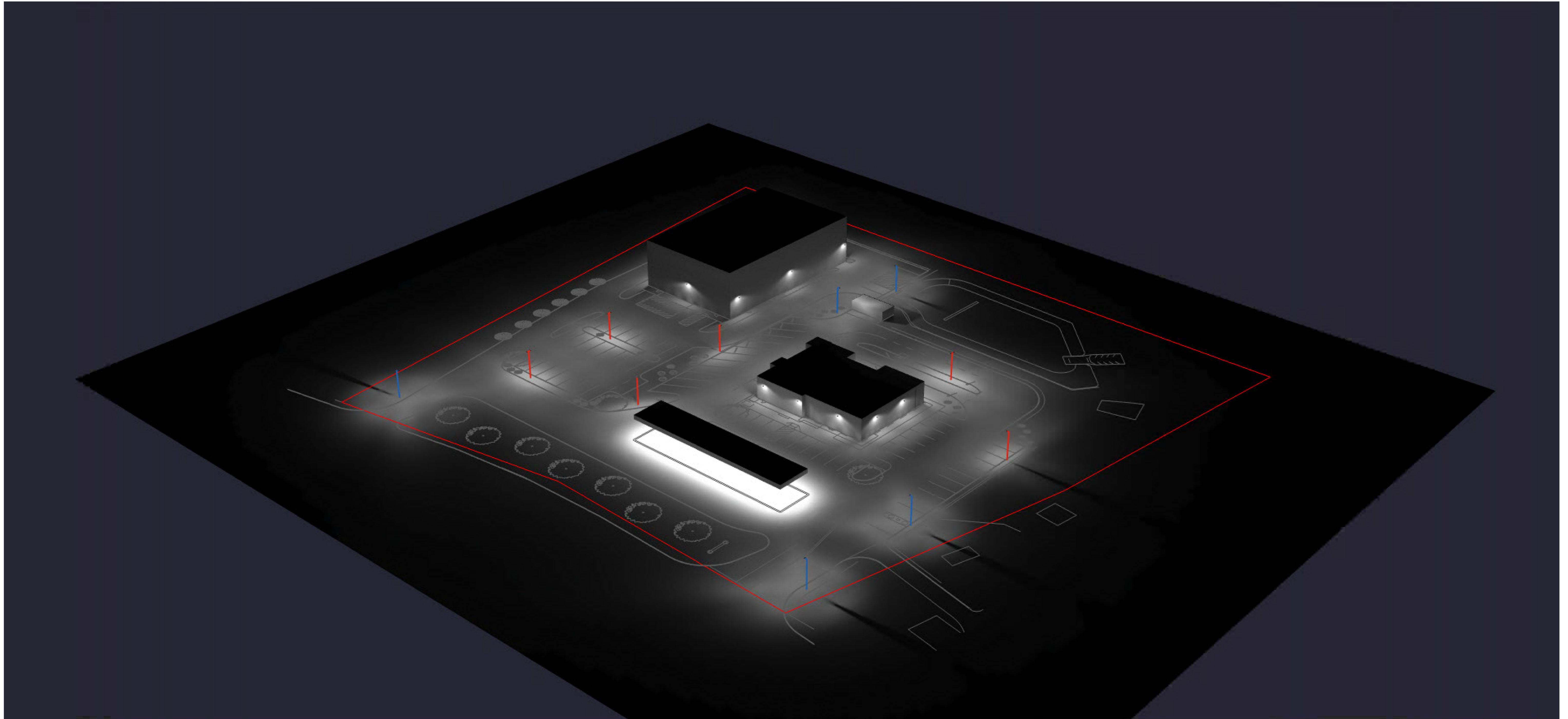
LIGHTING  
PHOTOMETRIC PLAN

JOB NO:  
00047  
SHEET:  
11 of 13









November 24, 2021

Leicester Planning Board  
Town of Leicester  
3 Washburn Square  
Leicester, MA 01524-1333

Re: #1603 - #1605 Main Street

To the Board:

This office has received the following information from Allen Engineering & Associates, Inc. (AEA) related to the site plan application for the proposed development at #1603 - #1605 Main Street:

- An email from [bruce@allen-ea.com](mailto:bruce@allen-ea.com) on November 15, 2021 with the following attachments:
  - *00047 Peer Review Response 11-12-21.pdf* – This attachment consists of a 5 page memorandum addressed to Town of Leicester Planning Board from Mark E. Allen, PE dated November 12, 2021.
  - *00047 Narrative of Compliance to Site Plan Review Standards.pdf* – This attachment consists of a 2 page memorandum addressed to Town of Leicester Planning Board from Mark E. Allen, PE dated November 12, 2021.
  - *00047 Drainage Analysis Report-Revised 11-12-21.pdf* – This attachment consists of an electronic report titled “Drainage Analysis Report” prepared by Allen Engineering, & Associates, Inc. revised November 12, 2021
  - *00047 Site Plan Revised 11-12-21.pdf* – This attachment consists of an electronic plan set titled “Site Development Plan at #1603 - #1605 Main Street Leicester, Massachusetts” prepared by Allen Engineering & Associates, Inc. revised 11/12/21.
- A bound report titled “Drainage Analysis Report” prepared by Allen Engineering, & Associates, Inc. revised November 12, 2021. (received November 23, 2021)
- A bound set of plans titled “Site Development Plan at #1603 - #1605 Main Street Leicester, Massachusetts” prepared by Allen Engineering & Associates, Inc. revised 11/12/21. (received November 23, 2021)

As identified previously, in 2013, a site plan and special permits were approved for a fast food restaurant, gas station, car wash and drive through for a fast food restaurant and a bank at this property. The approvals included a waiver to reduce the landscape buffer from 50 feet to 20 feet with the inclusion of an opaque fence, as well as a variance for relief of the required distance from a driveway to a residential property.

We have reviewed this submittal for responses to comments that this office provided in a letter to Leicester Planning Board dated October 25, 2021. Any changes made not in response to our comments must be identified by the applicant. Comments from the previously issued review



memorandum can be seen below with supplemental comments noted in *italic* based on the Applicant's responses. Comments that have been adequately addressed are prefaced with "**Resolved**". Comments that have been addressed but for which this office has additional comments are prefaced with "**Resolved with comments**". Comments for which this office has not further comment have been prefaced with "**No further comment**". Supplemental comments that require review by or input from the Board have been prefaced with "**This office defers to the Board**".

### **Zoning Bylaw**

1. The Applicant must confirm that the building, including the fascia, will conform to the setback requirements. (§4.2)

**Resolved.** *AEA has indicated that the buildings, including the fascia will conform to the setback requirements.*

2. A designated loading space is not proposed at #1605 Main Street. The Applicant must identify how deliveries will be made and why a loading space is not required. (§5.1.01, LPR IV.H)

**This office defers to the Board.** *AEA has indicated that deliveries will typically occur during off peak hour and that the excess parking spaces may be reserved to accommodate deliveries. This office defers to the Board if this method is satisfactory or if a designated loading area should be provided.*

3. §5.5.02.1.C recommends only one curb cut per lot, however, it is understood that the second, easterly curb cut was encouraged by MA DOT. The two curb cuts are proposed in a similar configuration that had been previously approved.

**No further comment.**

4. Parking is required to the side or rear of the structure to the maximum extend feasible. The Applicant must demonstrate why parking cannot be located behind the building proposed at #1603 Main Street. (§5.5.02.1.A.4)

**This office defers to the Board.** *AEA has indicated that there is not sufficient width to place the parking on the sides of the building. AEA has also indicated that the building's main entrance faces the street as is typical for most businesses and that placing parking behind the building would conflict with the Americans with Disabilities Act. This office defers to the Board if this is a suitable rational and defers to the Board if any additional information should be submitted to demonstrate that parking cannot be provided behind the building.*

5. The submitted photometric plan identifies light spillage over 1 foot-candle on the adjacent property. The Applicant must demonstrate that lighting does not shine beyond the property lines. (§5.5.02.1.A.7 and LPR IV.G)

*AEA has deferred to the Board and has indicated that the regulations do not provide a maximum foot-candle measurement. It should be noted that Section 5.5.02.1.A.7 states that lighting shall not shine beyond the property lines. It is recommended that the proposed lighting be revised to eliminate the lighting that extends beyond the property lines.*

6. On the proposed plan, patrons parking in the northernmost spaces on #1603 Main Street must walk between other parking spaces and cross the landscaped island to access the proposed building. A walkway is recommended to provide access through the middle rows of parking and landscaped island. (§5.5.02.1.A.8, LPR IV.F, LR IV.C)

**Resolved.** *5' wide walkways have been provided on both sides of the landscape island to allow pedestrian access.*

7. Doors at the proposed drive through windows will force pedestrians to walk across/along the drive through lanes. The Applicant should consider providing alternative door locations. (§5.5.02.1.A.8, LPR IV.F, LR IV.C)  
**Resolved.** *AEA has indicated that these doors are for employee access only.*
8. Calculations have been provided to confirm that the proposed landscaping meets the 5% area requirement listed in §5.5.02.2.I. This office defers to the Board on the location and type of landscaping to be provided.  
**No further comment.**
9. The waiver requested from §5.5.02.2.B specifies a buffer width of 48.4 feet. The Applicant should also reference the minimum buffer width proposed in the waiver request.  
**Resolved.** *The minimum distance from the proposed parking to the adjacent residential property has been identified as 22.4 feet. It should be noted that the proposed 3 lane driveway is also within the buffer, however, it is understood that the location of the driveway is located to correspond with the signalized intersection.*
10. Parking is proposed on the western side of the property within the area that would typically be designated as a landscape buffer. This office defers to the Board if a waiver from §5.5.02.2.H should be included in the waiver requests. Parking was not in this location on the previously approved plan.  
**No further comment.**

### **Site Plan Rules and Regulations**

11. The narrative provided by Allen Engineering & Associates, Inc. identifies that the hours of operation for the building proposed at #1605 Main Street are from 5 AM to 12 PM. The Applicant should confirm the expected closing time. (SPRR II.E.1.a)  
**Resolved.** *AEA has indicated that the expected closing time is 12 o'clock midnight.*
12. The Board may wish that the submitted narrative specifically identify how each point in Section 5.2.05 are met. (SPRR II.E.2)  
**Resolved.** *An additional narrative has been submitted.*
13. This office defers to the LWSD regarding the sewer and water service configurations. (SPRR II.E.I)  
**No further comment.**
14. The Applicant should identify the proposed development schedule. (SPRR II.E.4)  
**Resolved.** *AEA has provided a development schedule.*
15. Colors of the building proposed at #1603 Main Street must be provided. Also, the Board may request that color renderings of the proposed buildings be submitted. (SPRR II.F)  
**Resolved.** *AEA has provided a description of the color scheme and has indicated that a color rendering will be presented to the Board.*
16. The locus plan provided does not meet some of the requirements specified in SPRR II.G.  
**Resolved.** *An updated locus plan has been provided.*

### **Landscaping Regulations**

17. Landscape buffers must be a mixture of trees, shrubs, ground covers. Alternatively, the Board may allow the use of opaque screening (ie. a fence) in lieu of landscaping. The proposed



landscaping around the perimeter of the property varies from that which was previously approved. This office defers to the Board regarding the location and type of the proposed landscaping.

***No further comment.***

### **Stormwater Regulations & MA DEP Stormwater Handbook**

18. The dimensions of the rip rap aprons must be provided. Calculations supporting the dimensions should also be provided. (MA DEP Standard 1)

***Resolved.*** A MA DOT detail for pipe ends has been provided.

19. The drainage analysis identifies an increase in runoff rates to the adjacent property at the southeasterly design point. The increase must be attenuated. (MA DEP Standard 2)

***Resolved.*** The drainage analysis has been revised and the increase has been attenuated.

20. Woodbridge soils are classified with a dual hydrologic soil group as C/D. The first letter represents the “drained” condition and the second letter represents the “undrained”. Since on site soil testing identified the high groundwater table at greater than 24 inches, the “drained” letter designation (HSG C) should be used. The analysis and other calculations should be updated to reflect HSG C.

***Resolved.*** The drainage analysis has been updated to reflect HSG C.

21. Catch basins are to be designed as off-line systems. The proposed outlet from DRI should be rerouted to a manhole instead of discharging to CB8. DRI should also be provided with a hood on the outlet to capture oil and floatables. (MA DEP Handbook Vol. 2, Ch. 2, page 3-5)

***Resolved.*** The catch basin to catch basin connection has been eliminated on the revised plans.

22. For consistency, the time of concentration used in the post-development catchment 1S should be similar to that used in the pre-development catchment 2S.

***Resolved.*** The time of concentration used in the drainage analysis has been revised.

### **Other Comments**

23. The traffic report identifies that the property at #1621 Main Street has been granted and access easement in order to access the traffic signal. The Applicant should identify the location of the proposed easement and the Board may wish that a copy of the easement agreement be submitted.

***This office defers to the Board.*** AEA has indicated that the access easement is no longer proposed. An easement is recommended in order to reduce the potential number of curb cuts in proximity to the existing traffic signal. This office defers to the Board and MA DOT regarding a potential access easement.

24. Work is proposed on the adjacent property at #1621 Main Street and is labeled on plan as “Grading Agreement w/ Abutter”. It is recommended that documentation of the agreement/easement to be submitted.

***Resolved.*** AEA has indicated that a right of entry and grading easement are required by MA DOT in conjunction with their improvements and that when the document becomes available, AEA will forward it to the Board.

25. The proposed dumpster location at #1605 Main Street will require a front loading trash truck to drive the wrong way against the traffic flow. The Applicant should clarify the trash removal

procedure and, if necessary, consider a dumpster location that doesn't require a trash truck to drive against traffic flow.

**Resolved with comment.** *AEA has indicated that trash removal is usually scheduled during off peak hours and that a rear loading truck could proceed with traffic, back up and load.*

*Ultimately, it is the responsibility of the Applicant/Owner to provide a system of trash removal for this private site that is effective and minimized disruptions.*

26. Review by the Fire Department of the proposed site access, hydrant location, etc. is recommended.

**No further comment.**

27. This office has not reviewed the proposed work in Main Street (Route 9) as it falls under the purview of MA DOT.

**No further comment.**

28. There are specific site design requirements at gas pumps (spill storage, bollards, etc.). Those items do not fall under the scope of this review.

**No further comment.**

29. This office has not reviewed the proposed sign since the sign permit is issued by the Zoning Board of Appeals.

**No further comment.**

30. Labels should be provided on plan for radii, curb type, accessible signs, etc. and dimensions should be provided for aisles, islands, walkways, etc.

**Resolved.** *Sufficient labels have been provided.*

31. Details should be provided for several site related items (ie. guardrails, fences, bollards, retaining wall, curb stops, etc.).

**Resolved.** *Details have been provided.*

32. A guardrail is recommended on the top of the retaining wall in lieu of a fence. This office's experience has been that wheel stops, like those currently proposed, tend to get damaged over time and are removed. In that case, a guardrail would be a better option along the top of the wall.

*A fence has been called out along the wall, however, a guardrail is still recommended because a fence likely will not sustain impact from a vehicle.*

33. It appears that the invert and rim elevations listed for CB7 in the drain schedule are mislabeled.

**Resolved.** *The invert and rim elevations have been revised.*

34. The weir elevation and inlets/outlet elevations must be labeled in the diversion manhole detail.

**Resolved.** *The elevations have been labeled.*

35. It is recommended that a solid surface be installed across the emergency spillway to provide a consistent spillway elevation and that the rip rap be placed on either side of the solid surface.

*AEA has indicated that the 100-year event doesn't exceed the emergency spillway elevation. A solid surface across the spillway is still recommended because although the 100-year elevation is below the spillway, the spillway may still operate during an emergency.*

36. It is recommended that the emergency spillway elevation be set at elevation 1039 so that stormwater enters the overflow on the outlet structure before flowing over the spillway.

***Resolved.*** *The emergency spillway elevation has been revised.*

37. “Do Not Enter” signs are recommended where the one-way traffic of the drive through enters two-way traffic parking area.

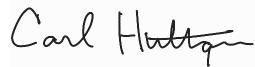
***Resolved.*** *“Do Not Enter” signs have been proposed.*

**Requested Waivers**

**§5.5.02.2B – Landscape Buffer.**

A waiver reducing the landscape buffer was granted for the plan that was approved in 2013. The proposed driveway configuration is similar to that which was approved in 2013 except parking is currently proposed along the western driveway in what would typically be designated as a landscape buffer. As noted above, this office defers to the Board if a waiver from §5.5.02.2.H should be included in the waiver requests. Also, this office defers to the Board regarding the location and type of landscaping and screening to be provided.

Sincerely,  
QUINN ENGINEERING, INC.



Carl Hultgren, PE  
Senior Engineer

CC: Bruce Williams - Allen Engineering & Associates, Inc.  
File

## **2019 Peer Review Comments**

*Requested by the Planning Board at the 11/2/2021 meeting and includes comments from the following:*

- Conservation Commission
- Historical Commission
- Police Department
- Leicester Water Supply District
- Town Planner
- Quinn Engineering



Special Permit +Site Plan Review Application  
**Town of Leicester**

**PLANNING BOARD**

3 Washburn Square  
Leicester, Massachusetts, 01524-1333  
Phone: 508-892-7007 Fax: 508-892-7070  
www.leicesterma.org

For Planning Office Use:  
Comment Sent to Applicant

Date: \_\_\_\_\_

Date 7/15/2019

Type of Application: Special Permit (& Preliminary Subdivision Plan)

Project Name: Smuggler's Cove (SP2019-01)

Location/Description: Off Paxton Street/24 lot Open Space Residential Development Subdivision

Source of water/sewer: Leicester Water Supply District

TO:

**Required SP/SPR Distribution List:**

(Site Plan Review Regulations)

<input type="checkbox"/>	Town Engineer	<input type="checkbox"/>	Board of Health
<input type="checkbox"/>	Code Enforcement Officer	<input type="checkbox"/>	Applicable Sewer District:
<input type="checkbox"/>	Police Department	<input type="checkbox"/>	<u>LWSD</u>
<input type="checkbox"/>	Fire Department	<input type="checkbox"/>	Applicable Water District:
<input type="checkbox"/>	Highway Department	<input type="checkbox"/>	<u>LWSD</u>
<input checked="" type="checkbox"/>	Conservation Commission <u>NOI</u>	<input type="checkbox"/>	Historical Commission
<input checked="" type="checkbox"/>	Zoning Board of Appeals	<input type="checkbox"/>	Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.

**PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)**

*Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).*

Planning Board public hearing/discussion on this application is scheduled for: 8/20/2019

The undersigned, on behalf of Conservation recommends:

☒ Approval ☒ Approval with Modifications NOI ☐ Disapproval  
Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:

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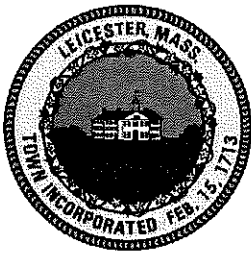
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Signature

Date

*While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.*



Special Permit +Site Plan Review Application  
**Town of Leicester**  
**PLANNING BOARD**

3 Washburn Square  
Leicester, Massachusetts, 01524-1333  
Phone: 508-892-7007 Fax: 508-892-7070  
www.leicesterma.org

For Planning Office Use:  
Comment Sent to Applicant

Date: \_\_\_\_\_

Date 7/15/2019

Type of Application: Special Permit (& Preliminary Subdivision Plan)

Project Name: Smuggler's Cove (SP2019-01)

Location/Description: Off Paxton Street/24 lot Open Space Residential Development Subdivision

Source of water/sewer: Leicester Water Supply District

TO:

**Required SP/SPR Distribution List:**

(Site Plan Review Regulations)

Town Engineer		Board of Health
Code Enforcement Officer		Applicable Sewer District:
Police Department		<u>LWSD</u>
Fire Department		Applicable Water District:
Highway Department		<u>LWSD</u>
Conservation Commission	X	Historical Commission
Zoning Board of Appeals		Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.

**PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)**

*Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).*

Planning Board public hearing/discussion on this application is scheduled for: 8/20/2019

The undersigned, on behalf of Historical Comm. recommends:

Approval ✓ Approval with Modifications \_\_\_\_\_ Disapproval \_\_\_\_\_

Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:

SEE ATTACHED

Joseph A. Lenneston Jr.  
Signature

8-15-19  
Date

*While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.*



**TOWN OF LEICESTER HISTORICAL COMMISSION  
TOWNHALL  
3 WASHBURN SQUARE  
LEICESTER, MASSACHUSETTS 01524-1333**

August 15, 2019

TO: Leicester Planning Board

FROM: Leicester Historical Commission

RE: Smuggler's Cove (SP2019-01)

Leicester's first known settler lived in a cave in this area, if anything is located that appears to be unusual the Historical Commission requests that they be advised so they may record information. Cave has not been observed in approximately 60 years, is in rock and shallow in depth.



Special Permit + Site Plan Review Application  
**Town of Leicester**  
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www.leicesterma.org

For Planning Office Use:  
Comment Sent to Applicant  
Date: \_\_\_\_\_

Date 7/15/2019

Type of Application: Special Permit (& Preliminary Subdivision Plan)

Project Name: Smuggler's Cove (SP2019-01)

Location/Description: Off Paxton Street/24 lot Open Space Residential Development Subdivision

Source of water/sewer: Leicester Water Supply District

TO:

**Required SP/SPR Distribution List:**

(Site Plan Review Regulations)

	Town Engineer	Board of Health
	Code Enforcement Officer	Applicable Sewer District:
X	Police Department	<u>LWSD</u>
	Fire Department	Applicable Water District:
	Highway Department	<u>LWSD</u>
	Conservation Commission	Historical Commission
	Zoning Board of Appeals	Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.

**PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)**

*Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).*

Planning Board public hearing/discussion on this application is scheduled for: 8/20/2019

The undersigned, on behalf of Police Dept recommends:

Approval X Approval with Modifications \_\_\_\_\_ Disapproval \_\_\_\_\_

Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:

See attached w/ 3 recommendations

Signature

8-8-19

Date

*While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.*





# Leicester Police Department

90 South Main Street  
Leicester, MA 01524

[www.leicesterpd.org](http://www.leicesterpd.org)



**Chief**  
**Kenneth M. Antanavica**  
[antanavica@leicesterpd.org](mailto:antanavica@leicesterpd.org)

Emergency: 911  
Non-Emergency: 508-892-7009  
Non-Emergency: 508-892-7010  
Fax: 508-892-7012

August 8, 2019

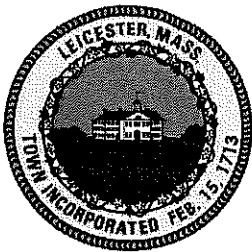
Re: Planning Board Project (SP2019-01) Smuggler's Cove recommendations.

Upon review of the plans and layout of this project the Police Department has a few recommendations:

- 1) In the interest of public safety, we recommend the installation of sidewalks with adequate street lighting.
- 2) At the intersection of Paxton St and the new roadway install a stop sign facing west with a streetlight at the intersection.
- 3) Also recommended is a turning lane on Paxton St for southbound traffic since this intersection is on a hill with a slight turn and limited line of site due to the ridge at the top of the hill on Paxton St.

V/r

Chief Kenneth M Antanavica  
Leicester Police Department  
90 S. Main St.  
Leicester, Ma 01524  
(508) 892-7010 ext 2010  
Fax (508) 892-7012



Special Permit + Site Plan Review Application  
**Town of Leicester**  
**PLANNING BOARD**

3 Washburn Square  
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Phone: 508-892-7007 Fax: 508-892-7070  
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For Planning Office Use:  
Comment Sent to Applicant

Date: \_\_\_\_\_

Date 7/15/2019

Type of Application: Special Permit (& Preliminary Subdivision Plan)

Project Name: Smuggler's Cove (SP2019-01)

Location/Description: Off Paxton Street/24 lot Open Space Residential Development Subdivision

Source of water/sewer: Leicester Water Supply District

TO:

**Required SP/SPR Distribution List:**

(Site Plan Review Regulations)

Town Engineer		Board of Health
Code Enforcement Officer	X	Applicable Sewer District:
Police Department		<u>LWSD</u>
Fire Department		Applicable Water District:
Highway Department		<u>LWSD</u>
Conservation Commission		Historical Commission
Zoning Board of Appeals		Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.

**PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)**

*Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).*

Planning Board public hearing/discussion on this application is scheduled for: 8/20/2019

The undersigned, on behalf of LWSD recommends:

☒ Approval ☐ Approval with Modifications ☐ Disapproval

Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:

Water and Sewer Design Work will need to be approved by the District.

Signature

Date

*While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.*



**Town of Leicester**  
**PLANNING BOARD**  
LEICESTER, MASSACHUSETTS, 01524-1333  
Phone: 508-892-7007 Fax: 508-892-7070  
[www.leicesterma.org](http://www.leicesterma.org)

**Memorandum**

TO: Matt Schold  
Central Land Development Corp.  
ScholdDev@gmail.com

FROM: Michelle R. Buck, AICP  
Leicester Town Planner

DATE: August 1, 2019

RE: Smuggler's Cove/Paxton Street OSRD Application  
PB File#: SP2019-02

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I have the following comments regarding the above-referenced application:

Submittal Requirements ([Special Permit Regulations](#))

1. You should submit a revised narrative (or a supplement to your 7/10/2019 narrative) that includes a written description of how the proposed project meets the special permit criteria applicable to the project (Special Permit Regulations I.E.-Special Permit Criteria Evaluation; the applicable Zoning Bylaw Section is 5.13.09.B (attached). Also please include responses to comments #2 - #5 below in your narrative.

[Zoning Bylaw](#) Section 5.13, Open Space Residential Development

2. Please provide the number of lots that would result from the formula in Section 5.13.05.B(3) of the Zoning Bylaw.
3. Please identify what percentage of the open space would be wetlands (5.13.07.A.).
4. Regarding Section 5.13.08., please identify the property owner's preference as to ownership and management of the open space.
5. Are you proposing any screening/landscaping where the required buffer (5.13.07.C.) is proposed to be reduced by the roadway entrance off Paxton Street?

### 5.13.09 Application and review process

- A. The application process for an Open Space Residential Development is comprised of two steps. In the first step, the applicant submits a special permit application, which describes the overall development plan. The Planning Board shall grant or deny a special permit based upon the information contained in the special permit application. If the special permit is granted, the applicant then submits a definitive plan, as described below, based upon the concept plan. The Planning Board then reviews the plan as a Definitive Subdivision Plan. Two separate public hearings, one for the special permit and one for the Definitive Plan, must be held. Applicants shall submit applications for an OSRD Special Permit in accordance with the Planning Board's Special Permit Rules and Regulations.
- B. **Special Permit Criteria**  
The special permit shall be granted only if the Planning Board finds each of the following:
- (1) The development meets the purpose of an Open Space Residential Development as described in Section 5.13.01.
  - (2) The site design shall preserve and, where possible, enhance the historic and natural features of the property, including scenic views, by adapting the location and placement of structures and ways to the existing topography in order to minimize the amount of soil removal, tree cutting and general disturbance to the landscape and surrounding properties.
  - (3) The site design shall identify and ensure preservation of significant and special historic and natural features.
  - (4) The open space is designed in accordance with the standards set forth in this Section 5.13.
  - (5) The parcel could be developed as a conventional subdivision under existing local, state and federal land use regulations.
  - (6) The Open Space Residential Development provides for efficient use and delivery of municipal and other services and infrastructure.
- C. **Definitive plan.**  
If the Open Space Residential Development special permit is granted, the applicant shall submit a plan in conformity with the requirements and procedures for definitive plan submission and review under the Subdivision Rules and Regulations of the Planning Board. The overall concept shall only be reconsidered if there is substantial variation between the definitive plan and the concept plan. A substantial variation shall be defined as an increase in the number of lots, a decrease in the open space acreage, a change in the layout which causes dwelling units or roadways to be placed closer to a dwelling unit within 500 feet of the project and/or a change in the development pattern which adversely affects natural landscape features and open space. If the Planning Board finds that a substantial variation exists, it must hold a public hearing on the modifications of the concept plan.

### 5.13.10 Duration of approval

Notwithstanding anything to the contrary within/without this article, any special permit granted by the Planning Board for an Open Space Residential Development shall lapse and terminate automatically within two years from the date of issue, which two years shall not include time required to pursue or await determination of an appeal referred to in MGL c. 40A, § 17, unless any construction work contemplated thereby shall have commenced and proceeded in good faith continuously to completion, except for good cause.

## 5.14 Ground-Mounted Solar Energy Systems

*[STM 11-8-2011, Amended ATM 5-2-2017 and STM 10-30-2018]*

### 1.0 Purpose

The purpose of this bylaw is to facilitate and appropriately regulate the creation of ground-mounted solar energy systems by providing standards for the placement, design, construction, operation, monitoring, modification and removal of such installations that address public safety, minimize impacts on scenic, natural and historic resources and to provide adequate financial assurance for the eventual decommissioning of such installations.

### 2.0 Definitions

**Solar Energy System:** Any solar collector or other solar energy device, including appurtenances, mounted on a

QUINN  
ENGINEERING, INC.

P.O. Box 107  
Paxton, Massachusetts 01612  
Phone: (508) 753-7999  
Fax: (508) 795-0939

---

August 12, 2019

Leicester Planning Board  
Town Of Leicester  
3 Washburn Sq  
Leicester MA 01524-1358

Re: Preliminary Subdivision Plan/OSRD Plan  
Smuggler's Cove

To the Board:

We are in receipt of the following plans and information in association with the above referenced project:

- Plan entitled "Preliminary Plan, Open Space Residential Development Plan in Leicester, Massachusetts", 1 sheet, dated July 8, 2019 without revision date, by Allen Engineering & Associates, Inc.
- Plan entitled "Preliminary Plan, Conventional Subdivision Plan of Land in Leicester, Massachusetts", 1 sheet, dated July 8, 2019 without revision date, by Allen Engineering & Associates, Inc.
- Project Narrative, dated July 10, 2019.
- List of Requested Waivers, dated July 10, 2019.
- Letter from Leicester Water Supply District, dated 10-July-19, indicating that sufficient water and sewer capacity exists to accommodate the proposed project.
- *Form B, Application for Approval of a Preliminary Plan*", completed and dated July 10, 2019.

We have performed a review of the submitted plans for conformance with the current Leicester Subdivision Rules & Regulations, and with appropriate sections of the Zoning Bylaws for Leicester, including §5.13 *Open Space Residential Development*.

The following waivers are requested; our comment on the waiver requests follow in *italics*.

- Waive §5.13.06, C, of the Zoning Bylaws, to permit roadway length in excess of 1,000 feet; proposed roadway length 2608 feet.

*See comment below.*

- Waive §5.13.06, C, of the Zoning Bylaws, to permit more than 10 lots on a dead-end street.

*The plan proposes a 20 foot wide gravel road as a secondary means of emergency access, presumably to mitigate concerns for both the length of the dead end roadway, and the number of proposed lots. Leicester Planning Board may wish to seek input from Leicester Police and Fire Departments on this. In general, secondary access roads tend to be treated as a low priority for maintenance, often falling into disrepair. Snowplowing these roads is often overlooked, as high traffic roadways demand those efforts. Gravel road surfaces can be subject to erosion, or washout under surface water flow. The proposed emergency access road will be exceptionally long (2,700 feet), raising the potential for blockage by tree fall, washout or other occurrence.*

*The proposed waiver seeks to more than double both the length of the subdivision road and the number of proposed homes over that allowed. Any proposed mitigation should provide a highly reliable means of secondary access.*

- Waive §5.13.07, C (1) of the Zoning Bylaws, to permit a buffer strip less than 100 feet at the perimeter of the project, to accommodate construction at the entrance, and along Sargent Pond.

*We defer to Leicester Planning Board on this non engineering-related request.*

- Waive §5.13.07, B (6) of the Zoning Bylaws, to permit Drainage Basin 1 to be located within Open Space.

*We defer to Leicester Planning Board on this non engineering-related request*

- Waive §V, 2 of the Subdivision Rules and Regulations to allow a traveled way of 24 feet width.

*A subdivision roadway of 24 feet width may be expected to provide suitable service, and will require less maintenance than the required 28 foot wide roadway. The lesser width will also reduce impervious area, lowering associated stormwater runoff.*

- Waive §V, 5, and §VI, G, 1 of the Subdivision Rules and Regulations to waive sidewalks on both sides of the road.

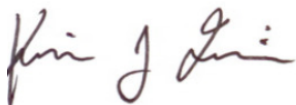
*We defer to Leicester Planning Board on this non engineering-related request.*

Our comments on the plans are found below:

1. The project appears to be entirely, or almost entirely, located within *Watershed Protection Overlay District*. Within that district, lots will be subject to restrictions on impervious area, storage of materials and other factors. There are thresholds above which a Special Permit can be required.
2. Neither the Conventional Plan nor the OSRD plan identify the name of the subdivision. (REF §III, A, 2, b, 1, Subdivision Rules and Regulations)
3. On the Conventional Plan, the north road, from Station 0+00 to Station 5+35 +/- is located within an easement, and not on land owned in fee. Leicester Planning Board may wish to consult with counsel as to whether a Public Street located within a pre-existing easement can be accepted. Although the proponent may not intend to construct the Conventional Plan, if the proposed roads can't be accepted as Public Streets, the number of lots upon which the OSRD is based is not valid. Should counsel not recommend against the roadway being located within an easement, the Applicant should research and document that the terms of the easement are compatible with the roadway, and its maintenance.
4. Under the OSRD plan, the Emergency Access Road is partially located within the existing easement identified in Comment 3 above. The Applicant should research and document that the terms of the easement are compatible with the Emergency Access Road, and its maintenance.
5. As part of the OSRD application, the Engineer should document compliance with §5.13 of the Zoning Bylaw, with particular respect to §5.13.05 and §5.13.07.

Please contact this office should you have questions.

Sincerely,  
QUINN ENGINEERING, Inc.



Kevin J. Quinn, P.E.  
President

**From:** [Kevin Quinn](#)  
**To:** [Buck, Michelle](#)  
**Subject:** smugglers  
**Date:** Thursday, September 26, 2019 11:23:06 AM  
**Attachments:** [LPB 092619 ltr Prel Plan 2nd Review.pdf](#)

---

My comments on Smugglers Cove resubmittal attached.

Both plans have a road, or the emergency access road, running through an easement, near Paxton Street. I commented on that, so the Engineer submitted a copy of the easement. I don't think the Board, or you, or I, should evaluate whether the easement permits a road through it. I'm not accepting the easement as resolving my comment.

KQ

Kevin J. Quinn, P.E.  
President

**QUINN ENGINEERING, INC.**

P.O. Box 107  
Paxton, Massachusetts 01612

(508) 753-7999 Ext 1



September 26, 2019

Leicester Planning Board  
Town Of Leicester  
3 Washburn Sq  
Leicester MA 01524-1358

Re: Preliminary Subdivision Plan/OSRD Plan  
Smuggler's Cove

To the Board:

We are in receipt of the following plans and information in association with the above referenced project:

- Plan entitled "Preliminary Plan, Open Space Residential Development Plan in Leicester, Massachusetts", 1 sheet, dated July 8, 2019 with date of 09-09-2019, by Allen Engineering & Associates, Inc.
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- Letter from Leicester Water Supply District, dated 10-July-19, indicating that sufficient water and sewer capacity exists to accommodate the proposed project.
- *Form B, Application for Approval of a Preliminary Plan*", completed and dated July 10, 2019.
- Letter to Leicester Planning Board, dated September 9, 2019, responding to comments of Leicester Town Planner Michelle Buck.
- Letter to Leicester Planning Board, dated September 9, 2019, responding to comments of Leicester Town Planner Michelle Buck.

We have reviewed the plans in relation to comments contained in our letter to the Planning Board dated August 12, 2019; any other changes made not in response to our comments must be identified by the applicant.

Our comments are found below:

The following waivers are requested; our comment on the waiver requests follow in *italics*.

- Waive §5.13.06, C, of the Zoning Bylaws, to permit roadway length in excess of 1,000 feet; proposed roadway length 2608 feet.

*See comment below.*

- Waive §5.13.06, C, of the Zoning Bylaws, to permit more than 10 lots on a dead-end street.

*The plan proposes a 20 foot wide gravel road as a secondary means of emergency access, presumably to mitigate concerns for both the length of the dead end roadway, and the number of proposed lots. Leicester Planning Board may wish to seek input from Leicester Police and Fire Departments on this. In general, secondary access roads tend to be treated as a low priority for maintenance, often falling into disrepair. Snowplowing these roads is often overlooked, as high traffic roadways demand those efforts. Gravel road surfaces can be subject to erosion, or washout under surface water flow. The proposed emergency access road will be exceptionally long (2,700 feet), raising the potential for blockage by tree fall, washout or other occurrence.*

*The proposed waiver seeks to more than double both the length of the subdivision road and the number of proposed homes over that allowed. Any proposed mitigation should provide a highly reliable means of secondary access.*

- Waive §5.13.07, C (1) of the Zoning Bylaws, to permit a buffer strip less than 100 feet at the perimeter of the project, to accommodate construction at the entrance, and along Sargent Pond.

*We defer to Leicester Planning Board on this non engineering-related request.*

- Waive §5.13.07, B (6) of the Zoning Bylaws, to permit Drainage Basin 1 to be located within Open Space.

*We defer to Leicester Planning Board on this non engineering-related request*

- Waive §V, 2 of the Subdivision Rules and Regulations to allow a traveled way of 24 feet width.

*A subdivision roadway of 24 feet width may be expected to provide suitable service, and will require less maintenance than the required 28 foot wide roadway. The lesser width will also reduce impervious area, lowering associated stormwater runoff.*

- Waive §V, 5, and §VI, G, 1 of the Subdivision Rules and Regulations to waive sidewalks on both sides of the road.

*We defer to Leicester Planning Board on this non engineering-related request.*

Our comments are found below. In the comments, items identified as “**Resolved**” have received sufficient response. “**Comment Stands**” refers to an issue not satisfactorily resolved. “**No Further Comment**” refers to an issue requiring the attention of the Planning Board.

1. **Resolved with comment.** The plans have been revised to identify *Watershed Protection Overlay District*. Within that district, lots will be subject to restrictions on impervious area, storage of materials and other factors. There are thresholds above which a Special Permit can be required.

The Engineer should address the status of the plan in relation to this bylaw, and especially whether Special Permit is required.

2. **Resolved.** The Conventional Plan and OSRD plans have been revised to identify the name of the subdivision. (REF §III, A, 2, b, 1, Subdivision Rules and Regulations)
3. **No Further Comment.** On the Conventional Plan, the north road, from Station 0+00 to Station 5+35 +/- is located within an easement, and not on land owned in fee. Leicester Planning Board may wish to consult with counsel as to whether a Public Street located within a pre-existing easement can be accepted. Although the proponent may not intend to construct the Conventional Plan, if the proposed roads can't be accepted as Public Streets, the number of lots upon which the OSRD is based is not valid. Should counsel not recommend against the roadway being located within an easement, the Applicant should research and document that the terms of the easement are compatible with the roadway, and its maintenance.
4. **Further Comment.** Under the OSRD plan, the Emergency Access Road is partially located within the existing easement identified in Comment 3 above. The Applicant

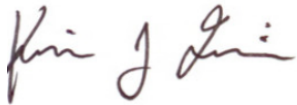
should research and document that the terms of the easement are compatible with the Emergency Access Road, and its maintenance.

The Engineer has provided a copy of the easement, but should document whether the proposed Emergency Access Road is compatible with it.

5. **Resolved.** The Engineer has documented compliance with §5.13 of the Zoning Bylaw, with particular respect to §5.13.05 and §5.13.07.

Please contact this office should you have questions.

Sincerely,  
QUINN ENGINEERING, Inc.

A handwritten signature in dark ink, appearing to read "Kevin J. Quinn". The signature is fluid and cursive, with the first name "Kevin" and last name "Quinn" clearly distinguishable.

Kevin J. Quinn, P.E.  
President

## Alaa Abusalah

---

**From:** Remax Patriot Realty <david@remaxpatriotrealty.com>  
**Sent:** Tuesday, November 23, 2021 7:26 PM  
**To:** Alaa Abusalah  
**Cc:** Mark Klinger; Eyal Preis; Michael Malynowski  
**Subject:** Withdraw the Definitive Subdivision Plan application (without prejudice)

Thank you for the update.

Please accept this email as our official "withdraw the Definitive Subdivision Plan application (without prejudice)" for 651 Main Street Leicester.

Have a Fantastic Day!



David King  
Commander of Results  
Broker Owner  
978.580.7100 Call or Text  
55 Mead Street Leominster, MA 01453

Please note that I am a licensed broker in the state of Massachusetts & Alabama. I am not a builder, surveyor, electrician, plumber, or any other professional than a realtor. A professional should be hired to determine solutions to any situation in or with a property. I am not liable or responsible for projections in spreadsheets, or for any financial forecasts on new or rehab construction. I am not responsible for any misunderstandings or issues that arise from the sale or potential sale of a property.