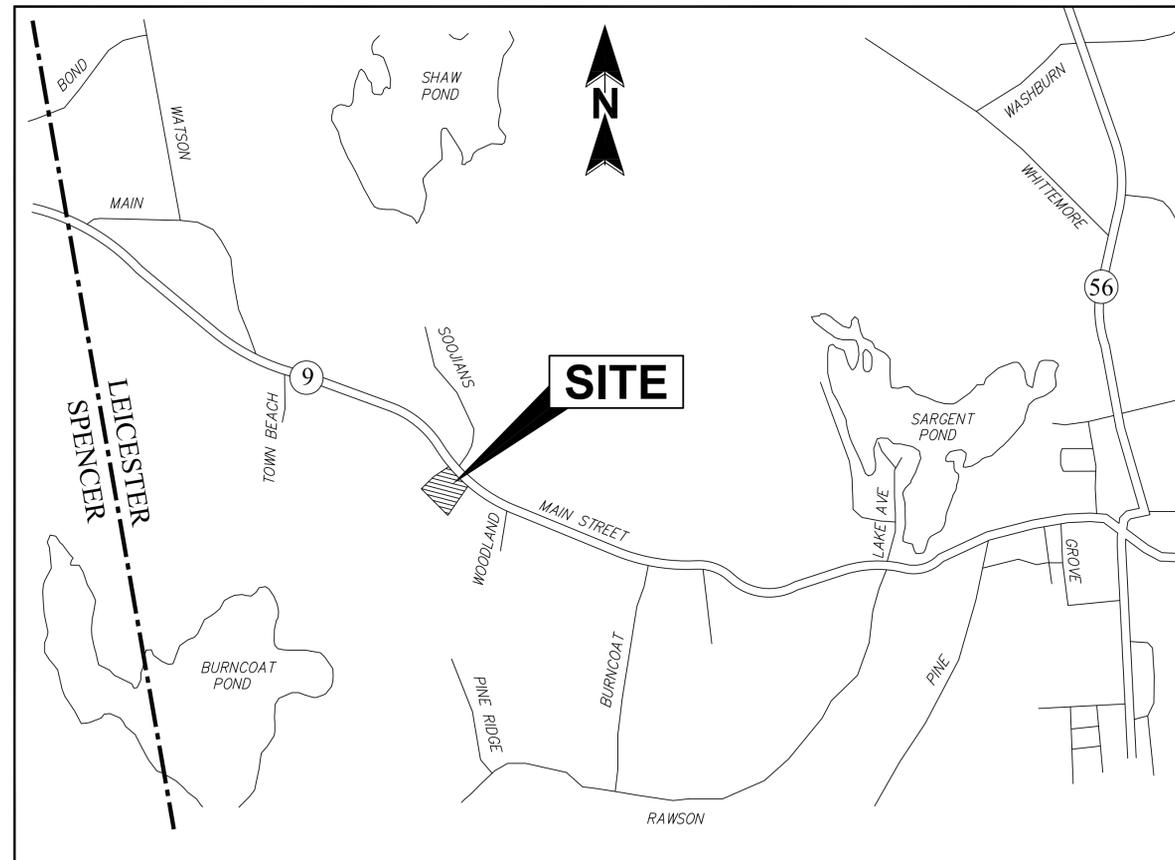


Site Development Plan at #1603 - #1605 Main Street Leicester, Massachusetts

Plan Date: September 23, 2021

| Revisions | | | |
|-----------|----------|--------------|-----|
| NO. | DATE | DESCRIPTION | BY |
| 1 | 11/12/21 | PER COMMENTS | BSW |
| 2 | 11/19/21 | PER COMMENTS | BSW |
| | | | |
| | | | |
| | | | |
| | | | |



LOCUS MAP
Scale: 1" = 1,000 ± Feet

Prepared By:

Architect
Bertin Engineering
66 Glen Avenue,
Glen Rock, NJ 07452



ALLEN ENGINEERING

& ASSOCIATES, INC.

Civil Engineers • Surveyors
Land Development Consultants

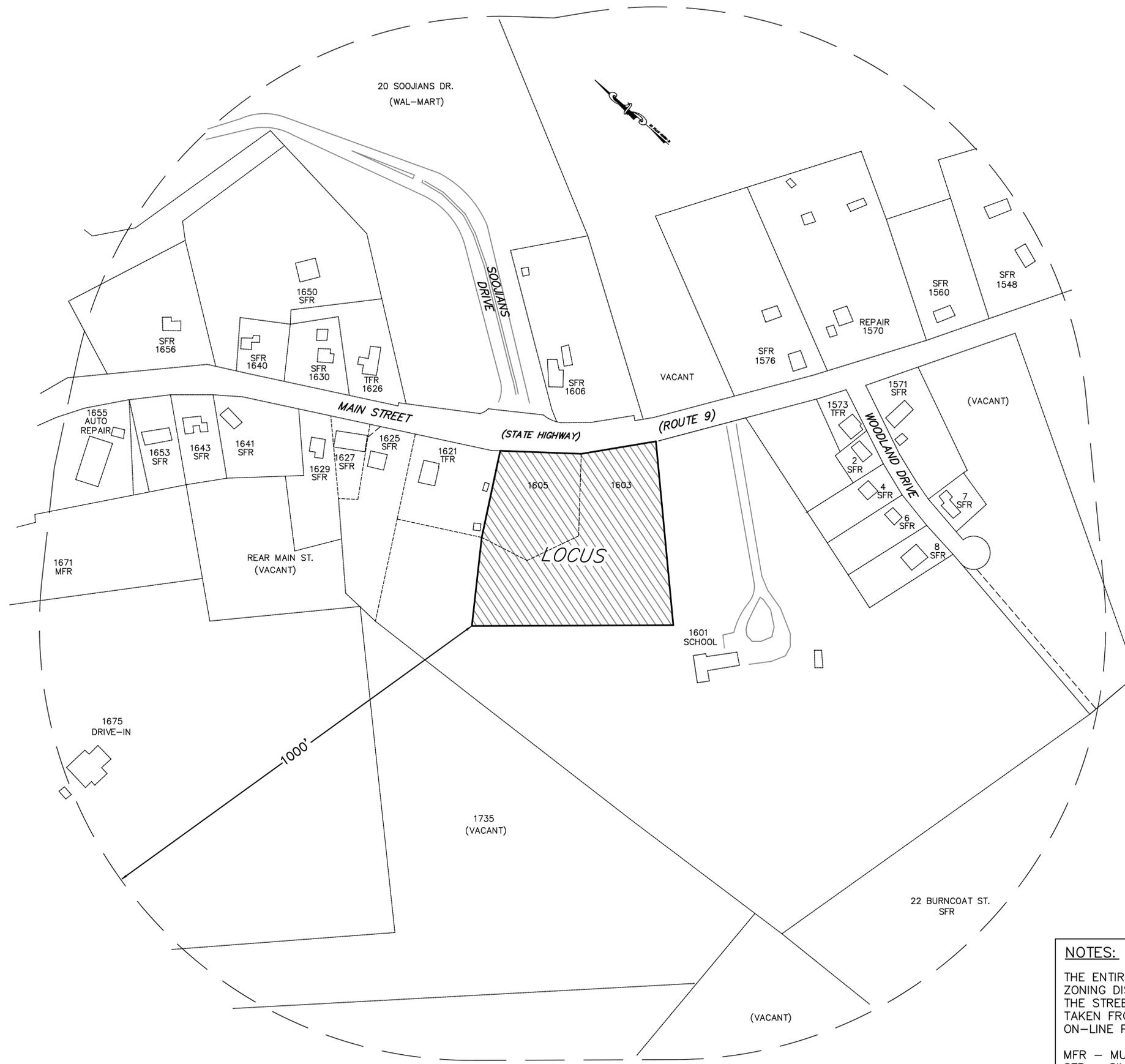
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allen-ea.com

Traffic Consultant
Ron Müller & Associates
56 Teresa Road,
Hopkinton, MA

APPROVED BY THE LEICESTER PLANNING BOARD

DATE: _____

| PLAN INDEX | |
|----------------------------------|----|
| COVER SHEET | 1 |
| LOCUS PLAN | 2 |
| EXISTING CONDITIONS PLAN | 3 |
| SITE LAYOUT PLAN | 4 |
| SITE UTILITIES & LIGHTING PLAN | 5 |
| GRADING & DRAINAGE PLAN | 6 |
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| CONSTRUCTION DETAILS-1 | 8 |
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| LIGHTING PHOTOMETRIC PLAN | 11 |
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| LIGHTING ISOMETRIC ELEVATION | 13 |



LOCUS REFERENCES
 ASSESSORS PARCEL: 18-8.1
 #1603 MAIN STREET
 OWNER: LEICESTER MAIN, LLC
 LAND COURT CERT. 16956
 LAND COURT PLAN 40185-B, LOT 1
 2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
 0 & #1605 MAIN STREET
 OWNER: LEICESTER MAIN, LLC
 DEED BOOK 41309, PAGE 153
 1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

- NOTES**
- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY O'DONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020. PROPERTY LINES AND STRUCTURES BEYOND THE IMMEDIATE VICINITY OF LOCUS HAVE BEEN COMPILED FROM AVAILABLE GIS MAPS AND ARE APPROXIMATE ONLY.
 - LOCUS FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
 - THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.



PROFESSIONAL ENGINEER

PREPARED FOR:
 Skaff Petroleum, Inc.
 334 Grafton Street,
 Worcester, MA 01604

TITLE:
LOCUS PLAN
 For
 #1603 - #1605 Main Street
 In
 Leicester, MA

PREPARED BY:

ALLEN ENGINEERING & ASSOCIATES, INC.
 Civil Engineers · Surveyors
 Land Development Consultants
 One Charlesview Road
 Suite 2
 Hopedale, Ma 01747
 (508) 381-3212 · Phone
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SCALE: 1"=120 FEET

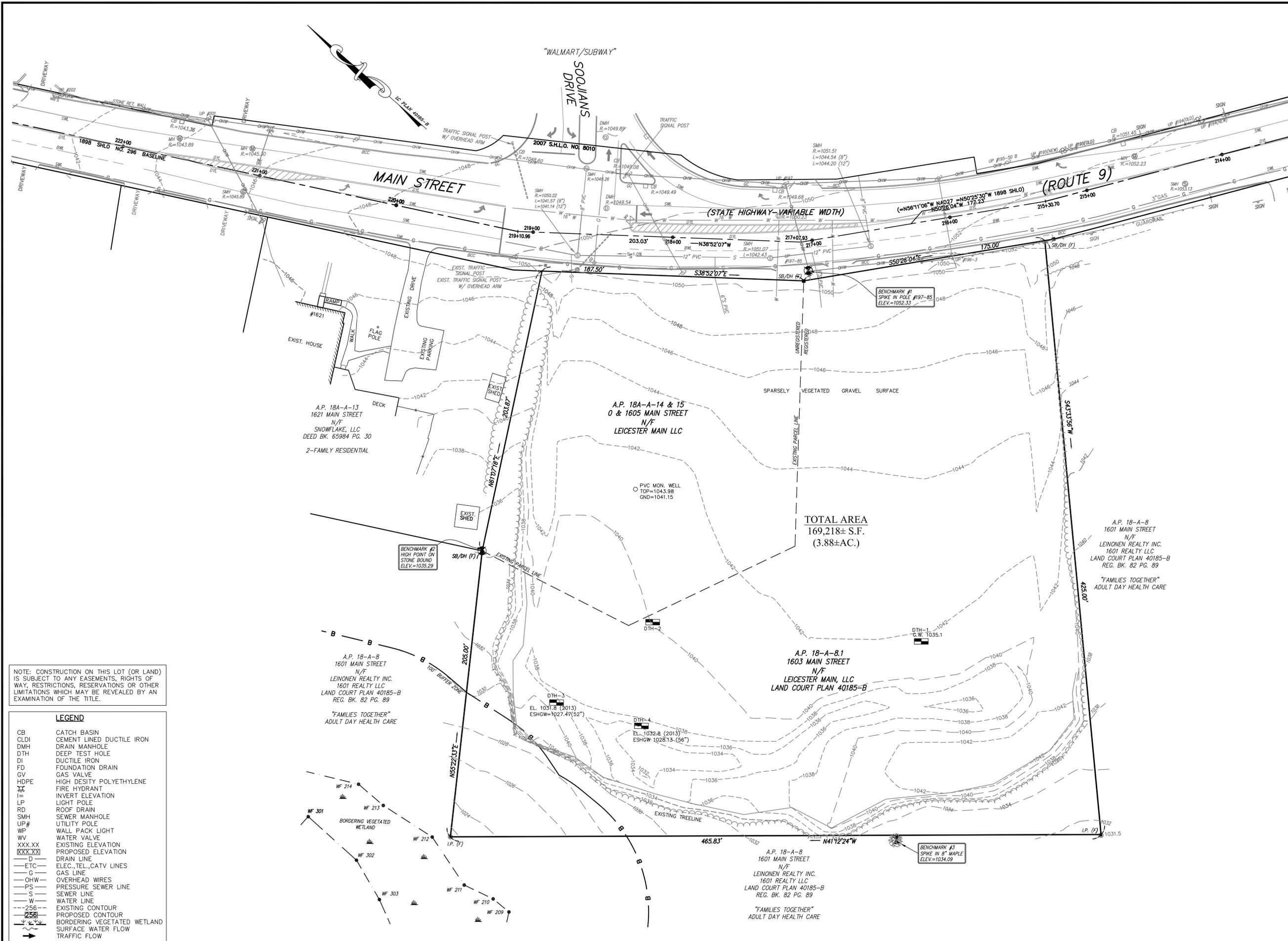

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JOB NO: 00047 SHEET: 2 of 13

NOTES:
 THE ENTIRE AREA SHOWN IS WITHIN THE HB-1 ZONING DISTRICT.
 THE STREET ADDRESSES AND USES SHOWN TAKEN FROM THE TOWN GIS WEBSITE AND ON-LINE PROPERTY DATABASE.

MFR - MULTI-FAMILY RESIDENTIAL
 SFR - SINGLE-FAMILY RESIDENTIAL
 TFR - TWO FAMILY RESIDENTIAL



NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEGEND

| | |
|----------|-----------------------------|
| CB | CATCH BASIN |
| CLDI | CEMENT LINED DUCTILE IRON |
| DMH | DRAIN MANHOLE |
| DTH | DEEP TEST HOLE |
| DI | DUCTILE IRON |
| FD | FOUNDATION DRAIN |
| GV | GAS VALVE |
| HDPE | HIGH DENSITY POLYETHYLENE |
| FH | FIRE HYDRANT |
| I | INVERT ELEVATION |
| LP | LIGHT POLE |
| RD | ROOF DRAIN |
| SMH | SEWER MANHOLE |
| UP# | UTILITY POLE |
| WP | WALL PACK LIGHT |
| WV | WATER VALVE |
| XXX.XX | EXISTING ELEVATION |
| XXX.XX | PROPOSED ELEVATION |
| D | DRAIN LINE |
| ETC | ELEC., TEL., CATV LINES |
| G | GAS LINE |
| OHW | OVERHEAD WIRES |
| PS | PRESSURE SEWER LINE |
| S | SEWER LINE |
| W | WATER LINE |
| -256 | EXISTING CONTOUR |
| 256 | PROPOSED CONTOUR |
| (Symbol) | BORDERING VEGETATED WETLAND |
| (Symbol) | SURFACE WATER FLOW |
| (Symbol) | TRAFFIC FLOW |

LOCUS REFERENCES
 ASSESSORS PARCEL: 18-A-8.1
 #1603 MAIN STREET
 OWNER: LEICESTER MAIN, LLC
 LAND COURT CERT. 16956
 REG. BK. 85, PG. 156
 LAND COURT PLAN 40185-B, LOT 1

ASSESSORS PARCEL: 18A-A-14 & 15
 0 & #1605 MAIN STREET
 OWNER: LEICESTER MAIN, LLC
 DEED BOOK 41309, PAGE 153

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

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 6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

PROFESSIONAL ENGINEER
 PREPARED FOR:
Skaff Petroleum, Inc.
 334 Grafton Street,
 Worcester, MA 01604



TITLE:
EXISTING CONDITIONS PLAN
 For
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 in
Leicester, MA

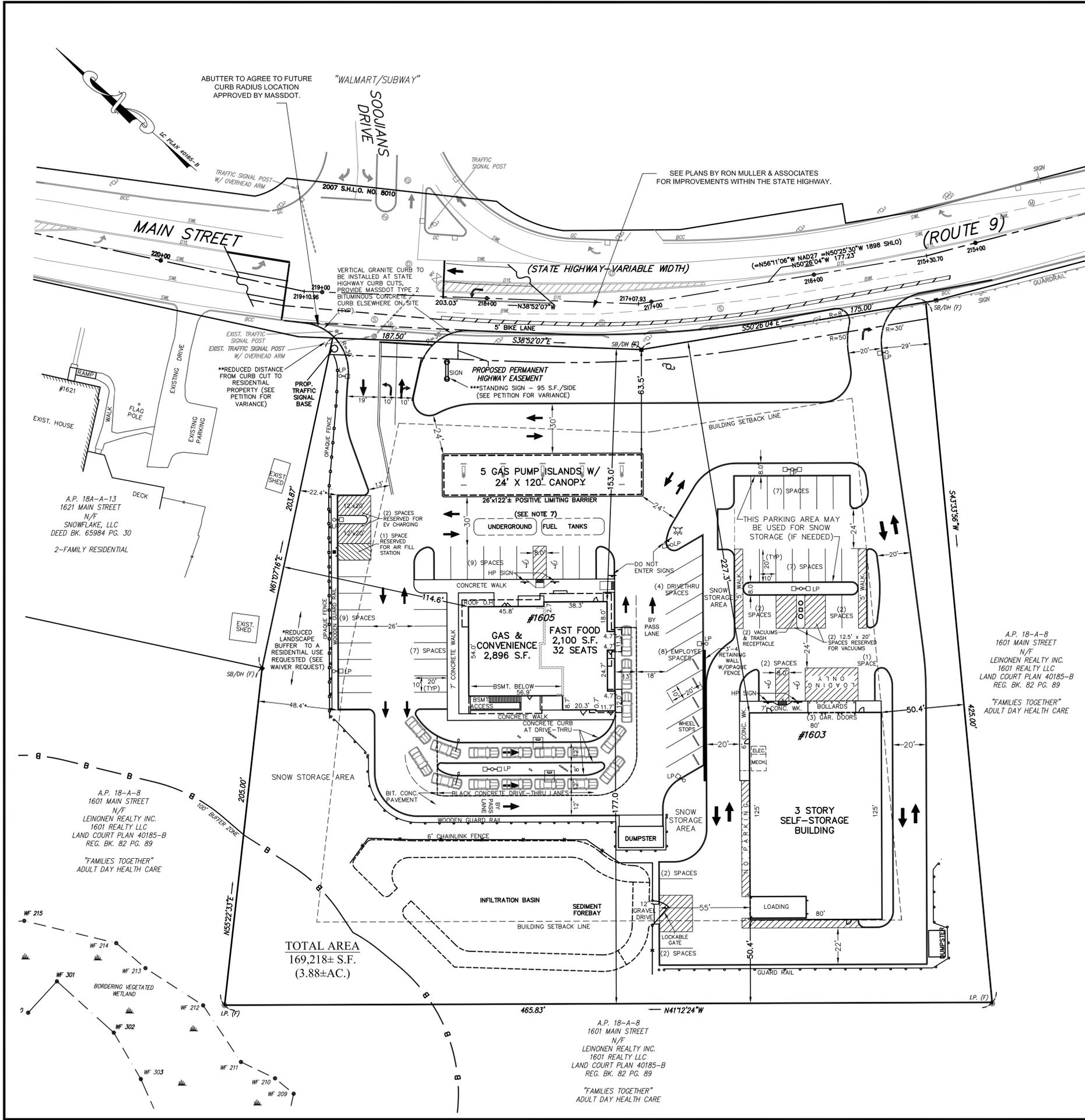
PREPARED BY:

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 Civil Engineers - Surveyors
 Land Development Consultants
 One Charlesview Road
 Hopedate, Ma 01747
 (508) 381-3212 - Phone
 www.allenrea.com

SCALE: 1" = 30 FEET
 DATE: **September 23, 2021**

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JOB NO: 00047 SHEET: 3 of 13



LEGEND

- CB CATCH BASIN
- CLDI CEMENT LINED DUCTILE IRON
- DMH DRAIN MANHOLE
- DTH DEEP TEST HOLE
- DI DUCTILE IRON
- FD FOUNDATION DRAIN
- GV GAS VALVE
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- ETC ELEC., TEL., CATV LINES
- G GAS LINE
- OHV OVERHEAD WIRES
- PS PRESSURE SEWER LINE
- S SEWER LINE
- W WATER LINE
- 256- EXISTING CONTOUR
- 256 PROPOSED CONTOUR
- WETLAND BORDERING VEGETATED WETLAND
- SWF SURFACE WATER FLOW
- TRF TRAFFIC FLOW

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 DEED BOOK 41309, PAGE 153
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PLANNING BOARD WAIVER REQUEST:
 *REDUCED LANDSCAPE BUFFER TO A RESIDENTIAL USE REQUESTED, BYLAW SECT. 5.5.02.2B. (50 FEET REQUIRED).

PROPOSED - 48.4 FEET, AND REQUEST TO ALLOW PARKING AND DRIVEWAY WITHIN THE BUFFER ADJACENT TO #1621 MAIN STREET. AN OPAQUE FENCE IS PROPOSED WITHIN THE BUFFER TO #1621 TO MITIGATE SCREENING LOST BY REDUCTION OF THE BUFFER.

ZONING BOARD OF APPEALS PETITION FOR VARIANCE:
 **REDUCED DISTANCE FROM CURB CUT TO A RESIDENTIAL PROPERTY, BYLAW SECT. 5.5.02.1.C.1. (24 FEET REQUIRED).

PROPOSED - 1 FOOT AT #1621 MAIN STREET PROPERTY. THE REDUCTION IS REQUESTED TO ALLOW THE NEW SITE ENTRANCE TO ALIGN WITH THE EXISTING SOOJIAN DRIVE INTERSECTION ACROSS MAIN STREET (ROUTE 9). GRANTING THIS VARIANCE WILL ALLOW A SAFER SIGNALIZED INTERSECTION ON THE STATE HIGHWAY. THIS REQUEST IS MADE NECESSARY DUE TO THE SPECIFIC SHAPE AND TOPOGRAPHY OF THE LOCUS LOT, AND DOES NOT GENERALLY AFFECT THE HB-1 DISTRICT IN WHICH IT IS LOCATED. (VARIANCE APPROVED OCTOBER 27, 2021)

ZONING BOARD OF APPEALS PETITION FOR VARIANCE:
 ***STANDING SIGN - SIZE, BYLAW SECT. 3.2.07-2 (NOT TO EXCEED 30 SQUARE FEET).

PROPOSED - STANDING SIGN WITH AN AREA OF 95 SQUARE FEET ON EACH SIDE. THE VARIANCE IS REQUESTED IN ORDER TO ALLOW THE DISPLAY OF PRICES FOR SEVERAL FUEL GRADES AT SUCH A SIZE AS CAN BE READILY SEEN BY DRIVERS, AND ADDITIONALLY PROVIDE SIGNAGE FOR THE THREE OTHER BUSINESSES ON THE PROJECT SITE. THIS PETITION OWES TO THE CIRCUMSTANCES RELATED SPECIFICALLY TO THE STRUCTURES INVOLVED, WHICH INCLUDE FOUR SEPARATE AND DISTINCT USES PROPOSED ON THIS PARTICULAR SITE, AND NOT AFFECTING GENERALLY THE HB-1 DISTRICT. (VARIANCE APPROVED NOVEMBER 17, 2021)

| ZONING TABLE | | #1603 | #1605 |
|---|-------------|--------------|--------------|
| ZONING DISTRICT: HIGHWAY BUSINESS-INDUSTRIAL 1 | REQUIRED | PROPOSED | PROPOSED |
| MIN. LOT SIZE | 60,000 S.F. | 169,218 S.F. | 169,218 S.F. |
| MINIMUM LOT FRONTALITY | 200 FEET | 362.50 FEET | 362.50 FEET |
| SETBACKS: | | | |
| FRONT | 50 FEET | 227.3 FEET | 153.0 FEET |
| SIDE | 50 FEET | 50.4 FEET | 114.6 FEET |
| REAR | 50 FEET | 50.4 FEET | 177.0 FEET |
| BUILDING COVERAGE: | 40% MAX. | 9% | |
| MAXIMUM BUILDING HEIGHT | 55 FEET | 36.2 FEET | 18.7 FEET |
| | 5 1/2 STY. | 3 STY. | 1 STY. |
| PARKING REQUIREMENTS: | | | |
| STALL DIMENSIONS | 10' x 20' | 10' x 20' | 10' x 20' |
| AISLE WIDTH | | | |
| 90° PARKING | 24' | 24' | 26' |
| 60° PARKING | 16' | | 18' |
| NUMBER OF SPACES REQUIRED BY USE: | | | |
| RENTAL ENCLOSED SELF-STORAGE (3+1 PER 100 UNITS) 3+3 | 6 | 25 | |
| RESTAURANT (1 PER EMP. + 1 PER 3 SEATS) 8+32/3=19 | 33 | | 37 |
| RETAIL (1 PER 200 S.F. GROSS FLOOR SPACE) 2896/200=14 | | | |
| ADA PARKING REQUIREMENT: (26-50 SPACES) | 2 SPACES | 2 SPACES | 2 SPACES |
| 2 SPACES REQUIRED INCLUDING 1 VAN ACCESSIBLE | | | |
| LANDSCAPING REQUIREMENTS: | | | |
| 5% INTERIOR PARKING LANDSCAPE REQUIRED | | | |
| 68 PARKING SPACES (10W x 20L) = 13,600 S.F. | 680 S.F. | 4,215 S.F. | |
| 5% (0.05) x 13,600 S.F. = 680 S.F. | | | |
| (1) TREE PER 35 SPACES (68/35) = 1.9 | 2 TREES | 17 TREES | |



PROFESSIONAL ENGINEER
 PREPARED FOR:
Skaff Petroleum, Inc.
 334 Grafton Street,
 Worcester, MA 01604

TITLE:
SITE LAYOUT PLAN
 For
#1603 - #1605 Main Street
 in
Leicester, MA

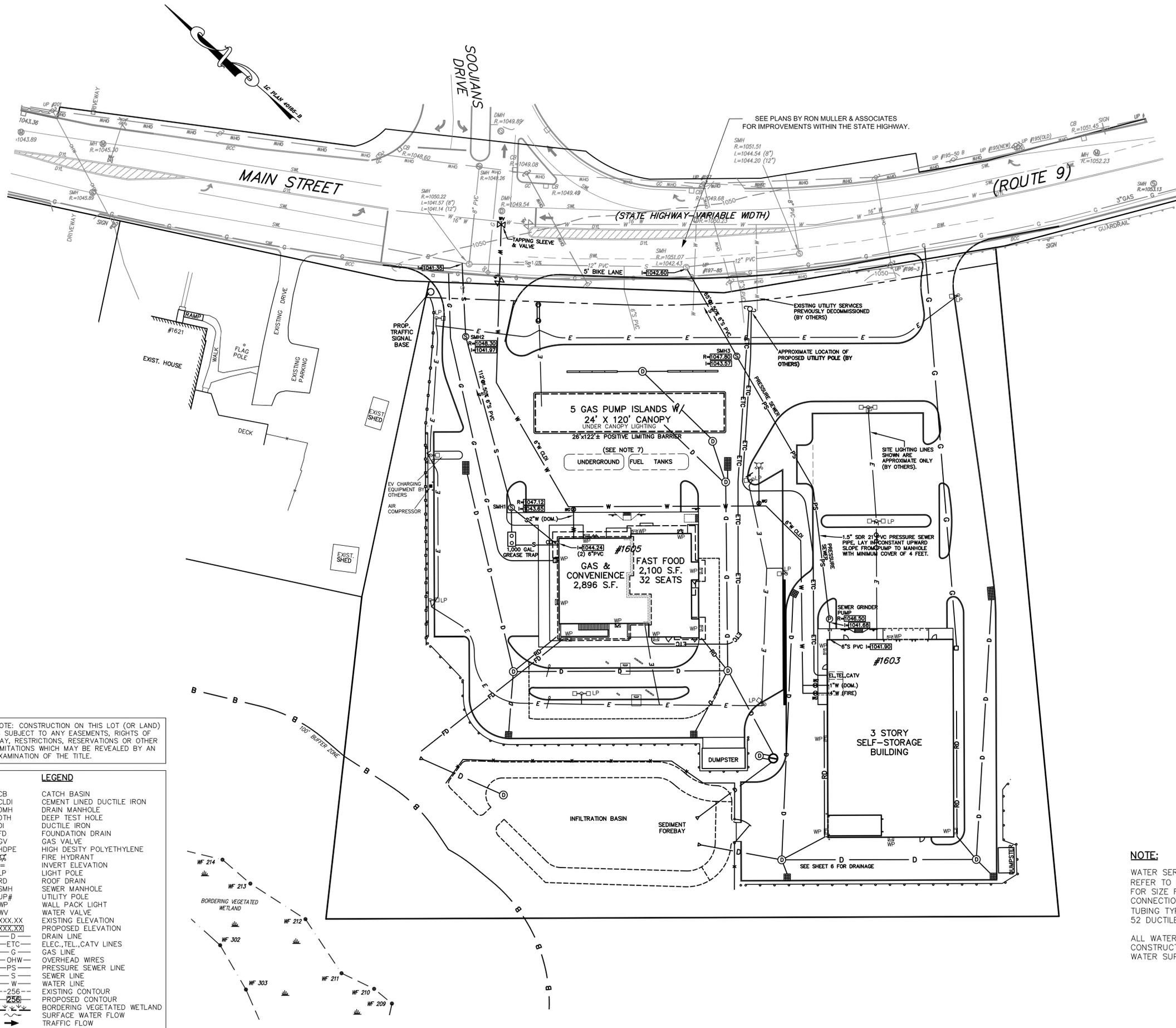
PREPARED BY:

ALLEN ENGINEERING & ASSOCIATES, INC.
 Civil Engineers - Surveyors
 Land Development Consultants
 One Charlesview Road
 Suite 2
 Hopedale, MA 01747
 (508) 381-3212 - Phone
 www.allenrea.com

SCALE: 1" = 30 FEET
 DATE: **September 23, 2021**

| REVISIONS | | | |
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JOB NO: 00047 SHEET: 4 of 13



NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

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| S | SEWER LINE |
| W | WATER LINE |
| - - - 256 - - - | EXISTING CONTOUR |
| - - - 250 - - - | PROPOSED CONTOUR |
| | BORDERING VEGETATED WETLAND |
| | SURFACE WATER FLOW |
| | TRAFFIC FLOW |

NOTE:
WATER SERVICE SIZES ARE SUBJECT TO CHANGE - REFER TO BUILDING MECHANICAL/PLUMBING PLANS FOR SIZE REQUIREMENTS. WATER SERVICE CONNECTIONS UP TO 2 INCHES SHALL BE COPPER TUBING TYPE "K". LARGER SERVICES SHALL BE CLASS 52 DUCTILE IRON DOUBLE CEMENT LINED.

ALL WATER AND SEWER CONNECTIONS SHALL BE CONSTRUCTED PER REGULATIONS OF THE LEICESTER WATER SUPPLY DISTRICT.

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

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0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

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PROFESSIONAL ENGINEER

PREPARED FOR:
Skaff Petroleum, Inc.
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SITE UTILITIES & LIGHTING PLAN
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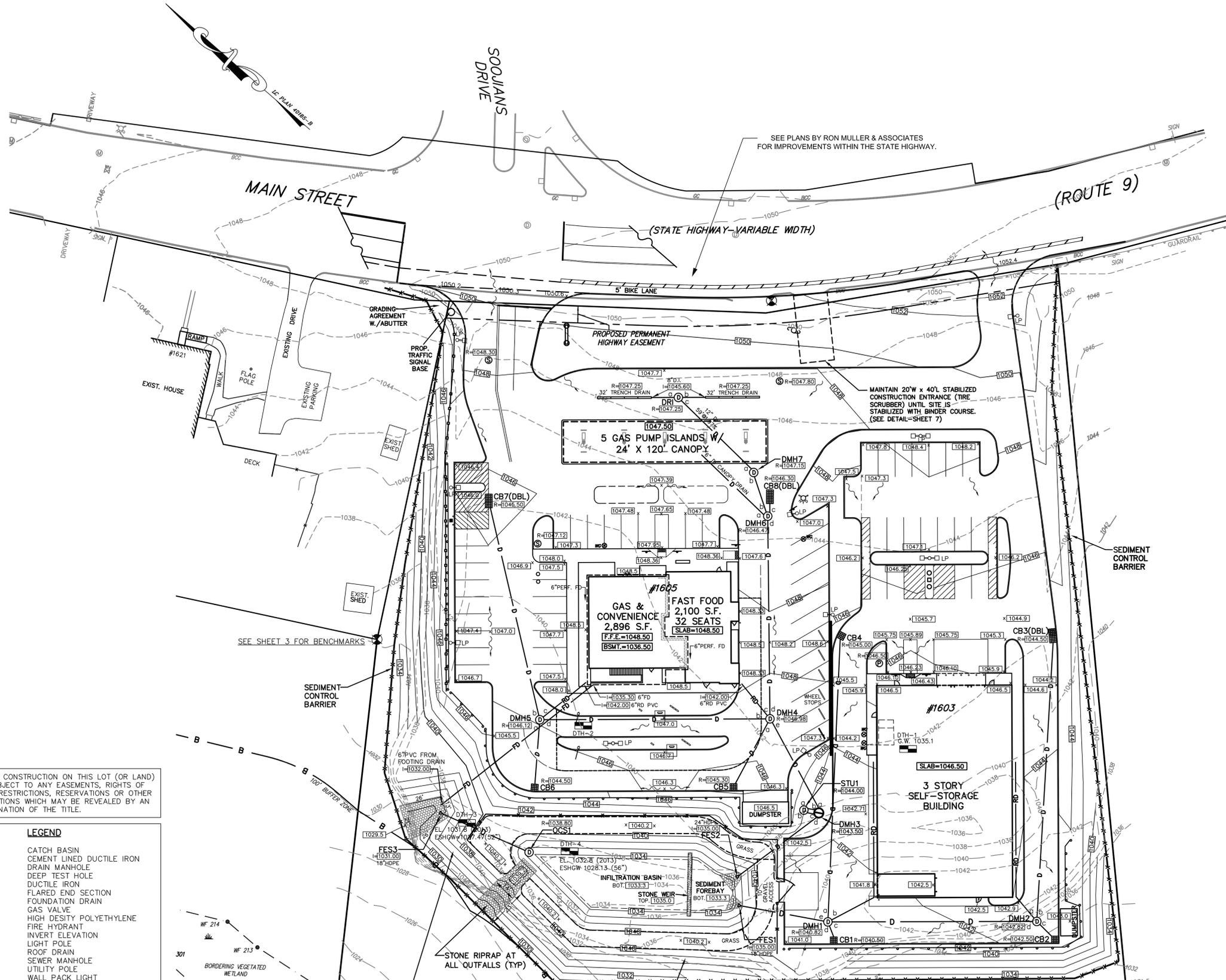


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JOB NO: 00047 SHEET: 5 of 13



DRAINAGE SCHEDULE

| | | |
|----------------------------------|-----------|---|
| CB1 | R=1040.50 | I=1036.50 12"HDPE |
| CB2 | R=1042.50 | I=1037.95 12"HDPE |
| CB3 (DOUBLE) | R=1044.50 | I=1040.00 12"HDPE |
| CB4 | R=1045.00 | I=1040.00 12"HDPE |
| CB5 | R=1045.30 | I=1040.30 12"HDPE |
| CB6 | R=1044.50 | I=1040.75 12"HDPE |
| CB7 (DOUBLE GRATE) | R=1045.50 | I=1041.50 12"HDPE |
| CB8 (DOUBLE GRATE) | R=1046.30 | I=1040.78 18"HDPE |
| DMH1 | R=1040.82 | I(a)=1036.38 12"HDPE I(b)=1036.32 6"PVC ROOF DRAIN I(c)=1036.02 15"HDPE I(d)=1036.38 12"HDPE I(e)=1035.77 18"HDPE |
| DMH2 | R=1042.82 | I(a)=1038.32 6"PVC ROOF DRAIN I(b)=1037.77 12"HDPE I(c)=1037.77 12"HDPE I(d)=1037.52 15"HDPE |
| DMH3 (5' I.D.) | R=1043.5 | I(a)=1036.37 24"HDPE I(b)=1036.37 12"HDPE I(c)=1036.20 12"HDPE I(d)=1035.86 24"HDPE TOP DIVERSION WEIR=1036.75 (SEE SHEET 10) |
| DMH4 | R=1046.98 | I(a)=1039.67 12"HDPE I(b)=1038.44 18"HDPE I(c)=1041.50 6"PVC RD I(d)=1038.84 18"HDPE I(e)=1037.35 24"HDPE |
| DMH5 | R=1046.12 | I(a)=1040.39 12"HDPE I(b)=1040.22 12"HDPE I(c)=1041.40 6"PVC RD I(d)=1039.89 18"HDPE |
| DMH6 | R=1046.47 | I(a)=1042.30 6"DI I(b)=1042.04 12"HDPE I(c)=1040.68 18"HDPE I(d)=1040.58 18"HDPE |
| DMH7 (4' SUMP & OUTLET TRAP) | R=1047.15 | I(a)=1042.59 12"DI I(b)=1042.49 12"HDPE |
| DRI (DROP INLET) | R=1047.25 | I(a)=1045.18 8"DI I(b)=1045.18 8"DI I(c)=1043.75 12"DI |
| OCS1 (OUTLET CONTROL STRUCTURE) | R=1038.88 | I=1033.50 18"HDPE (SEE SHEET 9 FOR INLET ELEVATIONS) |
| STU1 (STORMWATER TREATMENT UNIT) | R=1044.0 | I(a)=1036.30 12"HDPE I(b)=1036.30 12"HDPE (SEE SHEET 10) |

NOTE:
PROPOSED GRADING SHOWN
REQUIRES 17,400± CUBIC YARDS
OF FILL.

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
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334 Grafton Street,
Worcester, MA 01604

TITLE:
**GRADING & DRAINAGE
PLAN**
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

**ALLEN ENGINEERING
& ASSOCIATES, INC.**
Civil Engineers - Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, MA 01747
(508) 381-3212 - Phone
www.allenrea.com

SCALE: 1"=30 FEET
0 30 60 90

DATE: **September 23, 2021**

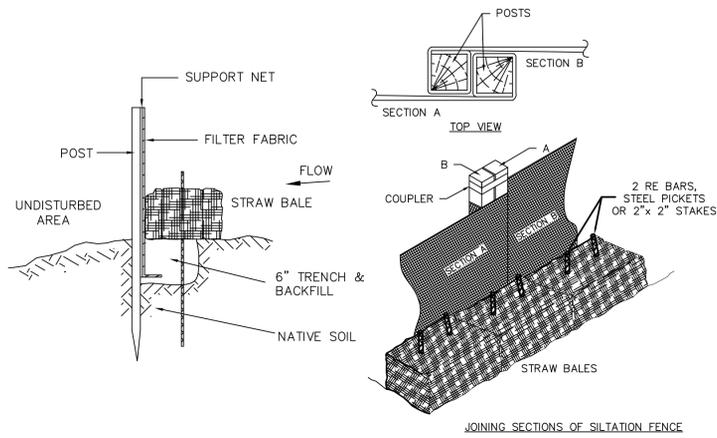
| REVISIONS | | | |
|-----------|----------|--------------|------|
| # | DATE | DESCRIPTION | INIT |
| 1 | 11/12/21 | PER COMMENTS | BSW |
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JOB NO: 00047 SHEET: **6 of 13**

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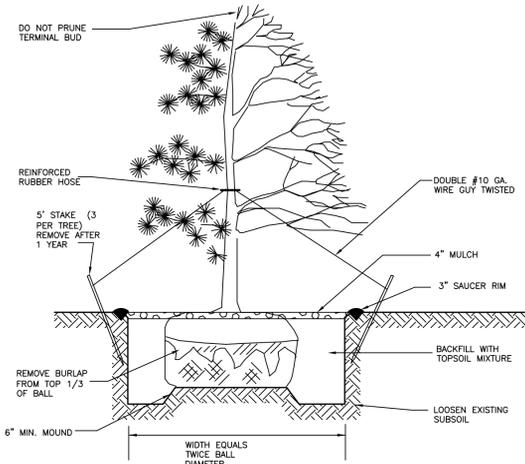
LEGEND

| | |
|--------|---|
| CB | CATCH BASIN |
| OLDI | CEMENT LINED DUCTILE IRON DRAIN MANHOLE |
| DMH | DEEP TEST HOLE |
| DI | DUCTILE IRON |
| FES | FLARED END SECTION |
| FD | FOUNDATION DRAIN |
| GV | GAS VALVE |
| HDPE | HIGH DENSITY POLYETHYLENE |
| HY | FIRE HYDRANT |
| I= | INVERT ELEVATION |
| LP | LIGHT POLE |
| RD | ROOF DRAIN |
| SMH | SEWER MANHOLE |
| UP# | UTILITY POLE |
| WP | WALL PACK LIGHT |
| WV | WATER VALVE |
| XXX.XX | EXISTING ELEVATION |
| XXX.XX | PROPOSED ELEVATION |
| -D- | DRAIN LINE |
| -E/C- | ELEC., TEL., CATV LINES |
| -G- | GAS LINE |
| -OHW- | OVERHEAD WIRES |
| -PS- | PRESSURE SEWER LINE |
| -S- | SEWER LINE |
| -W- | WATER LINE |
| -256-- | EXISTING CONTOUR |
| -256-- | PROPOSED CONTOUR |
| | BORDERING VEGETATED WETLAND |
| | SURFACE WATER FLOW |
| | TRAFFIC FLOW |



NOTE: EXTRA SEDIMENT CONTROL BARRIER MATERIALS TO BE AVAILABLE ON-SITE. INSPECT BARRIER WEEKLY AND REPAIR ANY DAMAGED SECTIONS IMMEDIATELY. BARRIER TO REMAIN IN PLACE UNTIL SITE AND SIDE SLOPE GROUND COVER VEGETATION IS STABILIZED.

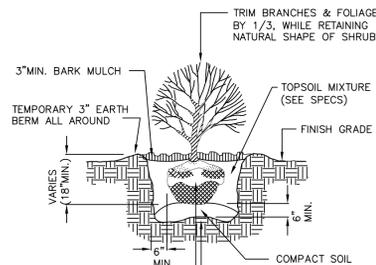
**SEDIMENTATION CONTROL BARRIER
STRAW BALES & SILTATION FENCE**
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

TREE SCHEDULE

| KEY | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS | NO. |
|-----|----------------------------|-------------------------------|-----------------|----------|-----|
| LS | LIQUIDAMBAR STYRACIFLUA | AMERICAN SWEETGUM | 2 - 2 1/2" CAL. | B&B | 3 |
| TC | TSUGA CANADENSIS | CANADIAN HEMLOCK | 6' - 8' | B&B | 6 |
| TCG | TILIA CORDATA GREENSPIRE | GREENSPIRE LITTLE LEAF LINDEN | 2 - 2 1/2" CAL. | B&B | 4 |
| ZSG | ZELCOVA SERRATA GREEN VASE | GREEN VASE ZELCOVA | 2 - 2 1/2" CAL. | B&B | 5 |



SHRUB PLANTING DETAIL
NOT TO SCALE

SHRUB SCHEDULE

| KEY | BOTANICAL NAME | COMMON NAME | SIZE* | NO. |
|-----|--------------------------------|------------------------------|-------|-----|
| AZ | AZALEA DELAWARE VALLEY WHITE | DELAWARE VALLEY WHITE AZALEA | #5 | 6 |
| IL | ILEX OPACA | AMERICAN HOLLY | #5 | 5 |
| TXC | TAXUS CUSPIDATA NANA AURESCENS | DWARF GOLDEN JAPANESE YEW | #6 | 7 |
| VIB | VIBURNUM CARLESII | MAYFLOWER VIBURNUM | #5 | 9 |

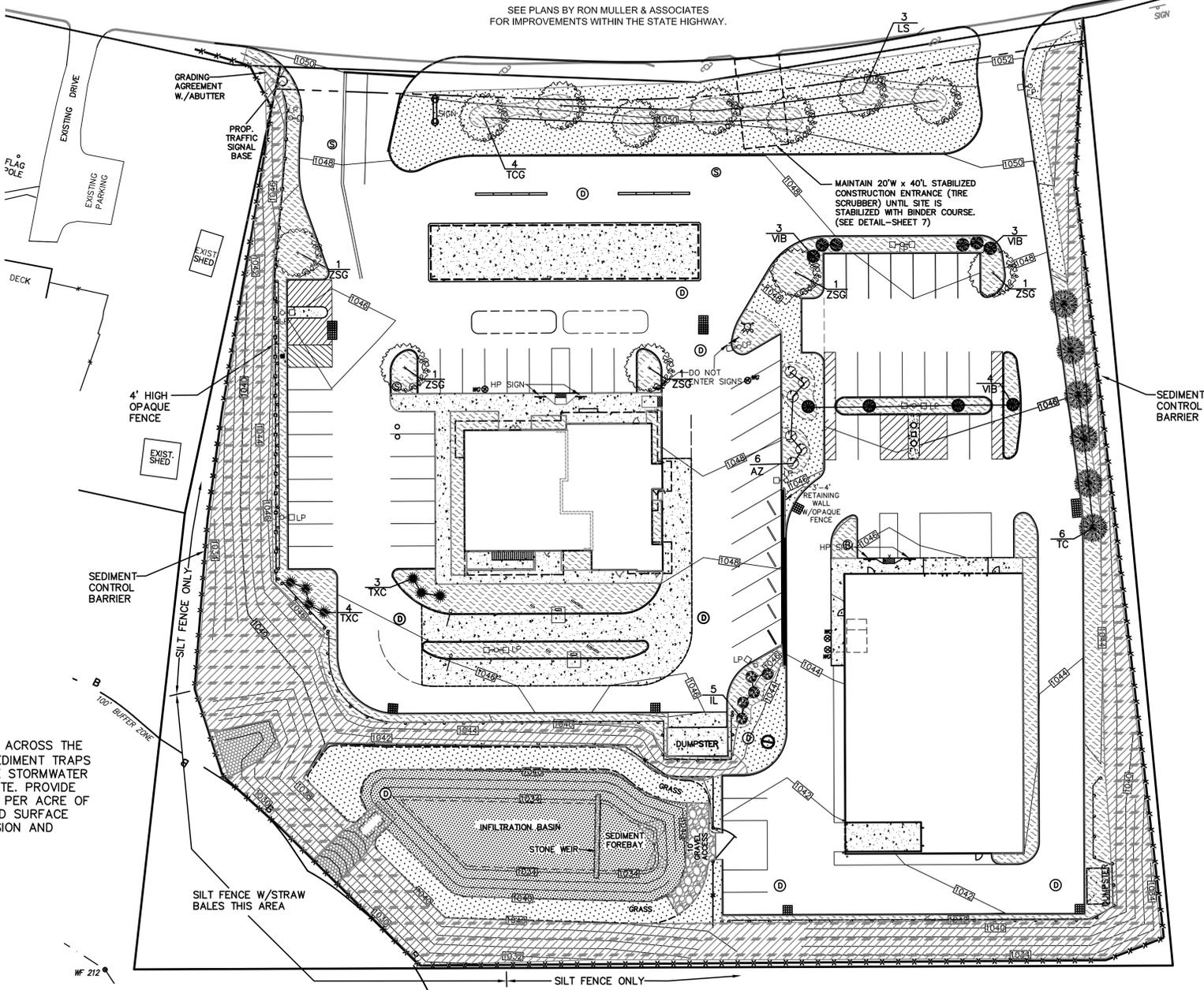
*2.5' HIGH MIN.

MAIN STREET

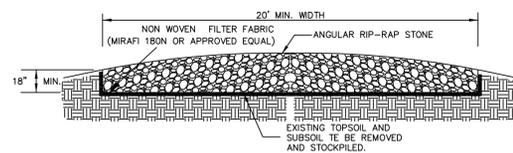
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(STATE HIGHWAY-VARIABLE WIDTH)

(ROUTE 9)



NOTE: AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON-SITE. PROVIDE 3,600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.



NOTES:
1. MINIMUM DEPTH OF RIP-RAP TO BE 18".
2. RIP-RAP TO BE SHARP ANGULAR ROCK, APPROXIMATELY 3" IN DIAMETER.
3. SIZE OF ENTRANCE TO BE A MINIMUM OF 40 FEET LONG AND 20 FEET WIDE.
4. ENTRANCE IS TO BE CLEANED OF SILT AND DEBRIS AFTER EACH MAJOR STORM EVENT.
5. RIP-RAP IS TO BE REMOVED ONLY WHEN SITE HAS BEEN STABILIZED WITH BINDER COURSE.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

| | | | |
|--|--|--|--|
| | CONCRETE PER CONSTRUCTION DETAILS. BLACK CONCRETE TO BE USED IN DRIVE-THRU VEHICLE LANES. | | LAWN GRASS-PERENNIAL RYE/FESCUE/KENTUCKY BLUEGRASS MIX. |
| | STONE RIPRAP PER CONSTRUCTION DETAILS. | | EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR WET SITES) TO BE USED ON ANY GRASSED DRAINAGE SWALES OR INTERIOR OF DRAINAGE BASINS. |
| | GRAVEL ACCESS - 12" DEPTH OF CLEAN COMPACTED GRAVEL. | | EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR DRY SITES) FOR SIDESLOPES GRADED FROM 3:1 TO 2:1 (MAX.). APPLIED WITH A BONDED FIBER MATRIX/HYDROSEEDED OR BIODEGRADABLE ENVIRONMENTAL MATTING. |
| | 4" MIN. MULCH BED. SUPPLEMENT WITH PERENNIAL AND/OR ANNUAL FEATURE PLANTINGS PER TENANT/FRANCHISE STANDARDS. | | NOTE: PROVIDE 6 INCH DEPTH PREPARED LOAM BED FOR GRASSES. |

LANDSCAPE SURFACE TREATMENT KEY

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.
2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.
7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

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LANDSCAPE & EROSION CONTROL PLAN

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In
Leicester, MA

PREPARED BY:

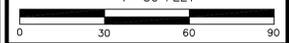


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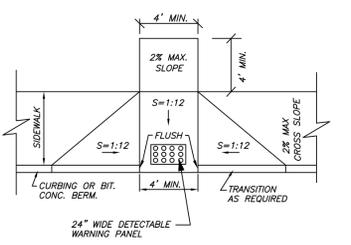
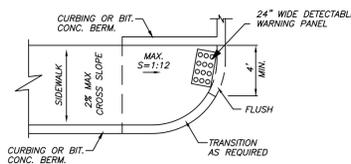
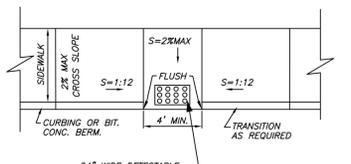


DATE: September 23, 2021

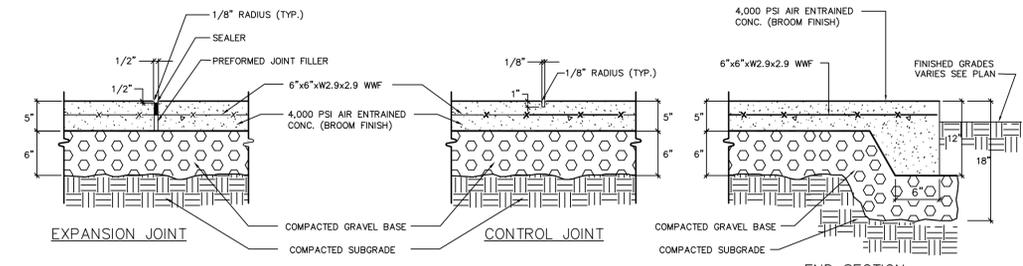
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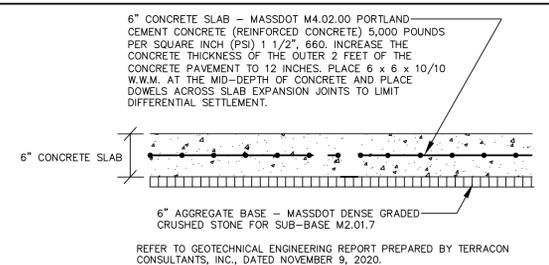
JOB NO: 00047 SHEET: 7 of 13



TYPICAL SIDEWALK RAMPS
(NOT TO SCALE)



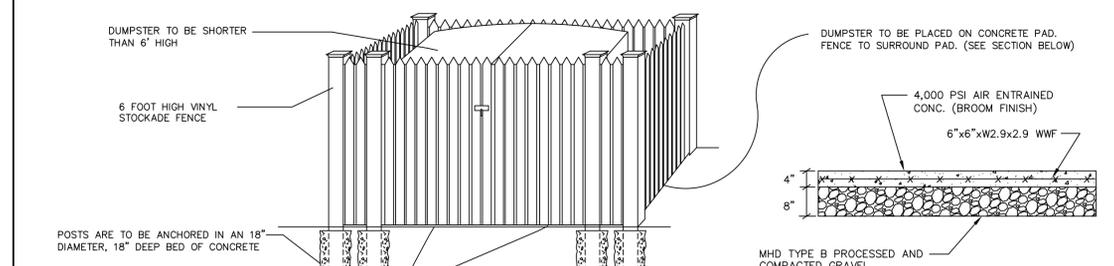
CONCRETE WALK
(NOT TO SCALE)



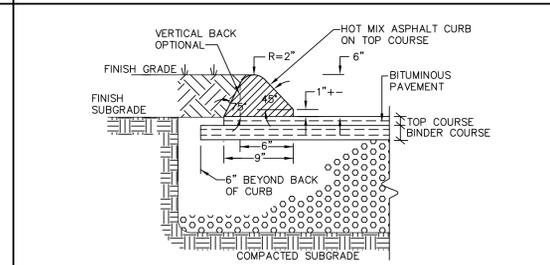
CONCRETE PAD FOR VEHICULAR TRAFFIC
(NOT TO SCALE)

| | STANDARD DUTY PARKING | HEAVY DUTY ACCESS & LOADING AREAS |
|--|-----------------------|-----------------------------------|
| MASSDOT TOP COURSE, M3.11.03 TABLE A | 2" | 2.5" |
| MASSDOT BINDER COURSE, M3.11.03 TABLE A | 2" | 3.5" |
| MASSDOT DENSE GRADED CRUSHED STONE FOR SUB-BASE, M2.01.7 | 6" | 6" |
| MASSDOT GRAVEL BORROW, M1.03.0 TYPE B | 10" | 10" |

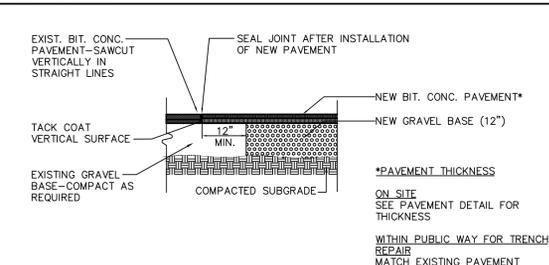
BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



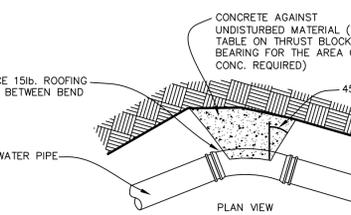
TRASH ENCLOSURE DETAIL
NOT TO SCALE



MASSDOT TYPE 2 BITUMINOUS CONCRETE CURB
(NOT TO SCALE)



PAVEMENT JOINTING
(NOT TO SCALE)



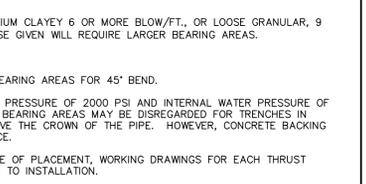
* THIS TABLE IS BASED ON A TYPE OF SOIL THAT IS MEDIUM CLAYEY 6 OR MORE BLOW/FT., OR LOOSE GRANULAR, 9 OR MORE BLOW/FT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.

- NOTES:
- FOR FITTINGS WITH LESS THAN 45° DEFLECTION USE BEARING AREAS FOR 45° BEND.
 - BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 PSI AND INTERNAL WATER PRESSURE OF 150 PSIG JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DISREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN THE PIPE AND THE ROCK FACE.
 - THE CONTRACTOR SHALL SUBMIT 2 WEEKS IN ADVANCE OF PLACEMENT, WORKING DRAWINGS FOR EACH THRUST BLOCK TO THE WATER DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.

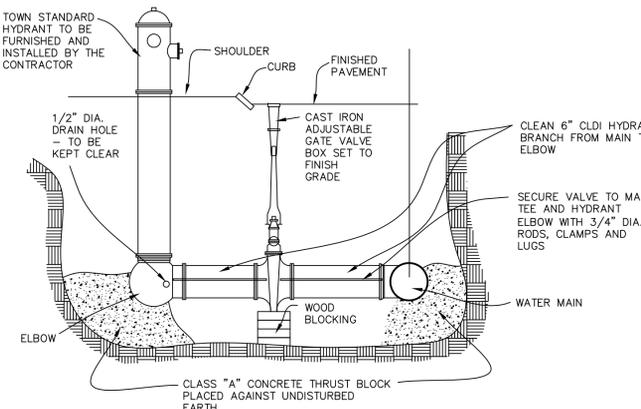
DUCTILE IRON WATER PIPE THRUST BLOCK
NOT TO SCALE

THRUST BLOCK BEARING AREAS FOR PIPE

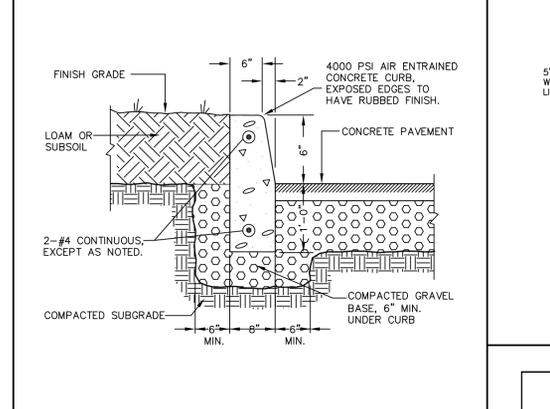
| SIZE OF WATER MAIN IN INCHES | 90° BEND | 45° BEND |
|------------------------------|----------|----------|
| 6" | 4 SF | 2 SF |
| 8" | 6 SF | 3 SF |
| 12" | 12 SF | 7 SF |
| 16" | 21 SF | 12 SF |



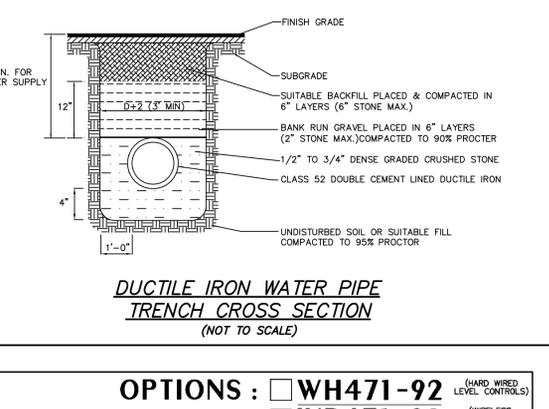
FIRE HYDRANT
NOT TO SCALE



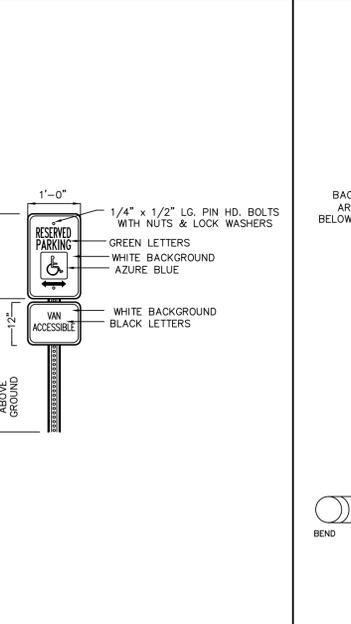
FIRE HYDRANT
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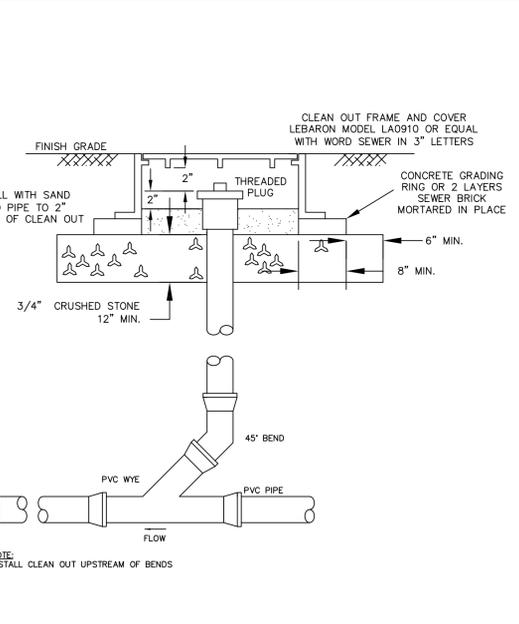
TYPICAL PRECAST CONCRETE CURB
(NOT TO SCALE)



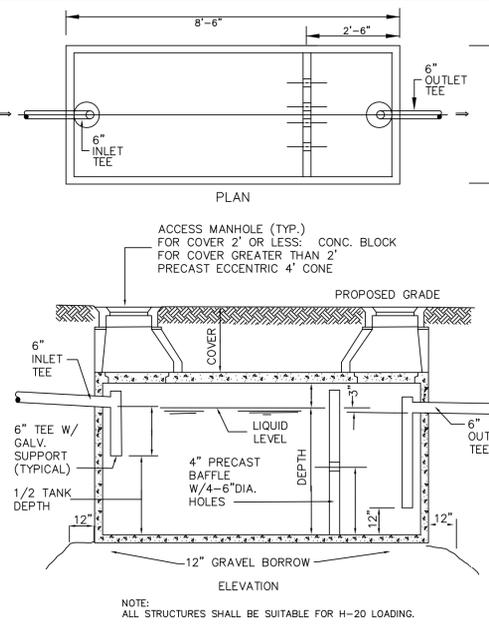
DUCTILE IRON WATER PIPE TRENCH CROSS SECTION
(NOT TO SCALE)



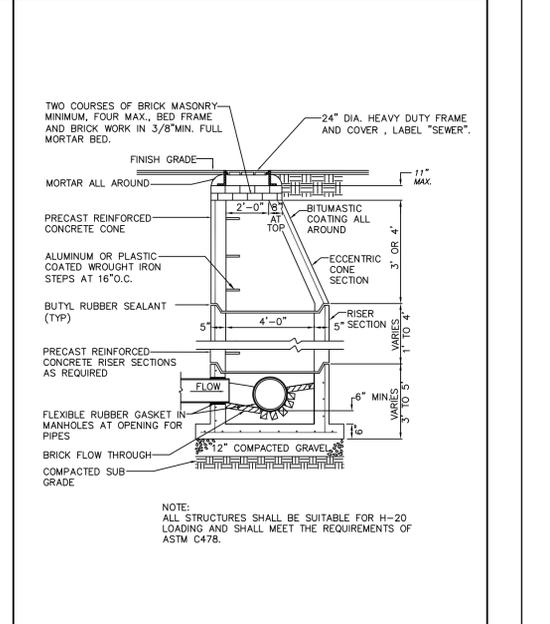
HANDICAP PARKING SIGN
(NOT TO SCALE)



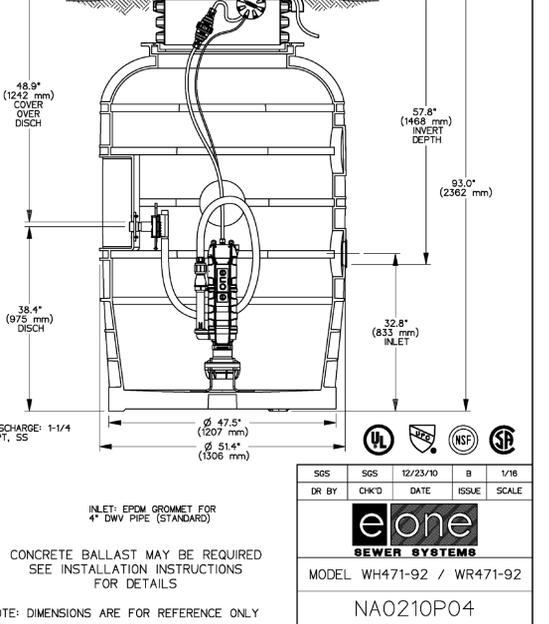
SEWER CLEAN OUT
NOT TO SCALE



1,000 GALLON GREASE TRAP
NOT TO SCALE



PRE-CAST CONCRETE SEWER MANHOLE
NOT TO SCALE



SEWER GRINDER PUMP STATION
NOT TO SCALE

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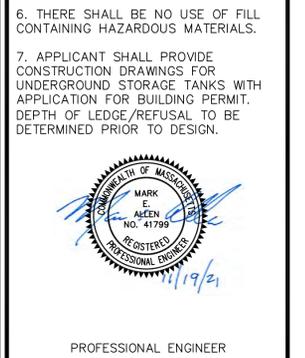
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PREPARED FOR:
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SCALE: AS NOTED

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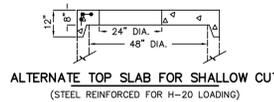
OPTIONS : WH471-92 (HARD WIRED LEVEL CONTROLS)
 WR471-92 (WIRELESS LEVEL CONTROLS)

INLET: EPDM GROMMET FOR 4" DWV PIPE (STANDARD)

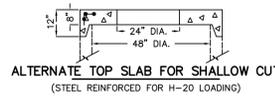
CONCRETE BALLAST MAY BE REQUIRED SEE INSTALLATION INSTRUCTIONS FOR DETAILS

NOTE: DIMENSIONS ARE FOR REFERENCE ONLY

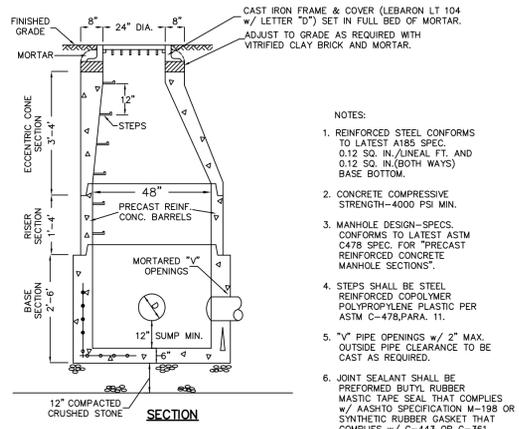
| SGS | SGS | 12/23/10 | B | 1/16 |
|---------------------------|-------|----------|-------|-------|
| DR BY | CHK'D | DATE | ISSUE | SCALE |
| | | | | |
| MODEL WH471-92 / WR471-92 | | | | |
| NAO210P04 | | | | |



ALTERNATE TOP SLAB FOR SHALLOW CUT
(STEEL REINFORCED FOR H-20 LOADING)

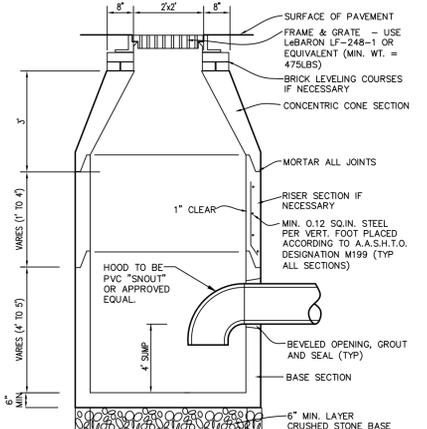


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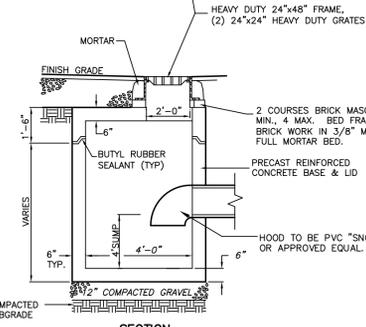
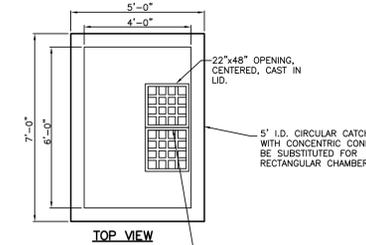
- NOTES:**
1. REINFORCED STEEL CONFORMS TO LATEST A185 SPEC, 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 2. CONCRETE COMPRESSIVE STRENGTH-4000 PSI MIN.
 3. MANHOLE DESIGN-SPECS. CONFORMS TO LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
 4. STEPS SHALL BE STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC PER ASTM C-478, PARA. 11.
 5. "V" PIPE OPENINGS W/ 2" MAX. OUTSIDE PIPE CLEARANCE TO BE CAST AS REQUIRED.
 6. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TAPE SEAL THAT COMPLIES W/ AASHTO SPECIFICATION M-198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES W/ C-443 OR C-361.
 7. BASE SECTION SHALL BE ONE POUR MONOLITHIC.

PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)

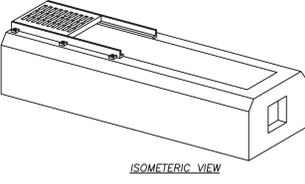
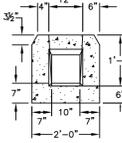
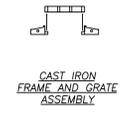
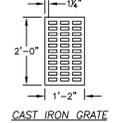
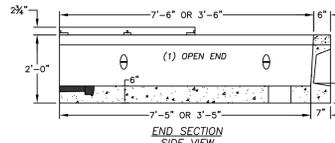
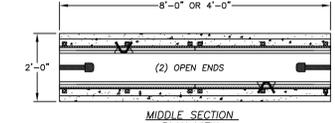
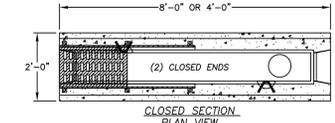


- NOTES:**
1. PIPE OPENINGS TO BE PRECAST IN CATCH BASIN SECTIONS.
 2. SURFACE OF FRAME AND GRATE TO SLOPE DOWN 1" FROM FRONT TO BACK.
 3. FACE OF PIPE TO BE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.

PRECAST CONCRETE CATCH BASIN
(NOT TO SCALE)



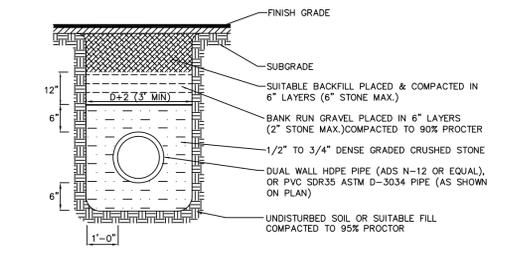
DOUBLE GRATE CATCH BASIN
(NOT TO SCALE)



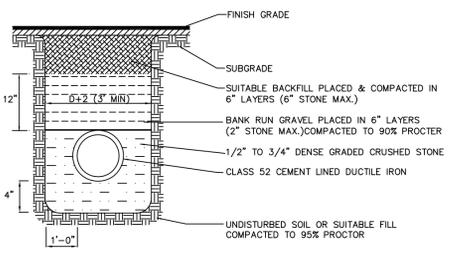
SHEA CONCRETE PRODUCTS 12" X 18" TRENCH DRAIN OR APPROVED EQUAL

- NOTES:**
1. MINIMUM CONCRETE COMPRESSIVE STRENGTH: 4,000 PSI AFTER 28 DAYS.
 2. REINFORCING STEEL: A615 GRAD 60 BLACK DEFORMED BARS
 3. AVAILABLE IN 4' AND 8' SECTIONS.
 4. AVAILABLE IN CENTER, END OR MIDDLE SECTIONS.
 5. DESIGNED FOR AASHTO HS-20 LOADING.
 6. GRATING TO BE ATTACHED BY CONTRACTOR.
 7. END KNOCK OUTS SIZED FOR MAXIMUM 8\"/>
 - 8. SLOPED FLOOR IF REQUIRED TO BE INSTALLED BY OTHERS AFTER INSTALLATION.

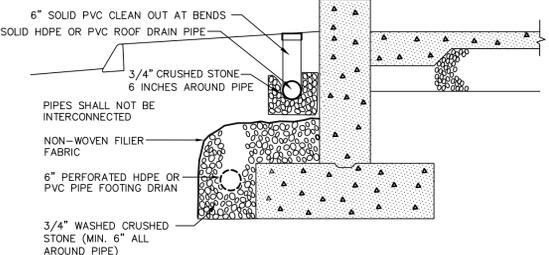
TRENCH DRAIN
(NOT TO SCALE)



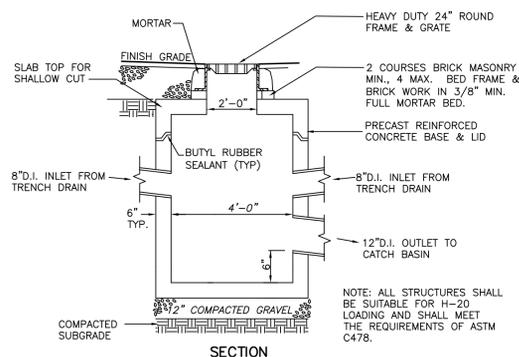
HDPE/PVC PIPE TRENCH CROSS SECTION
(NOT TO SCALE)



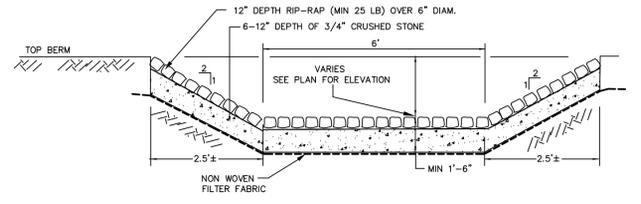
DUCTILE IRON DRAIN PIPE TRENCH CROSS SECTION
(NOT TO SCALE)



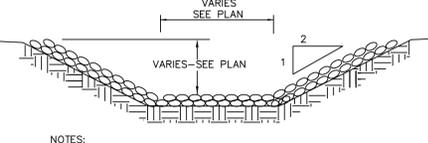
TYPICAL SECTION-ROOF DRAIN & FOOTING DRAIN
(NOT TO SCALE)



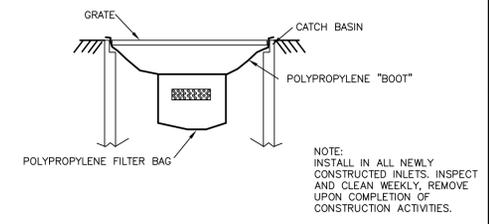
DROP INLET
(NOT TO SCALE)



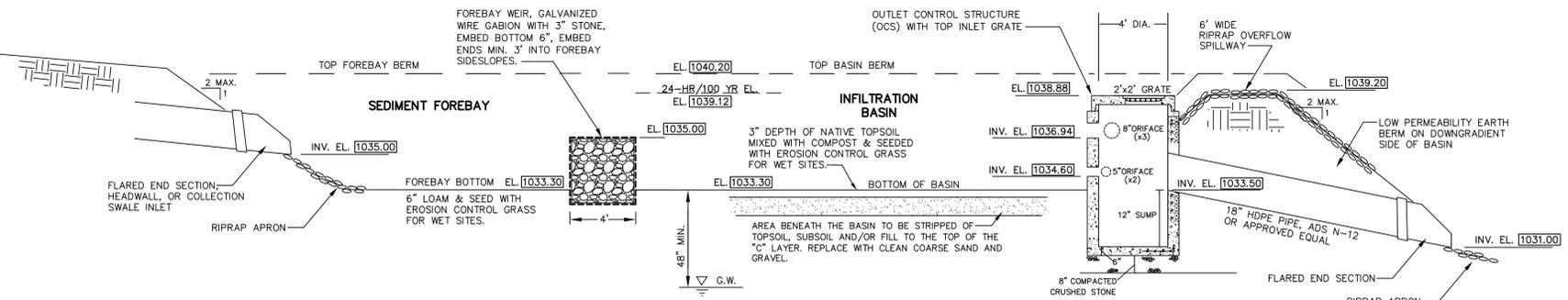
INFILTRATION BASIN RIPRAP OVERFLOW SPILLWAY
(NOT TO SCALE)



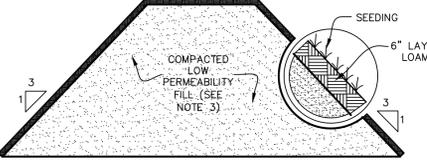
RIPRAP APRON FOR PIPE ENDS
(NOT TO SCALE)



CATCH BASIN SEDIMENT FILTER INSERT
(NOT TO SCALE)



STORMWATER SEDIMENT FOREBAY & INFILTRATION BASIN
(NOT TO SCALE)



LOW PERMEABILITY EARTH BERM - SECTION
NOT TO SCALE

- NOTES:**
1. ALL WORK TO BE STAKED AND INSPECTED BY THE DESIGN ENGINEER.
 2. AREA UNDER THE EMBANKMENT AND ANY STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
 3. COMPACTED LOW PERMEABILITY FILL MATERIAL SHALL BE WELL GRADED, SILTY GRAVELLY SAND WITH A MINIMUM OF 15% PASSING #200, AND SHALL BE FREE OF STONES GREATER THAN 6" IN DIAMETER, ORGANIC MATTER, CONSTRUCTION DEBRIS, SNOW OR FROZEN SOIL. MATERIALS SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" IN THICKNESS, AND SHALL BE COMPACTED BY CONTINUOUS PASSES OF HEAVY DOZERS, HAULING EQUIPMENT AND APPROPRIATE COMPACTORS. MINIMUM DEGREE OF COMPACTION SHALL BE 95% OF MAXIMUM DRY DENSITY AS SPECIFIED BY A.S.T.M. D 1556 C.
 4. THE EMBANKMENT WILL BE CONSTRUCTED TO THE DESIGN ELEVATION PLUS 0.5 FT. TO ALLOW FOR SETTLEMENT.
 5. S.C.S. APPROVED SEED MIX TO BE SPREAD AS SOON AS IS PRACTICAL TO MINIMIZE EROSION.

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.

3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:
Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:
**CONSTRUCTION
DETAIL PLAN**
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

**ALLEN ENGINEERING
& ASSOCIATES, INC.**
Civil Engineers - Surveyors
Land Development Consultants

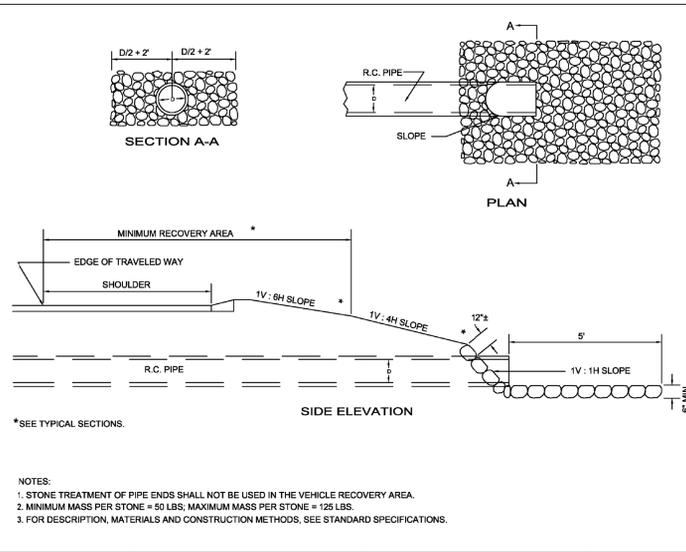
One Charlesview Road
Suite 2
Hopedale, MA 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE: AS NOTED

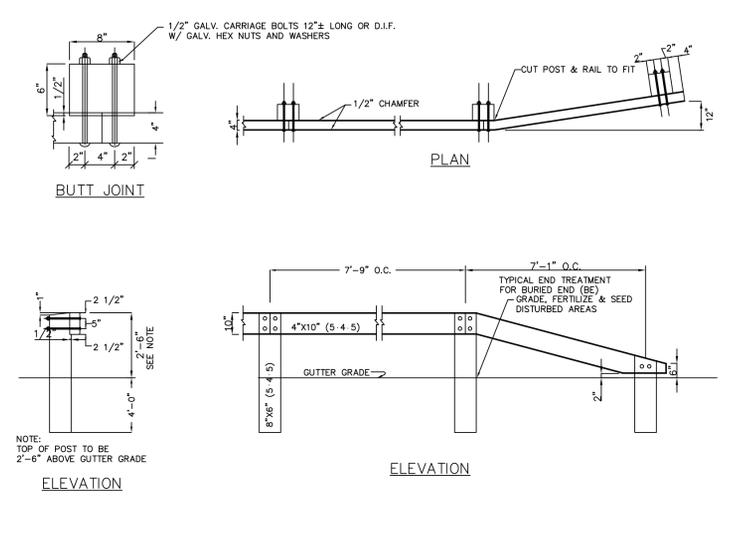
DATE: **September 23, 2021**

| REVISIONS | | | |
|-----------|----------|--------------|------|
| # | DATE | DESCRIPTION | INIT |
| 1 | 11/12/21 | PER COMMENTS | BSW |
| 2 | 11/19/21 | PER COMMENTS | BSW |

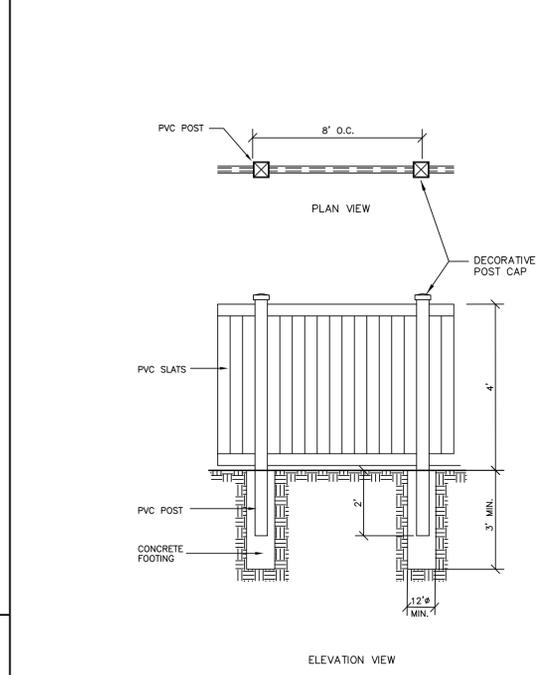
JOB NO: 00047 SHEET: **9 of 13**



PIPE END RIPRAP APRON
(NOT TO SCALE)



WOODEN GUARD RAIL
(NOT TO SCALE)



OPAQUE PVC FENCE DETAIL
(NOT TO SCALE)

LOCUS REFERENCES
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OWNER: LEICESTER MAIN, LLC
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LAND COURT PLAN 40185-B, LOT 1
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PROFESSIONAL ENGINEER

PREPARED FOR:
Skaff Petroleum, Inc.
334 Grafton Street,
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TITLE:
**CONSTRUCTION
DETAIL PLAN**
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In
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PREPARED BY:

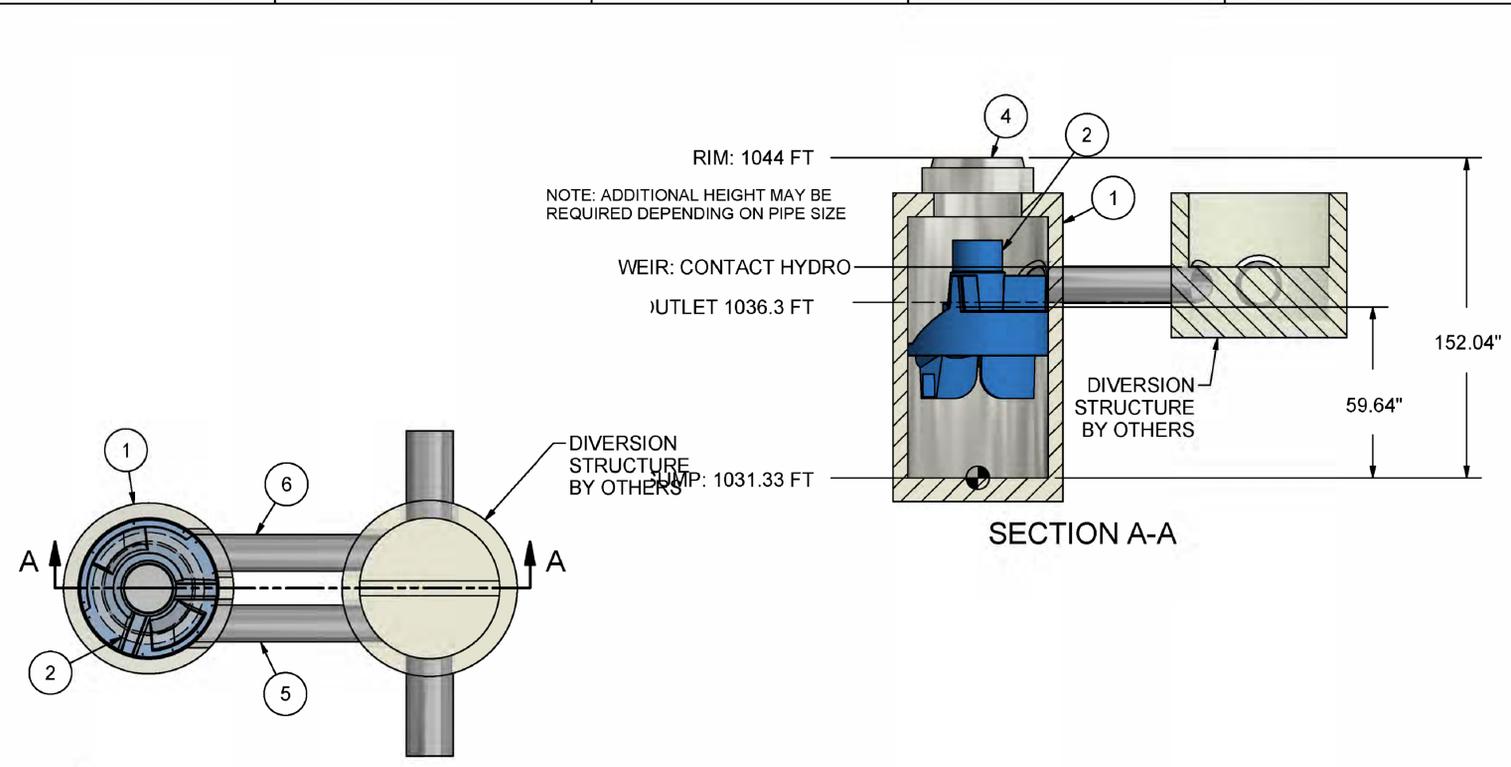
**ALLEN ENGINEERING
& ASSOCIATES, INC.**
Civil Engineers - Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE: AS NOTED

DATE: **September 23, 2021**

| REVISIONS | | | |
|-----------|----------|--------------|------|
| # | DATE | DESCRIPTION | INIT |
| 1 | 11/12/21 | PER COMMENTS | BSW |
| 2 | 11/19/21 | PER COMMENTS | BSW |

JOB NO: 00047 SHEET: **10** of 13



- CAPACITIES:**
1. PEAK HYDRAULIC FLOW: 17.89 cfs
 2. SEDIMENT STORAGE CAPACITY: 0.7 yd³
 3. OIL STORAGE CAPACITY: 191 gal
 4. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
 5. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.



HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED

- NOTE:
- NOT FOR CONSTRUCTION. CONTACT HYDRO FOR SITE SPECIFIC DETAIL.
 - MAX PIPE SIZE MAY NOT BE POSSIBLE IN OFFLINE CONFIGURATION.

| PARTS LIST | | |
|------------|-------------------------------------|-----------|
| ITEM | DESCRIPTION | SIZE (in) |
| 1 | I.D. PRECAST MANHOLE | 48 |
| 2 | INTERNAL COMPONENTS (PRE-INSTALLED) | |
| 4 | FRAME AND COVER (ROUND) | 30 |
| 5 | OUTLET PIPE (BY OTHERS) | 12 |
| 6 | INLET PIPE (BY OTHERS) | 12 |

PROJECTION

IF IN DOUBT ASK

COMMENTS:
1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

| REVISION HISTORY | | |
|------------------|----|---------------|
| REV | BY | DESCRIPTION |
| - | ER | FIRST RELEASE |

DATE: _____ SCALE: **NTS**

DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____

Title:
**4 FT FIRST DEFENSE®
HIGH CAPACITY**

Site:
Leicester

Structure No:
STU1

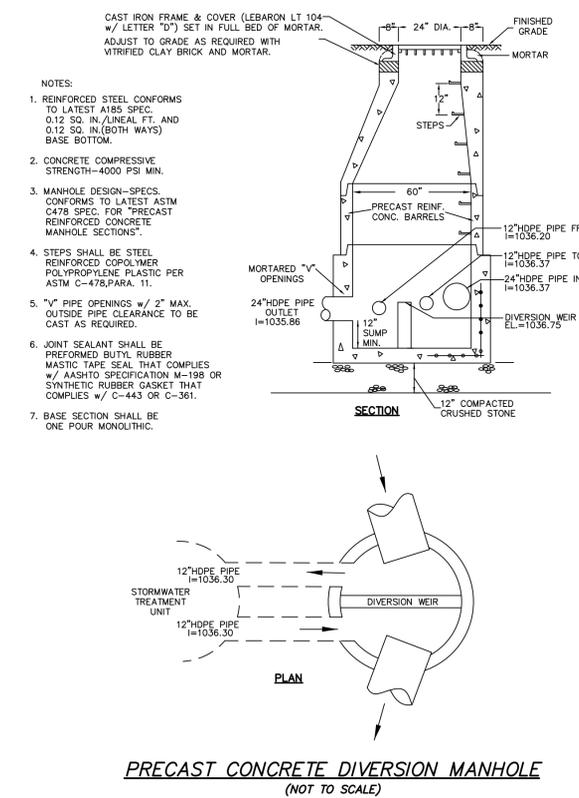
Hydro International
hydro-int.com
HYDRO INTERNATIONAL

| WEIGHT: | MATERIAL: |
|---------|-----------|
| N/A | |

REFERENCE NUMBER:
21_12_1395

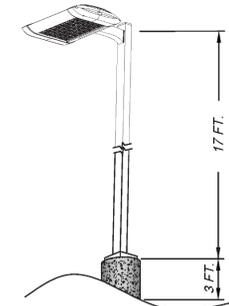
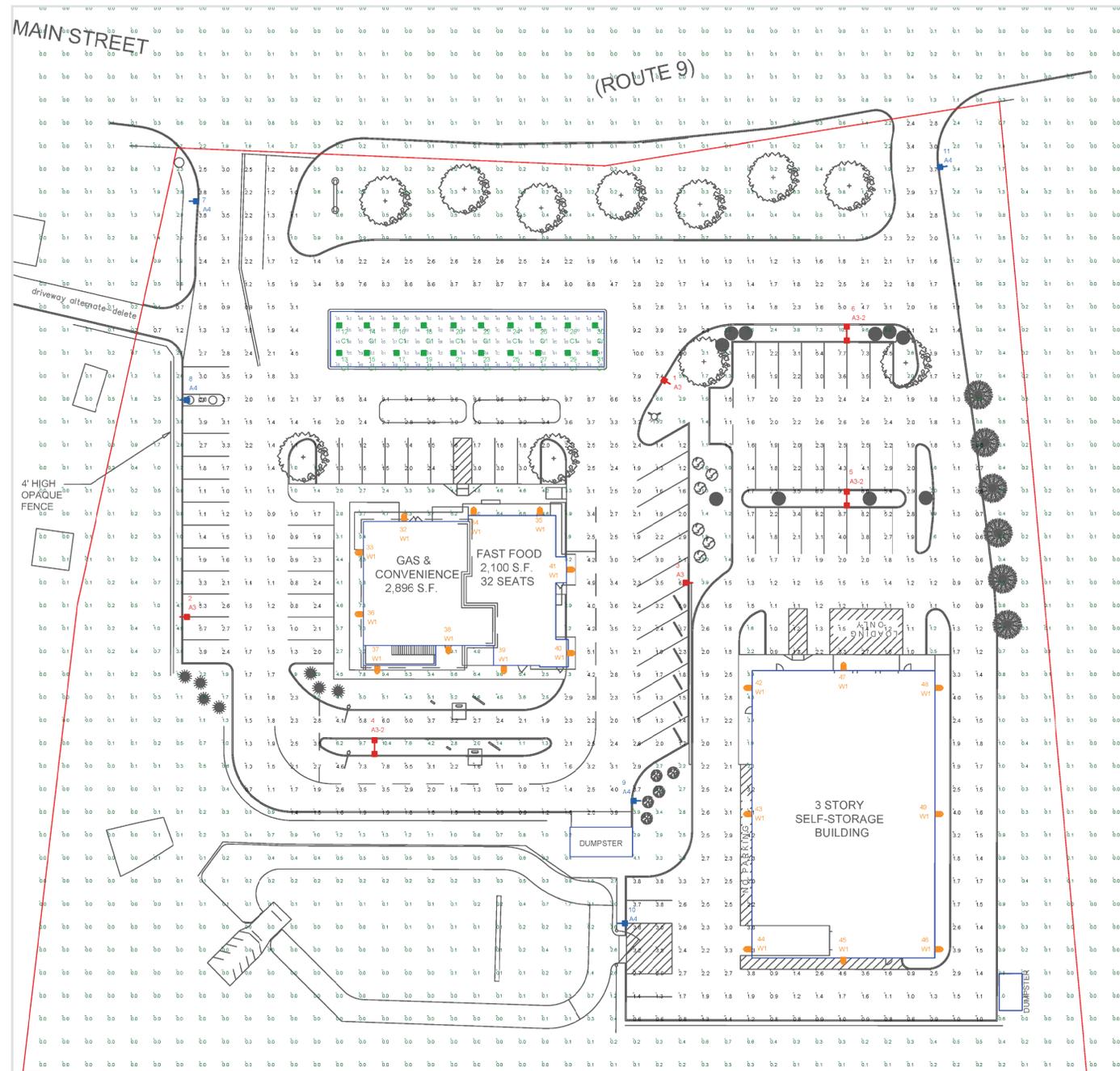
DRAWING NO.:

SHEET SIZE: **B** SHEET: **1 OF 1** Rev: -



PRECAST CONCRETE DIVERSION MANHOLE
(NOT TO SCALE)

ANY WARRANTY GIVEN BY HYDRO INTERNATIONAL WILL APPLY ONLY TO THOSE ITEMS SUPPLIED BY IT. ACCORDINGLY HYDRO INTERNATIONAL CANNOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURE, PLANT, OR EQUIPMENT. (OR THE PERFORMANCE THERE OF) DESIGNED, BUILT, MANUFACTURED, OR SUPPLIED BY ANY THIRD PARTY. HYDRO INTERNATIONAL HAVE A POLICY OF CONTINUOUS DEVELOPMENT AND RESERVE THE RIGHT TO AMEND THE SPECIFICATION. HYDRO INTERNATIONAL CANNOT ACCEPT LIABILITY FOR PERFORMANCE OF ITS EQUIPMENT, (OR ANY PART THEREOF), IF THE EQUIPMENT IS SUBJECT TO CONDITIONS OUTSIDE ANY DESIGN SPECIFICATION. HYDRO INTERNATIONAL OWNS THE COPYRIGHT-IT OF THIS DRAWING, WHICH IS SUPPLIED IN CONFIDENCE. IT MUST NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED AND MUST NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT PRIOR PERMISSION IN WRITING FROM HYDRO INTERNATIONAL.



NOTE:
- ALL AREA LIGHTS ON NEW 17 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES

| FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES | | | | | |
|--|-------|------|-----|---------|---------|
| LABEL | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
| CANOPY | 56.03 | 68 | 35 | 1.60 | 1.94 |
| PAVED | 2.54 | 10.0 | 0.6 | 4.23 | 16.67 |
| UNDEFINED | 0.60 | 10.4 | 0.0 | N.A. | N.A. |

| LUMINAIRE LOCATION SUMMARY | | |
|----------------------------|-------|----------|
| LUM NO. | LABEL | MTG. HT. |
| 1 | A3 | 20 |
| 2 | A3 | 20 |
| 3 | A3 | 20 |
| 4 | A3-2 | 20 |
| 5 | A3-2 | 20 |
| 6 | A3-2 | 20 |
| 7 | A4 | 20 |
| 8 | A4 | 20 |
| 9 | A4 | 20 |
| 10 | A4 | 20 |
| 11 | A4 | 20 |
| 12 | C1 | 15 |
| 13 | C1 | 15 |
| 14 | C1 | 15 |
| 15 | C1 | 15 |
| 16 | C1 | 15 |
| 17 | C1 | 15 |
| 18 | C1 | 15 |
| 19 | C1 | 15 |
| 20 | C1 | 15 |
| 21 | C1 | 15 |
| 22 | C1 | 15 |
| 23 | C1 | 15 |
| 24 | C1 | 15 |
| 25 | C1 | 15 |
| 26 | C1 | 15 |
| 27 | C1 | 15 |
| 28 | C1 | 15 |
| 29 | C1 | 15 |
| 30 | C1 | 15 |
| 31 | C1 | 15 |
| 32 | W1 | 12 |
| 33 | W1 | 12 |
| 34 | W1 | 12 |
| 35 | W1 | 12 |
| 36 | W1 | 12 |
| 37 | W1 | 12 |
| 38 | W1 | 12 |
| 39 | W1 | 12 |
| 40 | W1 | 12 |
| 41 | W1 | 12 |
| 42 | W1 | 15 |
| 43 | W1 | 15 |
| 44 | W1 | 15 |
| 45 | W1 | 15 |
| 46 | W1 | 15 |
| 47 | W1 | 15 |
| 48 | W1 | 15 |
| 49 | W1 | 15 |

| LUMINAIRE SCHEDULE | | | | | | | | | | |
|--------------------|-----|-------|-------------|--------|-------|------------|-----------------|-------------|---------------|--|
| SYMBOL | QTY | LABEL | ARRANGEMENT | LUMENS | LLF | BUG RATING | WATTS/LUMINAIRE | TOTAL WATTS | MANUFACTURER | CATALOG LOGIC |
| | 3 | A3 | SINGLE | 11175 | 1.030 | B2-U0-G2 | 72 | 216 | Cree Lighting | OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX |
| | 3 | A3-2 | D180 | 11175 | 1.030 | B2-U0-G2 | 72 | 432 | Cree Lighting | OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX |
| | 5 | A4 | SINGLE | 11174 | 1.030 | B2-U0-G2 | 72 | 360 | Cree Inc | OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX |
| | 20 | C1 | SINGLE | 12516 | 1.030 | B3-U0-G1 | 91.19 | 1823.8 | Cree Lighting | CPY250-B-DM-F-13L-UL-XX-57K |
| | 18 | W1 | SINGLE | 4270 | 1.030 | B1-U0-G1 | 31 | 558 | Cree Inc | XSPW-B-VM-3ME-4L-57K-UL-XX |

REDLEONARD ASSOCIATES
1340 Kemper Meadow Dr, Forest Park, OH 45240
513-574-9500 | redleonard.com

| REV. | BY | DATE | DESCRIPTION |
|------|-----|----------|---|
| R1 | LMP | 08/19/21 | REVISED TO INCLUDE SELF-STORAGE PARKING |

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SCALE: 1" = 30'
LAYOUT BY: LMP
DATE: 04/30/21

PROJECT NAME:
MOBIL/BURGER KING
LEICESTER, MA
DRAWING NUMBER:
RL-7353-S1-R1



LIGHTING
PHOTOMETRIC PLAN

JOB NO:
00047
SHEET:
11 of 13

