

Town of Leicester PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

1

PLANNING BOARD AGENDA Tuesday, November 16, 2021 @ 7:00PM

<i>In-Person</i>
Meeting Room 3 Leicester Town Hall, Lower Level

ORDER OF BUSINESS*

1. 7:00 PM **Public Hearing, Special Permit**
SP2021-08, 1603-1605 Main Street, (gas station, convenience store, fast food restaurant w/ drive through, self-storage building.) Applicant: Skaff Fuels, Inc.
2. 7:15 PM **Discussion, Site Plan Review**
SPR2021-04, ZP Battery, 1355 Main St, (medium-scale, ground-mounted solar energy system.) Applicant: ZP Battery DevCo, LLC.
3. 7:30 PM **Public Hearing, Definitive Subdivision Plan & Special Permit**
DSUB2021-02/SP2021-08, Skyview Estates, 651 Main Street, (74-unit residential subdivision, mix of duplex & multi-family structures), Applicant: MKPEP770, LLC.
4. 7:45 PM **Public Hearing, Special Permit Amendment, Continued**
SP2019-02, Smuggler's Cove Open Space Residential Development (reduction in road length & # of lots), Applicant: Central Land Development Corp.
5. 8:00 PM General Discussion:
 - Miscellaneous Project Updates
 - Board Member Committee Updates
 - Upcoming Meeting Dates

Adjourn

***Note: Agenda times for items that are not public hearings may be taken out of order.**

"The listings of matters are those reasonably anticipated by the Chair 48 hours before said meeting, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law"



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers, Surveyors &
Land Development Consultants

ADDRESS

One Charlesview Road
Suite 2
Hopdale, MA 01747

PHONE

(508) 381-3212

WEB SITE

www.allen-ea.com

September 23, 2021

Leicester Planning Board
Leicester Zoning Board of Appeals
3 Washburn Square
Leicester, MA 01524

Re: #1603 – #1605 Main Street,
Leicester, MA
AEA Project 00047

Dear Members of the Board:

Allen Engineering & Associates, Inc., on behalf of the applicant Skaff Petroleum, Inc., hereby submits the enclosed materials for approval of construction on the property located at #1603 – #1605 Main Street.

The applicant seeks the following approvals:

Planning Board

- Site Plan Review
- Stormwater Permit
- Special Permits (HB-1 Zoning District)
 - Zoning By-Law §3.2.03 7. – Gasoline station
 - Zoning By-Law §3.2.03 11. – Drive-through facility
 - Zoning By-Law §3.2.03 13. – Rental enclosed self-storage facility
- Waiver for buffer size
(Waiver request follows)

Zoning Board of Appeals

- Variance request for curb cut location (Petition for Variance follows).
- Variance request for size of standing sign (Petition for Variance follows).

Review History

The Planning Board and Zoning Board of Appeals have reviewed a project on this site in the past (2013) and has granted approvals based on that review. The Planning Board approval (recorded in deed book 51725, page 157) and the Zoning Board of Appeals decision (recorded in deed book 51972, page 163) are included herewith for reference. The construction under these approvals was not started and the approvals have since lapsed and are expired. The site layout, as had been previously approved, has been modified somewhat on the current enclosed plans:

#1603 – #1605 Main Street,
Leicester, MA



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers, Surveyors &
Land Development Consultants

ADDRESS

One Charlesview Road
Suite 2
Hopedale, MA 01747

PHONE

(508) 381-3212

WEB SITE

www.allen-ea.com

At #1603 an 80' by 125' three story self-storage building replaces the formerly proposed 80' by 125' retail/bank building.

At #1605 the proposed use as a gas station/convenience store and fast-food restaurant/drive-thru remain as previously proposed, although the site layout has been reconfigured. The former approval included a car wash which is no longer proposed.

Project Narrative

The subject property lies on the southwesterly side of Route 9 (state highway) and is numbered 1603 & 1605 Main Street. The site comprises three parcels under common ownership and is shown on Leicester assessor's maps 18, block A, parcel 8.1, and map 18A, block A, parcels 14 & 15. The site is a vacant/cleared lot approximately opposite the Walmart (Soojians Drive) entrance. The project proponent seeks approval to construct two commercial buildings with appurtenant parking, access drives and utilities.

The easterly building (#1603) is proposed as a three-story self-storage building having a footprint area of 10,000 square feet. This building will contain 100 storage units per floor for a total of 300 units of varying sizes. The building will be equipped with elevators and an automated fire protection sprinkler system. The building will provide two office spaces as well as one restroom. It is anticipated that 1 – 2 full-time employees will staff the building.

The westerly building (#1605) has a footprint area of 4,996 square feet and will contain a one-story fast-food restaurant with a drive-thru on the easterly side of the building, and a gas station/convenience store on the westerly side of the building. The easterly portion of the building will be a slab-on-grade construction, while the westerly will have an additional basement level to be used for supplies and storage. A canopy 18.5 feet in height will cover the five auto fueling islands. This will protect the fuel customers from the elements as well as reduce the potential of pollutants in the stormwater by limiting the fuel area exposure to precipitation. A concrete positive limiting barrier with sufficient storage capacity will be constructed around the fueling area to contain inadvertent spills. The restaurant drive-thru will be double-lane with separate by-pass lane. This will allow 17 cars to stack in cue thereby reducing the possibility of overflow into the parking/driveway area and improving vehicle circulation and pedestrian safety. A total of 40 parking spaces are provided for this building exceeding the required number of 33. Eight employee spaces will be designated adjacent to the drive-thru area. This building will be staffed by 7 – 10 employees, and operating hours are anticipated to be 5am to 12 pm daily.

#1603 – #1605 Main Street,
Leicester, MA



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers, Surveyors &
Land Development Consultants

ADDRESS

One Charlesview Road
Suite 2
Hopedale, MA 01747

PHONE

(508) 381-3212

WEB SITE

www.allen-ea.com

Access to the site will be provided by a new curb cut and driveway on the westerly side of the lot, directly across Route 9 from Soojians Drive with an additional site egress (right turn only) on the easterly side of the lot. In connection with this work the applicant is coordinating with the Massachusetts Department of Transportation (MassDOT). The existing traffic signalization and lane markings will be modified at the intersection to accommodate the new entrance. The Traffic Consultant on the project, Ron Muller & Associates, represents the applicant in respect to work within the state highway right-of-way. We have included the consultant's plans to date along with this application in a draft/preliminary format as the MassDOT approval has not as yet been finalized. A Traffic Impact and Access Study has been prepared and included herewith for review.

Stormwater management will be achieved through the use of conventional deep sump catch basins and sediment forebay/infiltration basin for groundwater recharge. An additional measure for stormwater treatment, being a hydrodynamic separator will be utilized in the treatment train for the fuel sales portion of the site to enhance Total Suspended Solids removal and supply storage for oil and sediment. The stormwater system has been developed in full compliance with the Massachusetts Stormwater Management Standards and the Drainage Analysis report is provided with this application package.

Sewer and water service will be supplied by the Leicester Sewer and Leicester Water Districts, a letter confirming adequate capacity is enclosed herewith.

The site has been designed to provide access for fire apparatus around the entirety of both proposed buildings. Other on-site fire protection measures include: A canopy mounted fire suppression system for the fueling area, an automated sprinkler service in building #1603, and installation of a town standard fire hydrant.

Planning Board Waiver Request

As noted on sheet 4 of the plan set, the Applicant requests relief by the Leicester Planning Board from strict compliance of the By-Law for the following:

Landscape buffer to a residential use

(Zoning By-Law section 5.5.02.2b. - 50 feet required).

Waiver Request: To allow a buffer of 48.4 feet, and also request to allow parking and driveways to be located within the buffer adjacent to

#1603 – #1605 Main Street,
Leicester, MA

residential property located at #1621 Main Street. An opaque fence is proposed within this buffer to mitigate the screening value lost by reduction of the buffer.



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers, Surveyors &
Land Development Consultants

ADDRESS

One Charlesview Road
Suite 2
Hopedale, MA 01747

PHONE

(508) 381-3212

WEB SITE

www.allen-ea.com

Zoning Board of Appeals Petition for Variance

As noted on sheet 4 of the plan set, the Applicant requests relief by the Leicester Zoning Board of Appeals from strict compliance of the By-Law for the following:

Distance from curb cut to a residential property

(Zoning By-Law section 5.5.02.1.c.1. - 24 feet required).

Variance Request: To allow a distance of 1 foot from new curb cut to the existing residential property at #1621 Main Street.
(Variance Application Form follows)

Zoning Board of Appeals Petition for Variance

As noted on sheet 4 of the plan set, the Applicant requests relief by the Leicester Zoning Board of Appeals from strict compliance of the By-Law for the following:

Standing Sign - Size

(Zoning By-Law section 3.2.07-2 (not to exceed 30 square feet).

Variance Request: To allow a standing sign with an area of 188 square feet on each side. (Variance Application Form follows)

Attachments/Enclosures:

Planning Board submittal packet

- Previous (2013) Planning Board approval (recorded in deed book 51725, page 157) – 1 copy.
- Site Plan Review & Special Permit Application Form – 1 copy.
- Letter from Leicester Water Supply District confirming adequate water and sewer capacity – 1 copy.
- Certified abutters list – 1 copy.
- Application Fee (Site Plan Review) – Check \$3,150.00
- Project Review Fee Initial Deposit (Site Plan Review) – Check \$4,200.00
- Project Site Plans – 2 full size + 11 reduced copies
- Project Architectural Plans (In-Progress) – 2 full size + 11 reduced copies
- MassDOT Route 9 Improvement Plans (In-Progress) – 2 full size + 11 reduced copies.

#1603 – #1605 Main Street,
Leicester, MA



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers, Surveyors &
Land Development Consultants

ADDRESS

One Charlesview Road
Suite 2
Hopedale, MA 01747

PHONE

(508) 381-3212

WEB SITE

www.allen-ea.com

- Traffic Impact and Access Study - 3 copies.
- Drainage Analysis Report – 3 copies.
- CD with pdf copies of the entire submittal.

Zoning Board of Appeals submittal packet

- Variance Application Form – 3 copies
- Certified Abutters List – 1 copy
- Previous (2013) Zoning Board of Appeals decision (recorded in deed book 51972, page 163)
- Filing Fee – Check \$175.00
- Project Site Plans – 1 full size + 2 reduced copies
- Project Architectural Plans – 1 full size + 2 reduced copies
- CD with pdf copies of the entire submittal.

Please feel free to contact us by email at Bruce@Allen-ea.com or by telephone at (508) 381-3212 ext. 102 with any questions regarding this correspondence.

Sincerely,

Bruce Williams



ALLEN ENGINEERING
& ASSOCIATES, INC.

For Planning Office Use:
File #: _____

Leicester Planning Board Site Plan Review & Special Permit Application Form

PERMIT TYPE: ☒ Special Permit ☒ Site Plan Review

CONTACT INFORMATION

Owner Information			
Name:	Kevin Lobisser	Company Name:	Leicester Main, LLC
Signature:			
Address:	One Charlesview Road, Suite 1, Hopedale, MA 01747		
Phone:	(508) 478-6235	Email:	leslie@lobisserbuildingcorp.com
Applicant Information			
Name:	Jean Skaff	Company Name:	Skaff Fuels, Inc.
Signature:			
Address:	334 Grafton Street, Worcester, MA 01604		
Phone:	(508) 212-8857	Email:	jskaff@jyssolutions.com
Primary Contact Person (The person that will be contacted by Planning Board staff during the application process.)			
Name:	Bruce Williams	Company Name:	Allen Engineering & Associates, Inc.
Address:	One Charlesview Road, Suite 2, Hopedale, MA 01747		
Phone:	(508) 381-3212	Email:	Bruce@Allen-ea.com

PROJECT INFORMATION

Project Address:	1603-1605 Main Street	Zoning District:	HB-1
Assessors Map & Parcel #	18-8.1, 18A-14 & 15	Deed Reference (Book & Page):	85/156 (CERT), 41309/153 (DEED)
Applicable Zoning Bylaw Section(s):	3.2.03 (Use Regulations), 5.2 (Site Plan Review), 5.5 (HB-1), 5.9 (Stormwater Management)		
Proposed Land Use:	Auto Fuel Sales, Convenience Store, Fast Food Restaurant with Drive-Through, Self-Storage Building		
Existing Land Use:	Vacant		

For Planning Office Use:
File #: _____

PROJECT INFORMATION, Continued

Size of Proposed Structure(s):	4,997 sf convenience store/restaurant, 10,000 sf (x3 floors) Self-Storage	
Total Lot Area:	169,218 sf (3.88 acres)	
Water Source: (Select One)	<input type="radio"/> Private Well	<input type="radio"/> Cherry Valley & Rochdale Water District
	<input type="radio"/> Hillcrest Water District	<input checked="" type="radio"/> Leicester Water Supply District
Sewer Source: (Select One)	<input type="radio"/> Private Septic System	<input type="radio"/> Cherry Valley Sewer District
	<input type="radio"/> Hillcrest Water District	<input checked="" type="radio"/> Leicester Water Supply District
	<input type="radio"/> Oxford Rochdale Sewer District	
Brief Project Description: Please include a brief description on this form (i.e. do not write "see attached"). [Examples: New construction of a 20,000s.f. retail building and associated parking; Use of a 1,000s.f. portion of an existing structure for a proposed pet grooming clinic.] New construction of two buildings; #1603 - a 3 story self-storage building. #1605 a one story auto fuel sales/convenience store and fast food restaurant with a drive-through. Appurtenances include 5 gas pump islands with a canopy, and proposed required paved parking areas and utilities.		

Application Checklist

Use this checklist to ensure you have provided all required information. See Planning Board Site Plan Review & Special Permit Regulations for details. 13 copies are required except where noted.

<input checked="" type="checkbox"/> Plans (2-full-size & 11-11"x17")	<input checked="" type="checkbox"/> Detailed Project Narrative including any waiver requests ¹	<input checked="" type="checkbox"/> Drainage Analysis/ Stormwater Report, (3 copies) <input type="checkbox"/> n/a
<input checked="" type="checkbox"/> Documentation of Availability of Water & Sewer <input type="checkbox"/> n/a	<input checked="" type="checkbox"/> Certified Abutters List (1 copy) ² <input type="checkbox"/> n/a	<input checked="" type="checkbox"/> Traffic Study (3 copies) <input type="checkbox"/> n/a
<input checked="" type="checkbox"/> Fees ³	<input checked="" type="checkbox"/> .pdf copy of all required submittals (CD or USB Drive)	

¹ See Planning Board Site Plan Regulations for details on what should be included in a Project Narrative. For special permits that don't require conformance with Site Plan Review submittal requirements, submit a narrative explaining conformance with special permit approval criteria (see Special Permit Regulations for details).

² certified abutters lists are required for all Special Permits applications and for Major Site Plan Review Applications (new construction over 30,000 s.f. and ground-mounted solar over 250,000 s.f or 2 acres or more of tree clearing)

³ Please refer to the Planning Board's Fee Regulations. Checks must be made out to the Town of Leicester

For Planning Board Use:			
Date of Submittal:			
Public Hearing/Meeting Date(s):			
Date of Planning Board Vote:			
Date Decision Filed with Town Clerk:			

09/13/2021

PLANNING / ZONING

Page 1 of 1

3:30:56PM

0

Town of Leicester

Abutters List

ParcelID	Location	Owner	Co-Owner	Mailing Address	City	State	Zip
17 B4.4 0	20 SOOJANS DR	WAL-MART R E BUSINESS TRUST	TAX DEPT 8013	702 S W 8TH ST	BENTONVILLE	AR	72716
17 B8.1 0	1626 MAIN ST	GUZMAN ALFONSO		1626 MAIN STREET	LEICESTER	MA	01524
18 A6 0	1735 MAIN ST	JOSEPH HANNA J	C/O MARIA JOSEPH	18R ST MARTIN STREET	CHARLESTOWN	MA	02129
18 A8 0	1601 MAIN ST	LEINONEN REALTY INC	1601 REALTY LLC	PO BOX 318	E BROOKFIELD	MA	01515
18 B1 0	1606 MAIN ST	CAREY FRANK M	CAREY PHYLLIS A	PO BOX 295	LEICESTER	MA	01524-0295
18 B10 0	MAIN ST	GARABEDIAN DEBRA ,GARY		40 WESTLUND ROAD	BELMONT	MA	02478
18 B2 0	1576 MAIN ST	LANE JR KENNETH G		1576 MAIN ST	LEICESTER	MA	01524
18A A12 0	1625 MAIN ST	HOPKINS MARIA M	CLINTON JAMES R	23 LAKEVIEW DRIVE	SPENCER	MA	01562
18A A13 0	1621 MAIN ST	SNOWFLAKE LLC		1 CHARLESVIEW RD	HOPEDALE	MA	01747

End of Report

Above is a certified list abutters and abutters to abutters within 300 feet of subject.

Subject property: Main Street, Assessors Map 18A-A14, Deed Ref. 41309/153

Subject owner(s): Leicester Main LLC

Subject property: 1605 Main Street, Assessors Map 18A-A15, Deed Ref. 41309/153

Subject owner(s): Leicester Main LLC

Subject property: 1603 Main Street, Assessors Map 18-A8.1, Registered Land Recording 85-156

Subject owner(s): Leicester Main LLC

Sandy Genna, Principal Assessor

Prepared by: Kathleen Asquith, Assistant Assessor



LEICESTER WATER SUPPLY DISTRICT
124 PINE STREET - P.O. BOX 86
LEICESTER, MA 01524
TEL: 508 892-8484 FAX: 508-892-1812
www.lwsd.net

To whom it may concern:

20-April-2021

Please be advised that there is adequate water and sewer supply for the proposed Buildings at 1603 and 1605 Main Street. An application to the Leicester Water Supply District will be required and any appropriate connection and inspection fees paid prior to connection being allowed.

Sincerely,

A handwritten signature in blue ink, appearing to read "Joseph H. Wood", with a long horizontal flourish extending to the left.

Joseph H. Wood- Superintendent
Leicester Water Supply District



Office of the Town Clerk

Town of Leicester

3 Washburn Square • Leicester, Massachusetts 01524-1333
Telephone (508) 892-7011 • Fax: (508) 892-7070

DEBORAH K. DAVIS
TOWN CLERK
E-mail: davisd@leicesterma.org

LINDA A. ROWDEN
ASSISTANT TOWN CLERK
E-mail: rowdenl@leicesterma.org



2013 00133975

Bk: 51725 Pg: 157
Page: 1 of 10 11/08/2013 01:12 PM WD

October 24, 2013



2013 00104521

Cert: 16956 Bk: 00085 Pg: 156
Page: 1 of 0 11/08/2013 01:09 PM WD

SPECIAL PERMIT, SITE PLAN & STORMWATER PERMIT ORDER OF CONDITIONS

I hereby certify that the twenty (20) days have elapsed from the date the Decision was filed in my office by the **Leicester Zoning Board of Appeals**, which **GRANTED** the petition of Stacianne Orrico 1603 Main St. & David Dunham-Manager, Leicester Main, LLC 1605 Main St., Leicester, Massachusetts for a **Application for Site Plan Approval** under §5.2 of the Leicester Zoning By-laws to allow construction of multiple structures and uses.

Application for a Special Permit for the following: 1) gas station, 2) fast-food drive-through facility, 3) bank drive-through facility, and 4) car wash. Prepared by Allen Engineering, LLC

The applicant requests Site Plan Approval in accordance §5.2 of the Leicester Zoning By-laws.

Deed Reference: Book: 13997 Page: 70 and Book: 41309 Page: 153

DOC NO 103927 WITH CERT NO. 16956

Assessors Map #18, Parcel A8.1 and Map 18A, Parcel A15
Zoning: Highway Business Industrial 1 (HB-1)

Special Permit Filed: October 3, 2013

Approval by the Planning Board shall not be construed as approval from any other board, official or regulation that is needed regarding permitting for this project.

No Appeal has been filed with my office against this Decision.

A True Copy, Attest:

Deborah K. Davis

Deborah K. Davis

EB



Phone: 508-892-7019
FAX: 508-892-7064

TOWN OF LEICESTER
PLANNING BOARD
3 Washburn Square
LEICESTER, MASSACHUSETTS, 01524-1333

**SPECIAL PERMIT, SITE PLAN
& STORMWATER PERMIT APPROVAL
ORDER OF CONDITIONS**

Date: October 2, 2013

File Number: SP2013-01

Applicant: David Dunham – Manager
Leicester Main, LLC
P.O. 275
Spencer, MA 01562

Owner:	1603 Main Stacianne Orrico P.O. Box 451 Leicester, MA 01524	1605 Main Leicester Main, LLC P.O. Box 275 Spencer, MA 01562
---------------	--	---

Proposed Use: Convenience store and general retail (§3.2.03.1), bank (§3.2.03.4), fast-food restaurant (§3.2.03.6), gas station (§3.2.03.7), drive-throughs for bank & fast food (§3.2.03.11), and car wash (§3.2.03.12).

Location: 1603-1605 Main Street
Assessors Map 18, Parcel A8.1 and Map 18A, Parcel A15

Zoning: Highway Business Industrial 1 (HB-1)

Deed Ref.: Book 13997, Page 70 and Book 41309, Page 153

Water/Sewer: Leicester Water Supply District (water & sewer)

Subject: Application for Site Plan Approval under §5.2 of the Leicester Zoning By-laws to allow construction of multiple structures and uses.
Application for a Special Permit for the following: 1) gas station, 2) fast-food drive-through facility, 3) bank drive-through facility, and 4) car wash

The decision of the Planning Board on the above-referenced application is as follows:

PROCEDURAL HISTORY:

1. On May 28, 2013, an application for Site Plan Approval in accordance §5.2 of the Leicester Zoning By-laws was submitted to the Leicester Planning Board. All application materials are on file with the Planning Board. The Board's decision is based on the following submittal(s):
2. Set of Site Plans (10 sheets), entitled 1603 & 1605 Main Street (Route 9), prepared by Allen Engineering, LLC, as follows:

Sheet Title	Sheet number	Latest Revision Date
Cover Sheet	1 of 10	9/27/2013
Existing Conditions Plan	2 of 10	9/27/2013
Site Parking & Layout Plan	3 of 10	9/27/2013
Site Utility Plan	4 of 10	9/27/2013
Site Grading & Drainage Plan	5 of 10	9/27/2013
Landscape Plan	6 of 10	9/27/2013
Landscape Detail Sheet	7 of 10	9/27/2013
Lighting Photometrics Plan	8 of 10	9/27/2013
Detail Plan	9 of 10	9/27/2013
Detail Plan	10 of 10	9/27/2013
Front & Rear Side Elevations (proposed Gas & C-Store)	A1	8/29/2013

3. Architectural Rendering for 10,000s.f. retail/bank building, undated, received 8/15/2013
4. Stormwater Report: 1603 & 1605 Main Street (Route 9), prepared by Allen Engineering, LLC., and dated May 23, 2013, last revised through September 27, 2013 and soil testing logs dated 7/25/2013.
5. Traffic Impact and Access Study: Gas Station/Retail Development; Prepared for: Snowflake, LLC, 31 Whitewood Road, Milford, MA 01757 and Prepared by Ron Müller & Associates dated March 14, 2013.
6. Letters from Allen Engineering: Submittal Letter, Project Narrative, and Special Permit & Waiver Request Letter, all dated May 23, 2013 (Project Narrative revised August 9, 2013); response to comment letter with attached photos related to design of signs and buildings dated August 9, 2013; response to comment letter dated 8/29/2013.
7. The Planning Board held a public hearing on the application on July 9, 2013. The hearing was continued to August 13, 2013 (no discussion), September 3, 2013, and October 2, 2013 to allow the Applicant to address comments from the Board and other Departments. At each hearing date, opportunity was given to all those interested to be heard in favor or opposition to such application. The hearing was closed on October 2, 2013.
8. The Board engaged Quinn Engineering of Paxton, Massachusetts, pursuant to G.L. c. 44, s. 53G, to review the Applicant's proposed development.
9. During the review process, the following documents, exhibits and plans were submitted to the Planning Board:
 - A. The plans and submittals referred to above;
 - B. Correspondence of Quinn Engineering, Inc. to Leicester Planning Board dated June 18, 2013, August 23, 2013, September 3, 2013 and October 1, 2013;
 - C. Written comments from the following Town Boards and Departments: Building Department (6/4/2013), Highway Department (6/4/2013), Historical Commission (6/8/2013), Board of Health (6/26/2013), Fire Department (7/2/2013), and the Police Department (5/31/2013). All comments are on file with the Planning Board.

FINDINGS

1. The project is located in the Highway Business Industrial 1 (HB-1) zoning district and consists of the following uses: convenience store, car wash, fast-food, gas station, retail, and bank in structures described below.

Structure	Proposed Uses/Description
3,960 s.f. structure	Convenience store, fast food restaurant with drive-through, gas station payment, car wash
2,400 s.f. gas station canopy	8 gasoline pumps with canopy
900 s.f. structure	Car wash
10,000 s.f. Structure	7,500 s.f. retail (unspecified), and 2,500 s.f bank with drive-through

2. Pursuant to Zoning By-law, the following uses are allowed by-right in the HB-1 zoning district, subject to Site Plan approval under Section 5.2 of the Zoning By-laws: convenience store and general retail (§3.2.03.1), bank (§3.2.03.4), and fast-food restaurant (§3.2.03.6). The gas station (§3.2.03.7), drive-throughs for the bank and fast food uses (§3.2.03.11), and car wash (§3.2.03.12) require Site Plan approval and a special permit from the Planning Board.
3. The subject site is proposed to be served by the Leicester Water Supply District for both water and sewer.
4. Section 5.2.06 of the Zoning By-law contains Standards for Site Plan Approval (standards A-G). With regard to the Applicant's development proposal, the Planning Board makes the following findings pursuant to Section 5.2.06:
 - A. The use complies with all the provisions of the Leicester Zoning By-Law;**
The Board finds that the proposed project, as conditioned in this approval, complies with the Leicester Zoning Bylaws, except that the location of the driveways will require a variance from the Zoning Board of Appeals (Section 5.5.02.1.C.1 requirement that "Curb cuts abutting residential properties shall be at least twenty-four (24) feet from abutting properties.").
 - B. The use will not materially endanger or constitute a hazard to the public health;**
The Board finds that the proposed project, subject to the conditions set forth in this decision, will not constitute a hazard to public health or safety.
 - C. The use will not create undue traffic congestion or unduly impair pedestrian safety;**
The Board finds that the project as designed and including the proposed modifications to the traffic light at the entrance will not create undue traffic congestion or unduly impair pedestrian safety.
 - D. Sufficient off-street parking exists or will be provided to serve the use;**
The proposed site will have 71 parking spaces (59 of which are associated with the commercial retail and 12 spots associated with the gas station). There will also be 8 fueling stations as part of the gas station. The Board finds that the proposed development will have adequate parking consistent with the standards set forth in Sections 5.1 and 5.5 of the Zoning By-law.

- E. **The use can be adequately served by water, sewer, and other necessary utilities, or if these are unavailable, that they will be brought to the site at the owner's expense; or, the Planning Board is satisfied that the proposed alternatives will comply with all applicable regulations;**
 The project is located within the boundaries of the Leicester Water Supply District (LWSD). LWSD has adequate capacity to serve the proposed project. Other utilities will be provided by the owner at the owner's expense.
- F. **The use will not result in a substantial increase of volume or rate of surface water runoff to neighboring properties and streets, nor will result in pollution or degradation to surface water or ground water;**
 Based on the review by the Board's consulting engineer, Quinn Engineering, Inc., the Board finds the stormwater system meets applicable standards.
- G. **The use will not result in any undue disturbance to adjoining property owners or the Town caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, glare, etc.**
 As set forth in this Decision and based upon the revisions incorporated into the plans during the course of project review, the proposed development will have adequate screening, landscaping, and other safeguards to meet this standard.
5. Section 5.5.03.2 of the Zoning By-law, Special Permit Review Criteria, states that "the Planning Board shall grant a special permit only after finding that the proposed use will be consistent with the purpose and intent of the bylaw, and that the proposed use or structure is in conformance with the following criteria:" The Planning Board finds that the application has met the requirements of the Special Permit Criteria, as described below:
- A. **Provision shall be made for convenient and safe vehicular and pedestrian circulation within the site and in relation to adjacent streets and property. The service level of adjacent streets shall not be significantly reduced due to added traffic volume or type of traffic in accordance with the most recent edition of the Massachusetts Highway Department Highway Capacity Manual;**
 The finds that the proposed project, as conditioned, will accommodate projected traffic associated with the proposed development without undue traffic congestion.
- B. **The proposed use shall not overload the capacity of water and sewer systems, stormwater drainage, solid waste disposal facilities, and other public facilities.**
 LWSD has sufficient capacity to serve the project. Based on the review by the Board's consulting engineer, Quinn Engineering, Inc., the Board finds the stormwater system meets applicable standards.
- C. **The design of the project shall provide for adequate methods of disposal of sewage, refuse, or other wastes generated by the proposed use.** The Board finds the sewage and waste removal adequate to serve the proposed development as conditioned in this approval.
- D. **The project shall comply with all applicable environmental laws and regulations.**
 The Board finds that the Applicant has complied with this requirement as conditioned in this approval.
- E. **The proposed project shall be consistent with Leicester's Master Plan.** The HB-1 zoning district was created to implement the economic development goals of the Master Plan. This district allows a variety of retail and commercial uses. The Board finds the

proposed uses to be consistent with economic development along Route 9 as envisioned in the Master Plan.

F. The project shall comply with all Site Development Standards required in the HB-1 District. The Board finds that the proposed development meets this standard as conditioned herein, and as noted below:

- a. The Zoning Bylaw, Section 5.5.02.2.B requires a 50 foot buffer where a non-residential use abuts a residential use, as is the case for this project. The Applicant has requested a reduction in the 50 foot buffer to 20 feet, with an access drive in the buffer. The Board approved the reduced buffer area, conditioned upon the landscaping and opaque fence as shown on the plans, in accordance with Section 5.5.02.2.D.
- b. As noted above, a variance is required related to Section 5.5.02.1.C.1 (driveway distance from abutting residential property).

CONDITIONS

Pre-Construction

1. Prior to the commencement of authorized site activity, the Applicant shall provide to the Planning Board Office the name, address and business phone number of the individual who shall be responsible for all construction activities on site.
2. No construction activity or site work may commence until final water & sewer connection approvals are obtained from the Leicester Water Supply District.
3. Prior to the issuance of any building permit, other than demolition, the Applicant shall obtain Massachusetts Highway Department ("MHD") approval. A copy of the MHD approval shall be provided forthwith to the Planning Board office.
4. The applicant shall submit 3 full-size complete sets of the approved plans, 2 complete copies of the complete and final Stormwater Report and a .pdf version of each within 20 days of this approval.
5. A plan of the proposed property modification shall be submitted to the Planning Board prior to commencement of construction.

General

6. Final design and construction shall be in substantial conformance to the plans submitted to the Planning Board and this Order of Conditions. No substantial corrections, field modifications, additions, substitutions, alterations, or any changes shall be made in any plans, proposals, and supporting documents approved and endorsed by the Planning Board without the written approval of the Planning Board, which in its sole discretion, may determine such substantiality. Any requests for substantial modifications shall be made to the Planning Board for review and approval and shall include a description of the proposed modification, reasons the modification is necessary and supporting documentation.
7. Unauthorized deviations from the approved plan may result in the Planning Board seeking the issuance of a Cease and Desist Order until the deviation is addressed. Violation of any condition contained herein or failure to comply with the approved plan shall subject the

Applicant to a zoning enforcement action in accordance with the remedies set forth in M.G.L. c. 40A.

8. In accordance with Section 5.2.08 of the Zoning By-laws, construction on the site must be started or substantial activity commenced within one (1) year of the date of site plan approval. This time may be extended for one additional year at the discretion of the Planning Board, for good cause, and upon a written request from the applicant prior to the expiration of the original one-year period. If this time period has elapsed and construction has not started, the rights granted by the site plan approval shall expire and may be reestablished only after another site plan review under Section 5.2. Construction, once begun, shall be actively and continuously pursued to completion within a reasonable time.
9. Litter and debris in the parking lots, landscaped and buffer areas shall be removed regularly to maintain a neat and orderly appearance.
10. All on-site landscaped buffer areas shall be maintained in good condition in perpetuity so as to present a healthy, neat and orderly appearance.
11. The use will not result in any undue disturbance to adjoining property owners or to the Town caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, glare, etc.
12. In the event that the Applicant, its successors, or agent fails to maintain the stormwater management system in accordance with the Operation and Maintenance Plan, the Town may conduct such emergency maintenance or repairs, and the Applicant shall permit entry onto the Property to implement the measures set forth in such plan. In the event the Town conducts such maintenance or repairs, the Applicant shall promptly reimburse the Town for all reasonable expenses associated therewith; if the Applicant fails to so reimburse the Town, the Town may place a lien on the property to secure such payment.
13. All travel lanes and parking areas shall remain accessible and clear of snow year-round. In such instances where snow storage areas are not sufficient to accommodate heavy snow, the Applicant shall remove snow off site to ensure that all travel lanes and parking areas are accessible.
14. The access driveway within the Development shall not be dedicated to or accepted by the Town Meeting and a public road. Maintenance of the access drive is the sole responsibility of the property owners.
15. The Applicant shall install a key storage "KNOX-BOX®" on the building per the specifications and requirements of the Leicester Fire Department.

Project-Specific Conditions:

16. Normal hours of Operation shall be 6:00AM – 10:00PM. The Planning Board may modify hours of operation upon the written request of the Applicant, with at least thirty (30) days notice.
17. Parking lot light poles shall be turned off within one hour of closing time. Security lighting may remain on after hours.

18. Detailed sign information was not provided. Before construction/installation of signs, the Applicant must demonstrate compliance with Leicester's Zoning Bylaw, and obtain approvals from the Building Inspector and/or the Zoning Board of Appeals as applicable.
19. Although the Board has accepted renderings and photographs in lieu of detailed elevation plans for some of the proposed structures, all structures shall be substantially similar to the renderings and photographs submitted to the Board.
20. Deliveries shall be scheduled at off-peak hours to minimize traffic disruption within the site.
21. Revision of driveway entrances and intersection improvements as a result of MassDOT review may require review by the Planning Board or amendment of this decision, depending on the nature and scope of the proposed changes. Minor changes that do not substantially alter the flow of traffic to, from, or within the site are allowed without further Planning Board review.
22. Car wash discharge to the municipal sewer system is required and subject to review and approval by the Leicester Water Supply District.
23. The Planning Board may require the applicant to shield lights on the west side of the property if it is determined to be necessary to shield abutting properties.
24. If the tenant of the 10,000 square foot building does not require a drive-through (i.e. the tenant is something other than a bank or other use needing a drive-through), the area the area on the plan shown as a drive-through shall be marked as a fire lane.
25. The Applicant shall provide a pedestrian crosswalk across Route 9, subject to MassDOT approval, and provide related painted walkways to direct pedestrian traffic within the site.
26. The site has been designed to allow room for access drives to connect to abutting properties to allow shared access to the traffic signal on Route 9. The applicant shall not unreasonably withhold access to abutting properties. Any site changes that would interfere with provision of access to abutting properties are prohibited without formal project amendment.
27. The Planning Board's approval is contingent upon approval of a variance from the Zoning Board of Appeals related to the Section §5.5.02.1.C.1 requirement that "Curb cuts abutting residential properties shall be at least twenty-four (24) feet from abutting properties."

Construction

28. During construction, the Applicant shall conform with all local, state and federal laws regarding noise, vibration, dust and blocking of Town roads. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area. Construction on exterior features shall not commence on any day before 7:00AM and shall not continue beyond 7:00PM; provided, however, that such construction shall not commence on Saturday before 8:00AM and shall end at 3:00PM. There shall be no construction on any Sunday or state or federal legal holiday.
29. Members or agents of the Planning Board shall have the right to enter the site at reasonable times to gather all information, measurements, photographs or other materials needed to

ensure compliance with this approval. Members or agents of the Planning Board entering onto the site for these purposes shall comply with all safety rules, regulations and directives of the Applicant and the Applicant's contractors.

30. The Applicant shall promptly pay the reasonable fee of the consulting engineers for review of plans or field inspections during the construction phase.
31. Sediment tracked onto abutting public or private ways from construction activities shall be swept at the conclusion of each construction day, until all work areas have been properly stabilized.

Occupancy

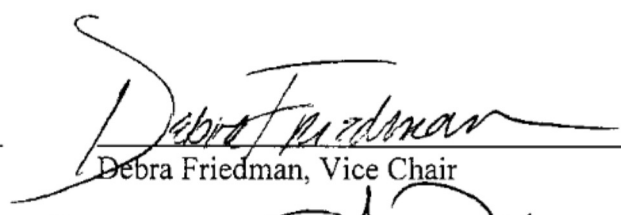
32. Prior to the issuance of any permanent certificate of occupancy, the Applicant shall substantially complete any Required Massachusetts Highway Department Traffic Improvements.
33. No final certificate of occupancy for the building shall be issued until the building is complete. Prior to the issuance of a certificate of occupancy for the building, site improvements and infrastructure specified on the plans shall be constructed and installed so as to adequately serve said building and landscaping shall be substantially completed, unless adequate security has been provided, reasonably acceptable to the Board, to ensure such completion. Any such performance guarantee shall be approved as to form by the Board or its designee.
34. If there are field changes from the approved site plans referenced above, the Board may require As-Built plans showing such changes prior to the final certificate of occupancy. No final certificate of occupancy shall be issued until the Planning Board or its agent confirms that all improvements or alterations substantially comply with the approved Site Plan.

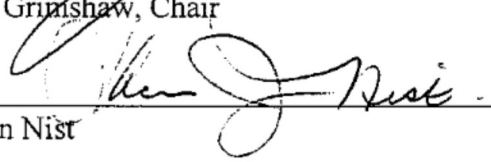
Approval by the Planning Board shall not be construed as approval from any other board, official or regulation that is needed regarding permitting for this project.

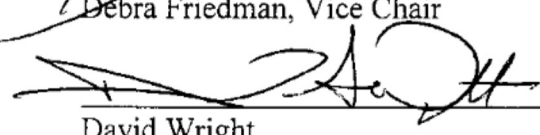
RECORD OF VOTE

The Board vote was 5 in favor of approval 0 opposed. The following members of the Planning Board vote to approve a Special Permit for the proposed project, subject to the above-stated terms and conditions:


 Jason Grimshaw, Chair


 Debra Friedman, Vice Chair


 Sharon Nist


 David Wright

Absent
 Adam Menard


 Kathleen Wilson, Associate Member
Copy of Decision sent to:

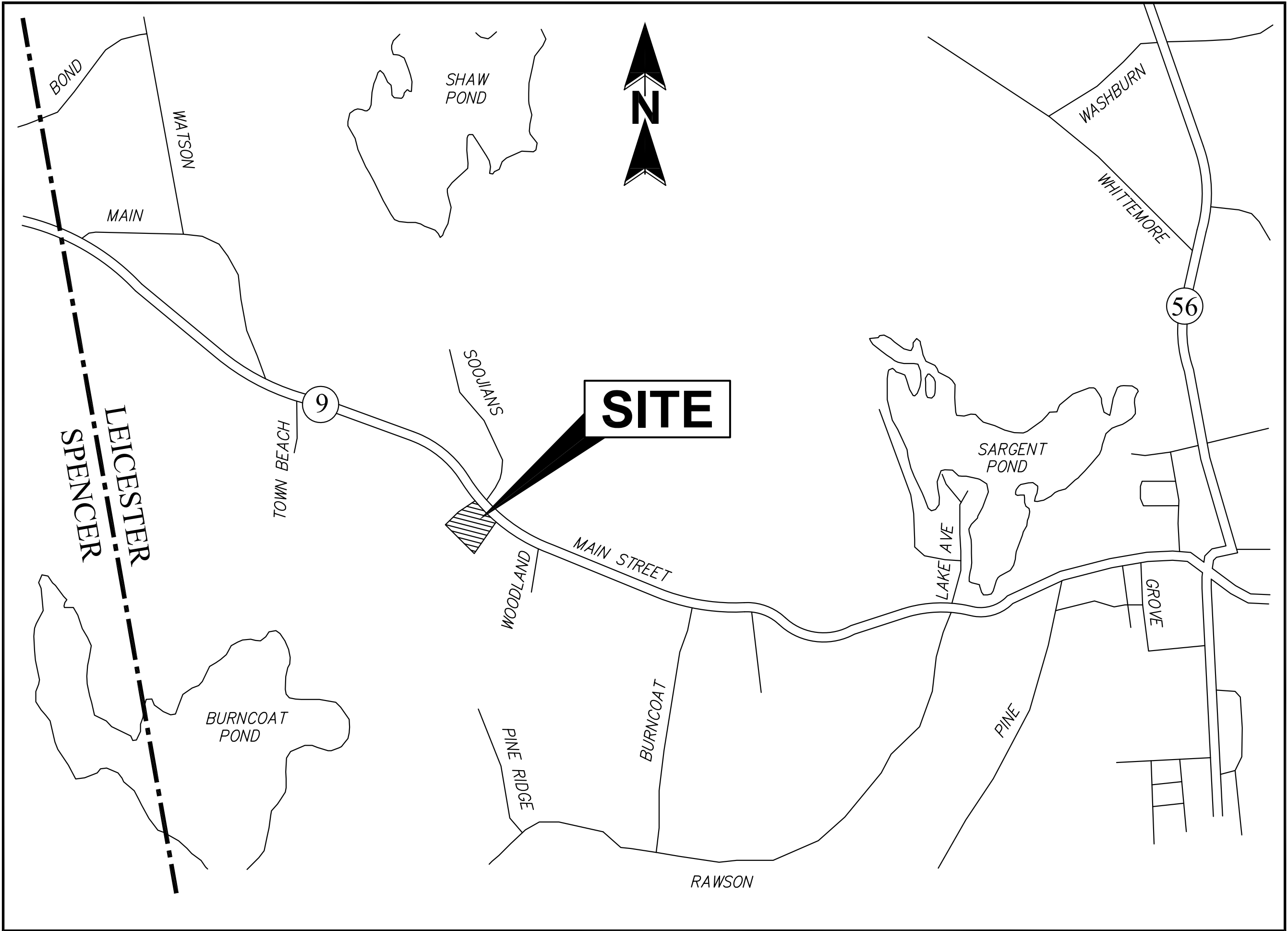
<i>Applicant</i>	<i>Building Inspector</i>	<i>Police Department</i>
<i>Owner</i>	<i>Quinn Engineering</i>	<i>Fire Department</i>
<i>Town Administrator</i>	<i>Assessors Office</i>	<i>Highway Department</i>
<i>Conservation Commission</i>	<i>Applicable Water District</i>	<i>Applicable Sewer District</i>
<i>Historical Commission</i>	<i>Board of Health</i>	<i>Applicant Engineer</i>
<i>Applicant's Attorney (where applicable)</i>		

g:\town planners office\special permits\sp2013-01, 1603-1605 main st\sp2013-01 1603 main decision.doc

Site Development Plan at #1603 - #1605 Main Street Leicester, Massachusetts

Plan Date: September 23, 2021

Revisions			
NO.	DATE	DESCRIPTION	BY



LOCUS MAP

Scale: 1 " = 1,000 ± Feet

Prepared By:

Architect
Bertin Engineering
66 Glen Avenue,
Glen Rock, NJ 07452



**ALLEN ENGINEERING
& ASSOCIATES, INC.**

Civil Engineers • Surveyors
Land Development Consultants

One Charlesview Road
Suite 2

Hopedale, Ma 01747

(508) 381-3212 • Phone
www.allen-ea.com

Traffic Consultant
Ron Müller & Associates
56 Teresa Road,
Hopkinton, MA

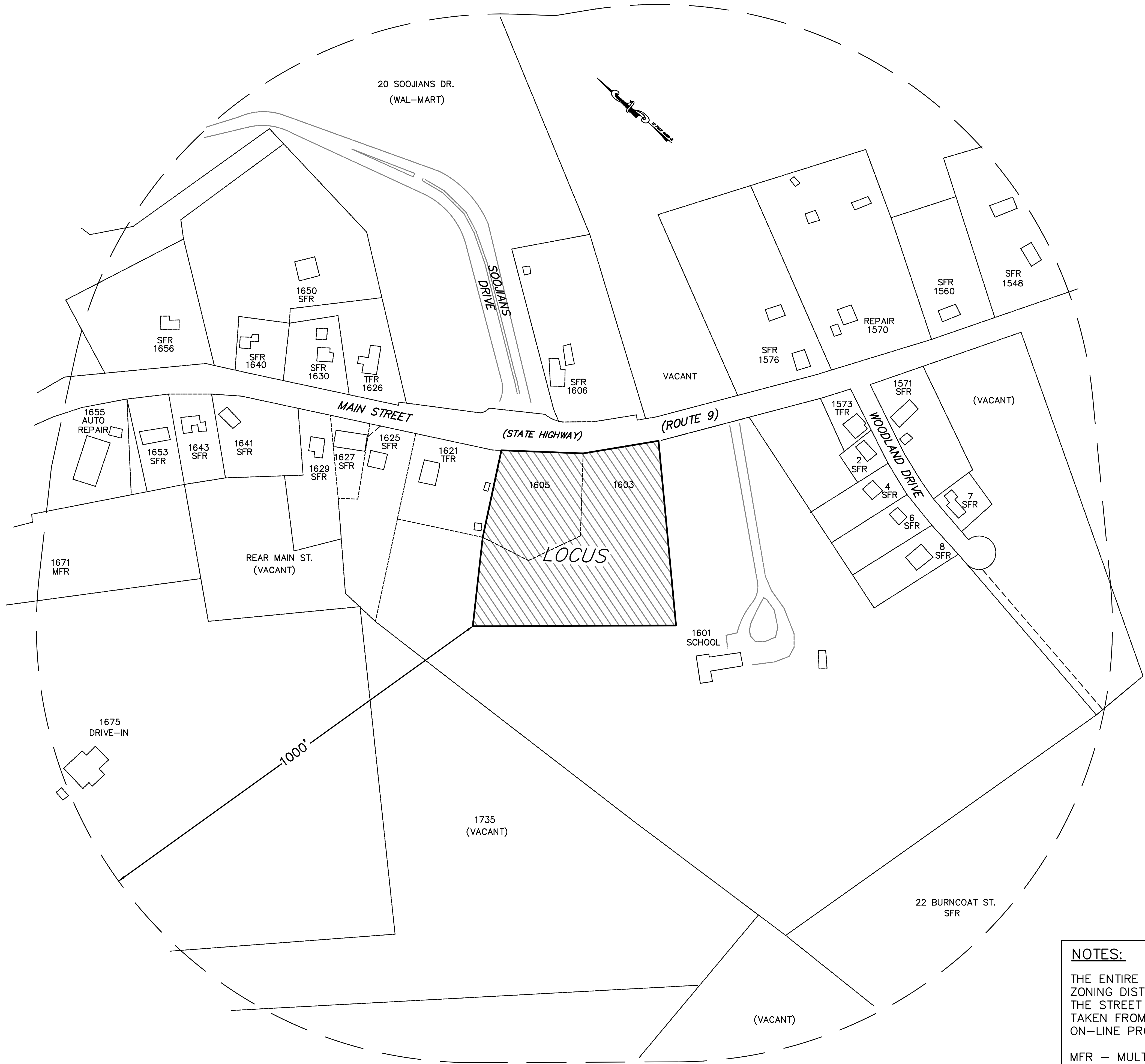
Owner
Leicester Main, LLC
One Charlesview Road, Suite 1
Hopedale, MA 01747

Applicant
Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

APPROVED BY THE LEICESTER PLANNING BOARD

DATE: _____

PLAN INDEX	
COVER SHEET	1
LOCUS PLAN	2
EXISTING CONDITIONS PLAN	3
SITE LAYOUT PLAN	4
SITE UTILITIES & LIGHTING PLAN	5
GRADING & DRAINAGE PLAN	6
LANDSCAPE & EROSION CONTROL PLAN	7
CONSTRUCTION DETAILS-1	8
CONSTRUCTION DETAILS-2	9
CONSTRUCTION DETAILS-2	10
LIGHTING PHOTOMETRIC PLAN	11
LIGHTING DETAIL PLAN	12
LIGHTING ISOMETRIC ELEVATION	13



NOTES:

THE ENTIRE AREA SHOWN IS WITHIN THE HB-1 ZONING DISTRICT.
THE STREET ADDRESSES AND USES SHOWN TAKEN FROM THE TOWN GIS WEBSITE AND ON-LINE PROPERTY DATABASE.

MFR - MULTI-FAMILY RESIDENTIAL
SFR - SINGLE-FAMILY RESIDENTIAL
TFR - TWO FAMILY RESIDENTIAL

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODOE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020. PROPERTY LINES AND STRUCTURES BEYOND THE IMMEDIATE VICITY OF LOCUS HAVE BEEN COMPILED FROM AVAILABLE GIS MAPS AND ARE APPROXIMATE ONLY.

3. LOCUS FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

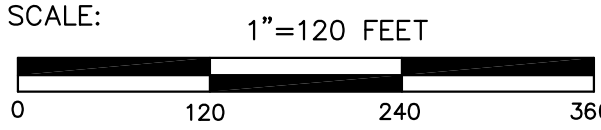
TITLE:

LOCUS PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:



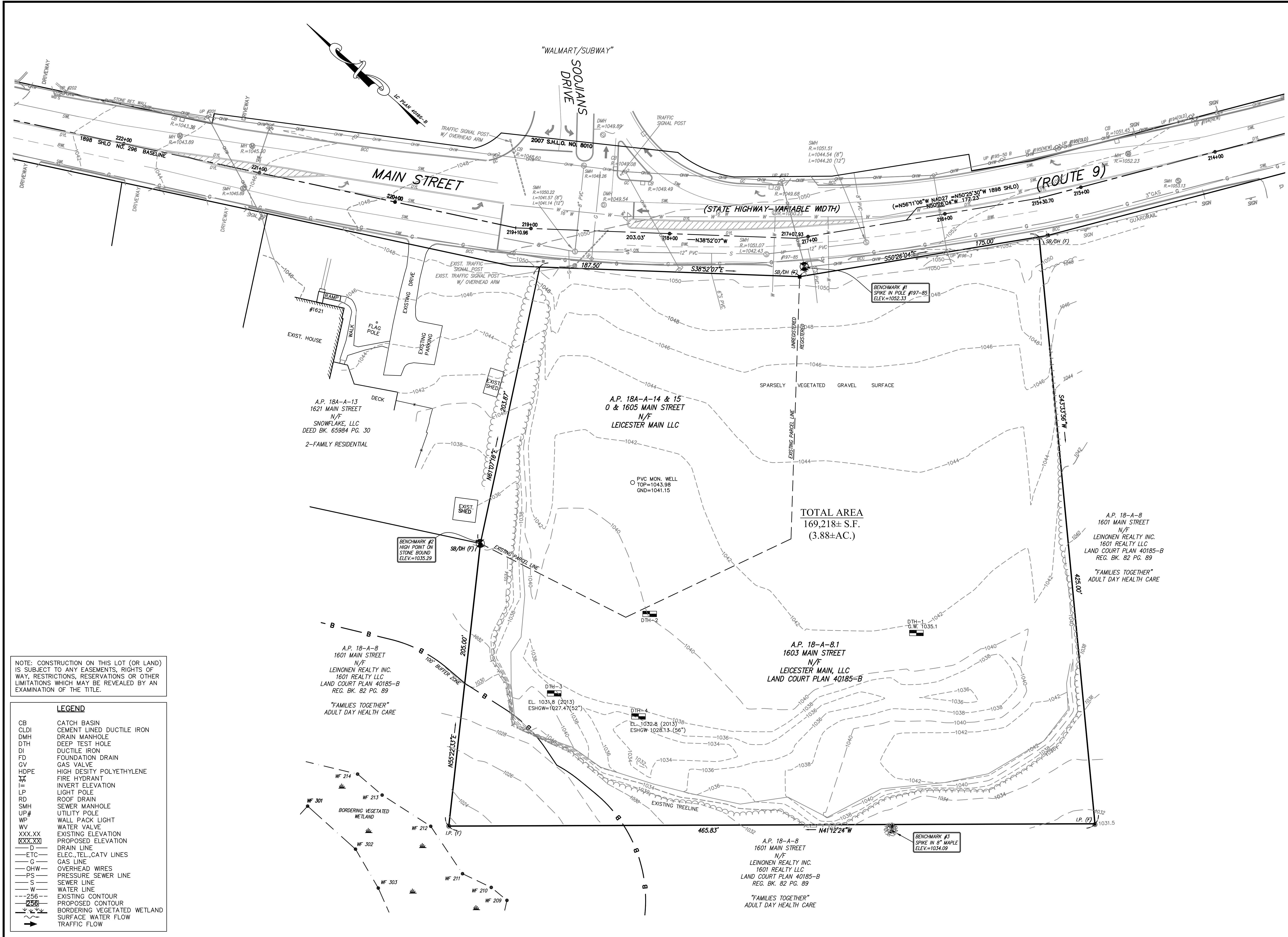
ALLEN ENGINEERING & ASSOCIATES, INC.
Civil Engineers • Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allen-rea.com



DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT

JOB NO: 00047 SHEET: 2 of 13



NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEGEND

CB	CATCH BASIN
CLDI	CEMENT LINED DUCTILE IRON
DMH	DRAIN MANHOLE
DTH	DEEP TEST HOLE
DI	DUCTILE IRON
FD	FOUNDATION DRAIN
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
I	FIRE HYDRANT
LP	INVERT ELEVATION
RD	LIGHT POLE
SMH	SEWER MANHOLE
UP#	UTILITY POLE
WP	WALL PACK LIGHT
WV	WATER VALVE
XXX.XX	EXISTING ELEVATION
XXX.XX	PROPOSED ELEVATION
D	DRAIN LINE
ETC	ELEC., TEL., CATV LINES
G	GAS LINE
OHW	OVERHEAD WIRES
PS	PRESSURE SEWER LINE
S	SEWER LINE
W	WATER LINE
256	EXISTING CONTOUR
250	PROPOSED CONTOUR
	BORDERING VEGETATED WETLAND
	SURFACE WATER FLOW
	TRAFFIC FLOW

- LOCUS REFERENCES**
ASSESSORS PARCEL: 18-A-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
REG. BK. 85, PG. 156
LAND COURT PLAN 40185-B, LOT 1
- ASSESSORS PARCEL: 18A-A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
- LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.
- NOTES**
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.
2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

PROFESSIONAL ENGINEER

PREPARED FOR:

Scaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

EXISTING CONDITIONS
PLAN

For

#1603 - #1605 Main Street
In
Leicester, MA

ALLEN ENGINEERING & ASSOCIATES, INC.
Civil Engineers • Surveyors
Land Development Consultants

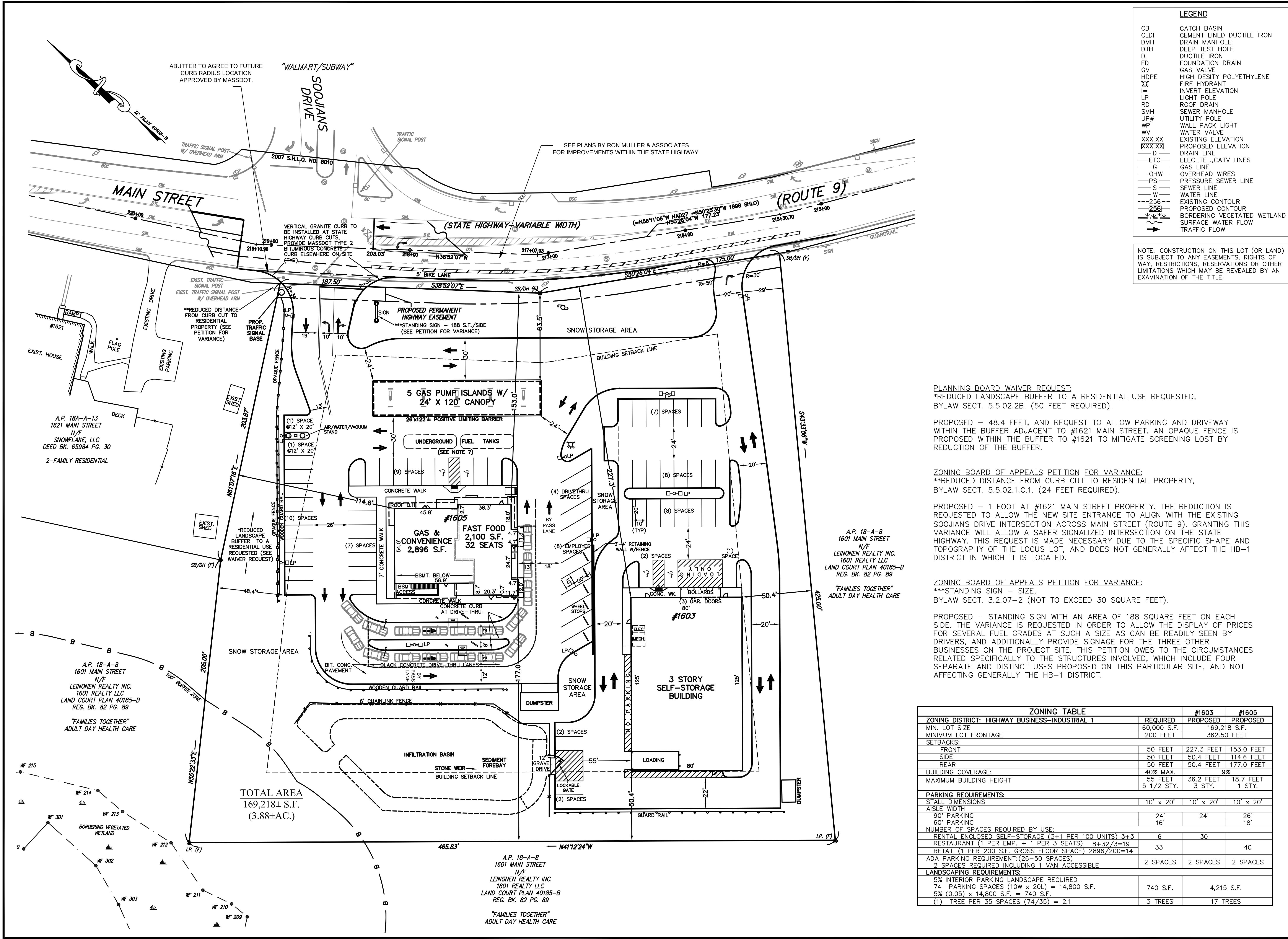
One Charlesview Road
Suite 2
Hopedate, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE: 1"=30 FEET

DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT

JOB NO: 00047 SHEET: 3 of 13



LEGEND

CB

CLDI

DMH

DTH

DI

FD

GV

HDPE

XX

I=

LP

RD

SMH

UP#

WP

WV

XXX.XX

XXX.XX

D

ETC

G

OHW

PS

S

W

CATCH BASIN

CEMENT LINED DUCTILE IRON

DRAIN MANHOLE

DEEP TEST HOLE

DUCTILE IRON

FOUNDATION DRAIN

GAS VALVE

HIGH DENSITY POLYETHYLENE

FIRE HYDRANT

INVERT ELEVATION

LIGHT POLE

ROOF DRAIN

SEWER MANHOLE

UTILITY POLE

WALL PACK LIGHT

WATER VALVE

EXISTING ELEVATION

PROPOSED ELEVATION

DRAIN LINE

ELEC., TEL., CATV LINES

GAS LINE

OVERHEAD WIRES

PRESSURE SEWER LINE

SEWER LINE

WATER LINE

EXISTING CONTOUR

PROPOSED CONTOUR

BORDERING VEGETATED WETLAND

SURFACE WATER FLOW

TRAFFIC FLOW

- LOCUS REFERENCES**
- ASSESSORS PARCEL: 18-8.1
- #1603 MAIN STREET
- OWNER: LEICESTER MAIN, LLC
- LAND COURT CERT. 16956
- LAND COURT PLAN 40185-B, LOT 1
- 2.83 Acres
- ASSESSORS PARCEL: 18A-14 & 15
- 0 & #1605 MAIN STREET
- OWNER: LEICESTER MAIN, LLC
- DEED BOOK 41309, PAGE 153
- 1.05 Acres
- LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.**
- NOTES**
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODORE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.
2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.
7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaft Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

SITE LAYOUT PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

ALLEN ENGINEERING & ASSOCIATES, INC.

Civil Engineers • Surveyors
Land Development Consultants

One Charlesview Road
Suite 2
Hopdale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE: 1"=30 FEET

DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT

JOB NO: 00047 SHEET: 4 of 13

PLANNING BOARD WAIVER REQUEST:
*REDUCED LANDSCAPE BUFFER TO A RESIDENTIAL USE REQUESTED, BYLAW SECT. 5.5.02.2B. (50 FEET REQUIRED).

PROPOSED - 48.4 FEET, AND REQUEST TO ALLOW PARKING AND DRIVEWAY WITHIN THE BUFFER ADJACENT TO #1621 MAIN STREET. AN OPAQUE FENCE IS PROPOSED WITHIN THE BUFFER TO #1621 TO MITIGATE SCREENING LOST BY REDUCTION OF THE BUFFER.

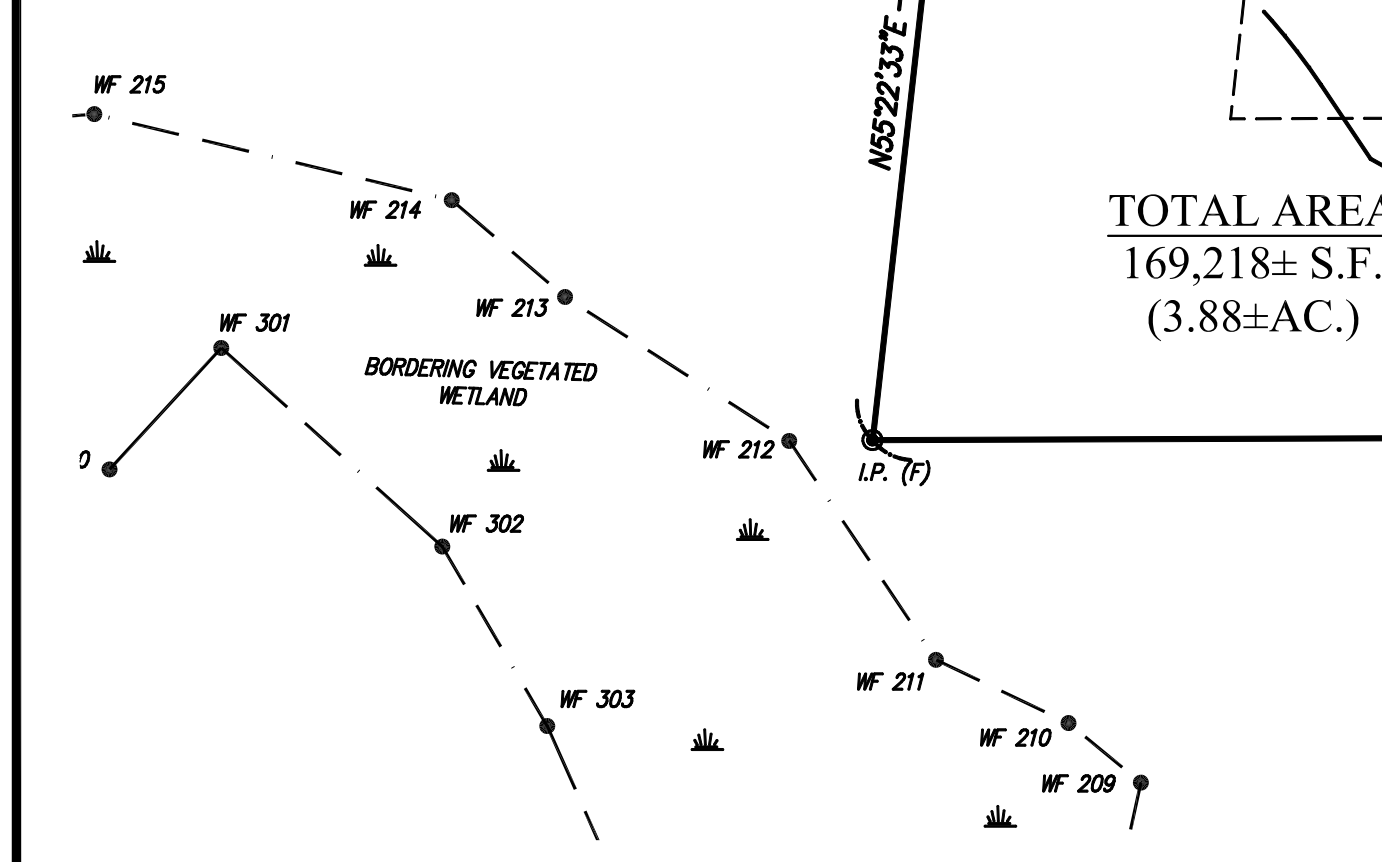
ZONING BOARD OF APPEALS PETITION FOR VARIANCE:
**REDUCED DISTANCE FROM CURB CUT TO RESIDENTIAL PROPERTY, BYLAW SECT. 5.5.02.1.C.1. (24 FEET REQUIRED).

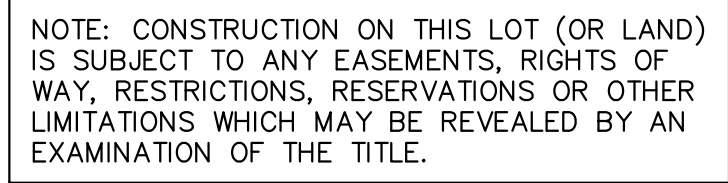
PROPOSED - 1 FOOT AT #1621 MAIN STREET PROPERTY. THE REDUCTION IS REQUESTED TO ALLOW THE NEW SITE ENTRANCE TO ALIGN WITH THE EXISTING SOOJIAN DRIVE INTERSECTION ACROSS MAIN STREET (ROUTE 9). GRANTING THIS VARIANCE WILL ALLOW A SAFER SIGNALIZED INTERSECTION ON THE STATE HIGHWAY. THIS REQUEST IS MADE NECESSARY DUE TO THE SPECIFIC SHAPE AND TOPOGRAPHY OF THE LOCUS LOT, AND DOES NOT GENERALLY AFFECT THE HB-1 DISTRICT IN WHICH IT IS LOCATED.

ZONING BOARD OF APPEALS PETITION FOR VARIANCE:
***STANDING SIGN - SIZE, BYLAW SECT. 3.2.07-2 (NOT TO EXCEED 30 SQUARE FEET).


PROPOSED - STANDING SIGN WITH AN AREA OF 188 SQUARE FEET ON EACH SIDE. THE VARIANCE IS REQUESTED IN ORDER TO ALLOW THE DISPLAY OF PRICES FOR SEVERAL FUEL GRADES AT SUCH A SIZE AS CAN BE READILY SEEN BY DRIVERS, AND ADDITIONALLY PROVIDE SIGNAGE FOR THE THREE OTHER BUSINESSES ON THE PROJECT SITE. THIS PETITION OWES TO THE CIRCUMSTANCES RELATED SPECIFICALLY TO THE STRUCTURES INVOLVED, WHICH INCLUDE FOUR SEPARATE AND DISTINCT USES PROPOSED ON THIS PARTICULAR SITE, AND NOT AFFECTING GENERALLY THE HB-1 DISTRICT.

ZONING TABLE		#1603	#1605
ZONING DISTRICT: HIGHWAY BUSINESS-INDUSTRIAL 1	REQUIRED	PROPOSED	PROPOSED
MIN. LOT SIZE	60,000 S.F.	169,218 S.F.	169,218 S.F.
MINIMUM LOT FRONTAGE	200 FEET	362.50 FEET	362.50 FEET
SETBACKS:			
FRONT	50 FEET	227.3 FEET	153.0 FEET
SIDE	50 FEET	50.4 FEET	114.6 FEET
REAR	50 FEET	50.4 FEET	177.0 FEET
BUILDING COVERAGE:			
MAXIMUM BUILDING HEIGHT	40% MAX.	9%	9%
	55 FEET	36.2 FEET	18.7 FEET
	5 1/2 STY.	3 STY.	1 STY.
PARKING REQUIREMENTS:			
STALL DIMENSIONS	10' x 20'	10' x 20'	10' x 20'
aisle width	90' PARKING	24'	26'
	60' PARKING	16'	18'
NUMBER OF SPACES REQUIRED BY USE:			
RENTAL ENCLOSED SELF-STORAGE (3+1 PER 100 UNITS) 3+3	6	30	
RESTAURANT (1 PER EMP. + 1 PER 3 SEATS) 8+32/3=19	33		40
RETAIL (1 PER 200 S.F. GROSS FLOOR SPACE) 2896/200=14			
ADA PARKING REQUIREMENT: (26-50 SPACES)	2 SPACES	2 SPACES	2 SPACES
LANDSCAPING REQUIREMENTS:			
5% INTERIOR PARKING LANDSCAPE REQUIRED			
74 PARKING SPACES (10W x 20L) = 14,800 S.F.	740 S.F.	4,215 S.F.	
5% (0.05) x 14,800 S.F. = 740 S.F.			
(1) TREE PER 35 SPACES (74/35) = 2.1	3 TREES	17 TREES	





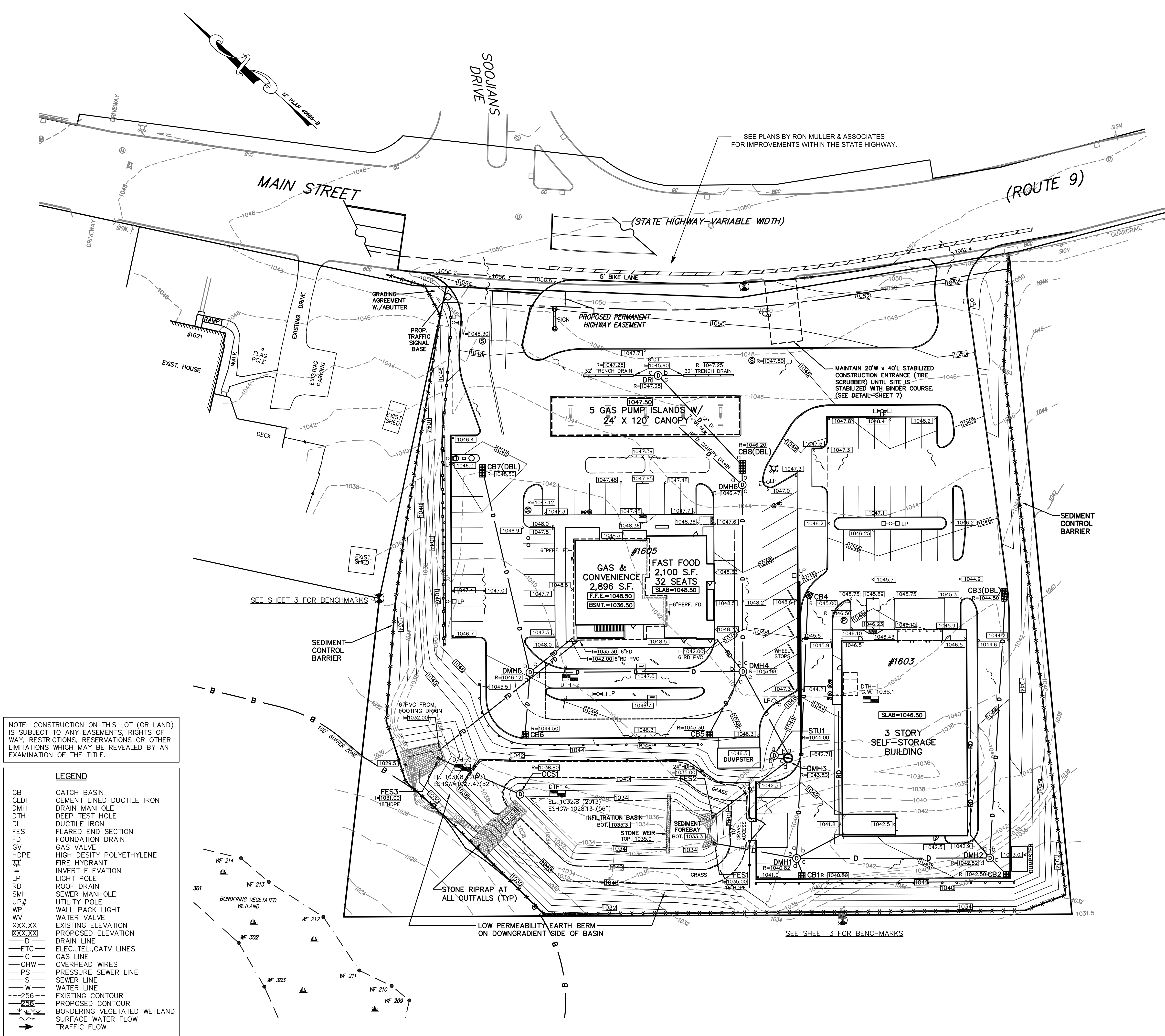
LEGEND

CB	CATCH BASIN
CLDI	CEMENT LINER DUCTILE IRON
DMH	DRAIN MANHOLE
DTH	DEEP TEST HOLE
DI	DUCTILE IRON
FD	FOUNDATION DRAIN
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HY	FIRE HYDRANT
I	INVERT ELEVATION
LP	LIGHT POLE
RD	ROOF DRAIN
SMH	SEWER MANHOLE
UP#	UTILITY POLE
WP	WALL PACK LIGHT
WV	WATER VALVE
XXX.XX	EXISTING ELEVATION
XXX.XX	PROPOSED ELEVATION
— 0 —	DRAIN LINE
— ETC —	ELECT.,CATV LINES
— G —	GAS LINE
— OHW —	OVERHEAD WIRES
— PS —	PRESSURE SEWER LINE
— S —	SEWER LINE
— W —	WATER LINE
---256---	EXISTING CONTOUR
256	PROPOSED CONTOUR
~ ~ ~ ~ ~	BORDERING VEGETATED WETLAND
~ ~ ~ ~ ~	SURFACE WATER FLOW
	TRAFFIC FLOW

ALL WATER AND SEWER CONNECTIONS SHALL BE
CONSTRUCTED PER REGULATIONS OF THE LEICESTER
WATER SUPPLY DISTRICT.

JOB NO: 00047	SHEET: 5 of 13
------------------	-------------------

M:\PROJECTS\00047.dwg\00047 SITE PLAN 09-23-21.dwg, 9/22/2021 4:19:30 PM



DRAINAGE SCHEDULE

CB1	R=1040.50	I=1036.50 12"HDPE
CB2	R=1042.50	I=1037.95 12"HDPE
CB3 (DOUBLE)	R=1044.50	I=1040.00 12"HDPE
CB4	R=1045.00	I=1040.00 12"HDPE
CB5	R=1045.30	I=1040.30 12"HDPE
CB6	R=1044.50	I=1040.75 12"HDPE
CB7 (DOUBLE GRATE)	R=1041.50	I=1045.50 12"HDPE
CB8 (DOUBLE GRATE)	R=1046.20	I(a)=1042.30 12"DI I(b)=1040.78 18"HDPE
DMH1	R=1040.82	I(a)=1036.38 12"HDPE I(b)=1036.32 6"PVC ROOF DRAIN I(c)=1036.02 15"HDPE I(d)=1036.38 12"HDPE I(e)=1035.77 18"HDPE
DMH2	R=1042.82	I(a)=1038.32 6"PVC ROOF DRAIN I(b)=1037.77 12"HDPE I(c)=1037.77 12"HDPE I(d)=1037.52 15"HDPE
DMH3 (5'I.D.)	R=1043.5	I(a)=1036.37 24"HDPE I(b)=1036.37 12"HDPE I(c)=1036.20 12"HDPE I(d)=1035.86 24"HDPE TOP DIVERSION WEIR=1036.75 (SEE SHEET 11)
DMH4	R=1046.98	I(a)=1039.67 12"HDPE I(b)=1038.44 18"HDPE I(c)=1041.50 6"PVC RD I(d)=1038.84 18"HDPE I(e)=1037.35 24"HDPE
DMH5	R=1046.12	I(a)=1040.39 12"HDPE I(b)=1040.22 12"HDPE I(c)=1041.40 6"PVC RD I(d)=1039.89 18"HDPE
DMH6	R=1046.47	I(a)=1042.30 6"DI I(b)=1040.68 18"HDPE I(c)=1040.58 18"HDPE
DRI (DROP INLET)	R=1047.25	I(a)=1045.18 8"DI I(b)=1045.18 8"DI I(c)=1043.75 12"DI
OCS1 (OUTLET CONTROL STRUCTURE)	R=1038.80	I=1033.50 18"HDPE (SEE SHEET 10 FOR INLET ELEVATIONS)
STU1 (STORMWATER TREATMENT UNIT)	R=1044.0	I(a)=1036.30 12"HDPE I(b)=1036.30 12"HDPE (SEE SHEET 11)

NOTE:
PROPOSED GRADING SHOWN
REQUIRES 17,400± CUBIC YARDS
OF FILL.

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE
HIGHWAY BUSINESS-INDUSTRIAL 1
DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD
SURVEY PERFORMED BY ODORE SURVEY
& MAPPING IN DECEMBER 2012, AND
UPDATED BY ALLEN ENGINEERING &
ASSOCIATES, INC. IN DECEMBER 2020.

- ELEVATIONS REFER TO NAD 88
VERTICAL DATUM.
- THE SITE FALLS WITHIN A FLOOD
ZONE X (AREA OF MINIMAL FLOOD
HAZARD) ACCORDING TO FLOOD
INSURANCE RATE MAP PANEL NUMBER
25027C0780E.
- THIS SITE DOES NOT CONTAIN
CERTIFIED VERNAL POOLS OR HABITATS
OF RARE SPECIES ACCORDING TO THE
MASSACHUSETTS NATURAL HERITAGE
WEB SITE AS OF DECEMBER 2020.
- EXISTING UTILITY LINES SHOWN ON
THESE DRAWINGS ARE BASED ON
AVAILABLE RECORD INFORMATION OF
UTILITY COMPANIES AND PUBLIC
AGENCIES AND ARE APPROXIMATE ONLY.
EXISTING UTILITY LINES OTHER THAN
THOSE SHOWN MAY BE ON THE SITE.
CALL "DIG SAFE" AT 811.
- THERE SHALL BE NO USE OF FILL
CONTAINING HAZARDOUS MATERIALS.
- APPLICANT SHALL PROVIDE
CONSTRUCTION DRAWINGS FOR
UNDERGROUND STORAGE TANKS WITH
APPLICATION FOR BUILDING PERMIT.
DEPTH OF LEDGE/REFUSAL TO BE
DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaft Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

GRADING & DRAINAGE
PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers - Surveyors
Land Development Consultants

One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 - Phone
www.allenrea.com

SCALE:

1"=30 FEET

DATE:

September 23, 2021

REVISIONS

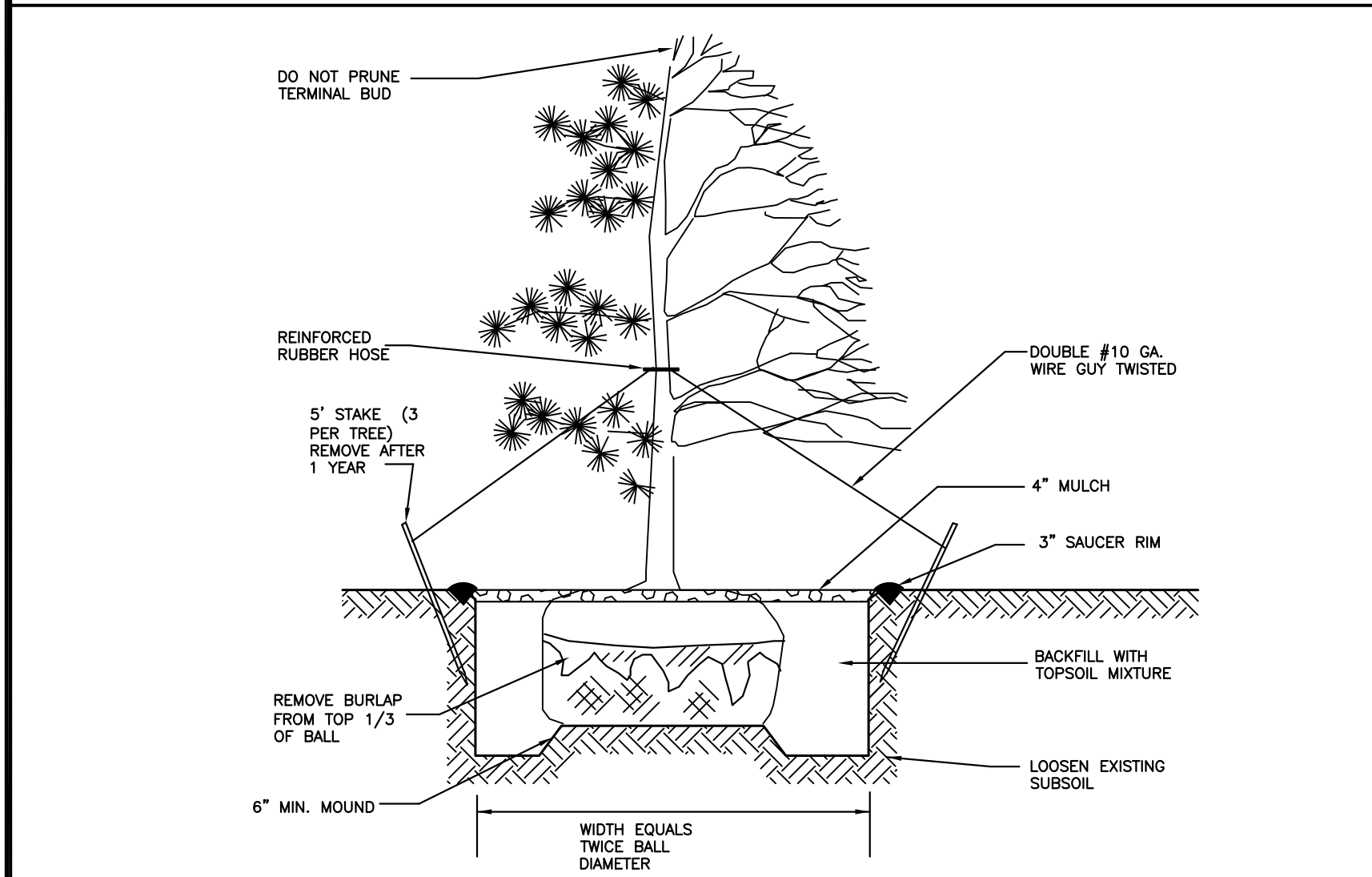
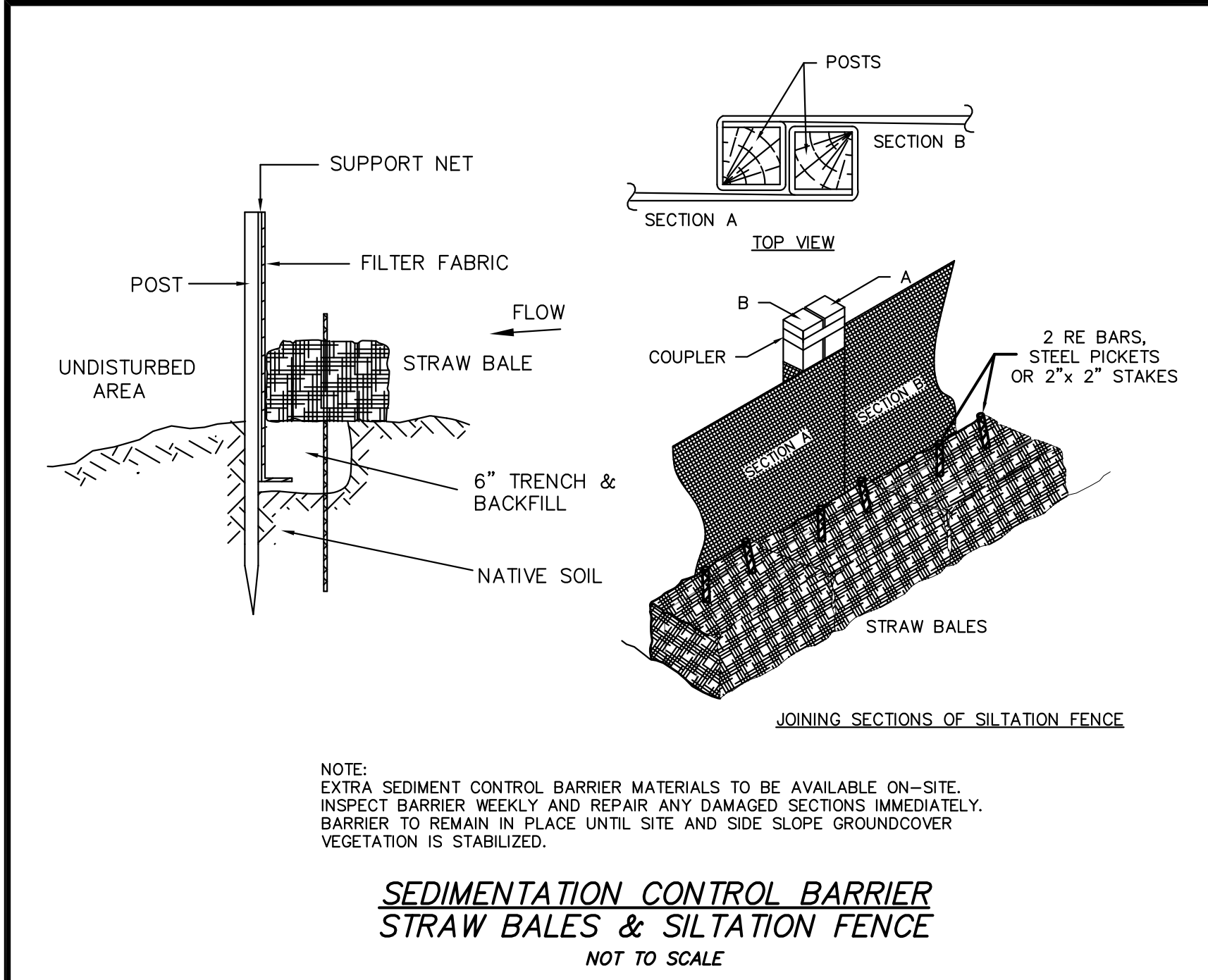
#	DATE	DESCRIPTION	INIT

JOB NO:

00047

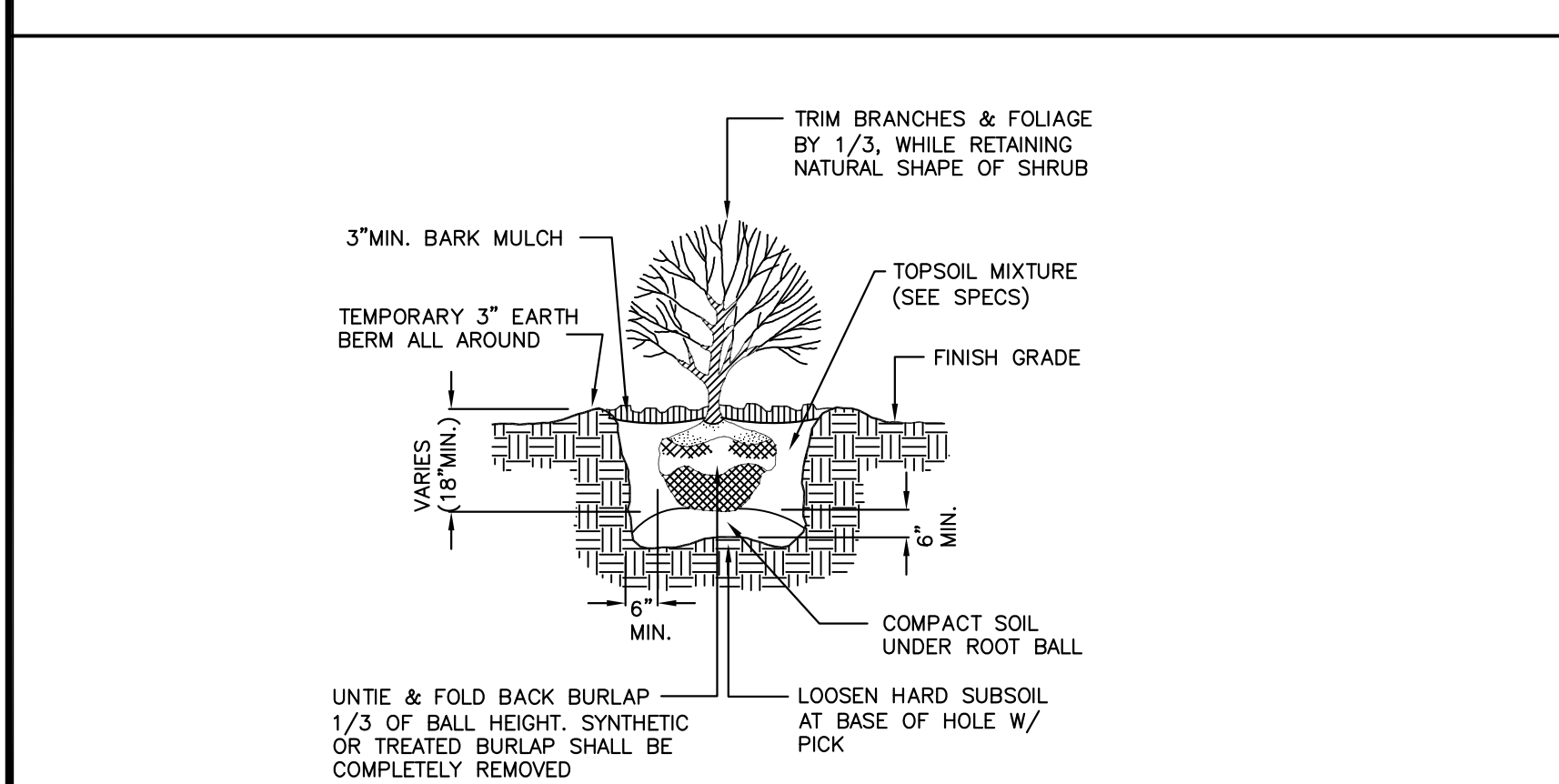
SHEET:

6 of 13



TREE SCHEDULE

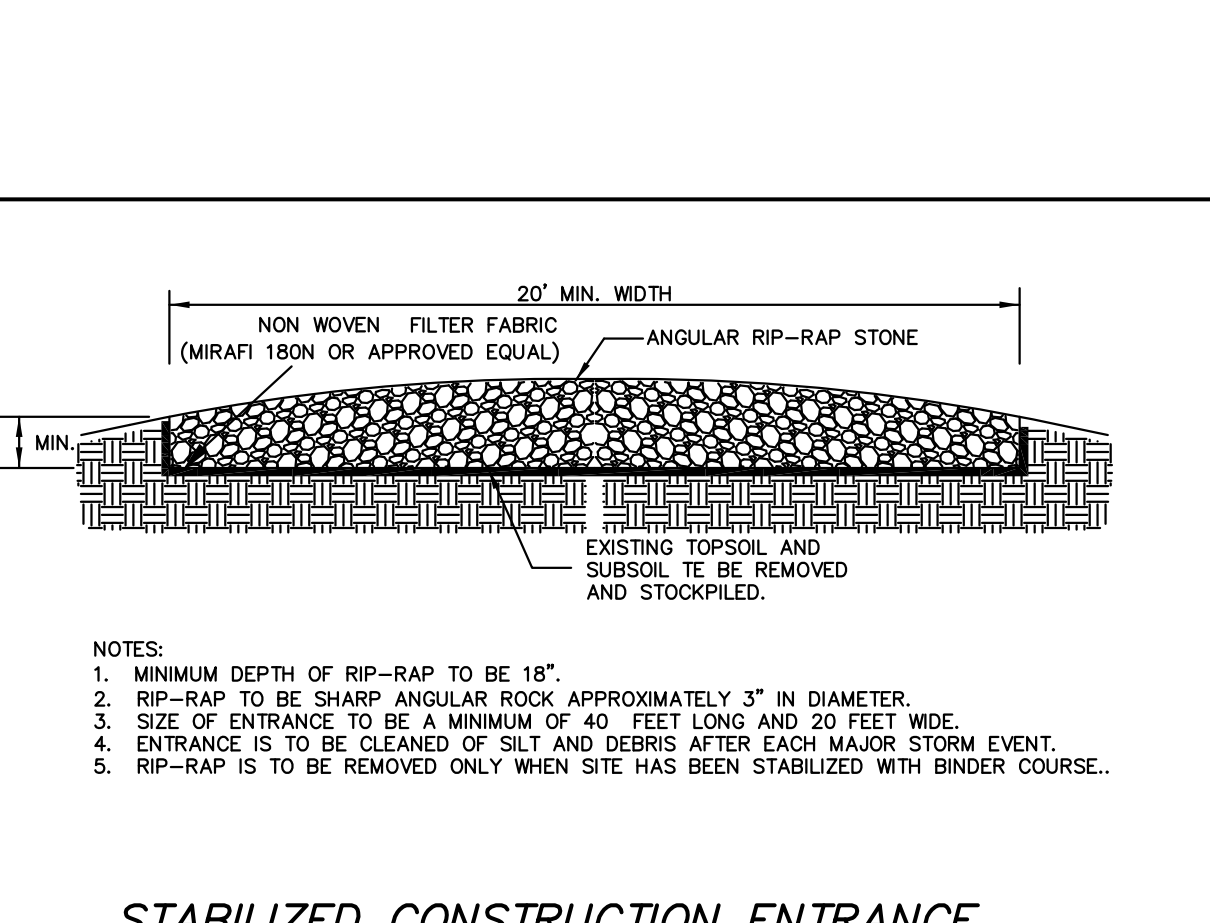
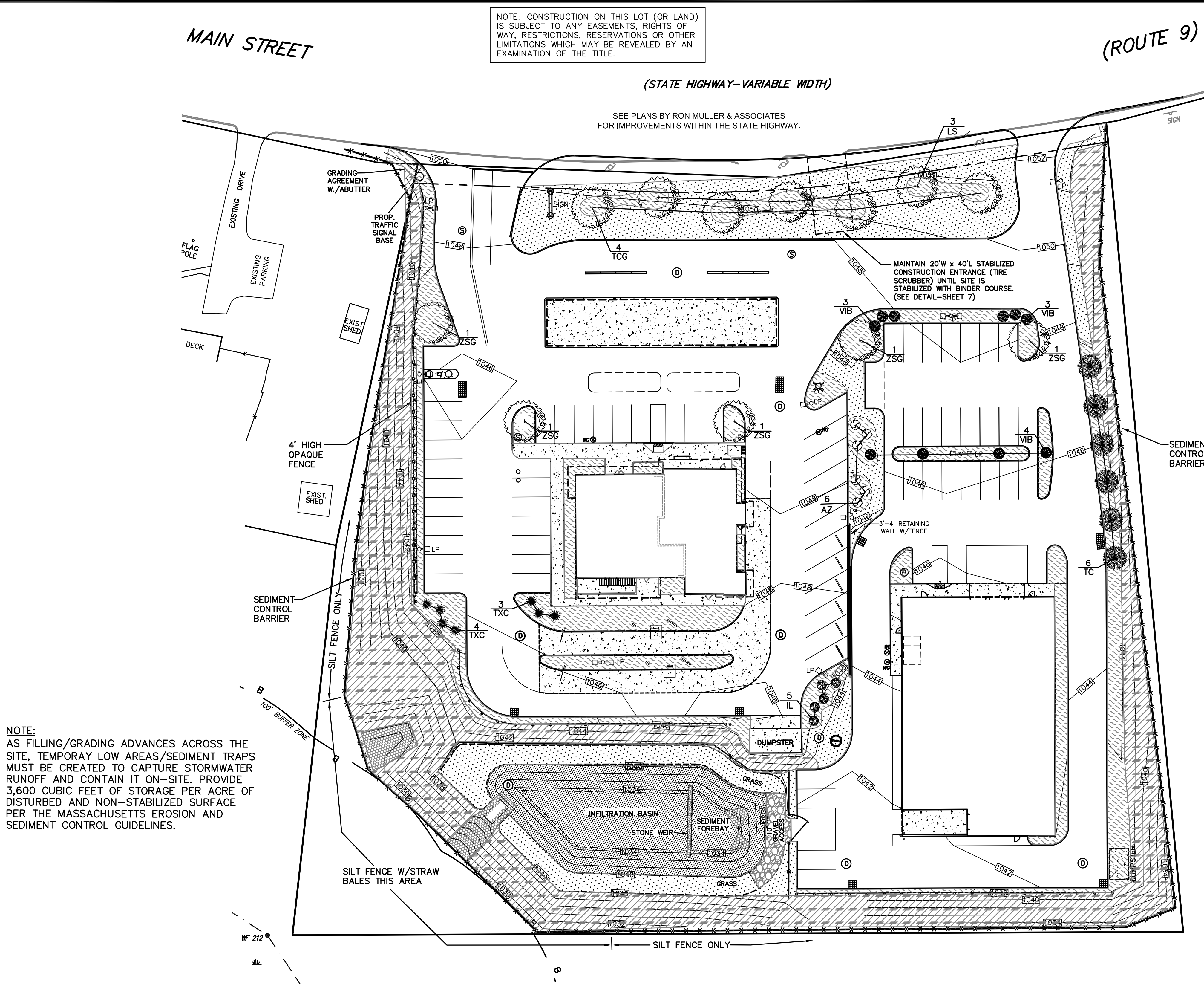
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	NO.
LS	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 - 2 1/2" CAL.	B&B	3
TC	TSUGA CANADENSIS	CANADIAN HEMLOCK	6' - 8'	B&B	6
TCG	TILIA CORDATA GREENSPIRE	GREENSPIRE LITTLE LEAF LINDEN	2 - 2 1/2" CAL.	B&B	4
ZSG	ZELCOVA SERRATA GREEN VASE	GREEN VASE ZELCOVA	2 - 2 1/2" CAL.	B&B	5



SHRUB SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE*	NO.
AZ	AZALEA DELAWARE VALLEY WHITE	DELAWARE VALLEY WHITE AZALEA	#5	6
IL	ILEX OPACA	AMERICAN HOLLY	#5	5
TXC	TAXUS CUSPIDATA NANA AURESCENS	DWARF GOLDEN JAPANESE YEW	#6	7
VIB	VIBURNUM CARLESII	MAYFLOWER VIBURNUM	#5	9

*2.5' HIGH MIN.



	CONCRETE PER CONSTRUCTION DETAILS. BLACK CONCRETE TO BE USED IN DRIVE-THRU VEHICLE LANES.		LAWN GRASS-PERENNIAL RYE/FESCUE/KENTUCKY BLUEGRASS MIX.
	STONE RIPRAP PER CONSTRUCTION DETAILS.		EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR WET SITES) TO BE USED ON ANY GRASSED DRAINAGE SWALES OR INTERIOR OF DRAINAGE BASINS.
	GRAVEL ACCESS - 12" DEPTH OF CLEAN COMPACTED GRAVEL.		EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR DRY SITES) FOR SIDESLOPES GRADED FROM 3:1 TO 2:1 (MAX.). APPLIED WITH A BONDED FIBER MATRIX/HYDROSEEDED OR BIODEGRADABLE ENVIRONMENTAL MATTING.
	4" MIN. MULCH BED. SUPPLEMENT WITH PERENNIAL AND/OR ANNUAL FEATURE PLANTINGS PER TENANT/FRANCHISE STANDARDS.		NOTE: PROVIDE 6 INCH DEPTH PREPARED LOAM BED FOR GRASSES.

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODOE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.
2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.
7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.

PROFESSIONAL ENGINEER
PREPARED FOR:
Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

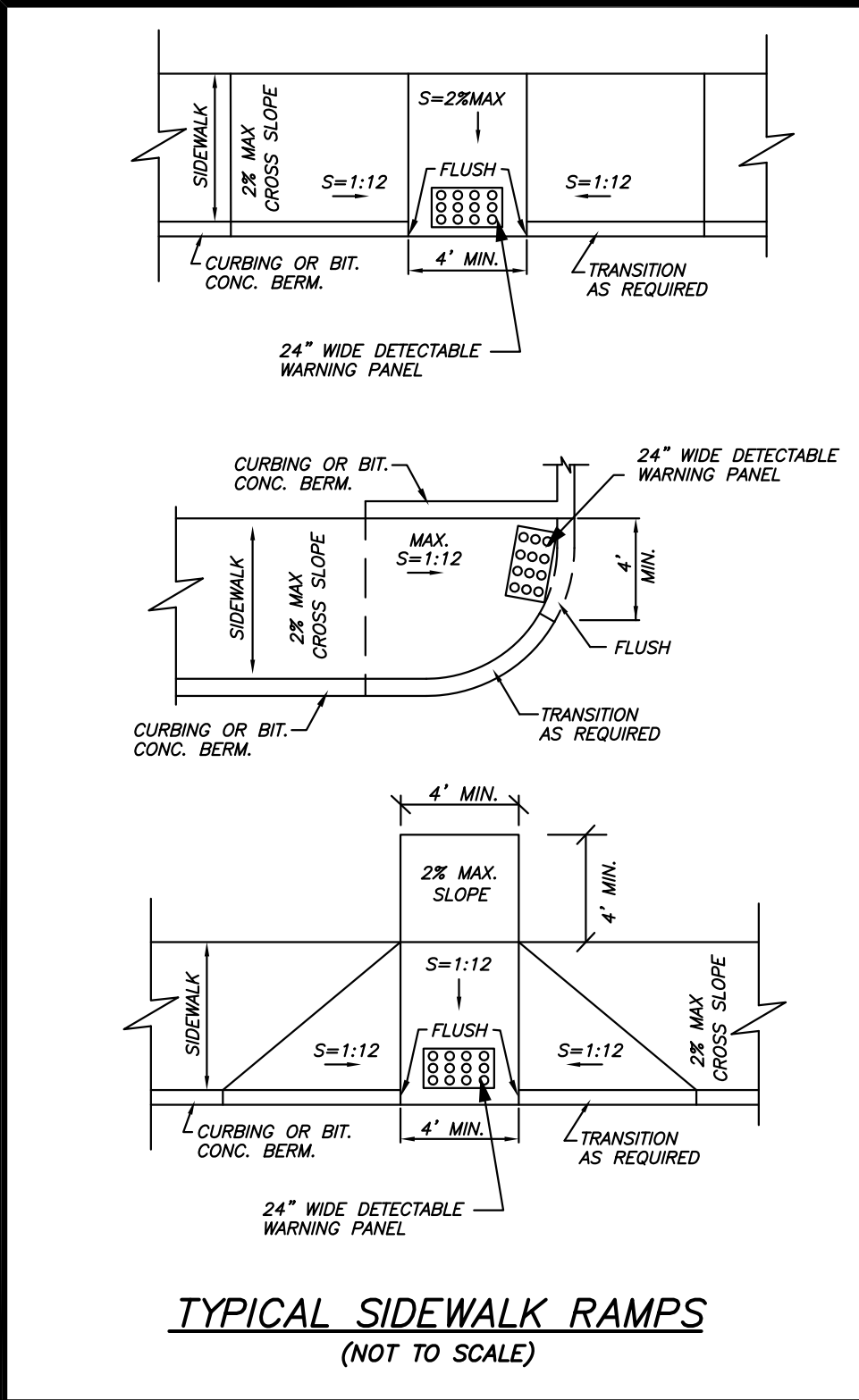
TITLE:
LANDSCAPE & EROSION CONTROL PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:
ALLEN ENGINEERING & ASSOCIATES, INC.
Civil Engineers • Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

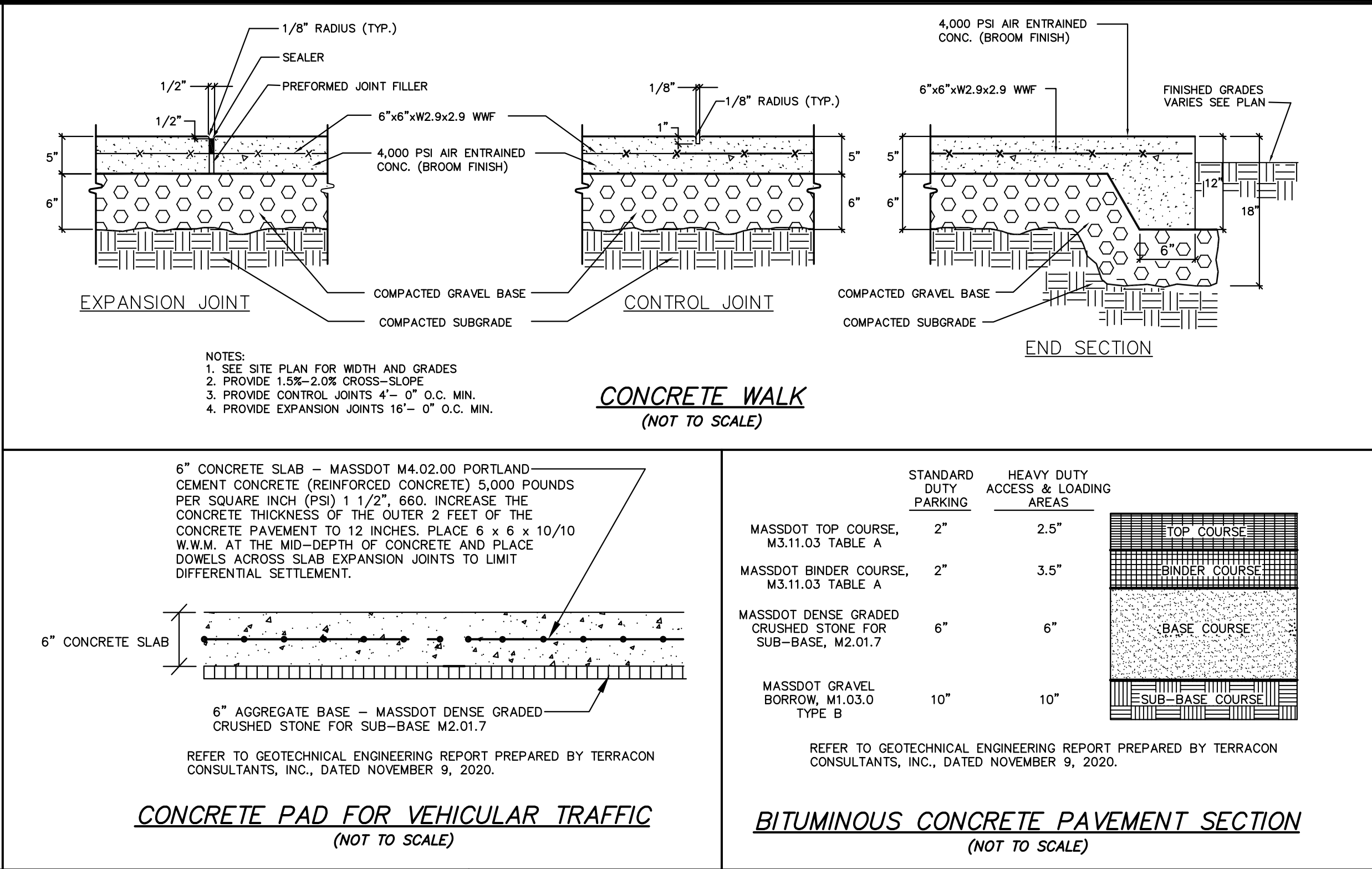
SCALE: 1"=30 FEET
DATE: September 23, 2021

REVISIONS
DATE DESCRIPTION INIT

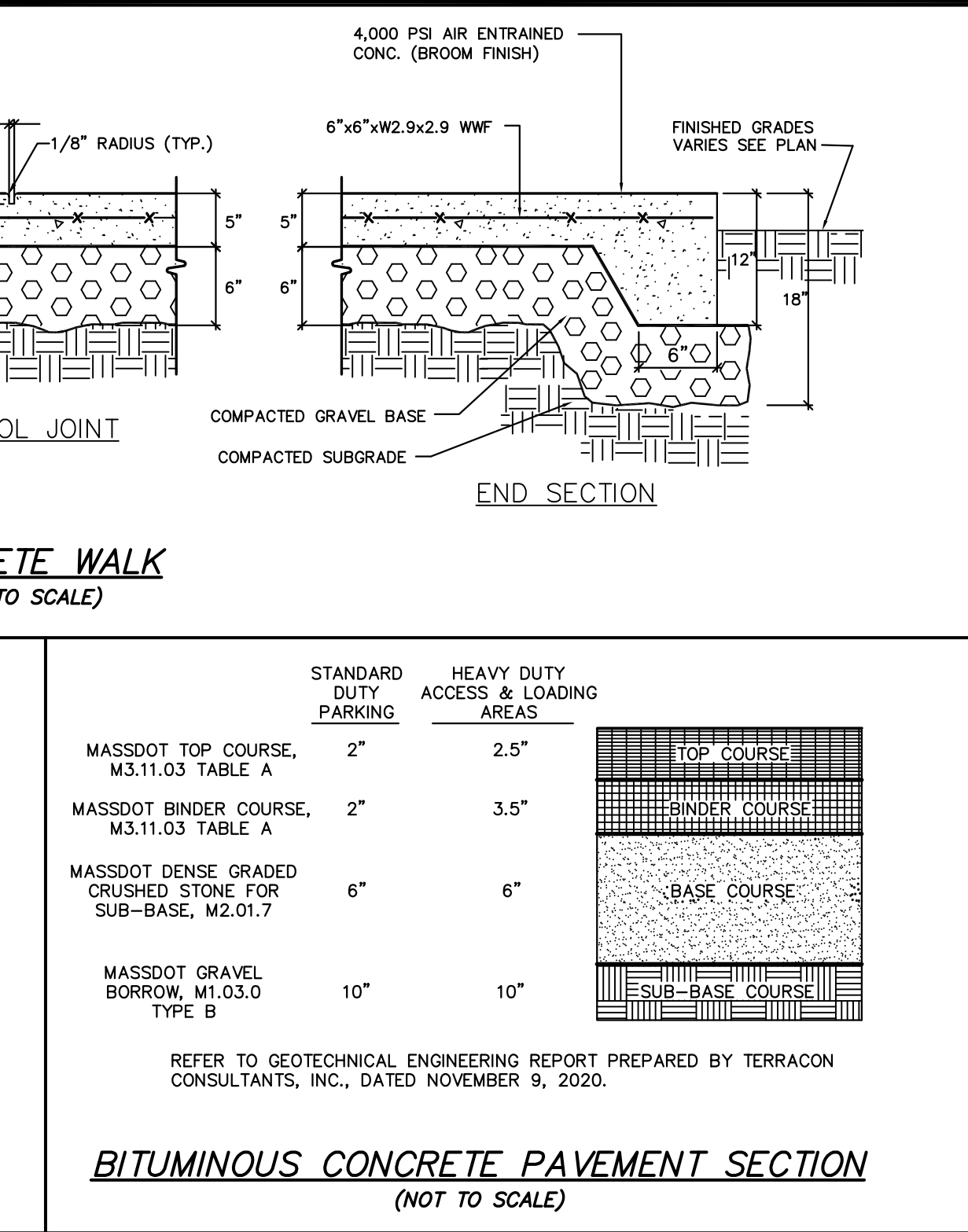
JOB NO: 00047 SHEET: 7 of 13



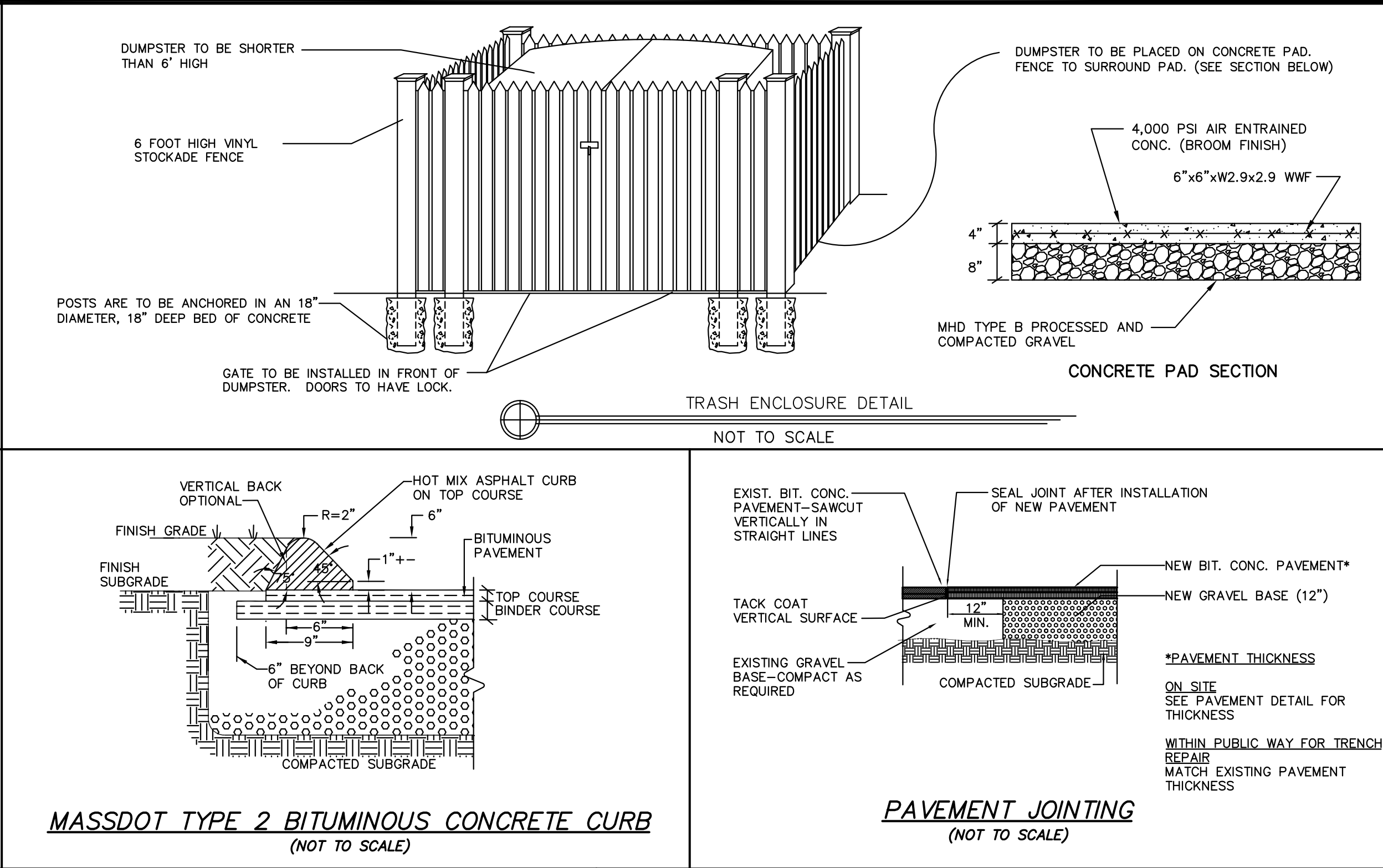
TYPICAL SIDEWALK RAMPS
(NOT TO SCALE)



CONCRETE PAD FOR VEHICULAR TRAFFIC
(NOT TO SCALE)

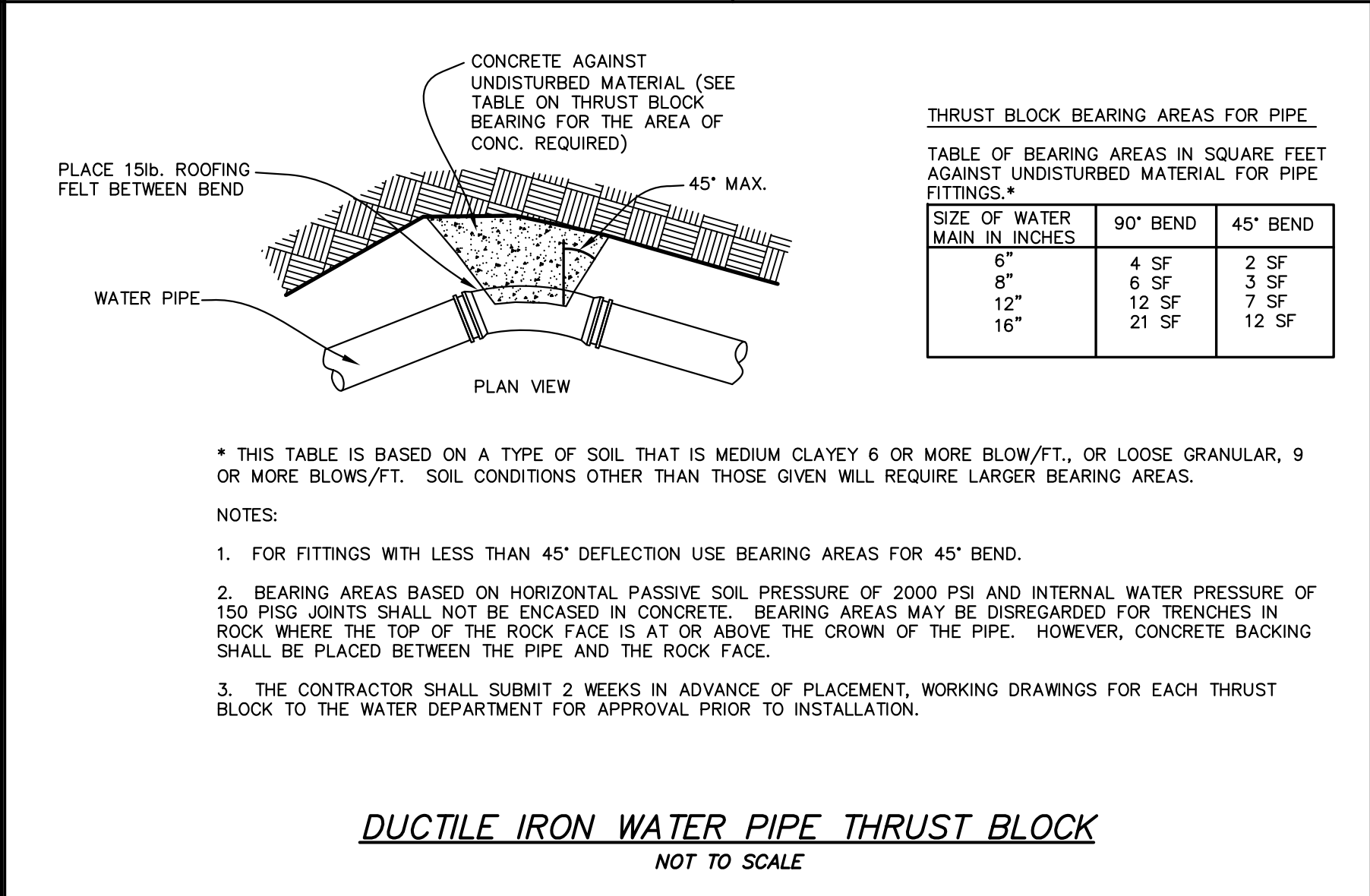


BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)

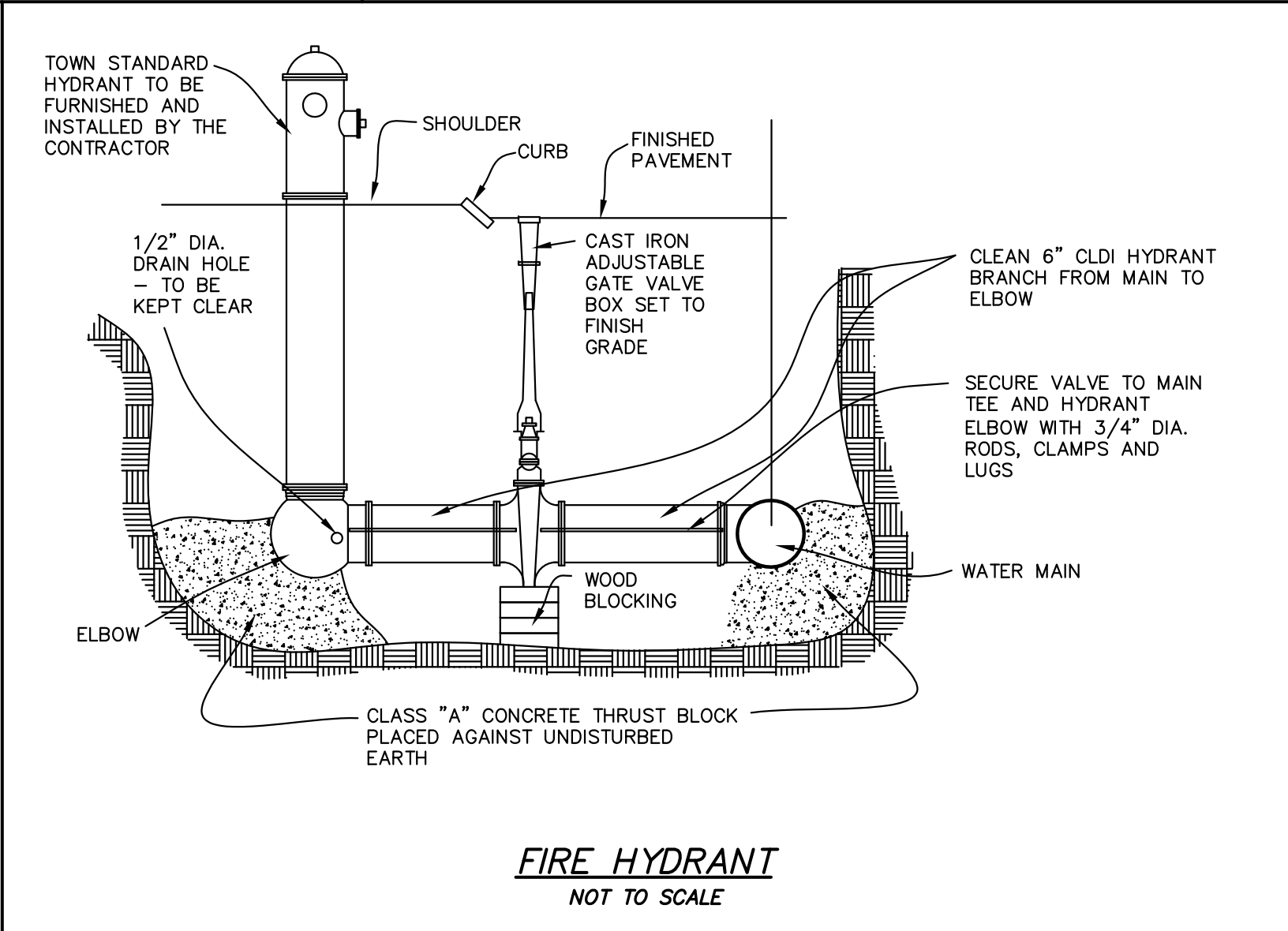


MASSDOT TYPE 2 BITUMINOUS CONCRETE CURB
(NOT TO SCALE)

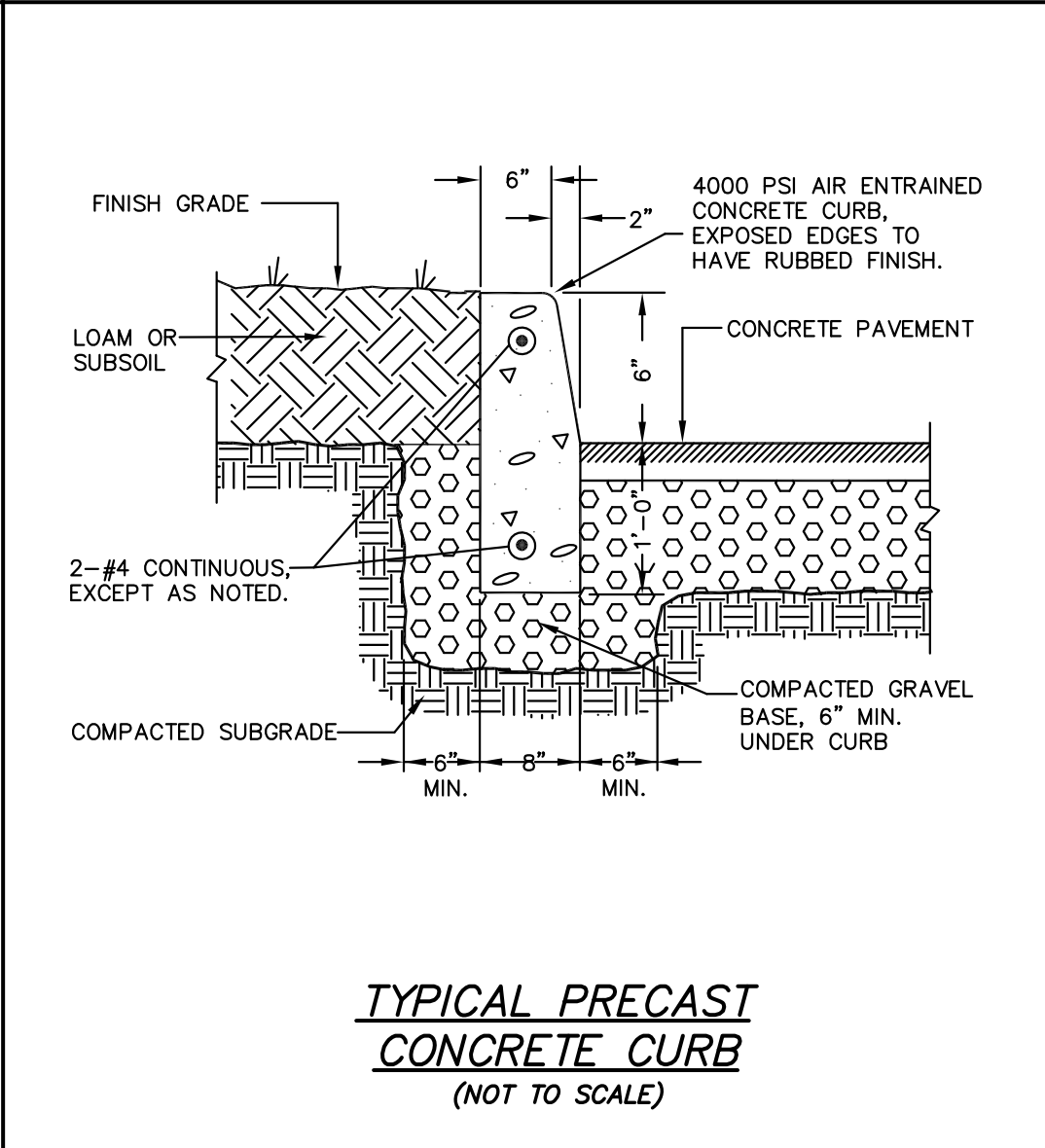
PAVEMENT JOINTING
(NOT TO SCALE)



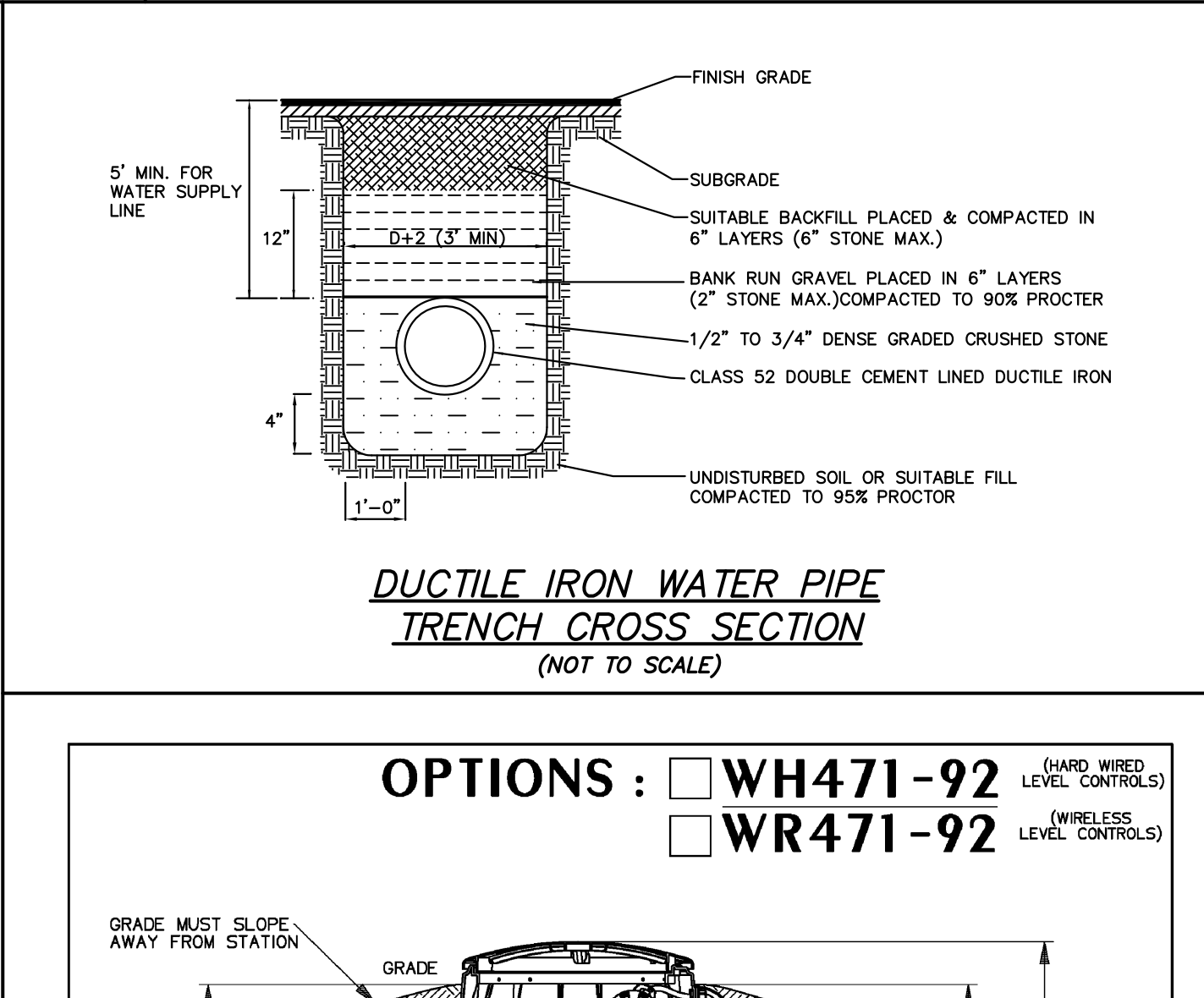
DUCTILE IRON WATER PIPE THRUST BLOCK
NOT TO SCALE



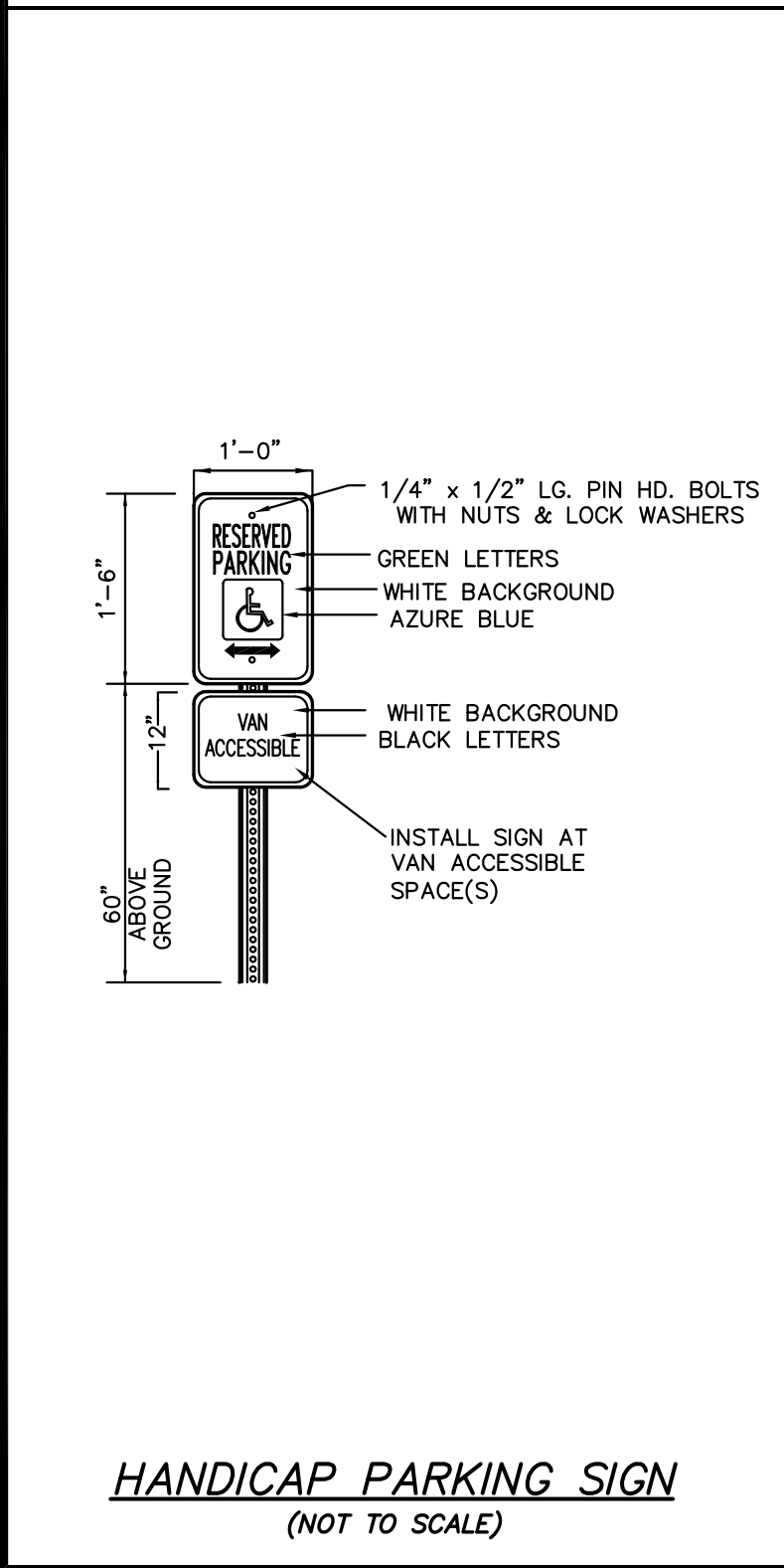
FIRE HYDRANT
NOT TO SCALE



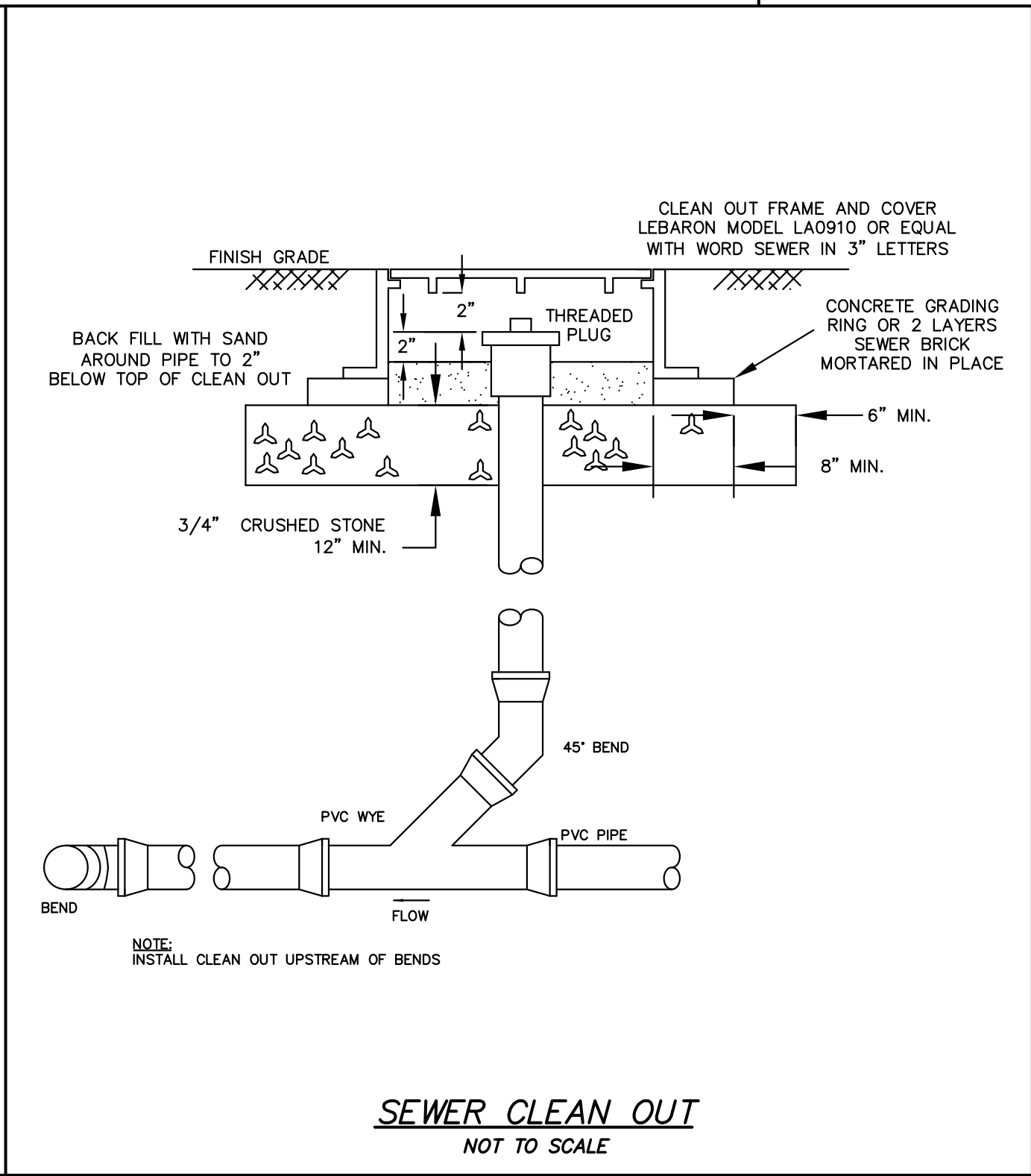
TYPICAL PRECAST CONCRETE CURB
(NOT TO SCALE)



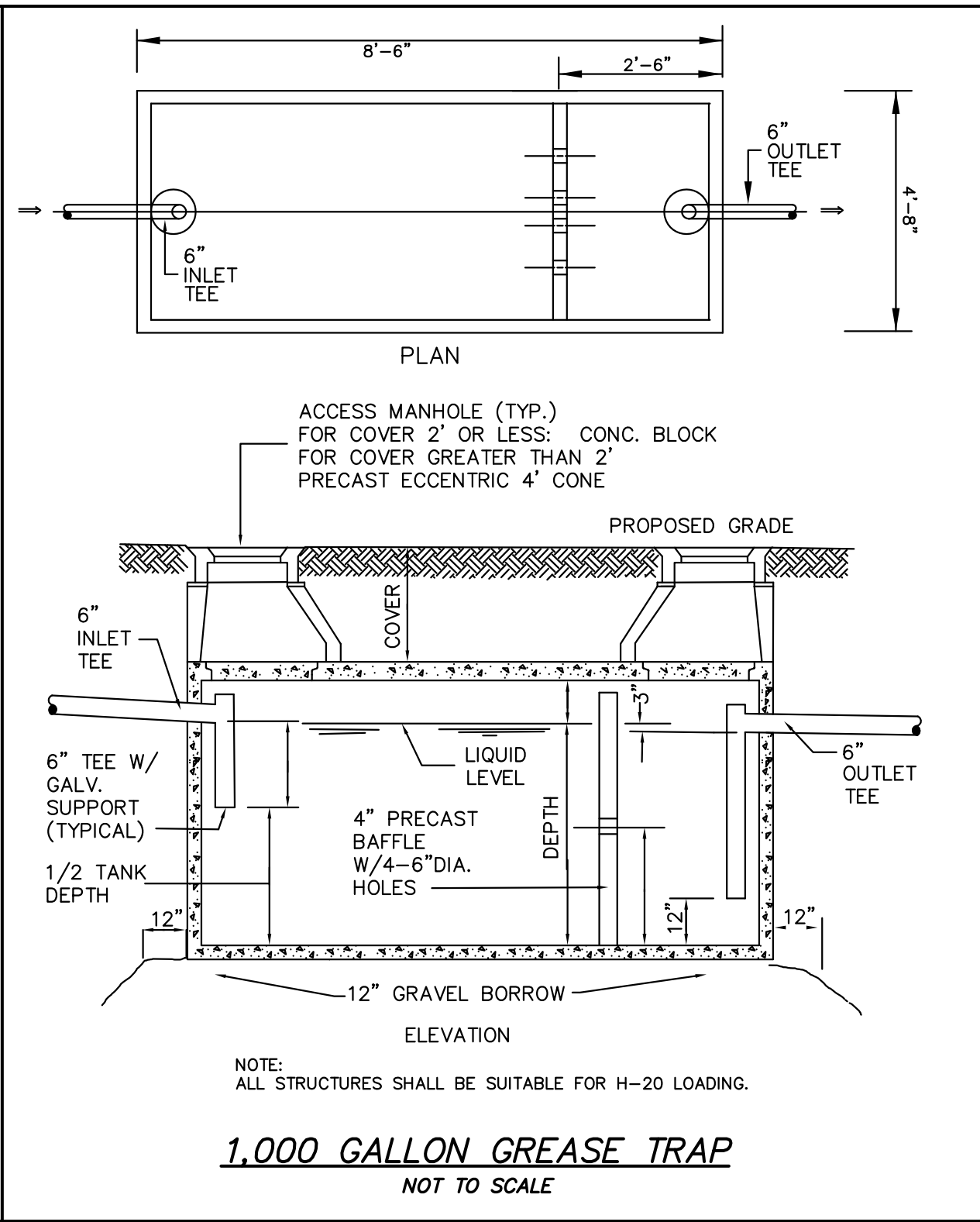
DUCTILE IRON WATER PIPE TRENCH CROSS SECTION
(NOT TO SCALE)



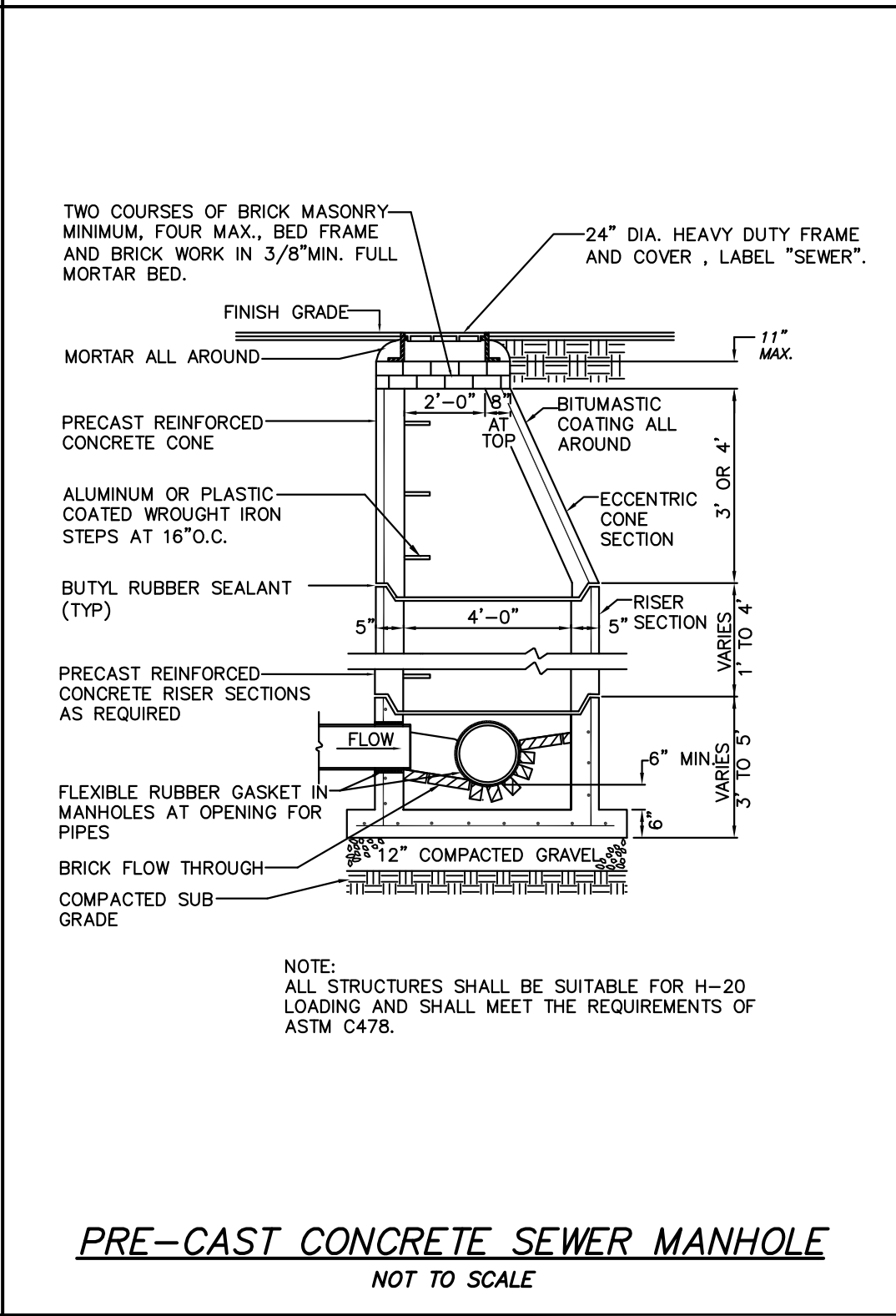
HANDICAP PARKING SIGN
(NOT TO SCALE)



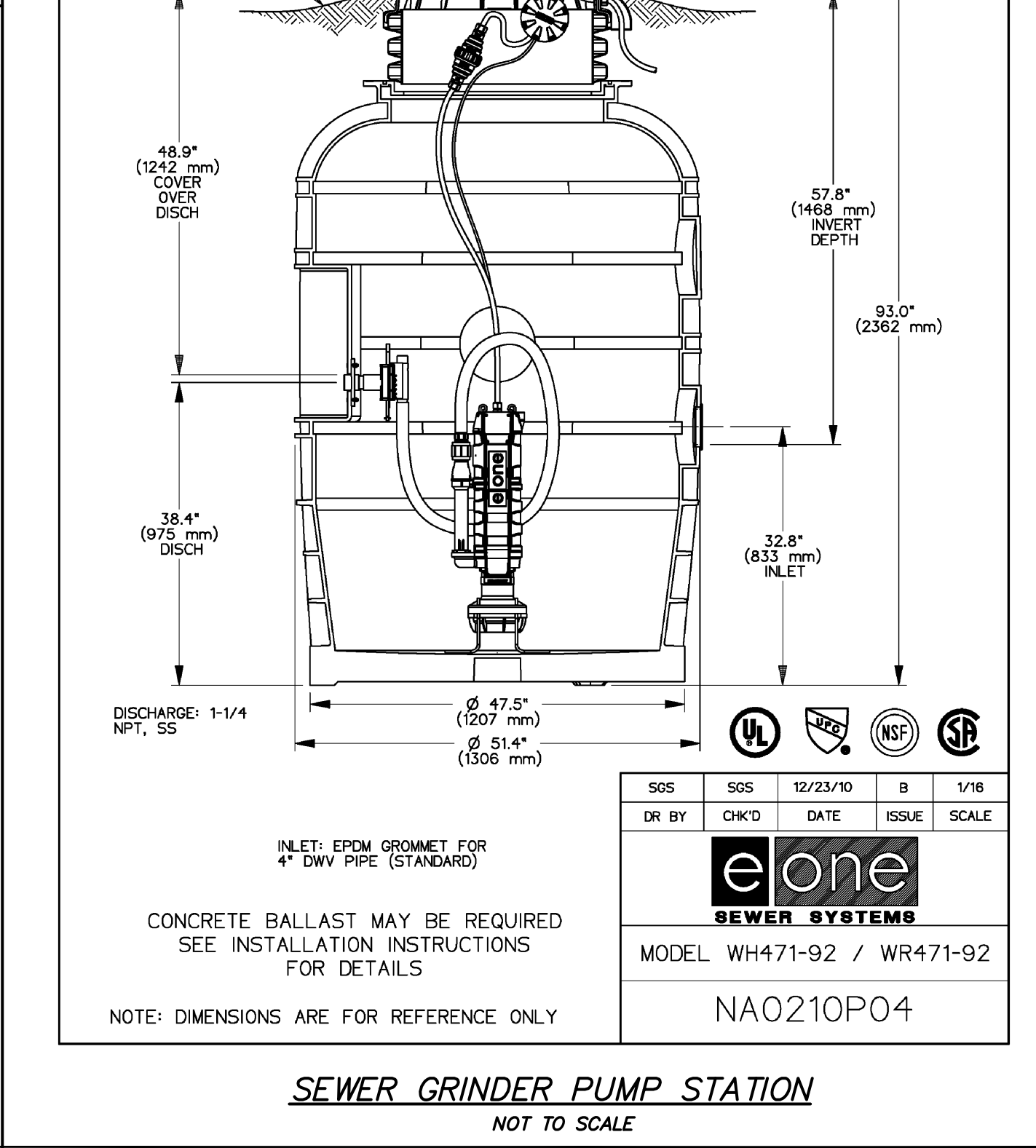
SEWER CLEAN OUT
NOT TO SCALE



1,000 GALLON GREASE TRAP
NOT TO SCALE



PRE-CAST CONCRETE SEWER MANHOLE
NOT TO SCALE



SEWER GRINDER PUMP STATION
NOT TO SCALE

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.

3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.

PROFESSIONAL ENGINEER
MARK E. ALLEN
NO. 41799
REGISTERED PROFESSIONAL ENGINEER
9/23/21

PREPARED FOR:
Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:
CONSTRUCTION
DETAIL PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:
ALLEN ENGINEERING
& ASSOCIATES, INC.
Civil Engineers • Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

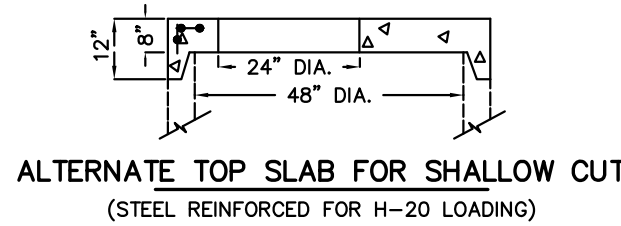
SCALE:
AS NOTED

DATE:
September 23, 2021

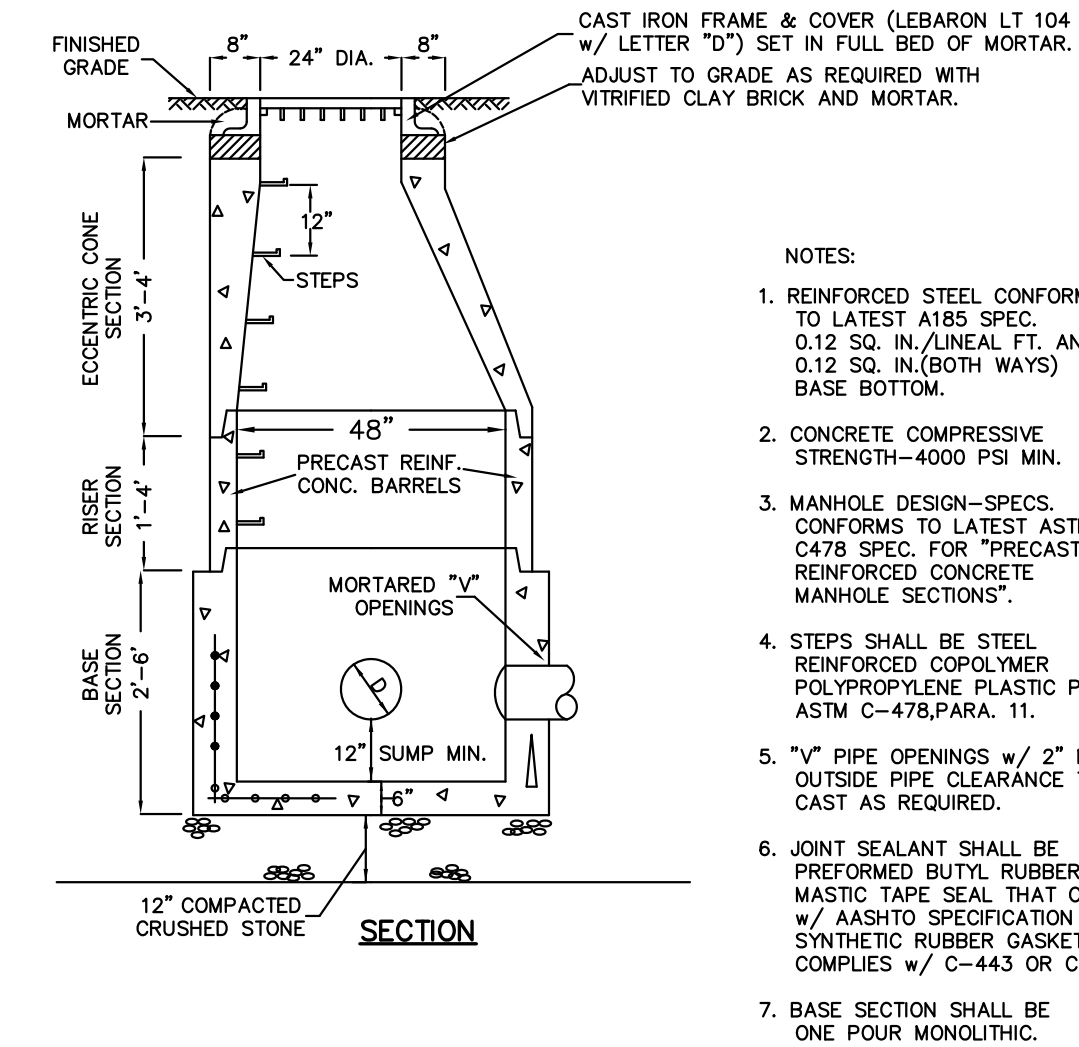
REVISIONS
DATE DESCRIPTION INIT

JOB NO:
00047

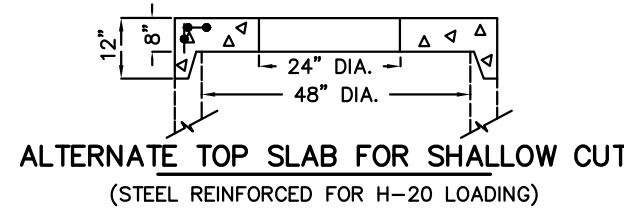
SHEET:
8 of 13



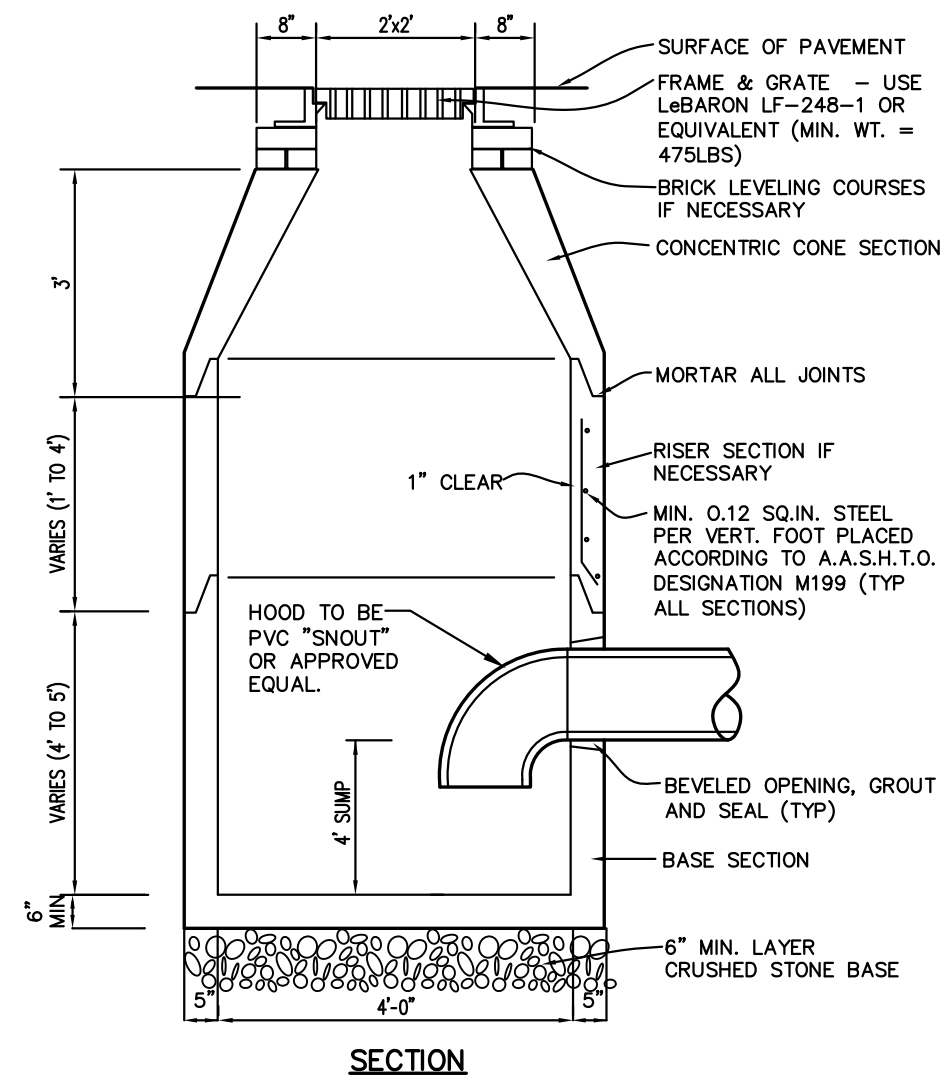
ALTERNATE TOP SLAB FOR SHALLOW CUT
(STEEL REINFORCED FOR H-20 LOADING)



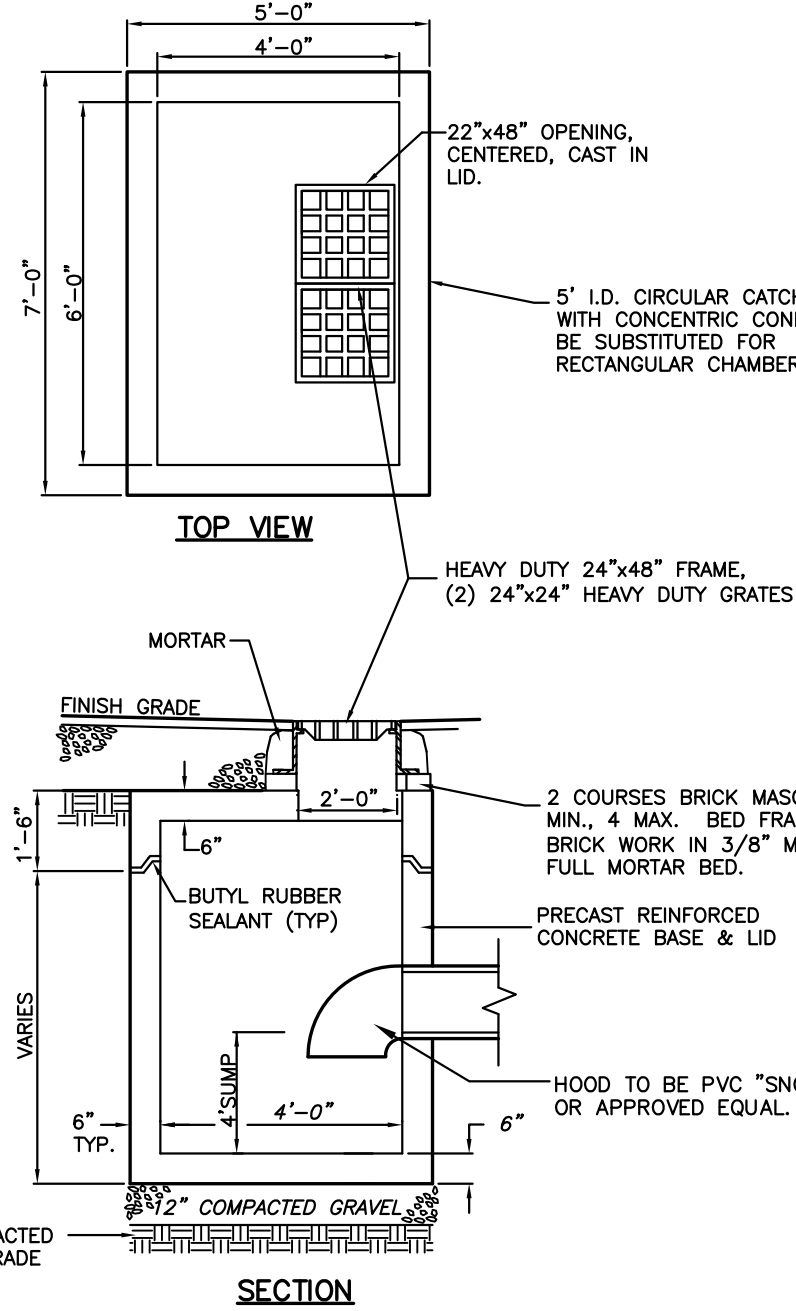
PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



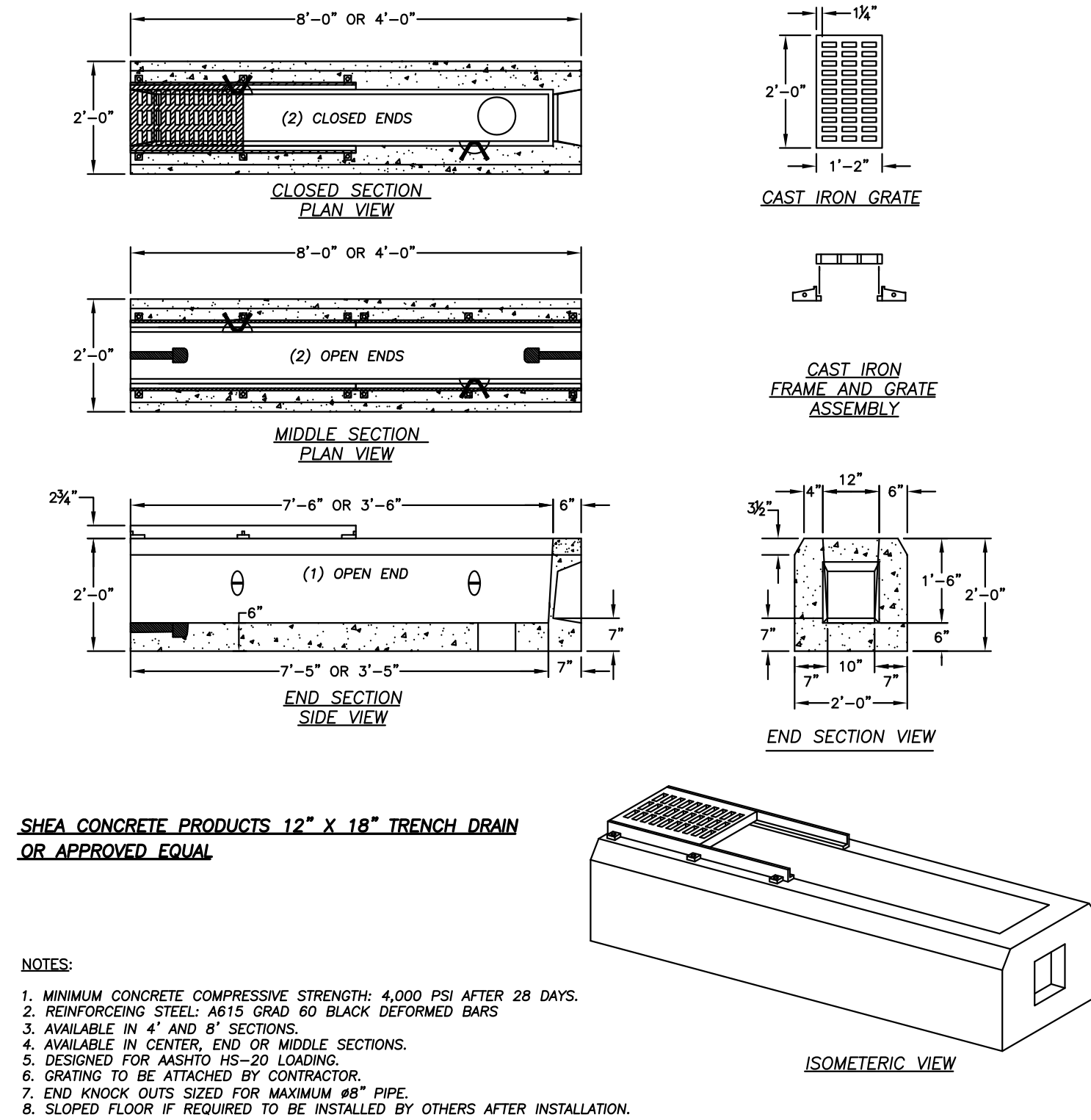
ALTERNATE TOP SLAB FOR SHALLOW CUT
(STEEL REINFORCED FOR H-20 LOADING)



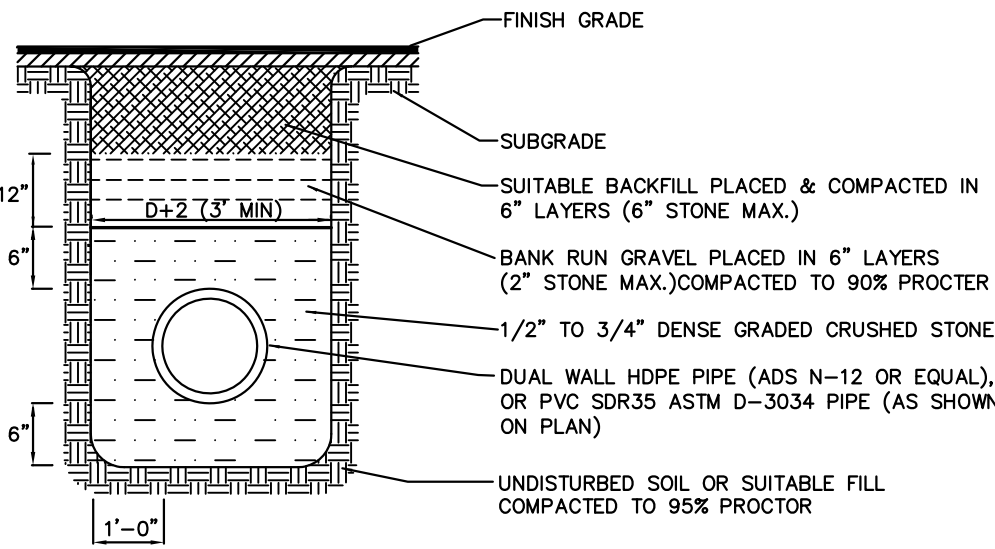
PRECAST CONCRETE CATCH BASIN
(NOT TO SCALE)



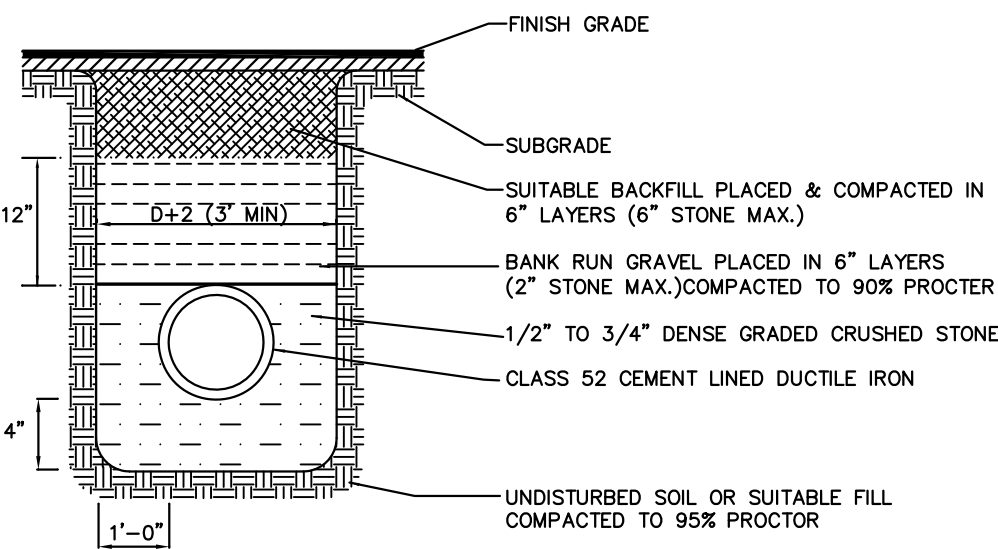
DOUBLE GRATE CATCH BASIN
(NOT TO SCALE)



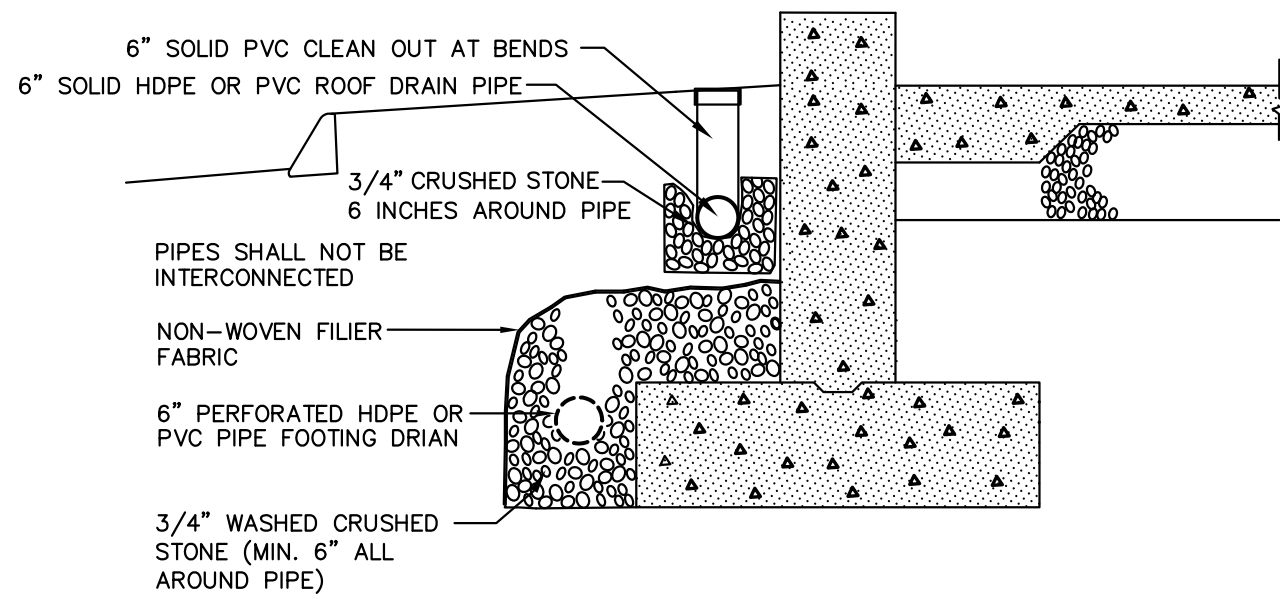
TRENCH DRAIN
(NOT TO SCALE)



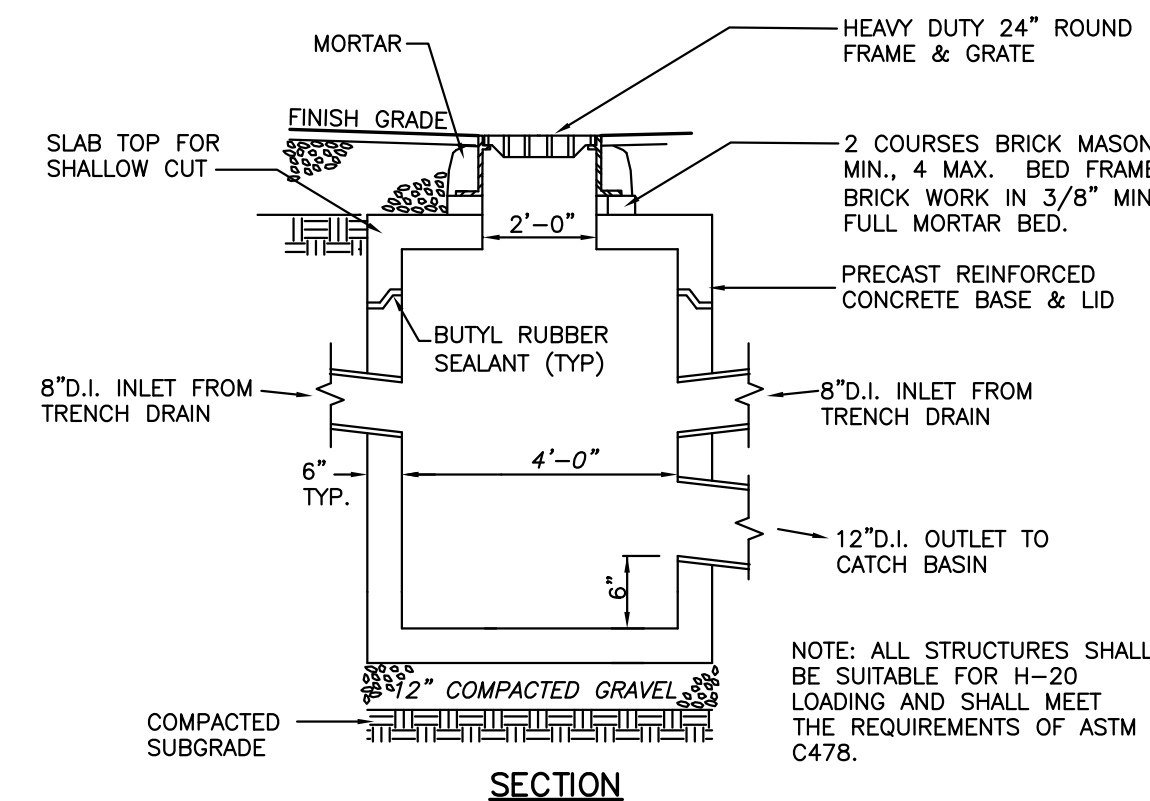
HDPE/PVC PIPE
TRENCH CROSS SECTION
(NOT TO SCALE)



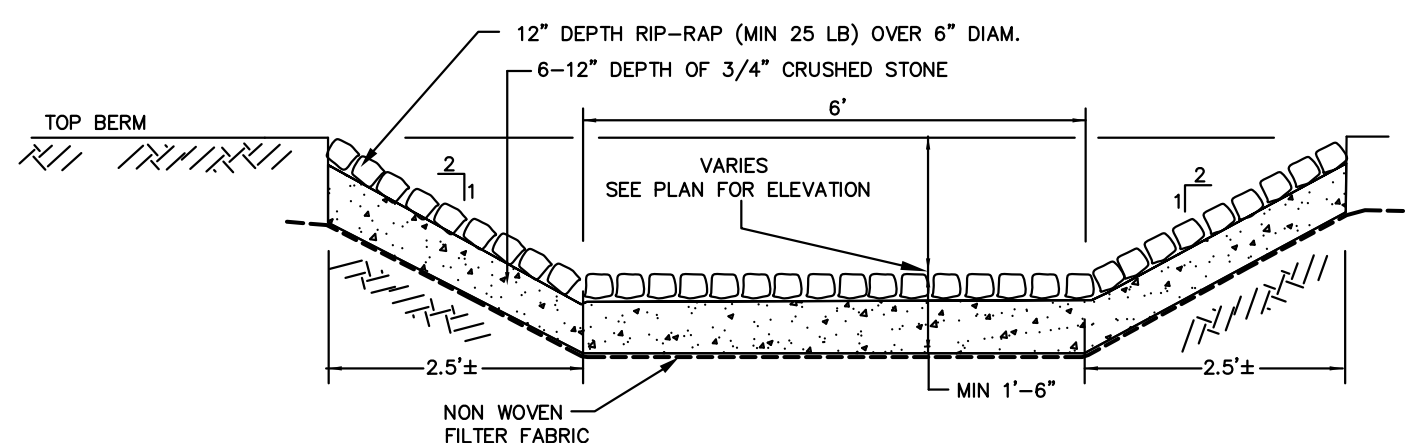
DUCTILE IRON DRAIN PIPE
TRENCH CROSS SECTION
(NOT TO SCALE)



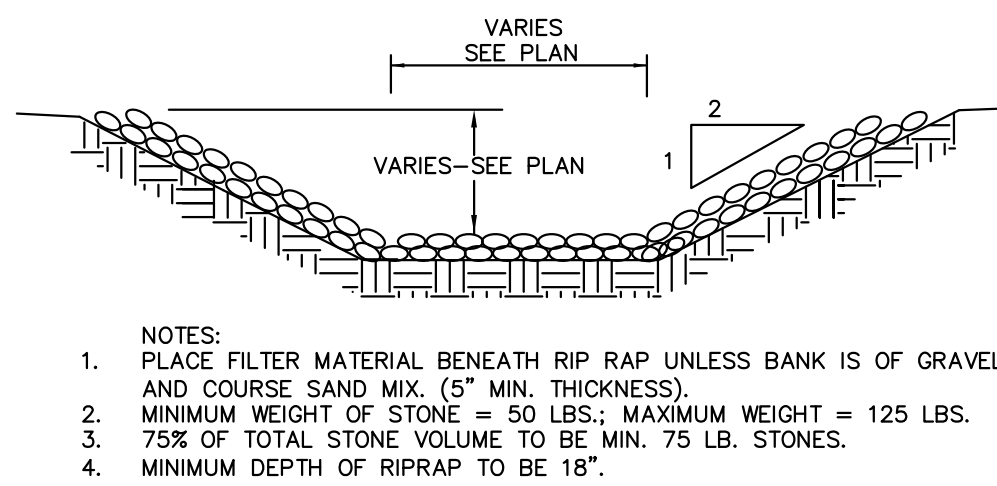
TYPICAL SECTION-ROOF DRAIN & FOOTING DRAIN
(NOT TO SCALE)



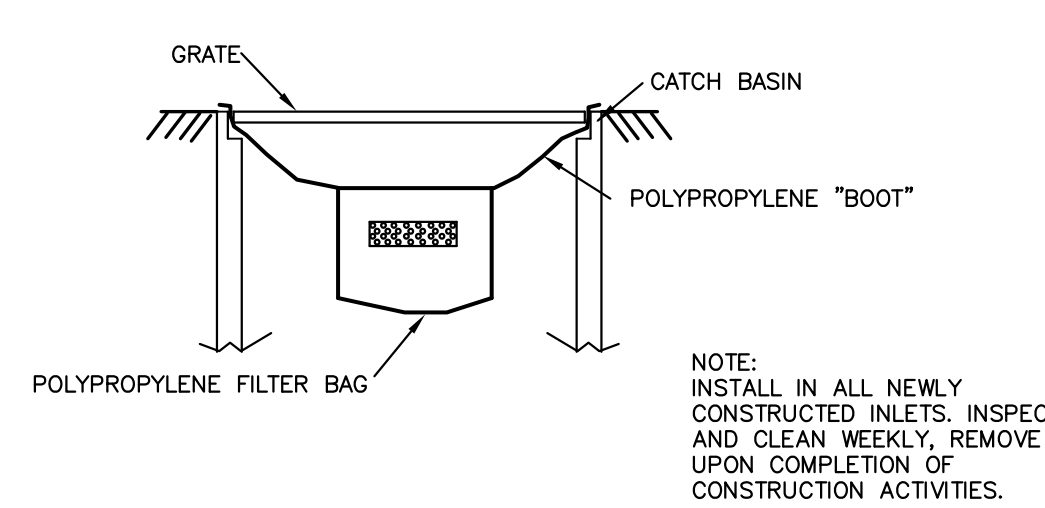
DROP INLET
(NOT TO SCALE)



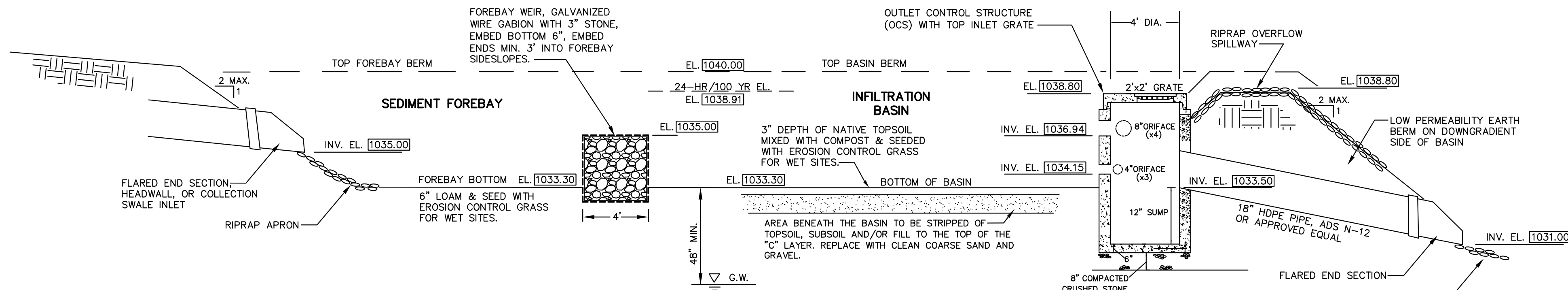
INFILTRATION BASIN
RIPRAP OVERFLOW SPILLWAY
(NOT TO SCALE)



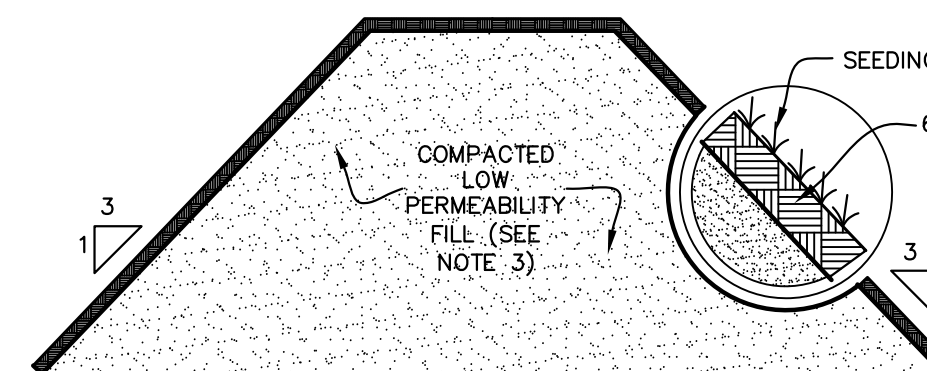
RIPRAP APRON
FOR PIPE ENDS
(NOT TO SCALE)



CATCH BASIN SEDIMENT
FILTER INSERT
(NOT TO SCALE)



STORMWATER SEDIMENT FOREBAY & INFILTRATION BASIN
(NOT TO SCALE)



LOW PERMEABILITY EARTH BERM - SECTION
NOT TO SCALE

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE
HIGHWAY BUSINESS-INDUSTRIAL 1
DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD
SURVEY PERFORMED BY ODORE SURVEY
& MAPPING IN DECEMBER 2012, AND
UPDATED BY ALLEN ENGINEERING &
ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88
VERTICAL DATUM.

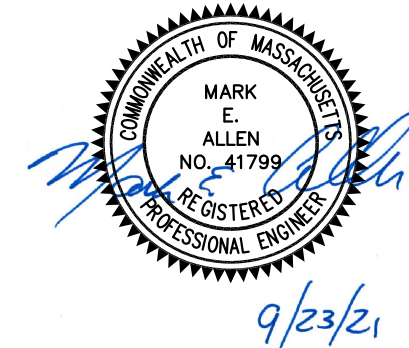
3. THE SITE FALLS WITHIN A FLOOD
ZONE X (AREA OF MINIMAL FLOOD
HAZARD) ACCORDING TO FLOOD
INSURANCE RATE MAP PANEL NUMBER
25027C0780E.

4. THIS SITE DOES NOT CONTAIN
CERTIFIED VERNAL POOLS OR HABITATS
OF RARE SPECIES ACCORDING TO THE
MASSACHUSETTS NATURAL HERITAGE
WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON
THESE DRAWINGS ARE BASED ON
AVAILABLE RECORD INFORMATION OF
UTILITY COMPANIES AND PUBLIC
AGENCIES AND ARE APPROXIMATE ONLY.
EXISTING UTILITY LINES OTHER THAN
THOSE SHOWN MAY BE ON THE SITE.
CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL
CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE
CONSTRUCTION DRAWINGS FOR
UNDERGROUND STORAGE TANKS WITH
APPLICATION FOR BUILDING PERMIT.
DEPTH OF LEDGE/REFUSAL TO BE
DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

CONSTRUCTION
DETAIL PLAN

For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers • Surveyors
Land Development Consultants

One Charlesview Road
Suite 2
Hopkdale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE:

AS NOTED

DATE:

September 23, 2021

REVISIONS

#	DATE	DESCRIPTION	INIT

JOB NO:

00047

SHEET:

9 of 13

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE
HIGHWAY BUSINESS-INDUSTRIAL 1
DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD
SURVEY PERFORMED BY ODOE SURVEY
& MAPPING IN DECEMBER 2012, AND
UPDATED BY ALLEN ENGINEERING &
ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88
VERTICAL DATUM.

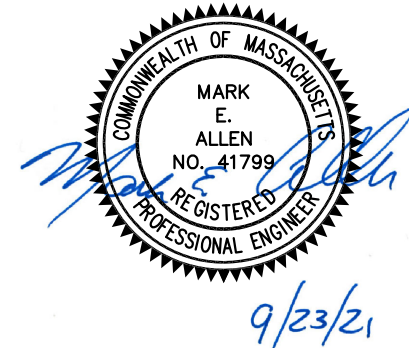
3. THE SITE FALLS WITHIN A FLOOD
ZONE X (AREA OF MINIMAL FLOOD
HAZARD) ACCORDING TO FLOOD
INSURANCE RATE MAP PANEL NUMBER
25027C0780E.

4. THIS SITE DOES NOT CONTAIN
CERTIFIED VERNAL POOLS OR HABITATS
OF RARE SPECIES ACCORDING TO THE
MASSACHUSETTS NATURAL HERITAGE
WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON
THESE DRAWINGS ARE BASED ON
AVAILABLE RECORD INFORMATION OF
UTILITY COMPANIES AND PUBLIC
AGENCIES AND ARE APPROXIMATE ONLY.
EXISTING UTILITY LINES OTHER THAN
THOSE SHOWN MAY BE ON THE SITE.
CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL
CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE
CONSTRUCTION DRAWINGS FOR
UNDERGROUND STORAGE TANKS WITH
APPLICATION FOR BUILDING PERMIT.
DEPTH OF LEDGE/REFUSAL TO BE
DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaft Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

CONSTRUCTION
DETAIL PLAN

For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers • Surveyors
Land Development Consultants

One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE:

AS NOTED

DATE:

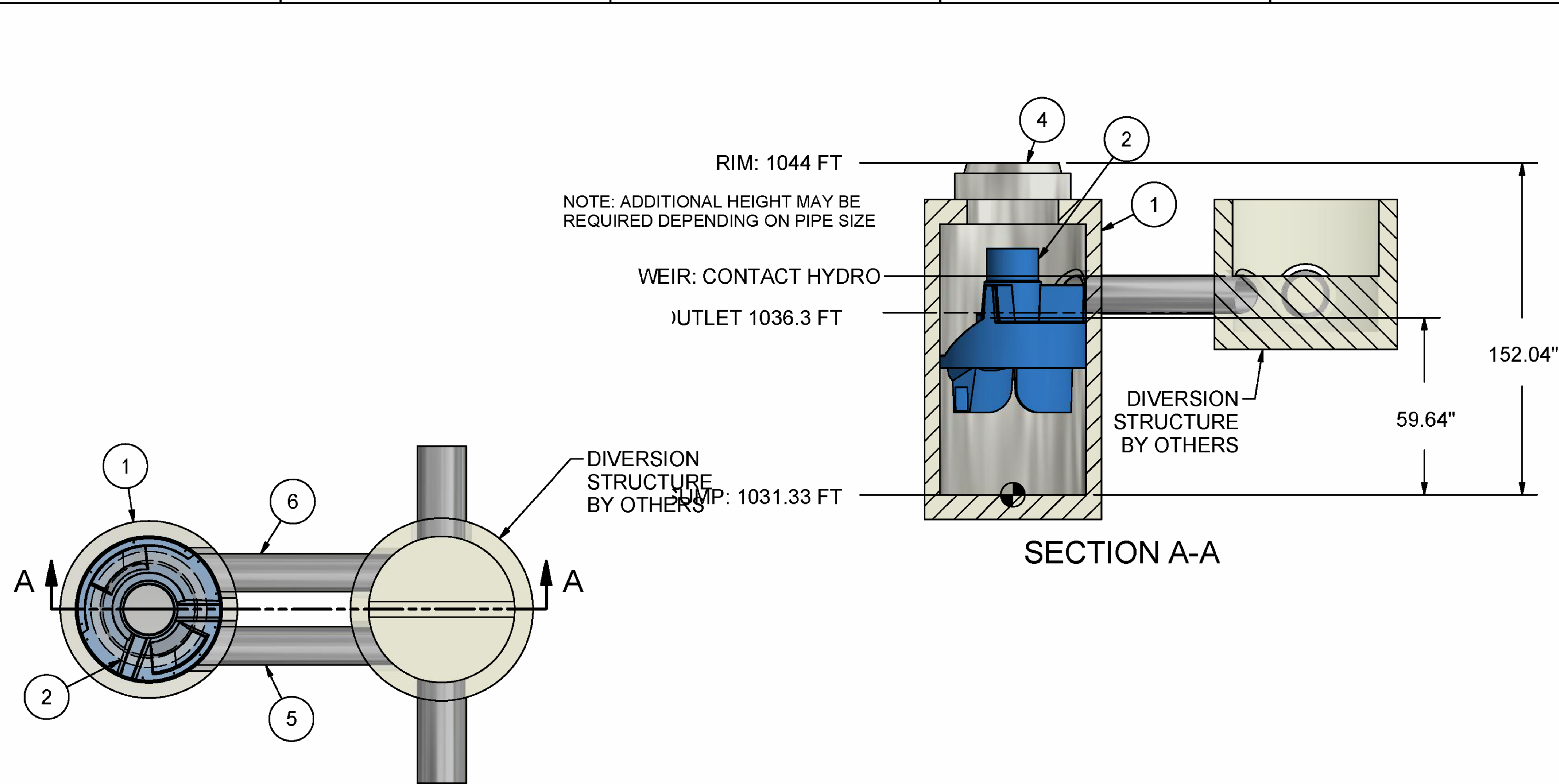
September 23, 2021

REVISIONS

#	DATE	DESCRIPTION	INIT

JOB NO:
00047

SHEET:
10 of 13



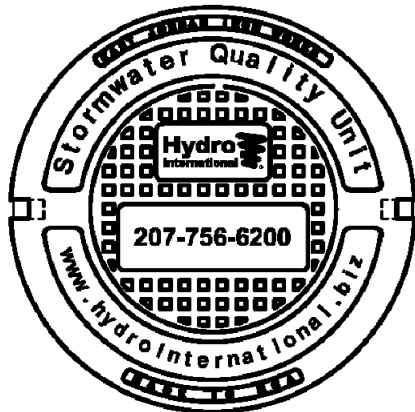
CAPACITIES:

1. PEAK HYDRAULIC FLOW: 17.89 cfs
2. SEDIMENT STORAGE CAPACITY: 0.7 yd3
3. OIL STORAGE CAPACITY: 191 gal
4. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
5. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.

GENERAL NOTES :

1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
2. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plans)
3. Peak flow rate and minimum height limited by available cover and pipe diameter.

ANY WARRANTY GIVEN BY HYDRO INTERNATIONAL WILL APPLY ONLY TO THOSE ITEMS SUPPLIED BY IT. ACCORDINGLY HYDRO INTERNATIONAL CANNOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURE, PLANT, OR EQUIPMENT, (OR THE PERFORMANCE THEREOF) DESIGNED, BUILT, MANUFACTURED, OR SUPPLIED BY ANY THIRD PARTY. HYDRO INTERNATIONAL HAVE A POLICY OF CONTINUOUS DEVELOPMENT AND RESERVE THE RIGHT TO AMEND THE SPECIFICATION. HYDRO INTERNATIONAL CANNOT ACCEPT LIABILITY FOR PERFORMANCE OF ITS EQUIPMENT, (OR ANY PART THEREOF), IF THE EQUIPMENT IS SUBJECT TO CONDITIONS OUTSIDE ANY DESIGN SPECIFICATION. HYDRO INTERNATIONAL OWNS THE COPYRIGHT OF THIS DRAWING, WHICH IS SUPPLIED IN CONFIDENCE. IT MUST NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED AND MUST NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT PRIOR PERMISSION IN WRITING FROM HYDRO INTERNATIONAL.



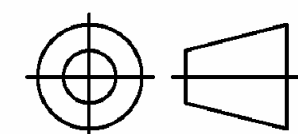
HYDRO FRAME AND
COVER (INCLUDED)
GRADE RINGS BY OTHERS
AS REQUIRED

NOTE:

- NOT FOR CONSTRUCTION. CONTACT HYDRO FOR SITE SPECIFIC DETAIL.
- MAX PIPE SIZE MAY NOT BE POSSIBLE IN OFFLINE CONFIGURATION.

PARTS LIST		
ITEM	DESCRIPTION	SIZE (in)
1	I.D. PRECAST MANHOLE	48
2	INTERNAL COMPONENTS (PRE-INSTALLED)	
4	FRAME AND COVER (ROUND)	30
5	OUTLET PIPE(BY OTHERS)	12
6	INLET PIPE(BY OTHERS)	12

PROJECTION



IF IN DOUBT ASK

COMMENTS:

1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

REVISION HISTORY

REV	BY	DESCRIPTION	DATE
-	-	FIRST RELEASE	

DATE: SCALE: NTS

DRAWN BY: ER CHECKED BY: APPROVED BY:

Title:
4 FT FIRST DEFENSE®
HIGH CAPACITY

Site:
Leicester

Structure No:
STU1

Hydro
International
hydro-int.com
HYDRO INTERNATIONAL

WEIGHT: N/A MATERIAL:

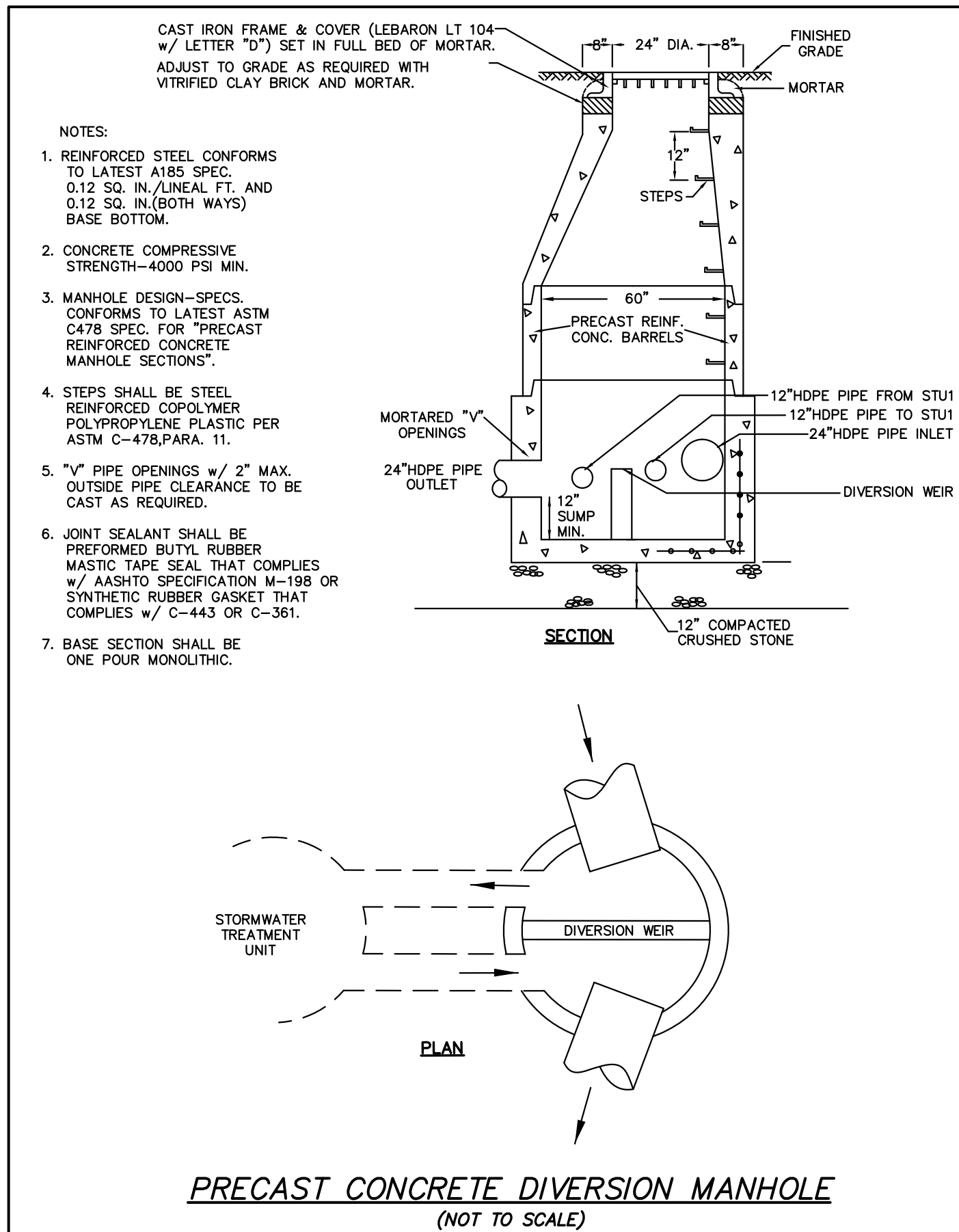
REFERENCE NUMBER:
21_12_1395

DRAWING NO.:

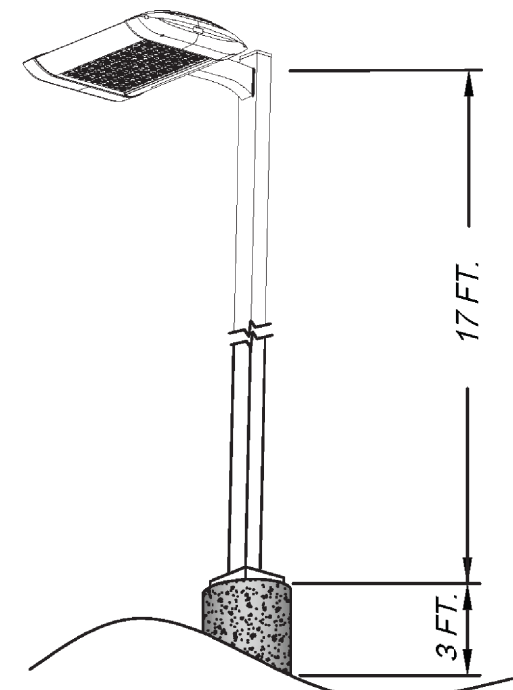
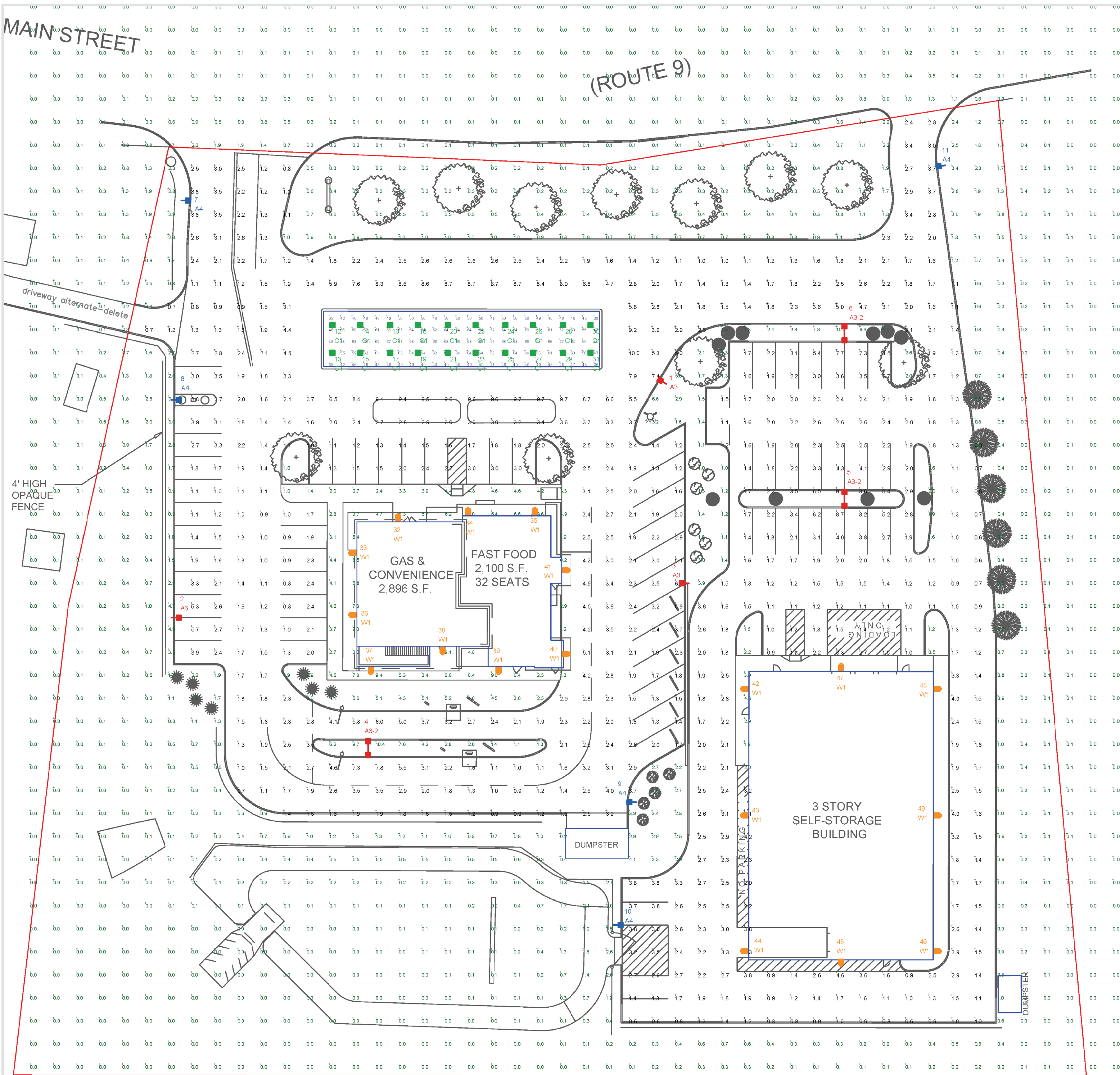
SHEET SIZE: B SHEET: 1 OF 1 Rev: -

Bruce@Allen-EA.com

4/5/2021



PRECAST CONCRETE DIVERSION MANHOLE
(NOT TO SCALE)



NOTE:
- ALL AREA LIGHTS ON NEW 17 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	56.03	68	35	1.60	1.94
PAVED	2.54	10.0	0.6	4.23	16.67
UNDEFINED	0.60	10.4	0.0	N.A.	N.A.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3	20
2	A3	20
3	A3	20
4	A3-2	20
5	A3-2	20
6	A3-2	20
7	A4	20
8	A4	20
9	A4	20
10	A4	20
11	A4	20
12	C1	15
13	C1	15
14	C1	15
15	C1	15
16	C1	15
17	C1	15
18	C1	15
19	C1	15
20	C1	15
21	C1	15
22	C1	15
23	C1	15
24	C1	15
25	C1	15
26	C1	15
27	C1	15
28	C1	15
29	C1	15
30	C1	15
31	C1	15
32	W1	12
33	W1	12
34	W1	12
35	W1	12
36	W1	12
37	W1	12
38	W1	12
39	W1	12
40	W1	12
41	W1	12
42	W1	15
43	W1	15
44	W1	15
45	W1	15
46	W1	15
47	W1	15
48	W1	15
49	W1	15

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	3	A3	SINGLE	11175	1.030	B2-U0-G2	72	216	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	3	A3-2	D180	11175	1.030	B2-U0-G2	72	432	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	5	A4	SINGLE	11174	1.030	B2-U0-G2	72	360	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
	20	C1	SINGLE	12516	1.030	B3-U0-G1	91.19	1823.8	Cree Lighting	CPY250-B-DM-F-13L-UL-XX-57K
	18	W1	SINGLE	4270	1.030	B1-U0-G1	31	558	Cree Inc	XSPW-B-WM-3ME-4L-57K-UL-XX

DISCLAIMER
ANY SITE PLANS, FLOOR PLANS, RENDERINGS, LIGHTING LAYOUTS AND PHOTOMETRIC PLANS INCLUDING BUT NOT LIMITED TO ANY PROJECTS CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RECREATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDINGS, SURROUNDING AREA FOR PRODUCTS (SUCH AS EXISTING POLES), ANCHOR BOLTS, BASE(S), ARCHITECTURAL AND SIGNAGE STRUCTURES, LANDSCAPING PLANS, LIGHTING PLANS, FUTURE SELECTIONS AND PLACEMENT, MATERIALS, COLOR ACCURACY, TEXTURES, AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC., DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK. THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSON(S) IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWINGS, OR PROJECT(S) IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY LOCATIONS OF EMERGENCY LIGHTING SHOWN WERE PROVIDED BY OTHERS. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INSUFFICIENT LIGHTING DURING AN EMERGENCY EVENT. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAYME J. LEONARD IS STRICTLY PROHIBITED.

SCALE:
1" = 30'
LAYOUT BY:
LMP
DWG SIZE:
D
DATE:
04/30/21

PROJECT NAME:
MOBIL/BURGER KING
LEICESTER, MA
DRAWING NUMBER:
RL-7353-S1-R1

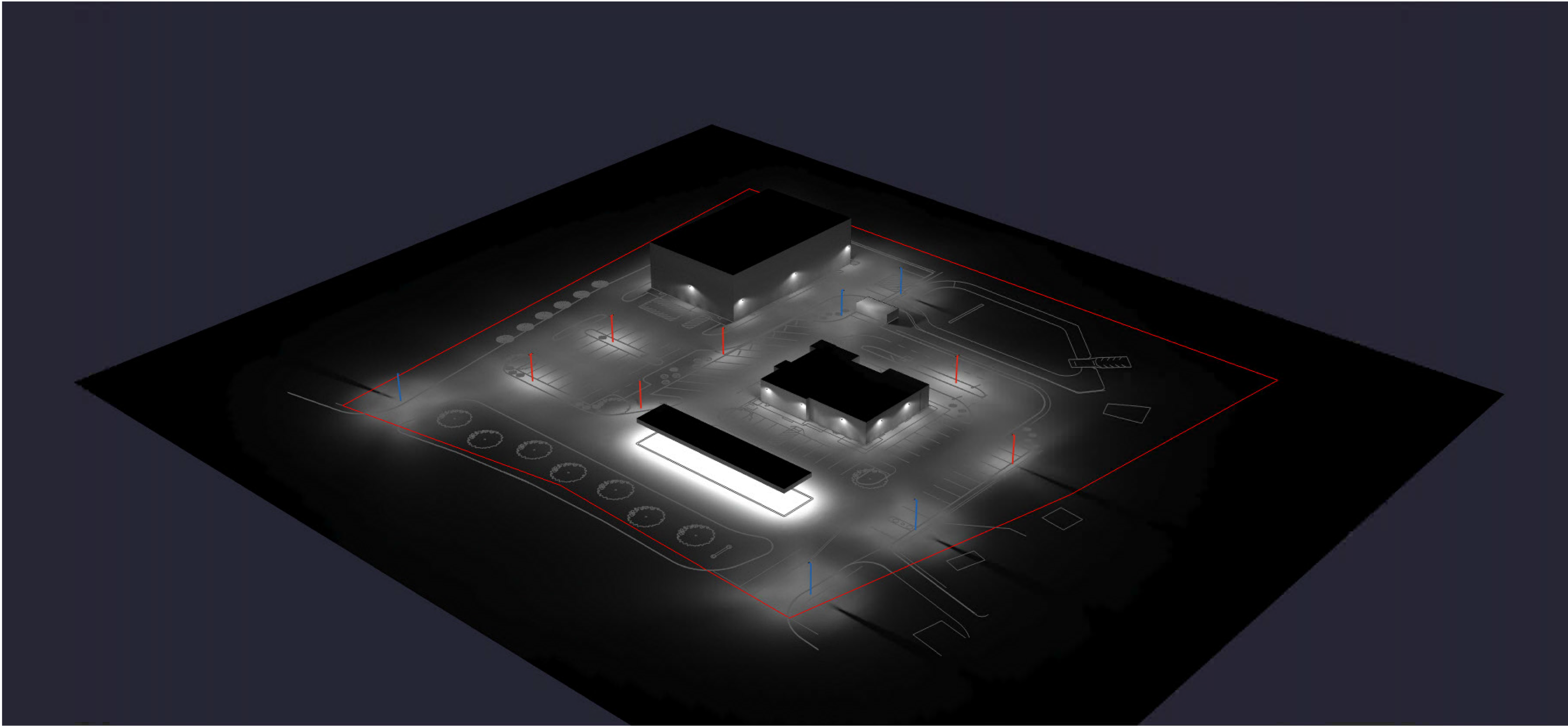


RED LEONARD ASSOCIATES
1340 Kemper Meadow Dr, Forest Park, OH 45240
513-674-9600 | redleonard.com

REV.	BY	DATE	DESCRIPTION
R1	LMP	08/19/21	REVISED TO INCLUDE SELF STORAGE PARKING

LIGHTING
PHOTOMETRIC PLAN

JOB NO:
00047
SHEET:
11 of 13



REDLEONARD ASSOCIATES
1340 Kemper Meadow Dr, Forest Park, OH 45240
513-574-9500 | redleonard.com

ANY SITE PLANS, FLOOR PLANS, RENDERINGS, LIGHTING LAYOUTS AND PHOTOMETRIC PLANS INCLUDING BUT NOT LIMITED TO ANY PROJECTS CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RECREATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDINGS, SURROUNDING AREA FOR PRODUCT(S) SUCH AS EXISTING POLES, ANCHOR BOLTS, BASES, ARCHITECTURAL AND SIGNAGE STRUCTURES, LANDSCAPING PLANS, LIGHTING PLANS, FUTURE SELECTIONS AND PLACEMENT, MATERIALS, COLOR ACCURACY, TEXTURES, AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK. THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSONS IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). DIMENSIONS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWING(S), OR PROJECT(S) IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAYME J. LEONARD IS STRICTLY PROHIBITED.

PROJECT NAME:
**MOBIL/BURGER KING
LEICESTER, MA**
DRAWING NUMBER:
RL-7353-S1-R1



LIGHTING ISOMETRIC
ELEVATION

JOB NO:
00047
SHEET:
13 of 13



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers, Surveyors &
Land Development Consultants

ADDRESS

One Charlesview Road,
Suite 2
Hopedale, MA 01747

PHONE

(508) 381-3212

WEB SITE

www.allen-ea.com

November 12, 2021

Town of Leicester Planning Board
3 Washburn Square
Leicester, MA 01524-1333

Re: #1603 - #1605 Main Street
AEA Project 00047

Dear Members of the Board:

Allen Engineering & Associates, Inc. (AEA) hereby submits the following narrative in compliance with Site Plan Review Regulation II.E.2.

Reference – Leicester Zoning By-Laws §5.2.05 Standards for Site Plan Approval

- A. The use complies with all the provisions of the Leicester Zoning By-Law;
 - *The proposed uses of a retail store and restaurant are permitted by right in the HB-1 zone. The proposed uses of gasoline station, drive-through facility and rental enclosed self-storage facility are permitted after an issuance of a special permit by the Planning Board.*
- B. The use will not materially endanger or constitute a hazard to the public health and safety;
 - *The project proponent has submitted an Environmental Notification Form (ENF) which has been reviewed with respect to public health and safety and has been issued a certificate by the Secretary of Energy and Environmental Affairs.*
- C. The use will not create undue traffic congestion or unduly impair pedestrian safety;
 - *The project is under review by the Massachusetts Department of Transportation. In consultation with MassDOT the project proponent has committed to construct a buffered bicycle lane within Main Street as well as providing a permanent highway easement to enable sidewalk installation in the future. This will dramatically enhance pedestrian safety in the area.*
- D. Sufficient off-street parking exists or will be provided to serve the use;
 - *The project parking exceeds the number of spaces required by the Zoning By-Law.*

- E. The use can be adequately served by water, sewer, and other necessary utilities, or if these are un-available, that they will be brought to the site at the owner's expense; or, the Planning Board is satisfied that the proposed alternatives will comply with all applicable regulations; and,
- *The use will be adequately served by water, sewer, and other necessary utilities. A letter from the Leicester Water District has been submitted previously.*
- F. The use will not result in a substantial increase of volume or rate of surface water runoff to neighboring properties and streets, nor will result in pollution or degradation to surface water or groundwater;
- *The Drainage Analysis Report demonstrates compliance with this requirement.*
- G. The use will not result in any undue disturbance to adjoining property owners or the Town caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, glare, etc.
- *As stated in item B above, the proposed use has been reviewed in this respect and a certificate has been issued by the Secretary of Energy and Environmental Affairs.*

Thank you for your attention to these matters, if additional information is required or if you have a question regarding this correspondence, please contact me at (508) 381-3212 x105 or by email at mark@allen-ea.com.

Sincerely,
ALLEN ENGINEERING
& ASSOCIATES, INC.



Mark E. Allen, PE
President

cc: Jean Skaff



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers, Surveyors &
Land Development Consultants

ADDRESS
One Charlesview Road,
Suite 2
Hopedale, MA 01747

PHONE
(508) 381-3212

WEB SITE
www.allen-ea.com

November 12, 2021

Town of Leicester Planning Board
3 Washburn Square
Leicester, MA 01524-1333

Re: #1603 - #1605 Main Street

Dear Members of the Board:

Allen Engineering & Associates, Inc. (AEA) has received a peer review letter from Quinn Engineering, Inc. dated October 25, 2021 related to the site plan application for the above referenced property. Below please find the original comments along with our (AEA) responses.

1. The Applicant must confirm that the building, including the fascia, will conform to the setback requirements. (§4.2)
AEA- Building locations, including the fascia will conform to the setback requirements setbacks.
2. A designated loading space is not proposed at #1605 Main Street. The Applicant must identify how deliveries will be made and why a loading space is not required. (§5.1.01, LPR IV.H)
AEA- Business owners typically arrange deliveries during off-peak hours. The parking to be provided at #1605 exceeds the required amount by seven parking spaces which is equivalent to 1,400 square feet. If needed, the owner could temporarily reserve a 20' x 70' area for deliveries without impacting the required parking.
3. §5.5.02.1.C recommends only one curb cut per lot, however, it is understood that the second, easterly curb cut was encouraged by MA DOT. The two curb cuts are proposed in a similar configuration that had been previously approved.
AEA- Defer to the Board. §5.5.02.1.C additionally states "No more than two (2) curb cuts shall be permitted per lot".
4. Parking is required to the side or rear of the structure to the maximum extend feasible. The Applicant must demonstrate why parking cannot be located behind the building proposed at #1603 Main Street. (§5.5.02.1.A.4)
AEA- There is not sufficient width to place the parking on either side of the building. The main building entrance, which contains the buildings handicap accessible elevators, faces the street as is typical for most businesses. Placing parking behind the building would conflict with the intent of the Americans with Disabilities Act to provide the shortest accessible route.

5. The submitted photometric plan identifies light spillage over 1 foot-candle on the adjacent property. The Applicant must demonstrate that lighting does not shine beyond the property lines. (§5.5.02.1.A.7 and LPR IV.G)

AEA- *A wooded area near the entrance/new traffic light installation approximately 125 feet from the existing building is shown to have a small area of over 1 foot-candle due to the proximity of the light that illuminates the project entrance. AEA defers to the Board as the cited regulations do not provide a maximum foot-candle measurement.*

6. On the proposed plan, patrons parking in the northernmost spaces on #1603 Main Street must walk between other parking spaces and cross the landscaped island to access the proposed building. A walkway is recommended to provide access through the middle rows of parking and landscaped island. (§5.5.02.1.A.8, LPR IV.F, LR IV.C)

AEA- *Two five-foot wide walkways added.*

7. Doors at the proposed drive through windows will force pedestrians to walk across/along the drive through lanes. The Applicant should consider providing alternative door locations. (§5.5.02.1.A.8, LPR IV.F, LR IV.C)

AEA- *Doors at the proposed drive through windows are for employee access only.*

8. Calculations have been provided to confirm that the proposed landscaping meets the 5% area requirement listed in §5.5.02.2.I. This office defers to the Board on the location and type of landscaping to be provided.

AEA- *Defer to the Board.*

9. The waiver requested from §5.5.02.2.B specifies a buffer width of 48.4 feet. The Applicant should also reference the minimum buffer width proposed in the waiver request.

AEA- *A second dimension of 22.4 feet has been added to the plan.*

10. Parking is proposed on the western side of the property within the area that would typically be designated as a landscape buffer. This office defers to the Board if a waiver from §5.5.02.2.H should be included in the waiver requests. Parking was not in this location on the previously approved plan.

AEA- *As noted in item 9, an additional dimension of 22.4 feet has been shown to clarify the width of the proposed buffer at the parking area (22.4' – 48.4'). Under §5.5.02.2.B "A landscaped buffer 50 feet shall be provided where a non-residential use abuts a residential use." However, §5.5.02.2.D states that the Planning Board has sole discretion to reduce the required buffer to 20 feet if an opaque fence and/or other comparable method is provided to adequately buffer the abutting residential use. Therefore, if the Board finds that the fence and buffer, as proposed, are adequate to buffer the abutting residential use the parking would not be within a required buffer and a waiver would not be necessary.*

11. The narrative provided by Allen Engineering & Associates, Inc. identifies that the hours of operation for the building proposed at #1605 Main Street are from 5 AM to 12 PM. The Applicant should confirm the expected closing time. (SPRR II.E.1.a)

AEA- *Expected closing time is 12 o'clock midnight.*

12. The Board may wish that the submitted narrative specifically identify how each point in Section 5.2.05 are met. (SPRR II.E.2)

AEA- *An additional narrative meeting this requirement is enclosed.*

13. This office defers to the LWSD regarding the sewer and water service configurations. (SPRR II.E.I)

AEA- *Response not required.*

14. The Applicant should identify the proposed development schedule. (SPRR II.E.4)

AEA- *The proponent anticipates having all necessary approvals by the spring of 2022. Construction on building #1605 Main Street along with the state highway improvements will begin immediately and is expected to be completed early summer of 2023. The building at #1603 Main Street is expected to be constructed within two years of the completion of building #1605. Or approximately the summer of 2025.*

15. Colors of the building proposed at #1603 Main Street must be provided. Also, the Board may request that color renderings of the proposed buildings be submitted. (SPRR II.F)

AEA- *The colors will match the building at #1605 – gray wall panels with red accent fascia trim. A color rendering of a typical building similar to #1605 will be presented to the Board at the upcoming meeting.*

16. The locus plan provided does not meet some of the requirements specified in SPRR II.G.

AEA- *Defer to the Board.*

17. Landscape buffers must be a mixture of trees, shrubs, ground covers. Alternatively, the Board may allow the use of opaque screening (ie. a fence) in lieu of landscaping. The proposed landscaping around the perimeter of the property varies from that which was previously approved. This office defers to the Board regarding the location and type of the proposed landscaping.

AEA- *Defer to the Board.*

18. The dimensions of the rip rap aprons must be provided. Calculations supporting the dimensions should also be provided. (MA DEP Standard 1)

AEA- *Rip rap detail added to sheet 10.*

19. The drainage analysis identifies an increase in runoff rates to the adjacent property at the southeasterly design point. The increase must be attenuated. (MA DEP Standard 2)

AEA- *Revised drainage analysis enclosed showing no increase to the adjacent property at the southeasterly design point.*

20. Woodbridge soils are classified with a dual hydrologic soil group as C/D. The first letter represents the "drained" condition and the second letter represents the "undrained". Since on site soil testing identified the high groundwater table at greater than 24 inches, the "drained" letter designation (HSG C) should be used. The analysis and other calculations should be updated to reflect HSG C.

AEA- *Revised drainage analysis enclosed utilizing HSG C data.*

21. Catch basins are to be designed as off-line systems. The proposed outlet from DRI should be rerouted to a manhole instead of discharging to CB8. DRI should also be provided with a hood on the outlet to capture oil and floatables. (MA DEP Handbook Vol. 2, Ch. 2, page 3-5)
AEA- Due to shallow ledge conditions a sump structure in the area of DR1 is not feasible. DR1 functions as both an inlet and a junction/cleanout for the proposed trench drains. The site plan and calculations have been revised to route this structure to a new sump manhole with trap (DMH7).
22. For consistency, the time of concentration used in the post-development catchment 1S should be similar to that used in the pre-development catchment 2S.
AEA- Time of concentration has been adjusted, revised drainage analysis enclosed.
23. The traffic report identifies that the property at #1621 Main Street has been granted and access easement in order to access the traffic signal. The Applicant should identify the location of the proposed easement and the Board may wish that a copy of the easement agreement be submitted.
AEA- This was an initial alternate discussion, and is no longer proposed.
24. Work is proposed on the adjacent property at #1621 Main Street and is labeled on plan as "Grading Agreement w/ Abutter". It is recommended that documentation of the agreement/easement to be submitted.
AEA- The right of entry and grading easement are required by MassDOT in conjunction with their on-going review of the state highway improvements. When the document becomes available AEA will forward to the Board.
25. The proposed dumpster location at #1605 Main Street will require a front loading trash truck to drive the wrong way against the traffic flow. The Applicant should clarify the trash removal procedure and, if necessary, consider a dumpster location that doesn't require a trash truck to drive against traffic flow.
AEA- Business owners usually schedule trash removal during off-peak hours, however, a rear loading truck could proceed with traffic in the by-pass lane, back up, load and proceed forward with traffic.
26. Review by the Fire Department of the proposed site access, hydrant location, etc. is recommended.
AEA- Defer to the Board.
27. This office has not reviewed the proposed work in Main Street (Route 9) as it falls under the purview of MA DOT.
AEA- Response not required.
28. There are specific site design requirements at gas pumps (spill storage, bollards, etc.). Those items do not fall under the scope of this review.
AEA- Response not required.
29. This office has not reviewed the proposed sign since the sign permit is issued by the Zoning Board of Appeals.
AEA- Response not required.
30. Labels should be provided on plan for radii, curb type, accessible signs, etc. and dimensions should be provided for aisles, islands, walkways, etc.
AEA- Sheet 4 shows granite curb radii and curb type. Accessible signage and additional dimensions are also

provided.

31. Details should be provided for several site related items (ie. guardrails, fences, bollards, retaining wall, curb stops, etc.).

AEA- *Water infrastructure (curb stops, etc.) will be installed in compliance with the Leicester Water Supply District standard details. Guardrail and fence detail added to sheet 10. Retaining wall details will be provided to the building department during building permit application, if required.*

32. A guardrail is recommended on the top of the retaining wall in lieu of a fence. This office's experience has been that wheel stops, like those currently proposed, tend to get damaged over time and are removed. In that case, a guardrail would be a better option along the top of the wall.

AEA- *Recommendation acknowledged.*

33. It appears that the invert and rim elevations listed for CB7 in the drain schedule are mislabeled.

AEA- *Labels have been corrected.*

34. The weir elevation and inlets/outlet elevations must be labeled in the diversion manhole detail.

AEA- *Labels added.*

35. It is recommended that a solid surface be installed across the emergency spillway to provide a consistent spillway elevation and that the rip rap be placed on either side of the solid surface.

AEA- *Revised drainage analysis enclosed, 100-year flood event doesn't exceed emergency spillway elevation.*

36. It is recommended that the emergency spillway elevation be set at elevation 1039 so that stormwater enters the overflow on the outlet structure before flowing over the spillway.

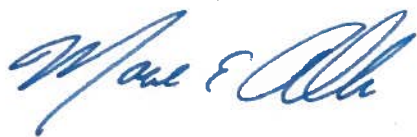
AEA- *Revised drainage analysis enclosed. Outlet structure rim set to 1038.88, emergency spillway elevation adjusted to 1039.2.*

37. "Do Not Enter" signs are recommended where the one-way traffic of the drive through enters two-way traffic parking area.

AEA- *Signs added.*

Thank you for your attention to these matters, if additional information is required or if you have a question regarding this correspondence, please contact me at (508) 381-3212 x105 or by email at mark@allen-ea.com.

Sincerely,
ALLEN ENGINEERING
& ASSOCIATES, INC.



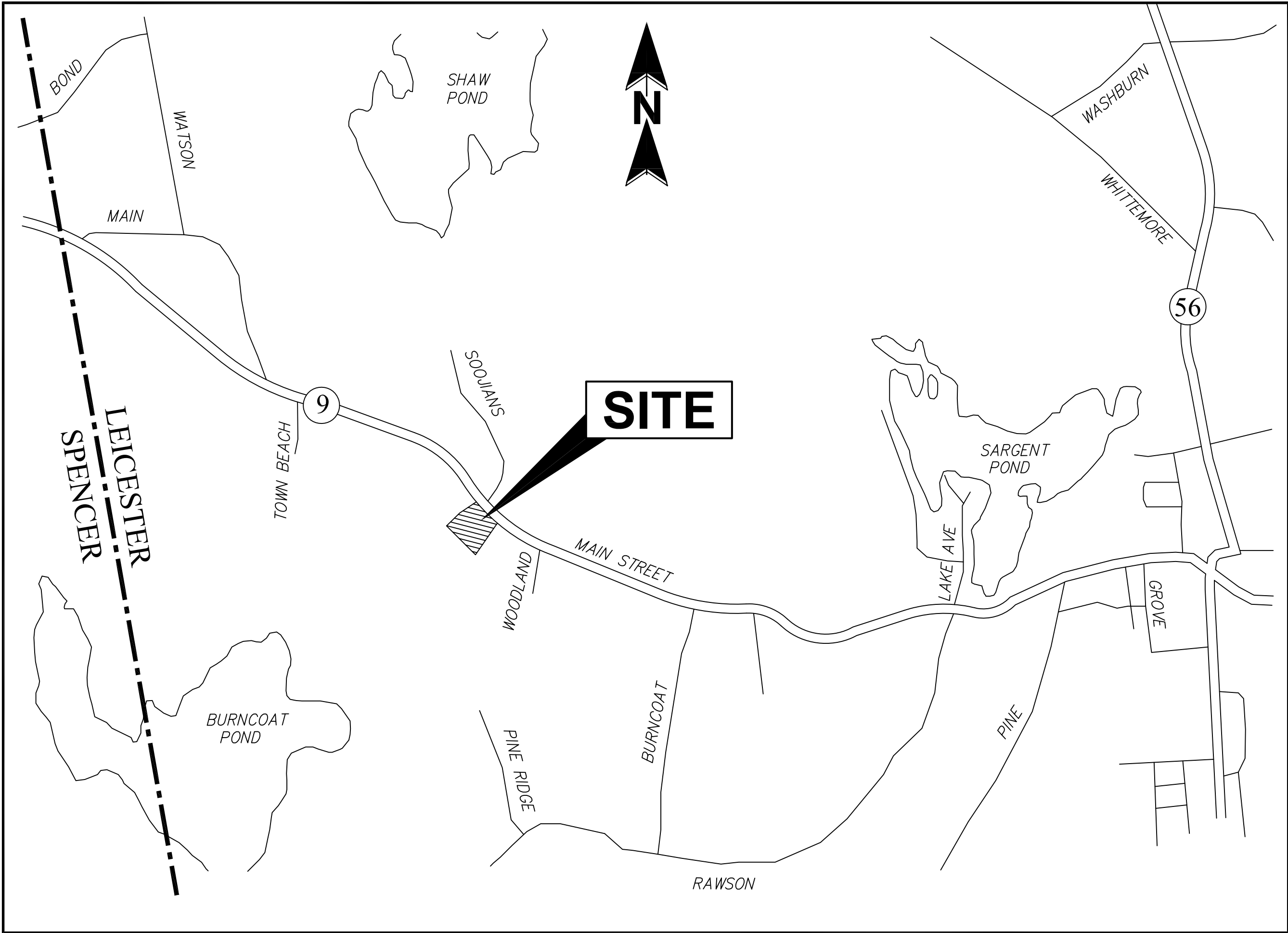
Mark E. Allen, PE
President

cc: Jean Skaff

Site Development Plan at #1603 - #1605 Main Street Leicester, Massachusetts

Plan Date: September 23, 2021

Revisions			
1	11/12/21	PER COMMENTS	BSW
NO.	DATE	DESCRIPTION	BY



LOCUS MAP

Scale: 1 " = 1,000 ± Feet

Prepared By:

Architect
Bertin Engineering
66 Glen Avenue,
Glen Rock, NJ 07452



**ALLEN ENGINEERING
& ASSOCIATES, INC.**

Civil Engineers • Surveyors
Land Development Consultants

One Charlesview Road
Suite 2

Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allen-ea.com

Traffic Consultant
Ron Müller & Associates
56 Teresa Road,
Hopkinton, MA

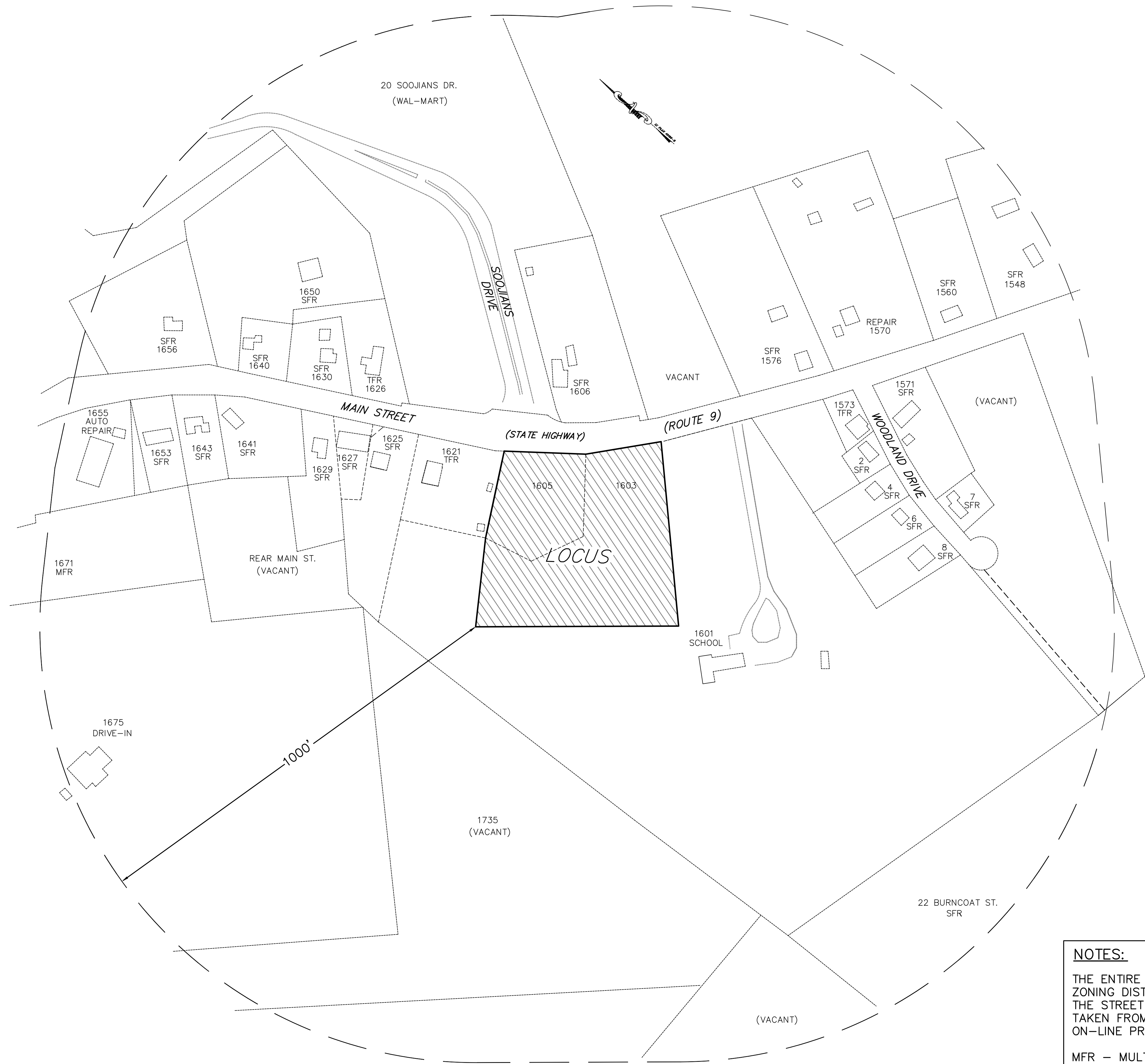
APPROVED BY THE LEICESTER PLANNING BOARD

DATE:

Owner
Leicester Main, LLC
One Charlesview Road, Suite 1
Hopedale, MA 01747

Applicant
Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

PLAN INDEX	
COVER SHEET	1
LOCUS PLAN	2
EXISTING CONDITIONS PLAN	3
SITE LAYOUT PLAN	4
SITE UTILITIES & LIGHTING PLAN	5
GRADING & DRAINAGE PLAN	6
LANDSCAPE & EROSION CONTROL PLAN	7
CONSTRUCTION DETAILS-1	8
CONSTRUCTION DETAILS-2	9
CONSTRUCTION DETAILS-2	10
LIGHTING PHOTOMETRIC PLAN	11
LIGHTING DETAIL PLAN	12
LIGHTING ISOMETRIC ELEVATION	13



NOTES:
THE ENTIRE AREA SHOWN IS WITHIN THE HB-1 ZONING DISTRICT.
THE STREET ADDRESSES AND USES SHOWN TAKEN FROM THE TOWN GIS WEBSITE AND ON-LINE PROPERTY DATABASE.

MFR – MULTI-FAMILY RESIDENTIAL
SFR – SINGLE-FAMILY RESIDENTIAL
TFR – TWO FAMILY RESIDENTIAL

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

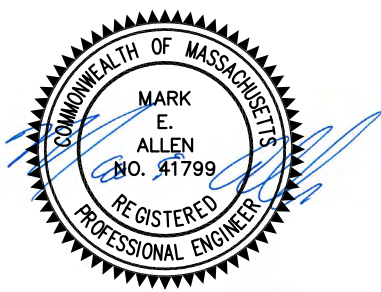
ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODOE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020. PROPERTY LINES AND STRUCTURES BEYOND THE IMMEDIATE VICITY OF LOCUS HAVE BEEN COMPILED FROM AVAILABLE GIS MAPS AND ARE APPROXIMATE ONLY.

3. LOCUS FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.



PROFESSIONAL ENGINEER

PREPARED FOR:

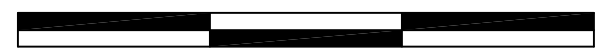
Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

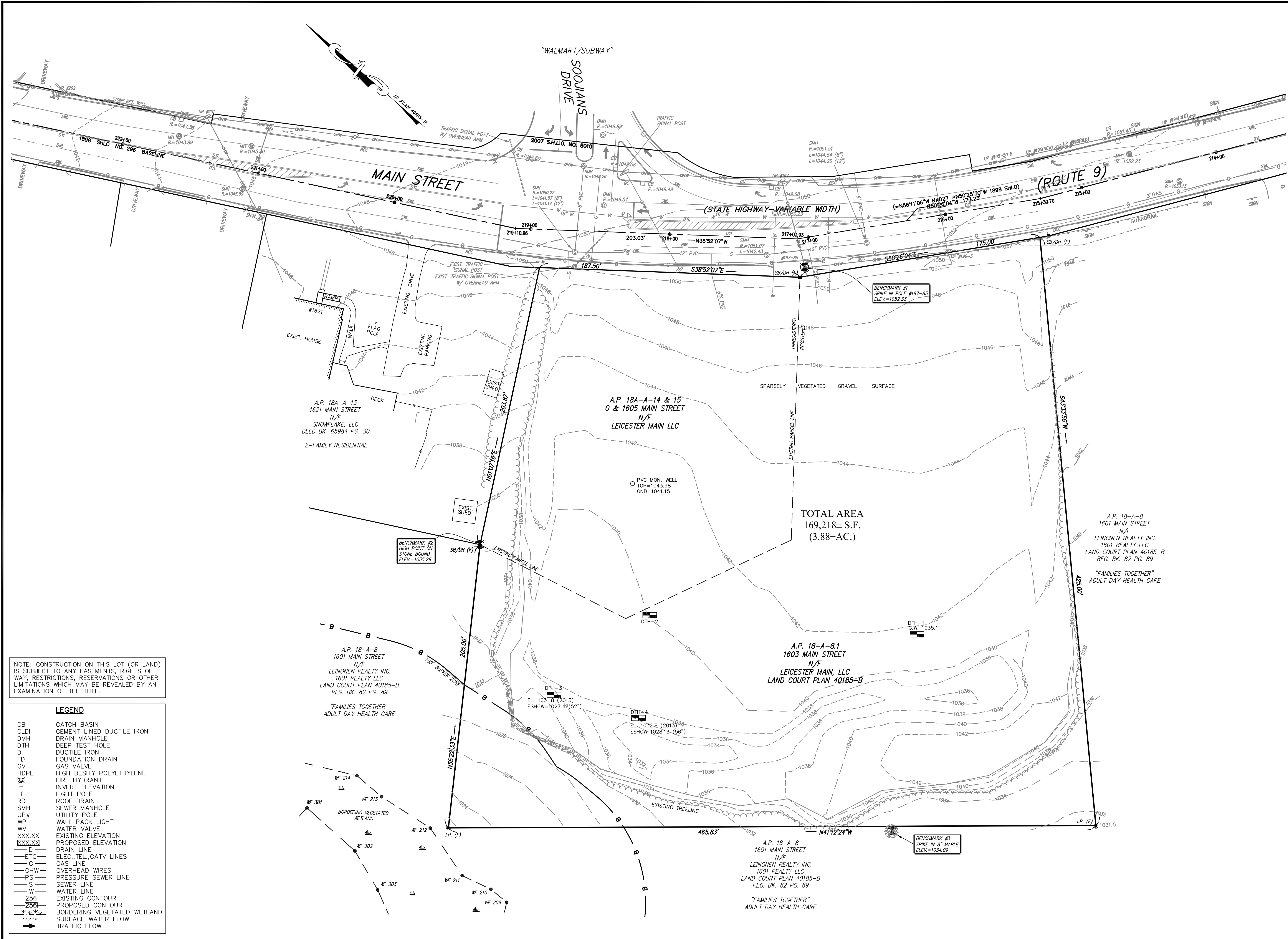
TITLE:

LOCUS PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:


ALLEN ENGINEERING & ASSOCIATES, INC.
Civil Engineers • Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allen-rea.com

SCALE:		1"=120 FEET	
			
DATE:		September 23, 2021	
REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW
JOB NO:		SHEET:	
00047		2 of 13	



LOCUS REFERENCES
ASSESSORS PARCEL: 18-A-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
REG. BK. 85, PG. 156
LAND COURT PLAN 40185-B, LOT 1

ASSESSORS PARCEL: 18A-A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.
2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

11/12/21

PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:
**EXISTING CONDITIONS
PLAN**
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

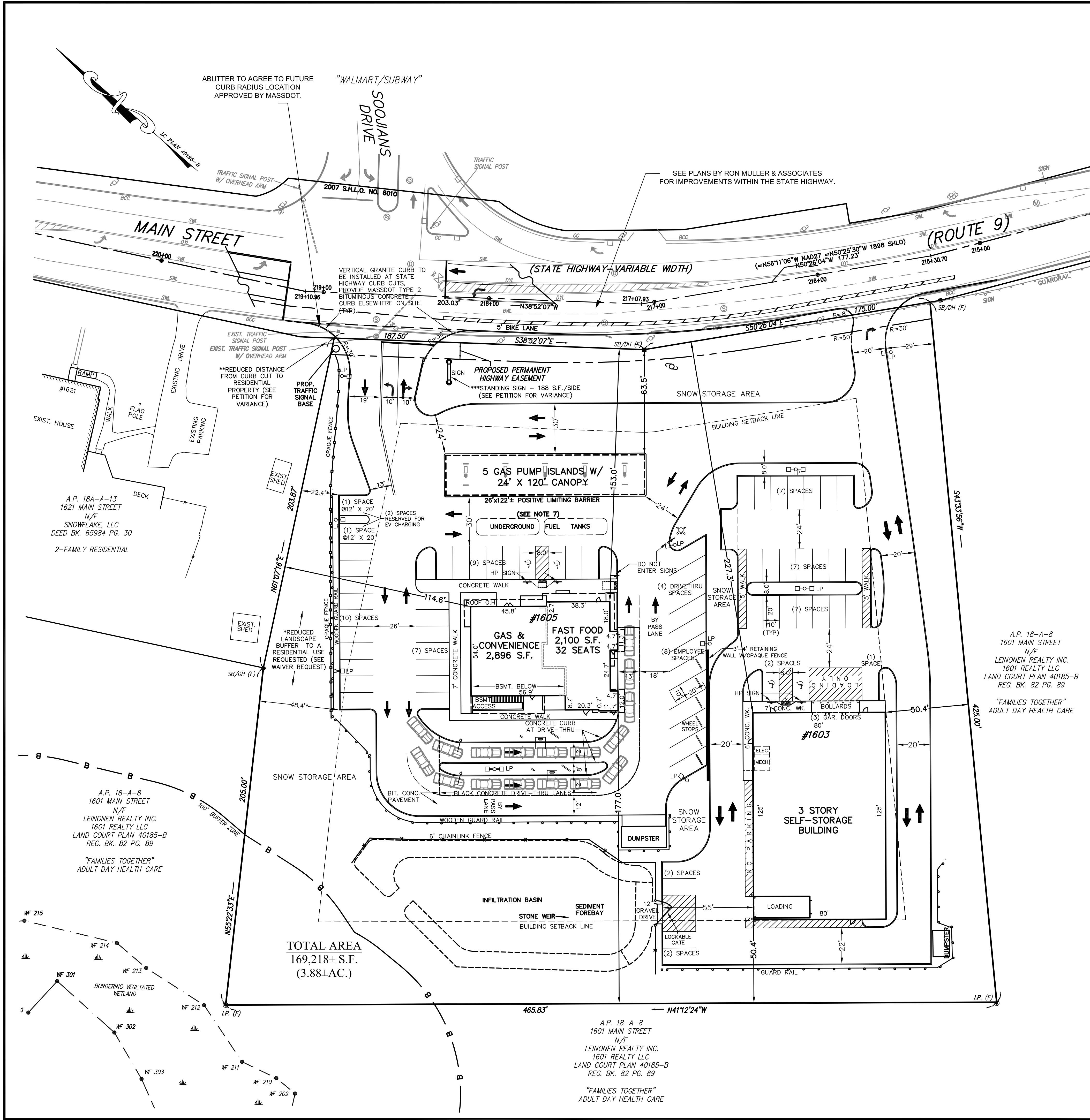
**ALLEN ENGINEERING
& ASSOCIATES, INC.**
Civil Engineers • Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedate, Ma 01747
(508) 381-3212 • Phone
www.allen-rea.com

SCALE: 1"=30 FEET

DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW

JOB NO: 00047 SHEET: 3 of 13



LEGEND

CB CATCH BASIN
CLDI CEMENT LINED DUCTILE IRON
DMH DRAIN MANHOLE
DTH DEEP TEST HOLE
DI DUCTILE IRON
FD FOUNDATION DRAIN
GV GAS VALVE
HDPE HIGH DENSITY POLYETHYLENE
FH FIRE HYDRANT
I= INVERT ELEVATION
LP LIGHT POLE
RD ROOF DRAIN
SMH SEWER MANHOLE
UP# UTILITY POLE
WP WALL PACK LIGHT
WV WATER VALVE
XXX.XX EXISTING ELEVATION
XXX.XX PROPOSED ELEVATION
D DRAIN LINE
ETC ELEC., TEL., CATV LINES
G GAS LINE
OHW OVERHEAD WIRES
PS PRESSURE SEWER LINE
S SEWER LINE
W WATER LINE
-256- EXISTING CONTOUR
256 PROPOSED CONTOUR
BORDERING VEGETATED WETLAND
SURFACE WATER FLOW
TRAFFIC FLOW

NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

PLANNING BOARD WAIVER REQUEST:
*REDUCED LANDSCAPE BUFFER TO A RESIDENTIAL USE REQUESTED, BYLAW SECT. 5.5.02.2B. (50 FEET REQUIRED).

PROPOSED - 48.4 FEET, AND REQUEST TO ALLOW PARKING AND DRIVEWAY WITHIN THE BUFFER ADJACENT TO #1621 MAIN STREET. AN OPAQUE FENCE IS PROPOSED WITHIN THE BUFFER TO #1621 TO MITIGATE SCREENING LOST BY REDUCTION OF THE BUFFER.

ZONING BOARD OF APPEALS PETITION FOR VARIANCE:
**REDUCED DISTANCE FROM CURB CUT TO RESIDENTIAL PROPERTY, BYLAW SECT. 5.5.02.1.C.1. (24 FEET REQUIRED).

PROPOSED - 1 FOOT AT #1621 MAIN STREET PROPERTY. THE REDUCTION IS REQUESTED TO ALLOW THE NEW SITE ENTRANCE TO ALIGN WITH THE EXISTING SOOJIAN DRIVE INTERSECTION ACROSS MAIN STREET (ROUTE 9). GRANTING THIS VARIANCE WILL ALLOW A SAFER SIGNALIZED INTERSECTION ON THE STATE HIGHWAY. THIS REQUEST IS MADE NECESSARY DUE TO THE SPECIFIC SHAPE AND TOPOGRAPHY OF THE LOCUS LOT, AND DOES NOT GENERALLY AFFECT THE HB-1 DISTRICT IN WHICH IT IS LOCATED.

ZONING BOARD OF APPEALS PETITION FOR VARIANCE:
***STANDING SIGN - SIZE, BYLAW SECT. 3.2.07-2 (NOT TO EXCEED 30 SQUARE FEET).

PROPOSED - STANDING SIGN WITH AN AREA OF 188 SQUARE FEET ON EACH SIDE. THE VARIANCE IS REQUESTED IN ORDER TO ALLOW THE DISPLAY OF PRICES FOR SEVERAL FUEL GRADES AT SUCH A SIZE AS CAN BE READILY SEEN BY DRIVERS, AND ADDITIONALLY PROVIDE SIGNAGE FOR THE THREE OTHER BUSINESSES ON THE PROJECT SITE. THIS PETITION OWES TO THE CIRCUMSTANCES RELATED SPECIFICALLY TO THE STRUCTURES INVOLVED, WHICH INCLUDE FOUR SEPARATE AND DISTINCT USES PROPOSED ON THIS PARTICULAR SITE, AND NOT AFFECTING GENERALLY THE HB-1 DISTRICT.

ZONING TABLE		#1603	#1605
ZONING DISTRICT: HIGHWAY BUSINESS-INDUSTRIAL 1		REQUIRED	PROPOSED
MIN. LOT SIZE	60,000 S.F.	169,218 S.F.	169,218 S.F.
MINIMUM LOT FRONTAGE	200 FEET	362.50 FEET	362.50 FEET
SETBACKS:			
FRONT	50 FEET	227.3 FEET	153.0 FEET
SIDE	50 FEET	50.4 FEET	114.6 FEET
REAR	50 FEET	50.4 FEET	177.0 FEET
BUILDING COVERAGE:		40% MAX.	9%
MAXIMUM BUILDING HEIGHT	55 FEET	36.2 FEET	18.7 FEET
	5 1/2 STY.	3 STY.	1 STY.
PARKING REQUIREMENTS:			
STALL DIMENSIONS		10' x 20'	10' x 20'
AISLE WIDTH		10' x 20'	10' x 20'
90° PARKING	24'	24'	26'
60° PARKING	16'	16'	18'
NUMBER OF SPACES REQUIRED BY USE:			
RENTAL ENCLOSED SELF-STORAGE (3+1 PER 100 UNITS)	3+3	6	28
RESTAURANT (1 PER EMP. + 1 PER 3 SEATS)	8+32/3=19	33	40
RETAIL (1 PER 200 S.F. GROSS FLOOR SPACE)	2896/200=14		
ADA PARKING REQUIREMENT (26-50 SPACES)	2 SPACES	2 SPACES	2 SPACES
LANDSCAPING REQUIREMENTS:			
5% INTERIOR PARKING LANDSCAPE REQUIRED			
68 PARKING SPACES (10W x 20L) = 13,600 S.F.	680 S.F.	4,215 S.F.	
5% (0.05) x 13,600 S.F. = 680 S.F.			
(1) TREE PER 35 SPACES (68/35) = 1.9	2 TREES	17 TREES	

- LOCUS REFERENCES**
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres
- ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres
- LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.
- NOTES**
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODORE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.
2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.
7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

SITE LAYOUT PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

ALLEN ENGINEERING & ASSOCIATES, INC.
Civil Engineers • Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopdale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

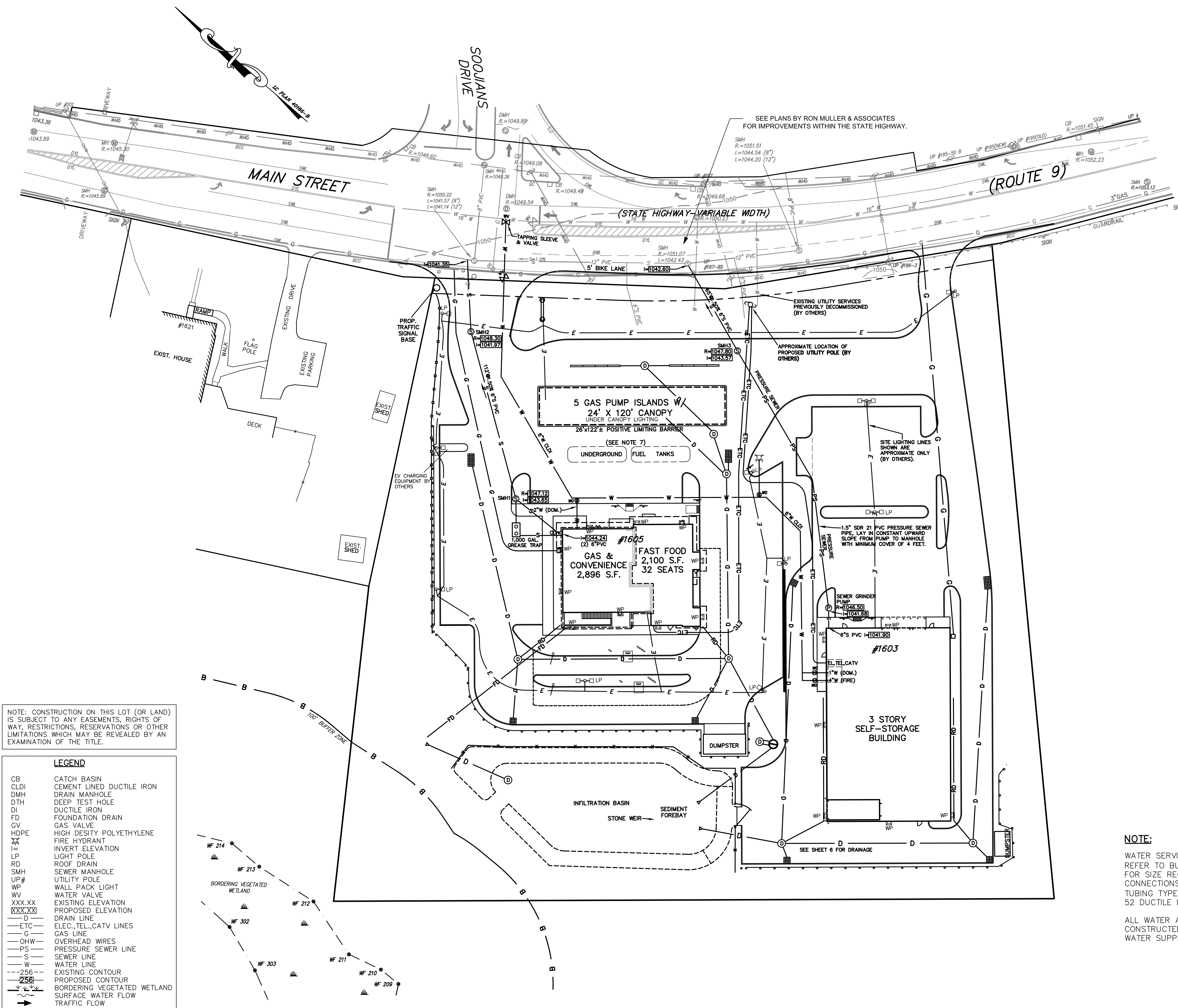
SCALE: 1"=30 FEET

DATE: September 23, 2021

REVISIONS

#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW

JOB NO: 00047 SHEET: 4 of 13



NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEGEND

CB	CATCH BASIN
CLDI	CEMENT LINED DUCTILE IRON
DMH	DRAIN MANHOLE
DTH	DEEP TEST HOLE
DI	DUCTILE IRON
FD	FOUNDATION DRAIN
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HY	FIRE HYDRANT
IE	INVERT ELEVATION
LP	LIGHT POLE
RD	ROOF DRAIN
SMH	SEWER MANHOLE
UP#	UTILITY POLE
WP	WALL PACK LIGHT
WV	WATER VALVE
XXX.XX	EXISTING ELEVATION
XXX.XX	PROPOSED ELEVATION
D	DRAIN LINE
ETC	ELEC., TEL., CATV LINES
G	GAS LINE
OHW	OVERHEAD WIRES
PS	PRESSURE SEWER LINE
S	SEWER LINE
W	WATER LINE
---256---	EXISTING CONTOUR
---250---	PROPOSED CONTOUR
WETLAND	BORDERING VEGETATED WETLAND
WETLAND	SURFACE WATER FLOW
→	TRAFFIC FLOW

NOTE:

WATER SERVICE SIZES ARE SUBJECT TO CHANGE – REFER TO BUILDING MECHANICAL/PLUMBING PLANS FOR SIZE REQUIREMENTS. WATER SERVICE CONNECTIONS UP TO 2 INCHES SHALL BE COPPER TUBING TYPE "K". LARGER SERVICES SHALL BE CLASS 52 DUCTILE IRON DOUBLE CEMENT LINED.

ALL WATER AND SEWER CONNECTIONS SHALL BE CONSTRUCTED PER REGULATIONS OF THE LEICESTER WATER SUPPLY DISTRICT.

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODORE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.

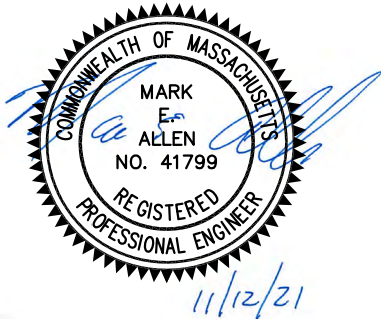
3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

SITE UTILITIES & LIGHTING PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

ALLEN ENGINEERING & ASSOCIATES, INC.
Civil Engineers • Surveyors
Land Development Consultants

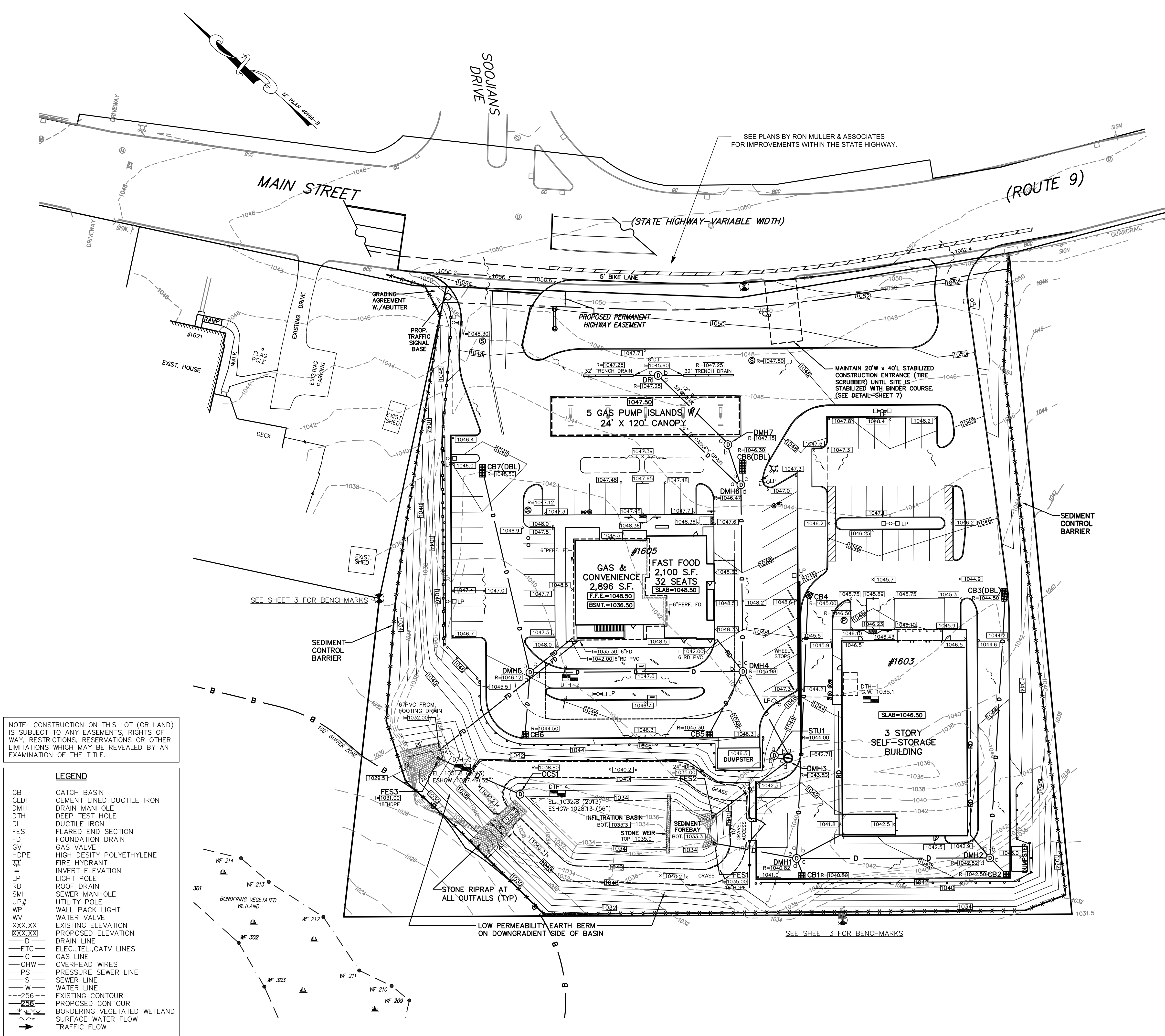
One Charlesview Road
Suite 2
Hopdale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE: 1"=30 FEET

DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW

JOB NO: 00047 SHEET: 5 of 13



NOTE: CONSTRUCTION ON THIS LOT (OR LAND) IS SUBJECT TO ANY EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEGEND	
CB	CATCH BASIN
CLDI	CEMENT LINED DUCTILE IRON
DMH	DRAIN MANHOLE
DT	DEEP TEST HOLE
DI	DUCTILE IRON
FES	FLARED END SECTION
FD	FOUNDATION DRAIN
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	FIRE HYDRANT
I=	INVERT ELEVATION
LP	ROOF DRAIN
RD	SEWER MANHOLE
SMH	UTILITY POLE
UP#	WALL PACK LIGHT
WP	WATER VALVE
WV	EXISTING ELEVATION
XXX.XX	PROPOSED ELEVATION
---D---	DRAIN LINE
---E---	ELEC. TEL. CATV LINES
---G---	GAS LINE
---OHW---	OVERHEAD WIRES
---PS---	PRESSURE SEWER LINE
---S---	SEWER LINE
---W---	WATER LINE
---256---	EXISTING CONTOUR
---258---	PROPOSED CONTOUR
WETLAND	BORDERING VEGETATED WETLAND
WATER	SURFACE WATER FLOW
ARROW	TRAFFIC FLOW

DRAINAGE SCHEDULE

CB1
R=1040.50
I=1036.50 12"HDPE

CB2
R=1042.50
I=1037.95 12"HDPE

CB3 (DOUBLE)
R=1044.50
I=1040.00 12"HDPE

CB4
R=1045.00
I=1040.00 12"HDPE

CB5
R=1045.30
I=1040.30 12"HDPE

CB6
R=1044.50
I=1040.75 12"HDPE

CB7 (DOUBLE GRATE)
R=1045.50
I=1041.50 12"HDPE

CB8 (DOUBLE GRATE)
R=1046.30
I=1040.78 18"HDPE

DMH1
R=1040.82
I(a)=1036.38 12"HDPE
I(b)=1036.32 6"PVC ROOF DRAIN
I(c)=1036.02 15"HDPE
I(d)=1036.38 12"HDPE
I(e)=1035.77 18"HDPE

DMH2
R=1042.82
I(a)=1038.32 6"PVC ROOF DRAIN
I(b)=1037.77 12"HDPE
I(c)=1037.77 12"HDPE
I(d)=1037.52 15"HDPE

DMH3 (S.I.D.)
R=1043.5
I(a)=1036.37 24"HDPE
I(b)=1036.37 12"HDPE
I(c)=1036.20 12"HDPE
I(d)=1035.86 24"HDPE
TOP DIVERSION WEIR=1036.75
(SEE SHEET 10)

DMH4
R=1046.98
I(a)=1039.67 12"HDPE
I(b)=1038.44 18"HDPE
I(c)=1041.50 6"PVC RD
I(d)=1038.84 18"HDPE
I(e)=1037.35 24"HDPE

DMH5
R=1046.12
I(a)=1040.39 12"HDPE
I(b)=1040.22 12"HDPE
I(c)=1041.40 6"PVC RD
I(d)=1039.89 18"HDPE

DMH6
R=1046.47
I(a)=1042.30 6"DI
I(b)=1042.04 12"HDPE
I(c)=1040.68 18"HDPE
I(d)=1040.58 18"HDPE

DMH7 (4' SUMP & OUTLET TRAP)
R=1047.15
I(a)=1042.59 12"DI
I(b)=1042.49 12"HDPE

DRI (DROP INLET)
R=1047.25
I(a)=1045.18 8"DI
I(b)=1045.18 8"DI
I(c)=1043.75 12"DI

OCS1 (OUTLET CONTROL STRUCTURE)
R=1038.88
I=1033.50 18"HDPE
(SEE SHEET 9 FOR INLET ELEVATIONS)

STU1 (STORMWATER TREATMENT UNIT)
R=1044.0
I(a)=1036.30 12"HDPE
I(b)=1036.30 12"HDPE
(SEE SHEET 10)

NOTE:
PROPOSED GRADING SHOWN
REQUIRES 17,400± CUBIC YARDS
OF FILL.

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE
HIGHWAY BUSINESS-INDUSTRIAL 1
DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD
SURVEY PERFORMED BY ODORE SURVEY
& MAPPING IN DECEMBER 2012, AND
UPDATED BY ALLEN ENGINEERING &
ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88
VERTICAL DATUM.

3. THE SITE FALLS WITHIN A FLOOD
ZONE X (AREA OF MINIMAL FLOOD
HAZARD) ACCORDING TO FLOOD
INSURANCE RATE MAP PANEL NUMBER
25027C0780E.

4. THIS SITE DOES NOT CONTAIN
CERTIFIED VERNAL POOLS OR HABITATS
OF RARE SPECIES ACCORDING TO THE
MASSACHUSETTS NATURAL HERITAGE
WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON
THESE DRAWINGS ARE BASED ON
AVAILABLE RECORD INFORMATION OF
UTILITY COMPANIES AND PUBLIC
AGENCIES AND ARE APPROXIMATE ONLY.
EXISTING UTILITY LINES OTHER THAN
THOSE SHOWN MAY BE ON THE SITE.
CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL
CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE
CONSTRUCTION DRAWINGS FOR
UNDERGROUND STORAGE TANKS WITH
APPLICATION FOR BUILDING PERMIT.
DEPTH OF LEDGE/REFUSAL TO BE
DETERMINED PRIOR TO DESIGN.

PROFESSIONAL ENGINEER

PREPARED FOR:
Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:
**GRADING & DRAINAGE
PLAN**
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

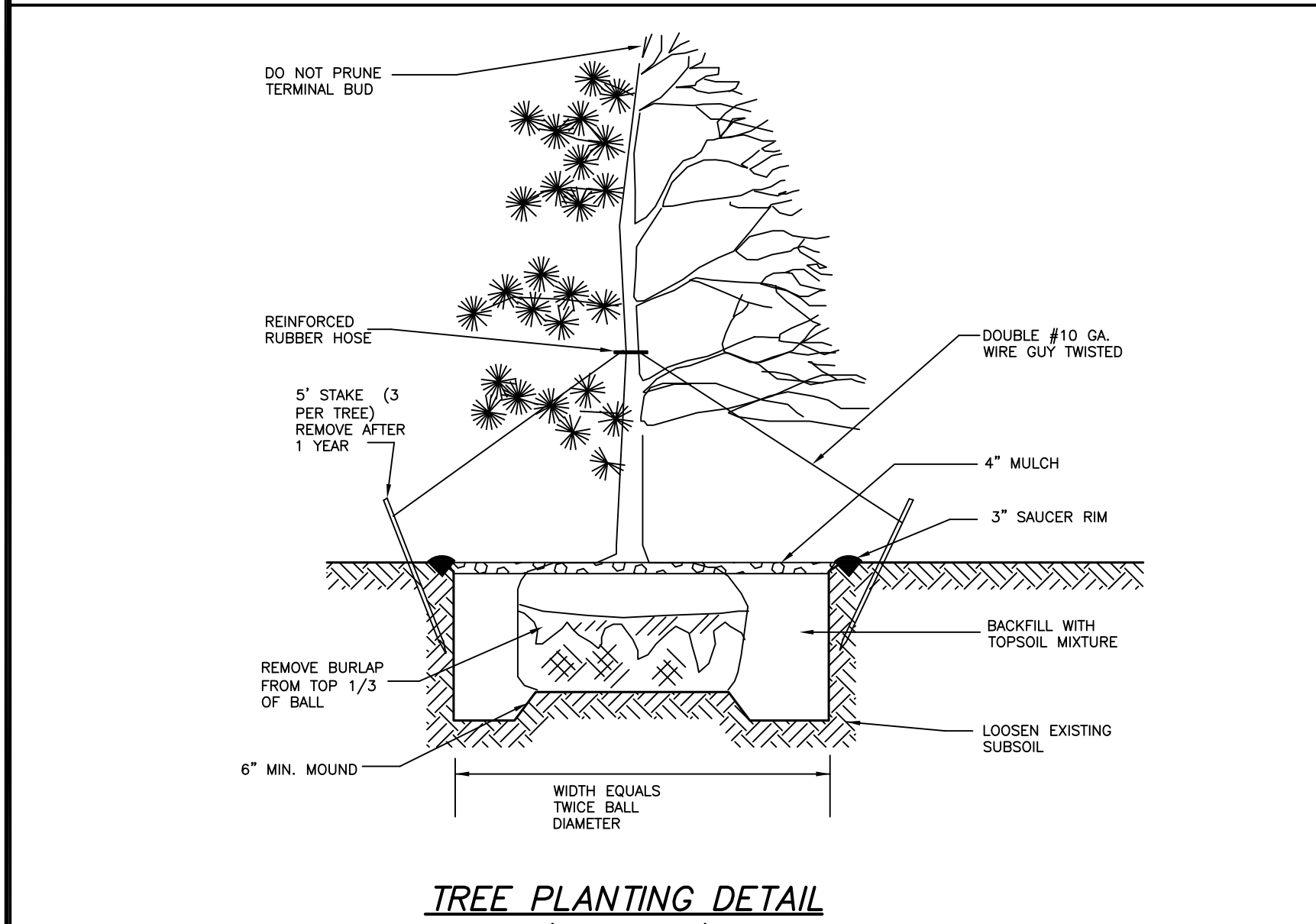
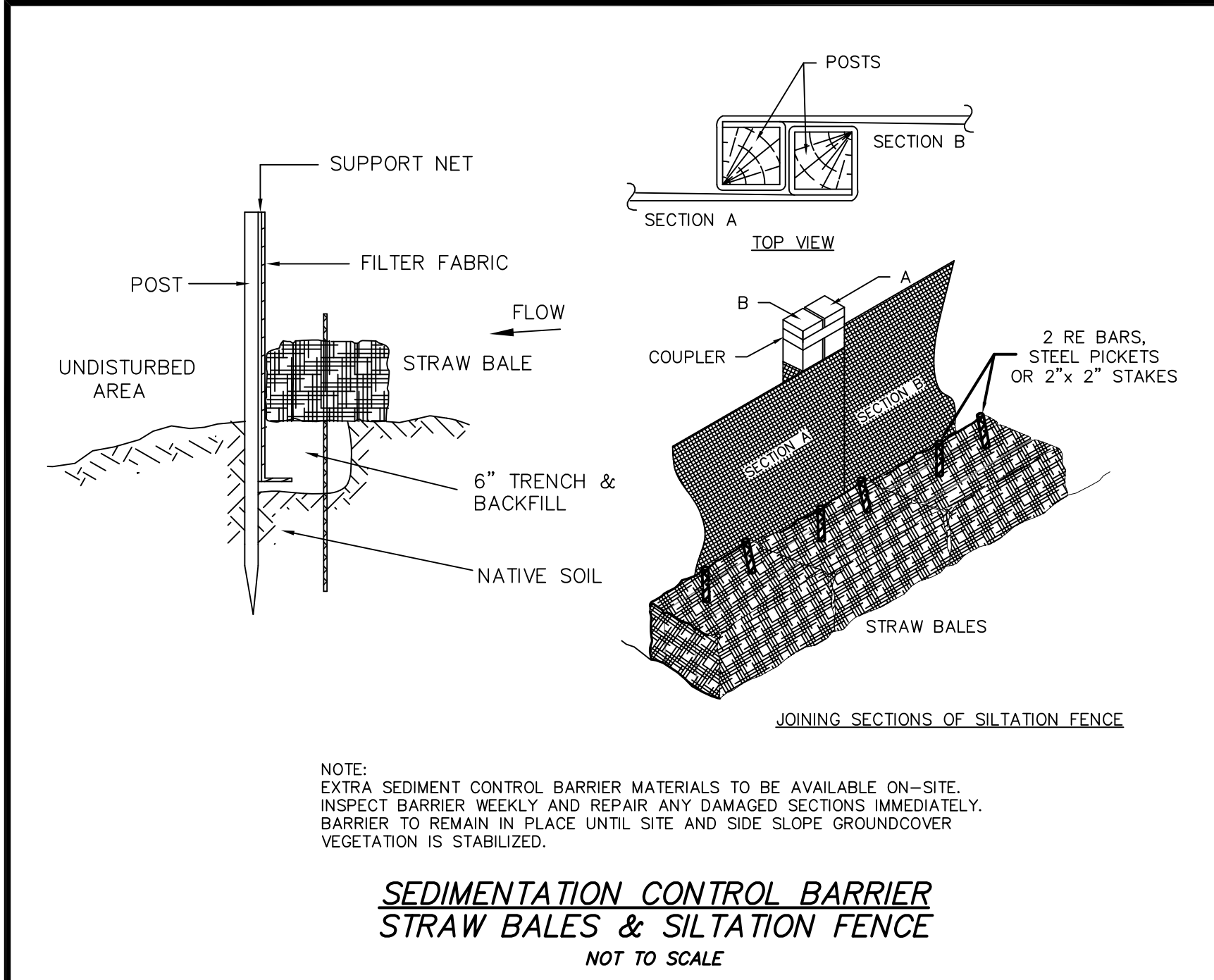
**ALLEN ENGINEERING
& ASSOCIATES, INC.**
Civil Engineers - Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 - Phone
www.allenrea.com

SCALE: 1"=30 FEET
0 30 60 90

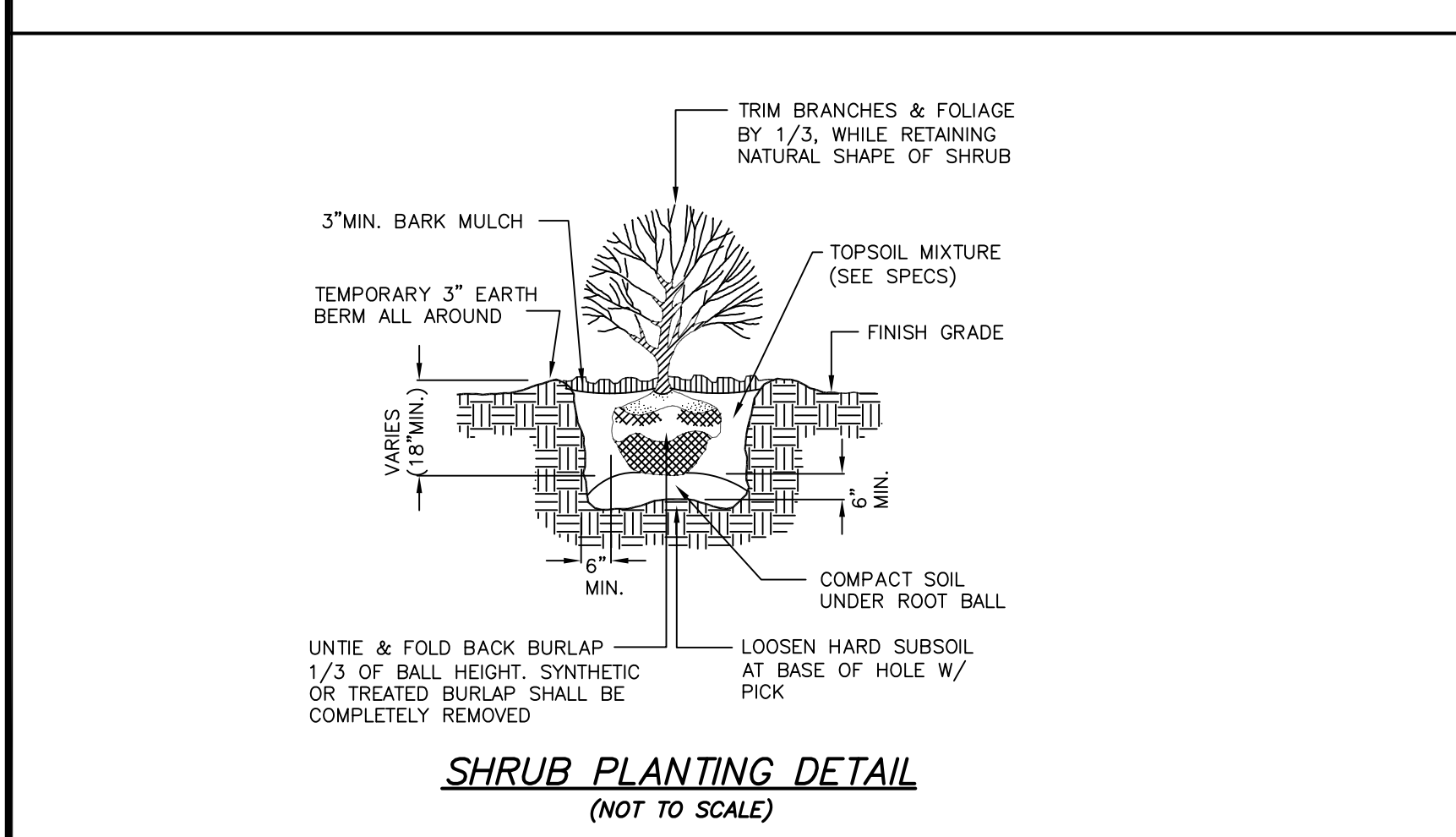
DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW

JOB NO: 00047 SHEET: 6 of 13

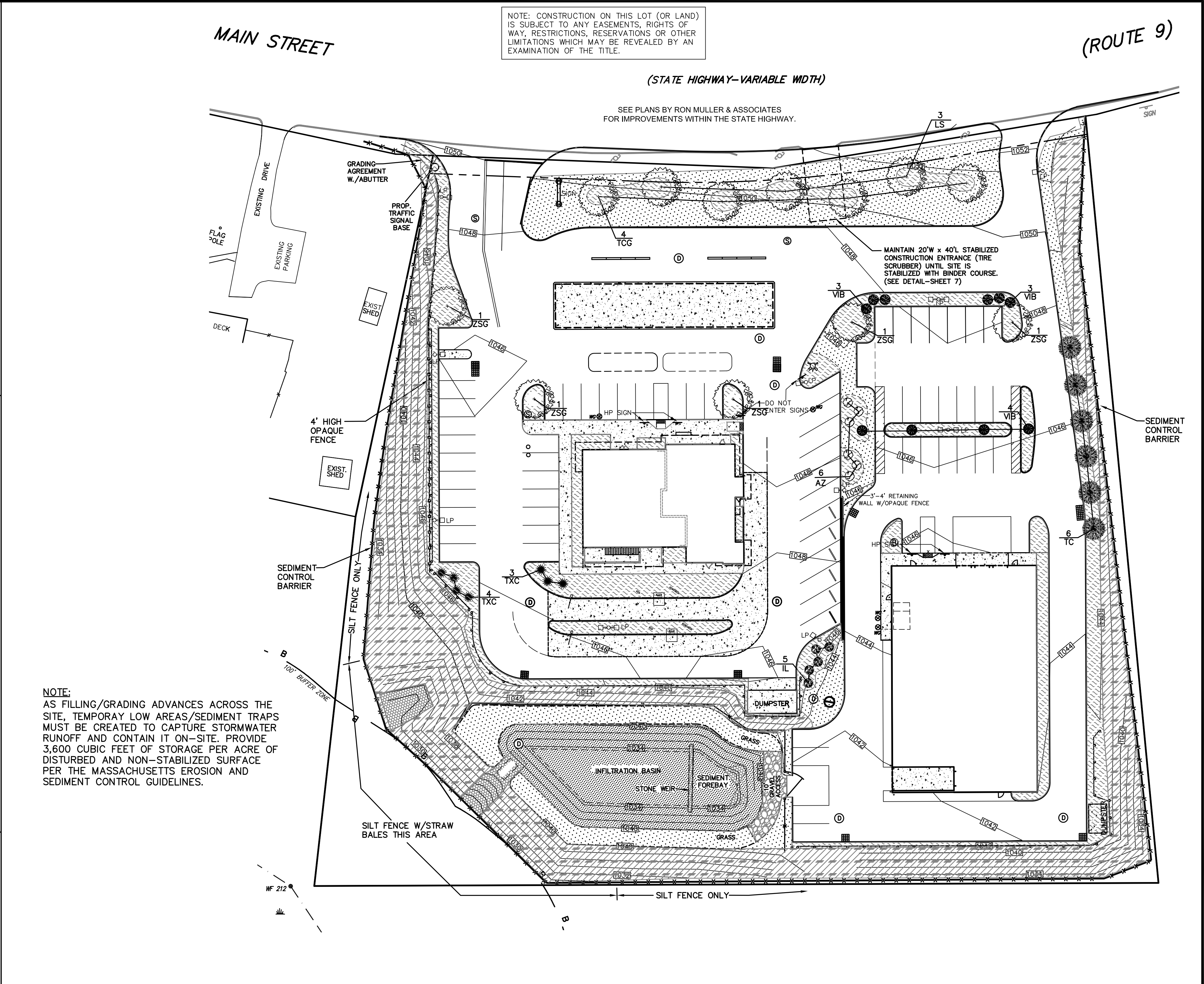


KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	NO.
LS	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 - 2 1/2" CAL.	B&B	3
TC	TSUGA CANADENSIS	CANADIAN HEMLOCK	6' - 8'	B&B	6
TCG	TILIA CORDATA GREENSPIRE	GREENSPIRE LITTLE LEAF LINDEN	2 - 2 1/2" CAL.	B&B	4
ZSG	ZELCOVA SERRATA GREEN VASE	GREEN VASE ZELCOVA	2 - 2 1/2" CAL.	B&B	5

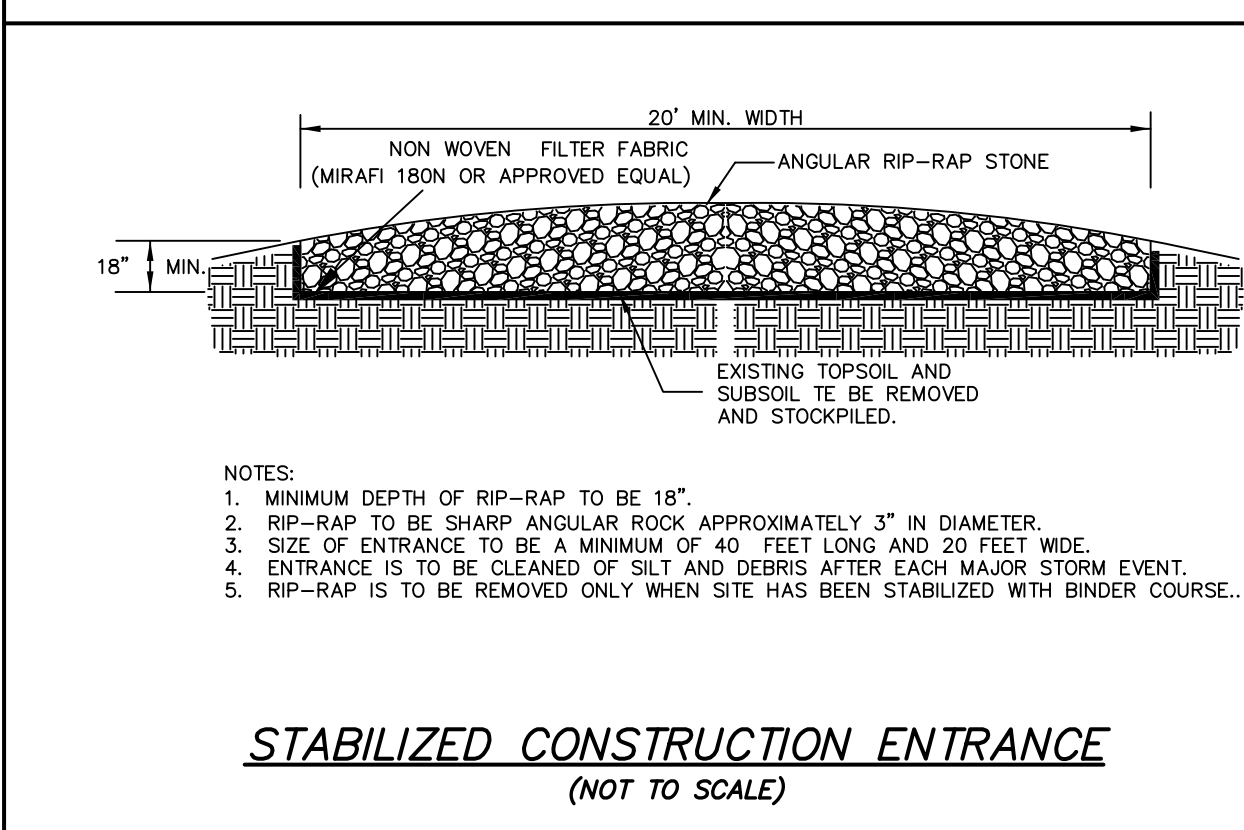


KEY	BOTANICAL NAME	COMMON NAME	SIZE*	NO.
AZ	AZALEA DELAWARE VALLEY WHITE	DELAWARE VALLEY WHITE AZALEA	#5	6
IL	ILEX OPACA	AMERICAN HOLLY	#5	5
TXC	TAXUS CUSPIDATA NANA AURESCENS	DWARF GOLDEN JAPANESE YEW	#6	7
VIB	VIBURNUM CARLESII	MAYFLOWER VIBURNUM	#5	9

*2.5' HIGH MIN.



NOTE:
AS FILLING/GRADING ADVANCES ACROSS THE SITE, TEMPORARY LOW AREAS/SEDIMENT TRAPS MUST BE CREATED TO CAPTURE STORMWATER RUNOFF AND CONTAIN IT ON-SITE. PROVIDE 3,600 CUBIC FEET OF STORAGE PER ACRE OF DISTURBED AND NON-STABILIZED SURFACE PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.



	CONCRETE PER CONSTRUCTION DETAILS. BLACK CONCRETE TO BE USED IN DRIVE-THRU VEHICLE LANES.		LAWN GRASS-PERENNIAL RYE/FESCUE/KENTUCKY BLUEGRASS MIX.
	STONE RIPRAP PER CONSTRUCTION DETAILS.		EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR WET SITES) TO BE USED ON ANY GRASSED DRAINAGE SWALES OR INTERIOR OF DRAINAGE BASINS.
	GRAVEL ACCESS - 12" DEPTH OF CLEAN COMPACTED GRAVEL.		EROSION CONTROL GRASS (NEW ENGLAND EROSION CONTROL AND RESTORATION MIX FOR DRY SITES) FOR SIDESLOPES GRADED FROM 3:1 TO 2:1 (MAX.), APPLIED WITH A BONDED FIBER MATRIX/HYDROSEEDING OR BIODEGRADABLE ENVIRONMENTAL MATTING.
	4" MIN. MULCH BED. SUPPLEMENT WITH PERENNIAL AND/OR ANNUAL FEATURE PLANTINGS PER TENANT/FRANCHISE STANDARDS.	NOTE: PROVIDE 6 INCH DEPTH PREPARED LOAM BED FOR GRASSES.	

LANDSCAPE SURFACE TREATMENT KEY

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODOE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.

3. THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.

4. THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.

PROFESSIONAL ENGINEER

PREPARED FOR:

Skaft Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

LANDSCAPE & EROSION CONTROL PLAN

For

#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:

ALLEN ENGINEERING & ASSOCIATES, INC.

Civil Engineers • Surveyors
Land Development Consultants

One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

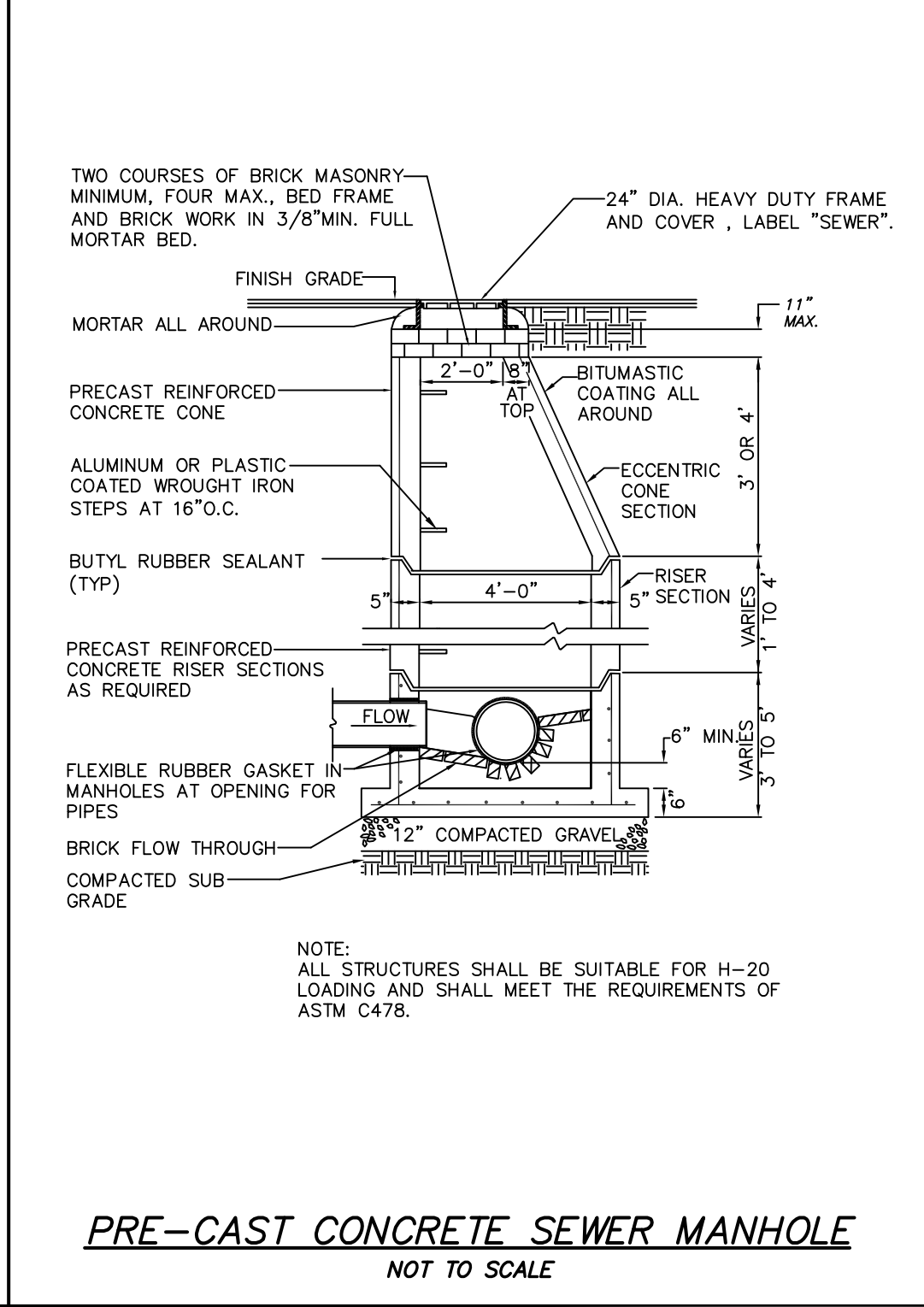
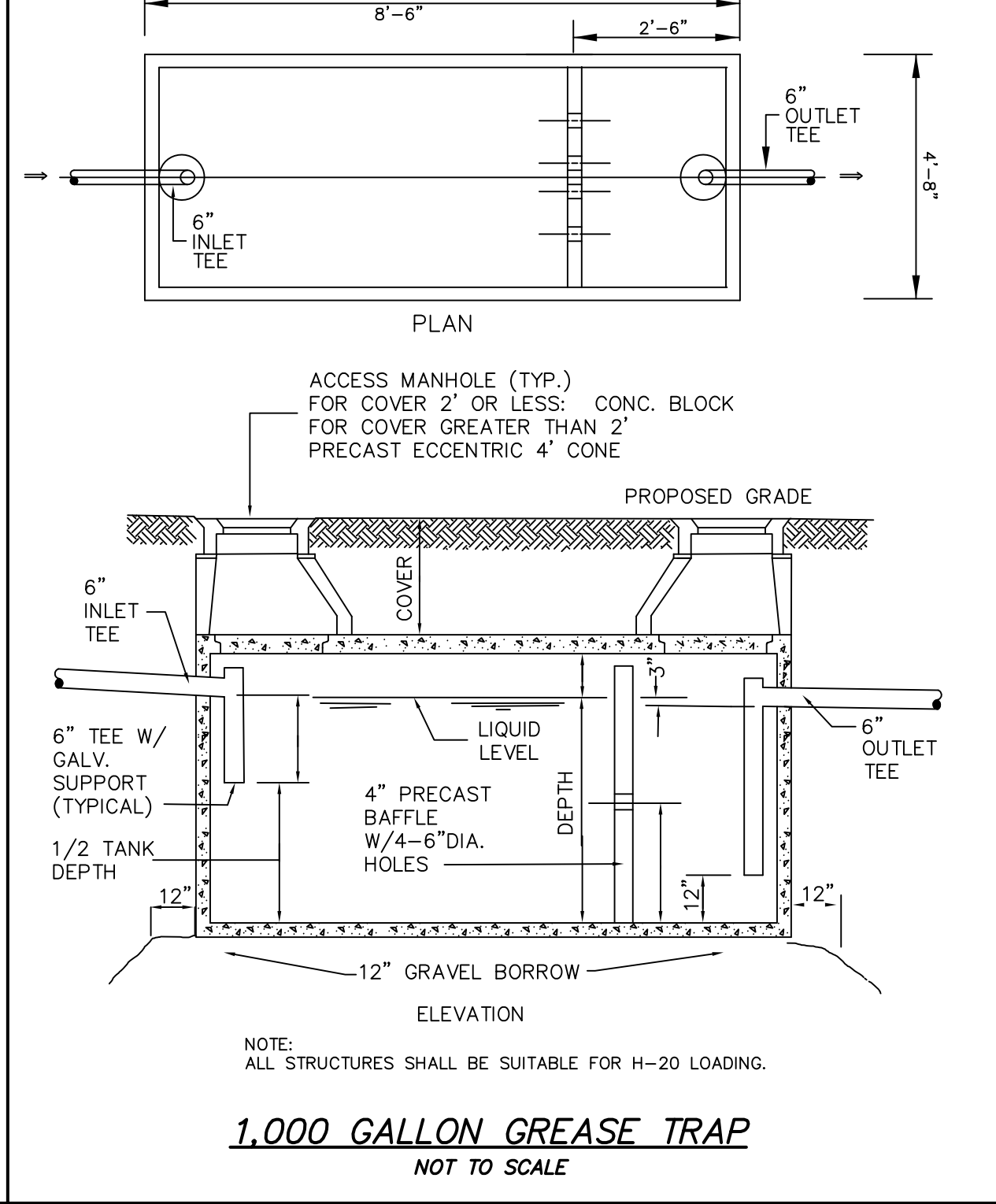
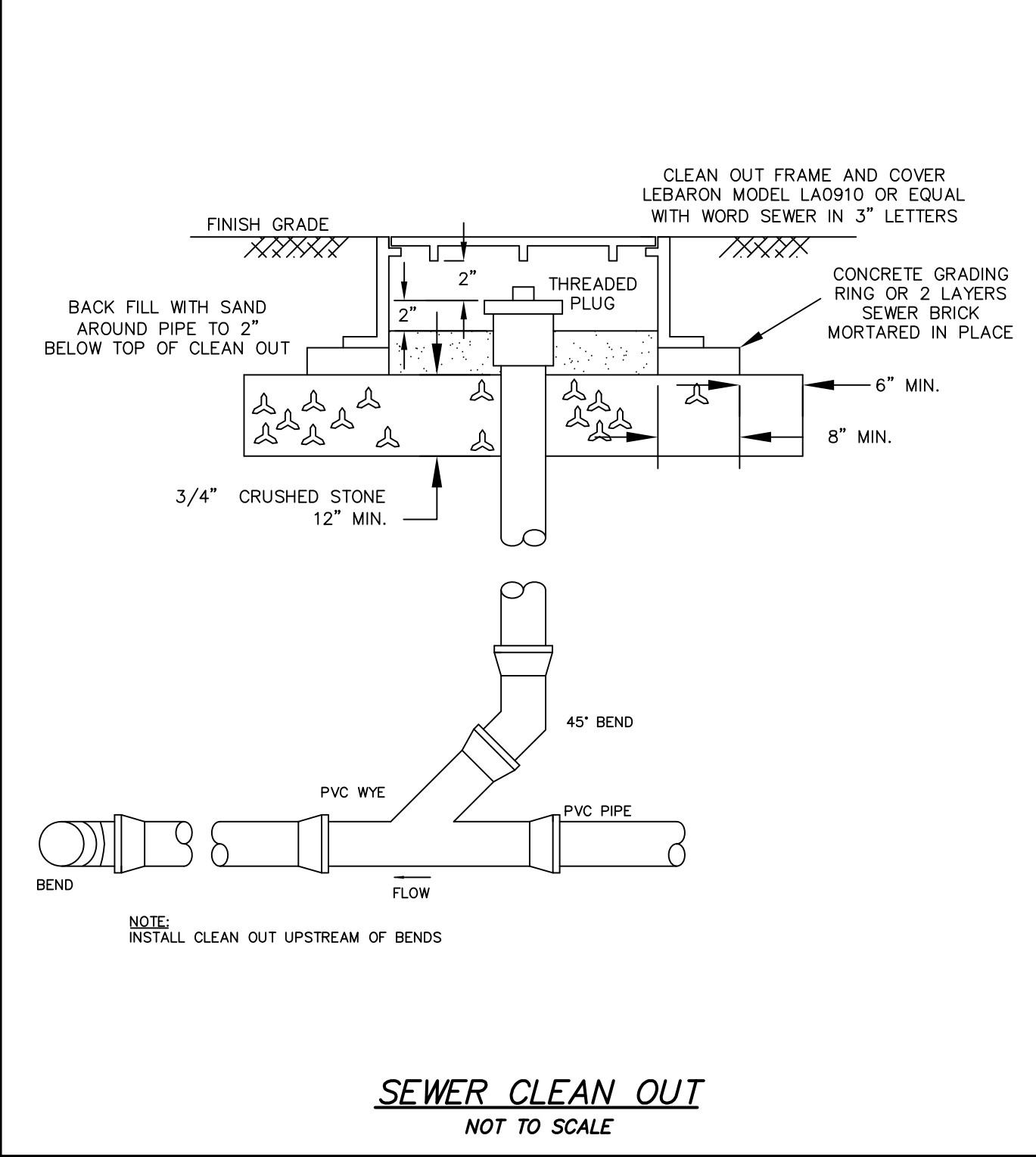
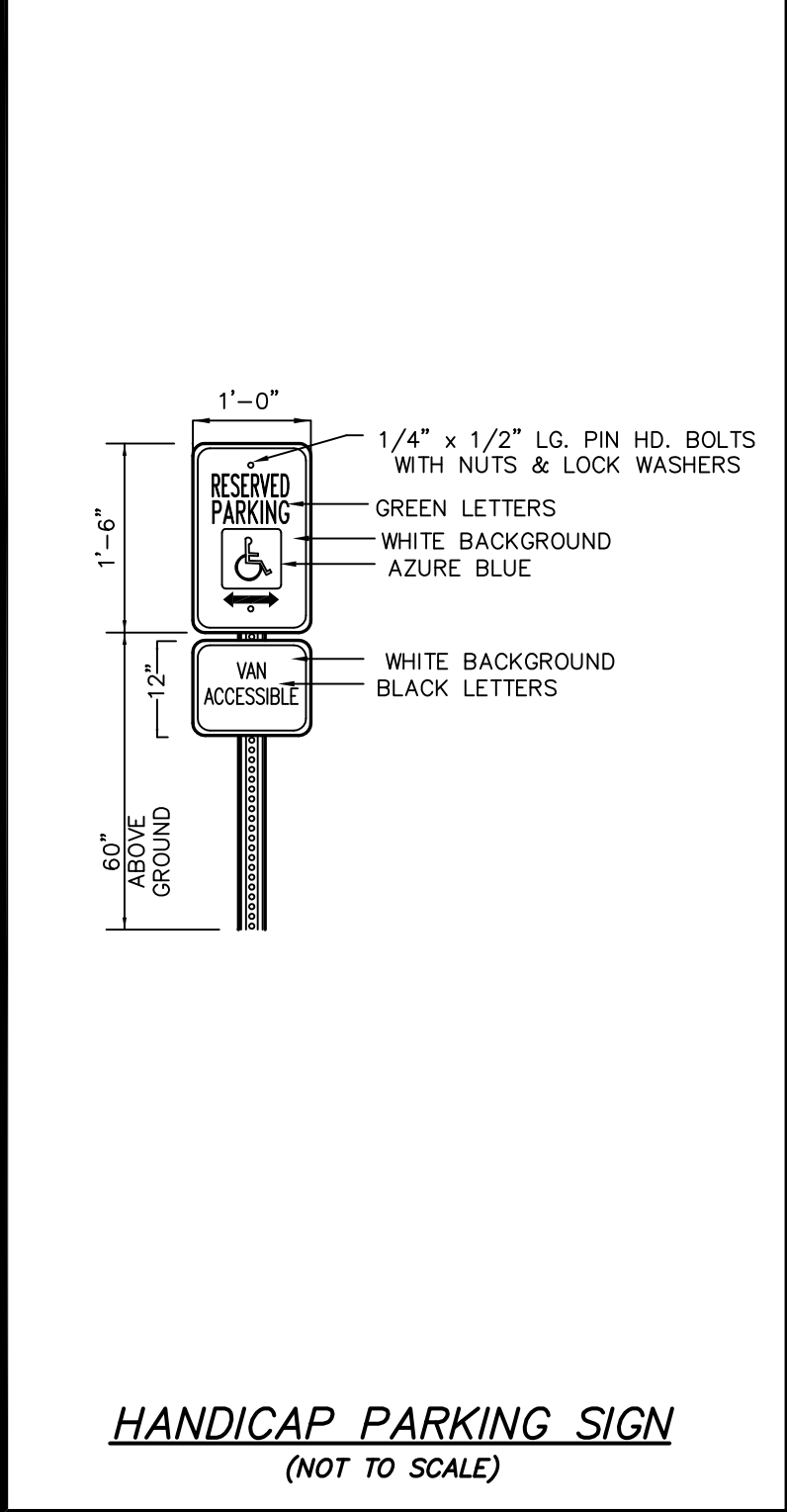
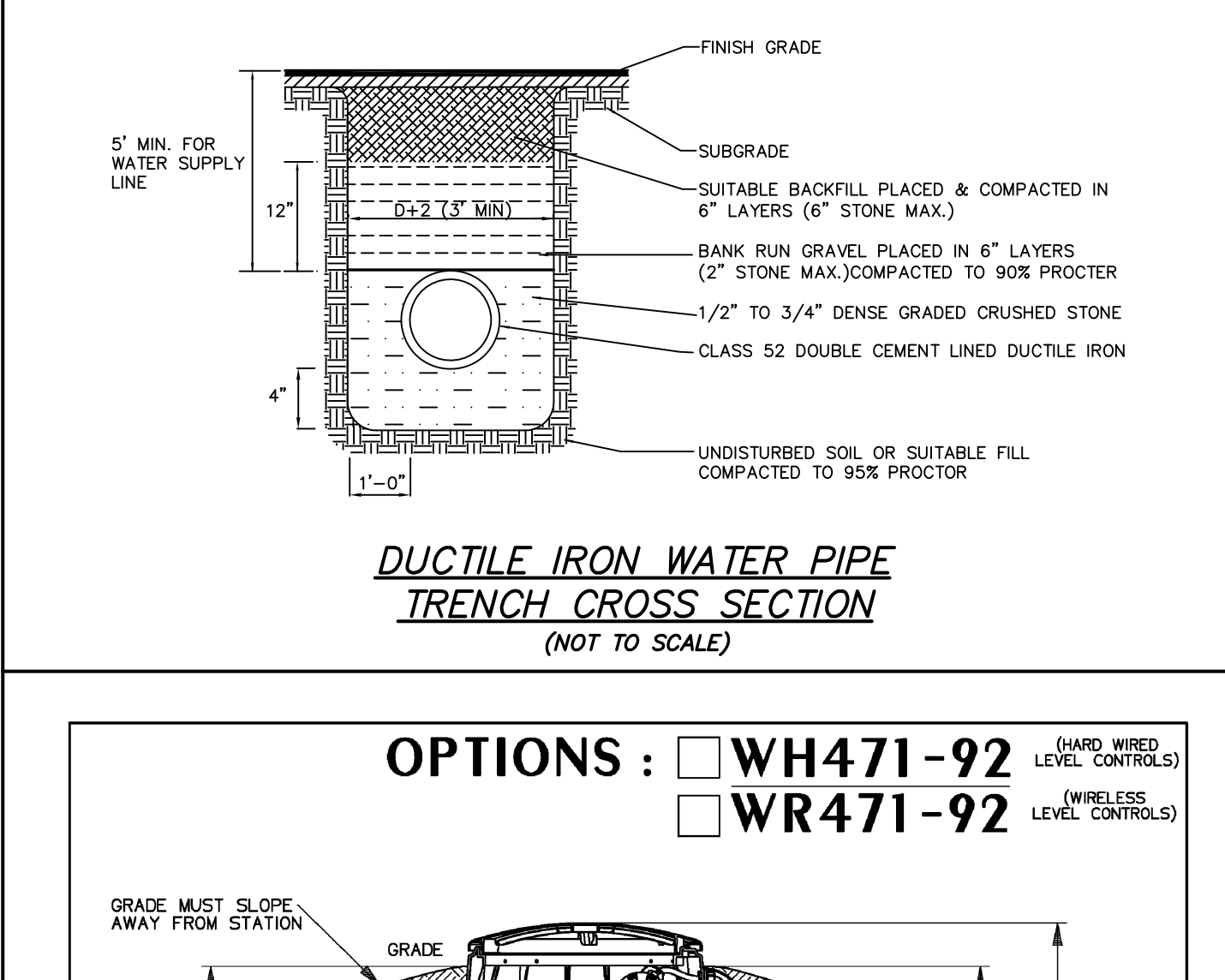
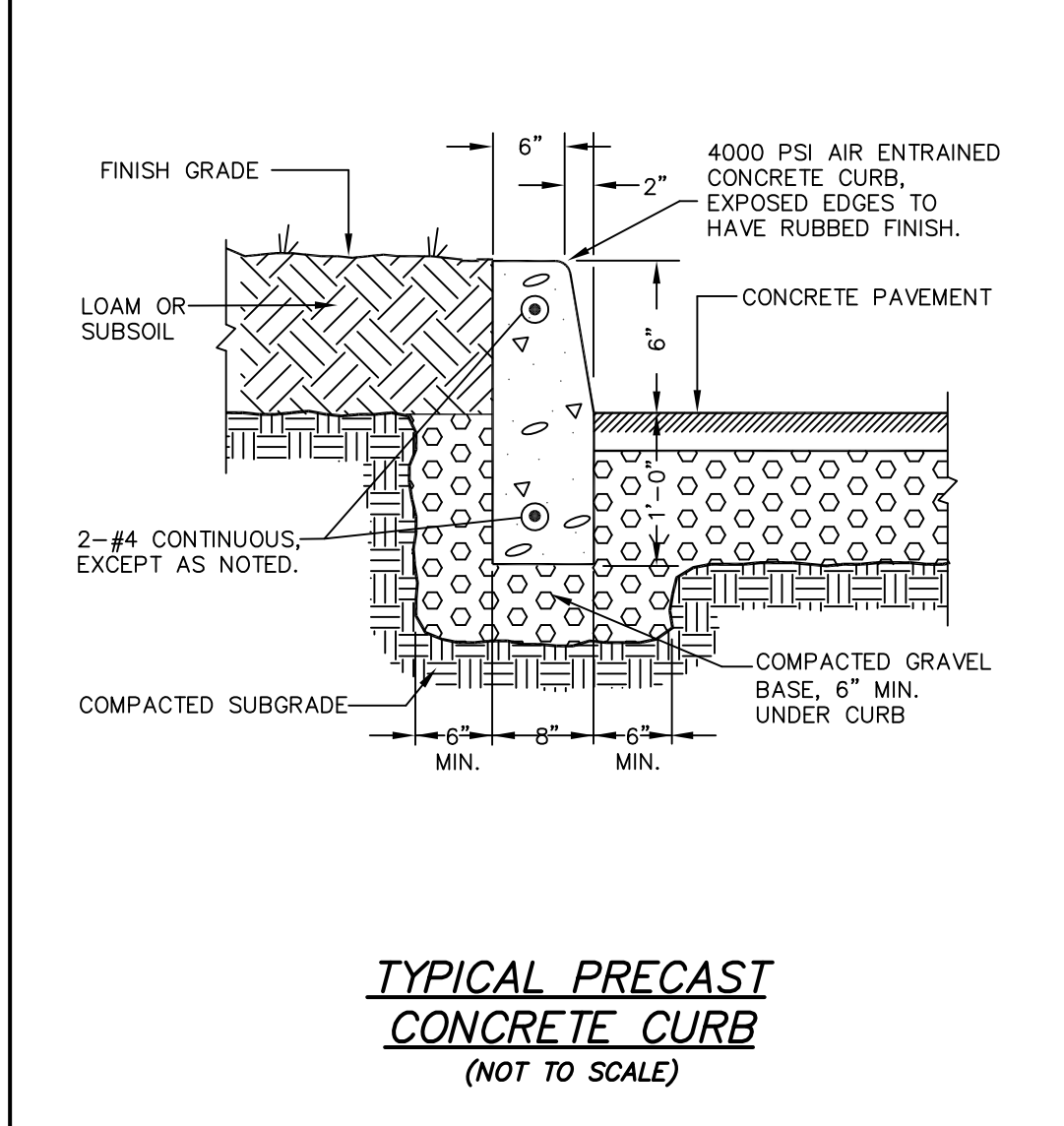
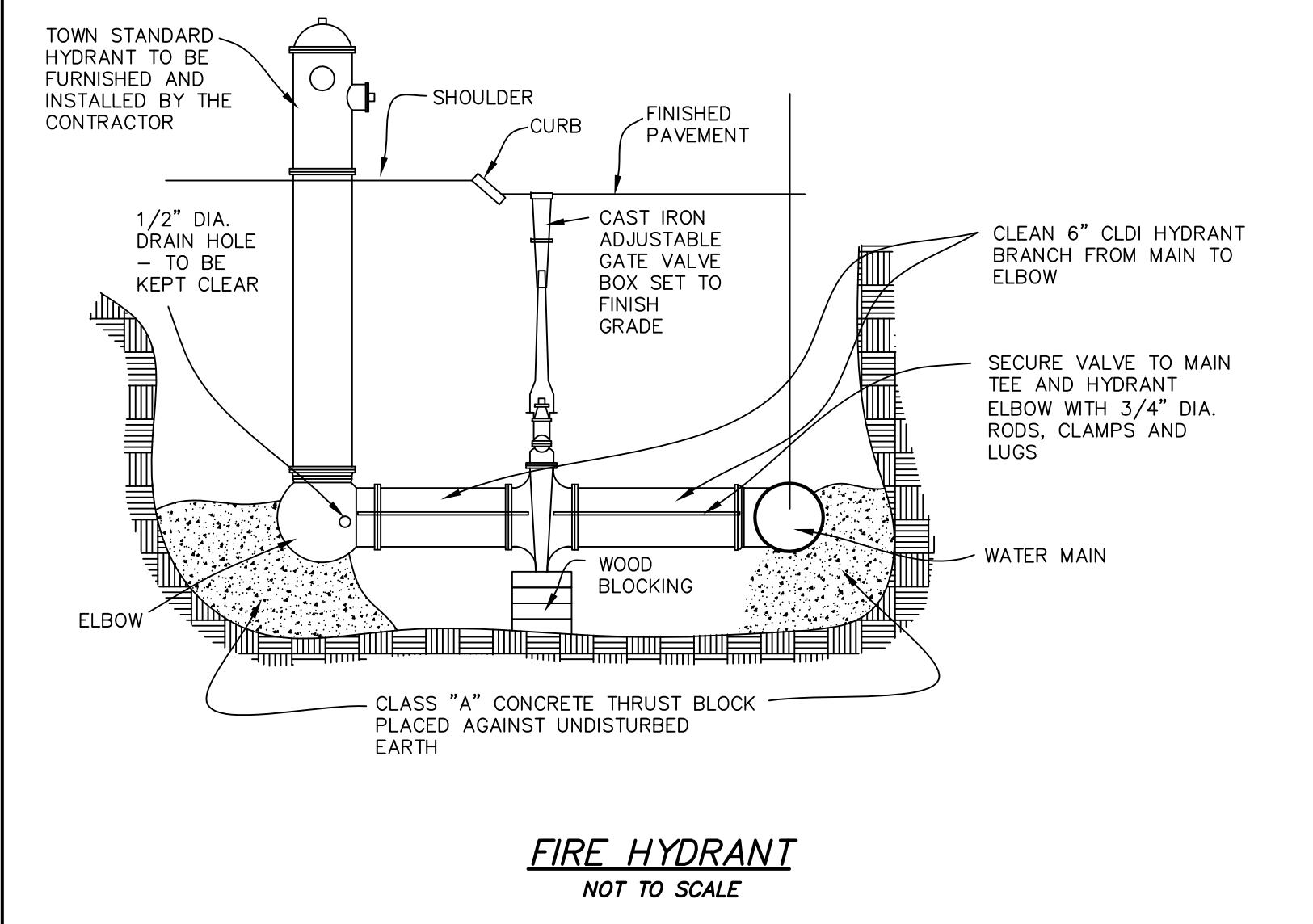
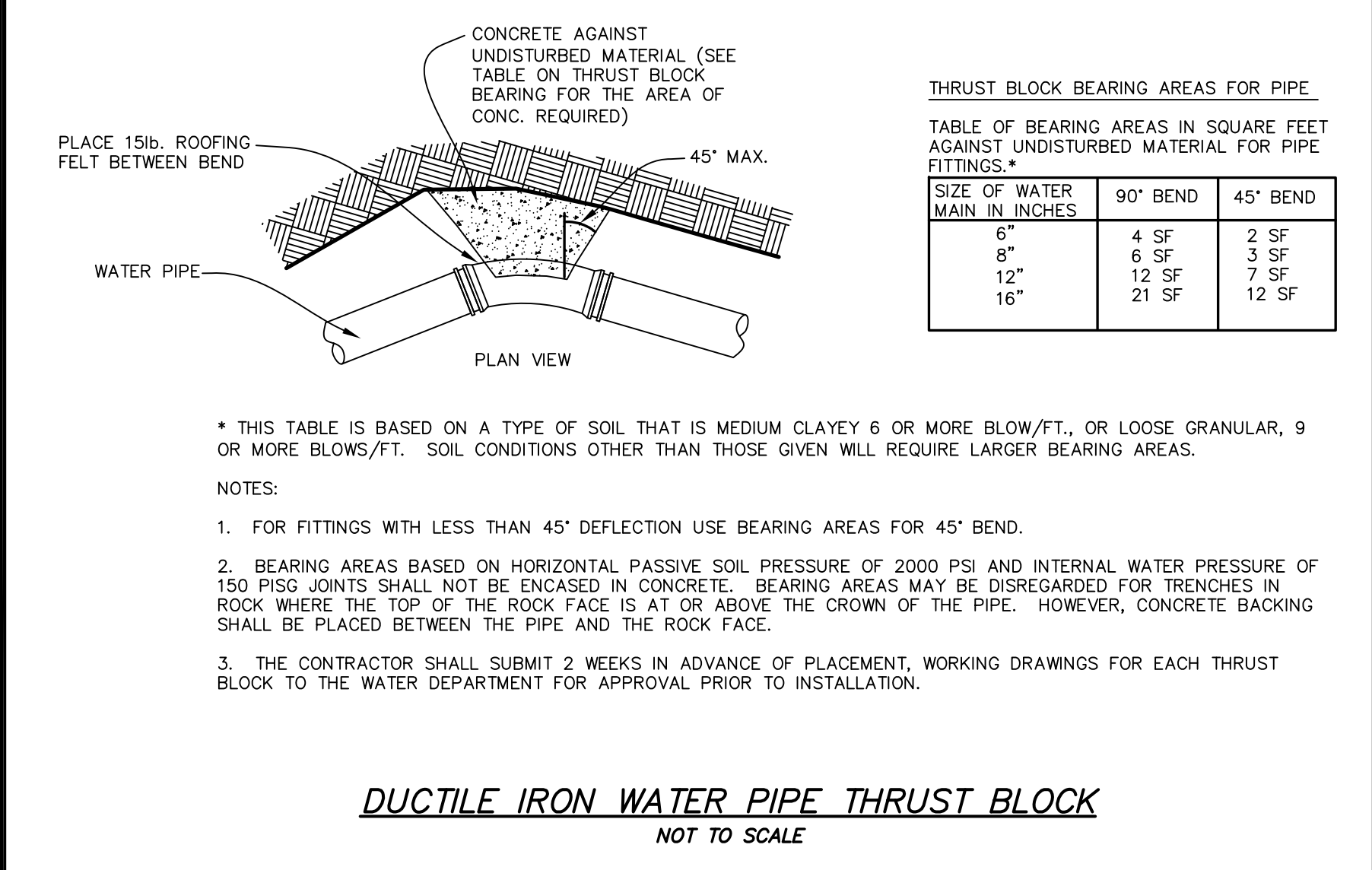
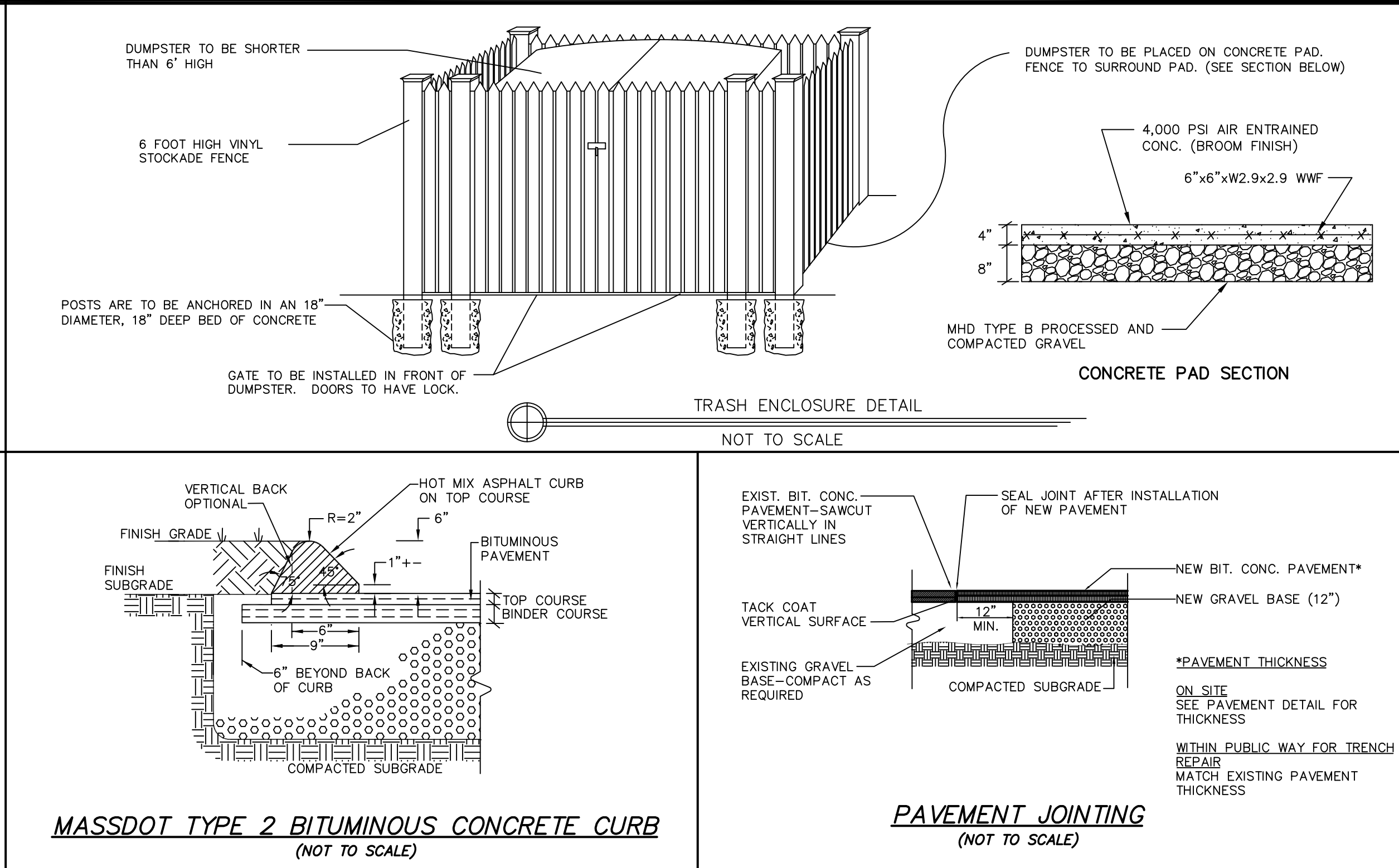
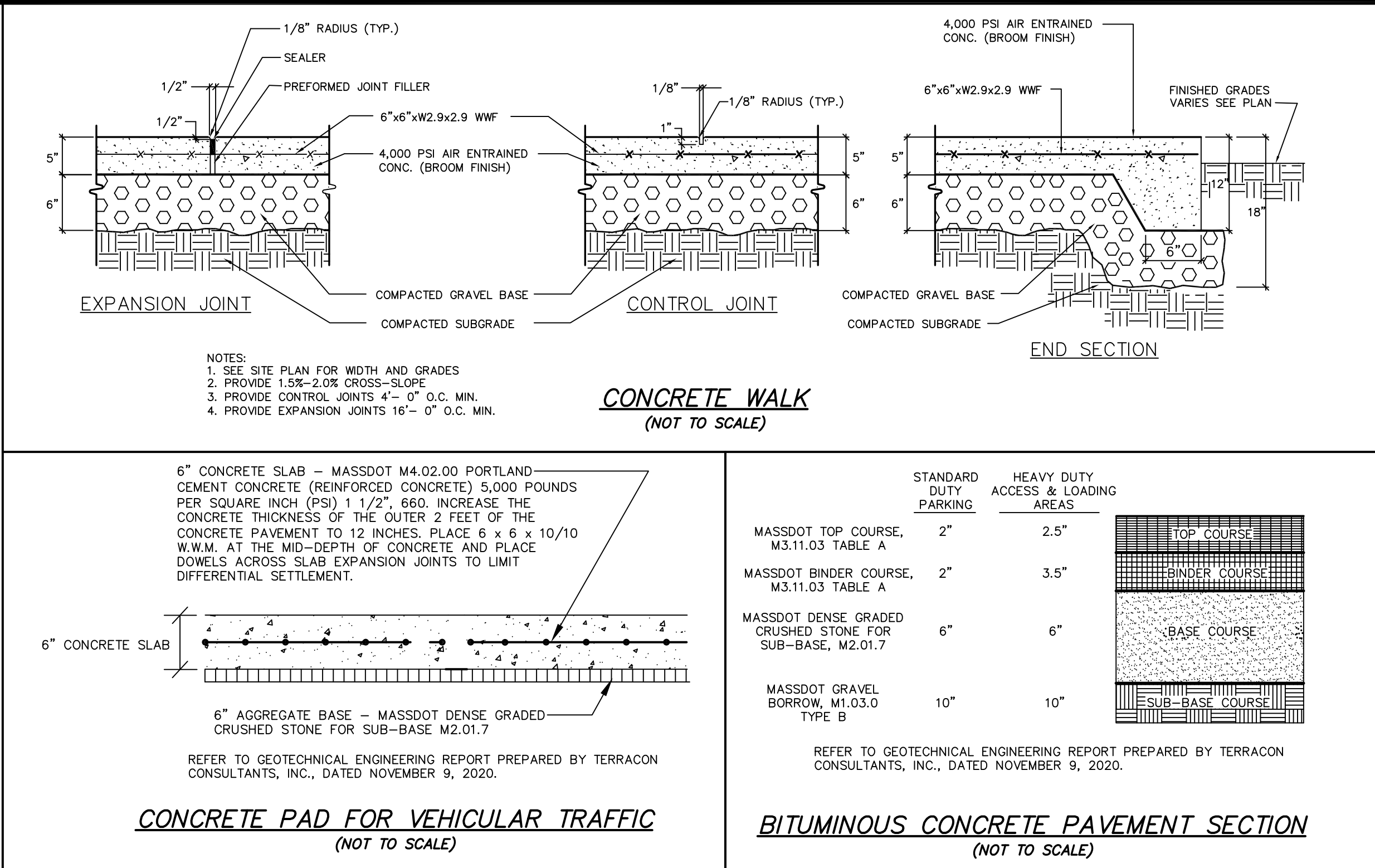
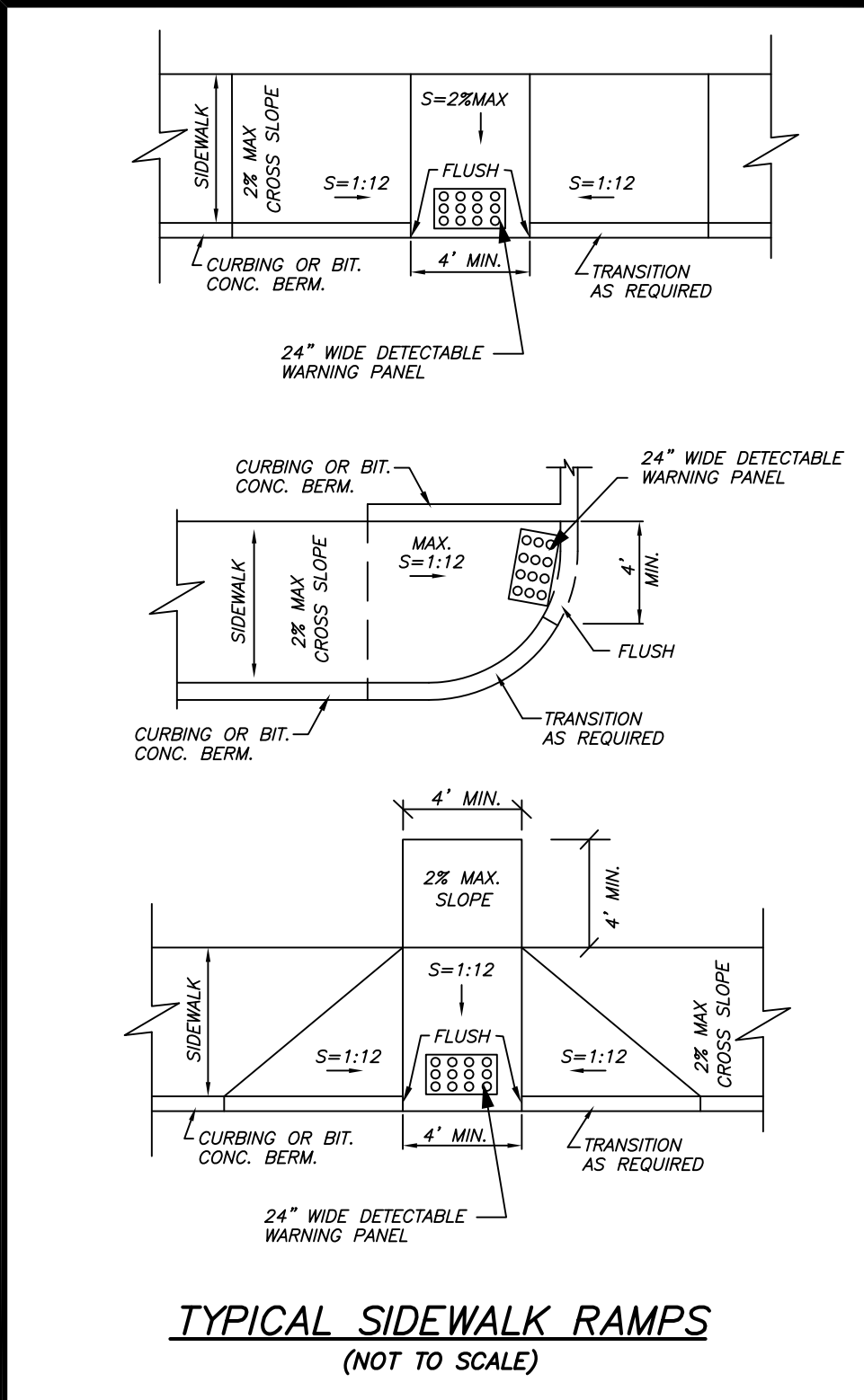
SCALE: 1"=30 FEET

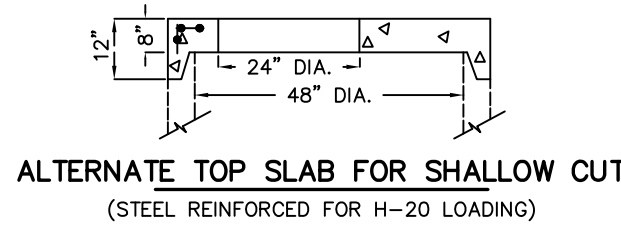
DATE: September 23, 2021

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW

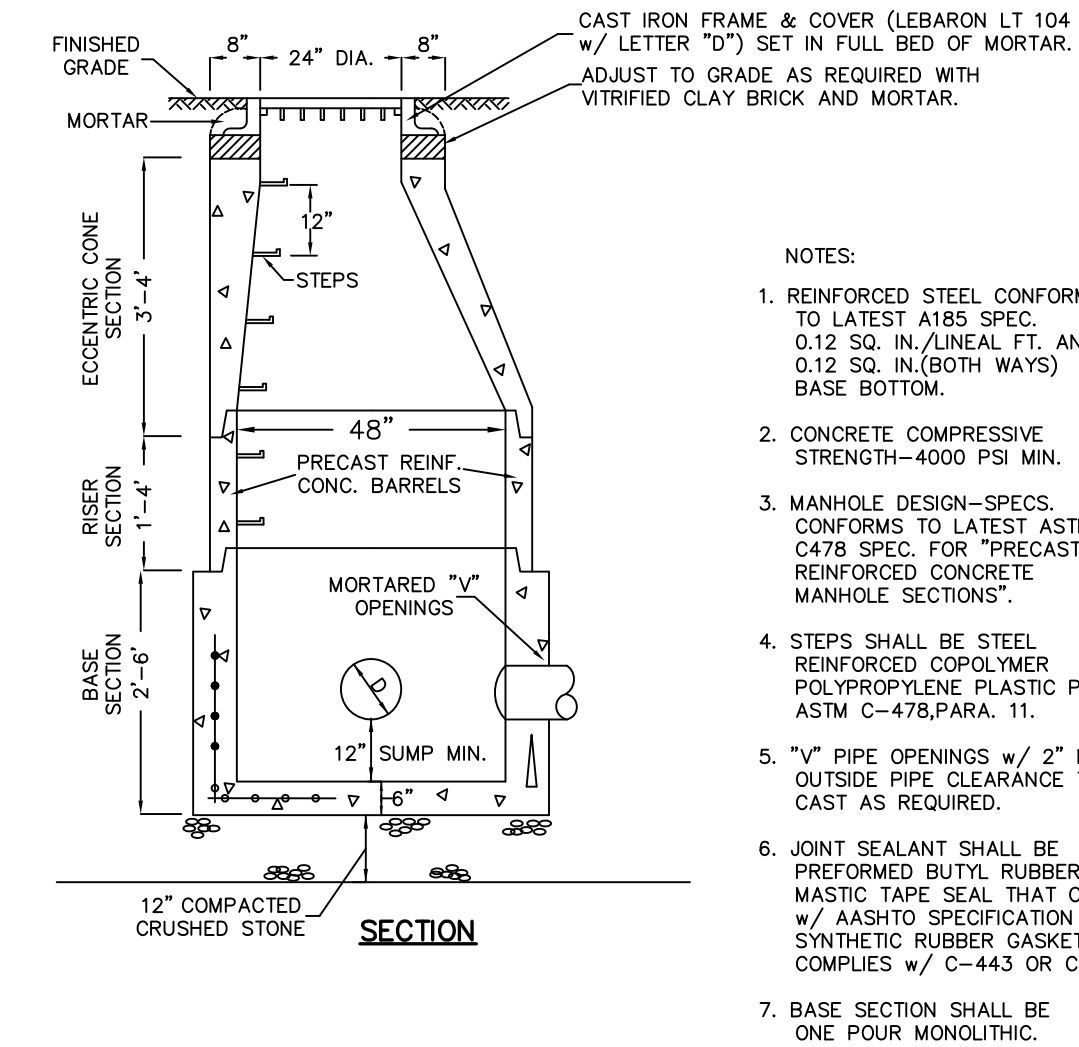
JOB NO: 00047

SHEET: 7 of 13

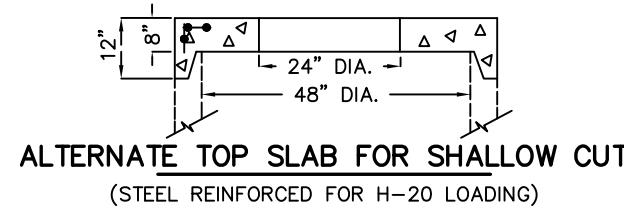




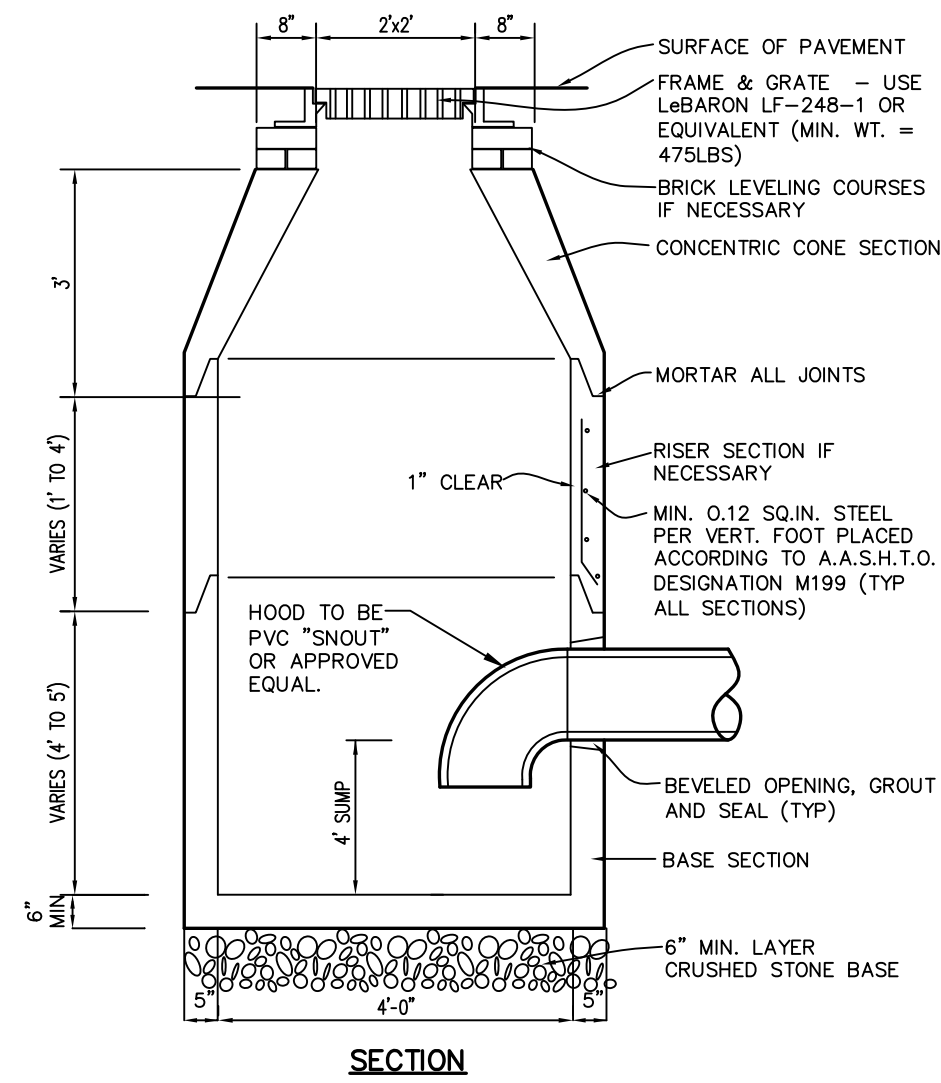
ALTERNATE TOP SLAB FOR SHALLOW CUT
(STEEL REINFORCED FOR H-20 LOADING)



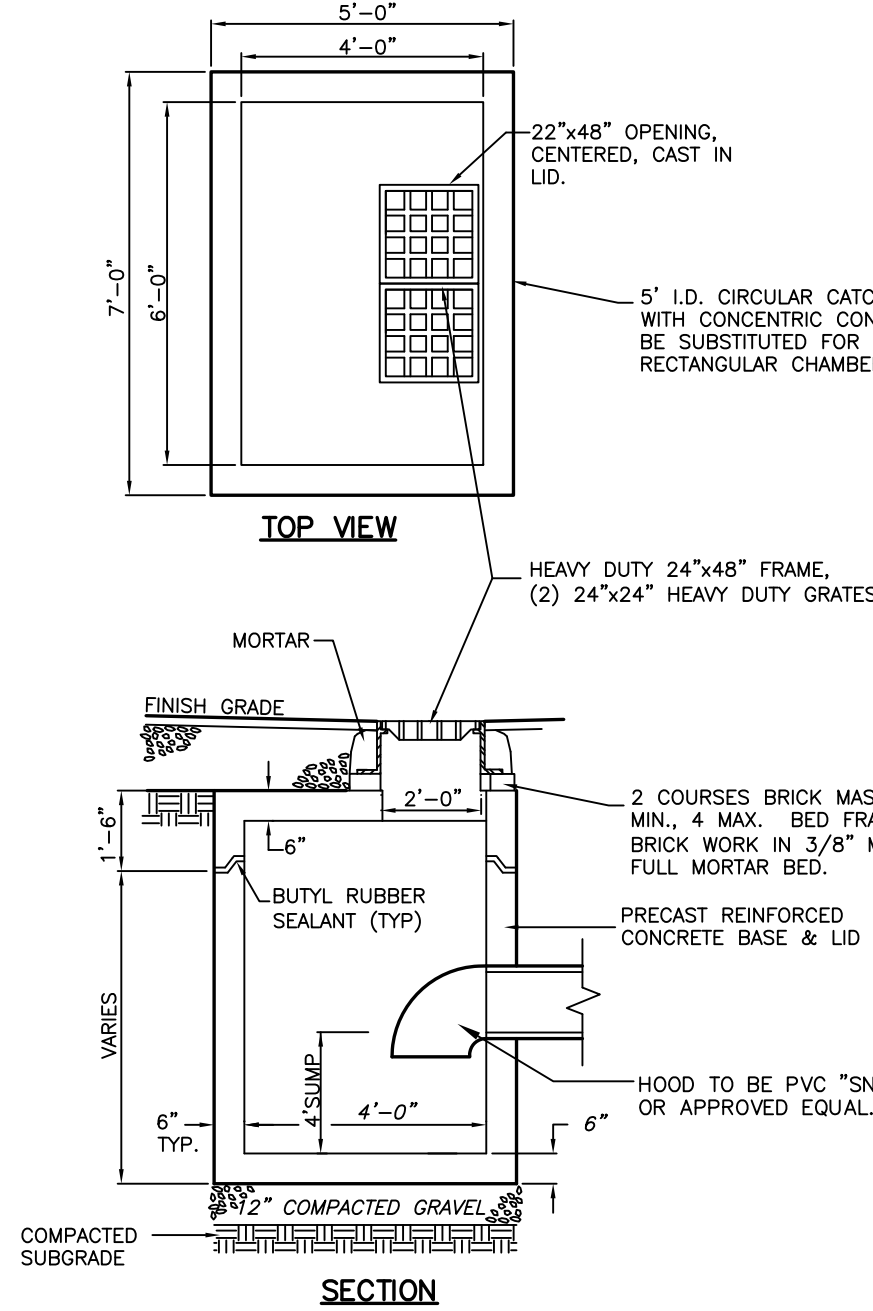
PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



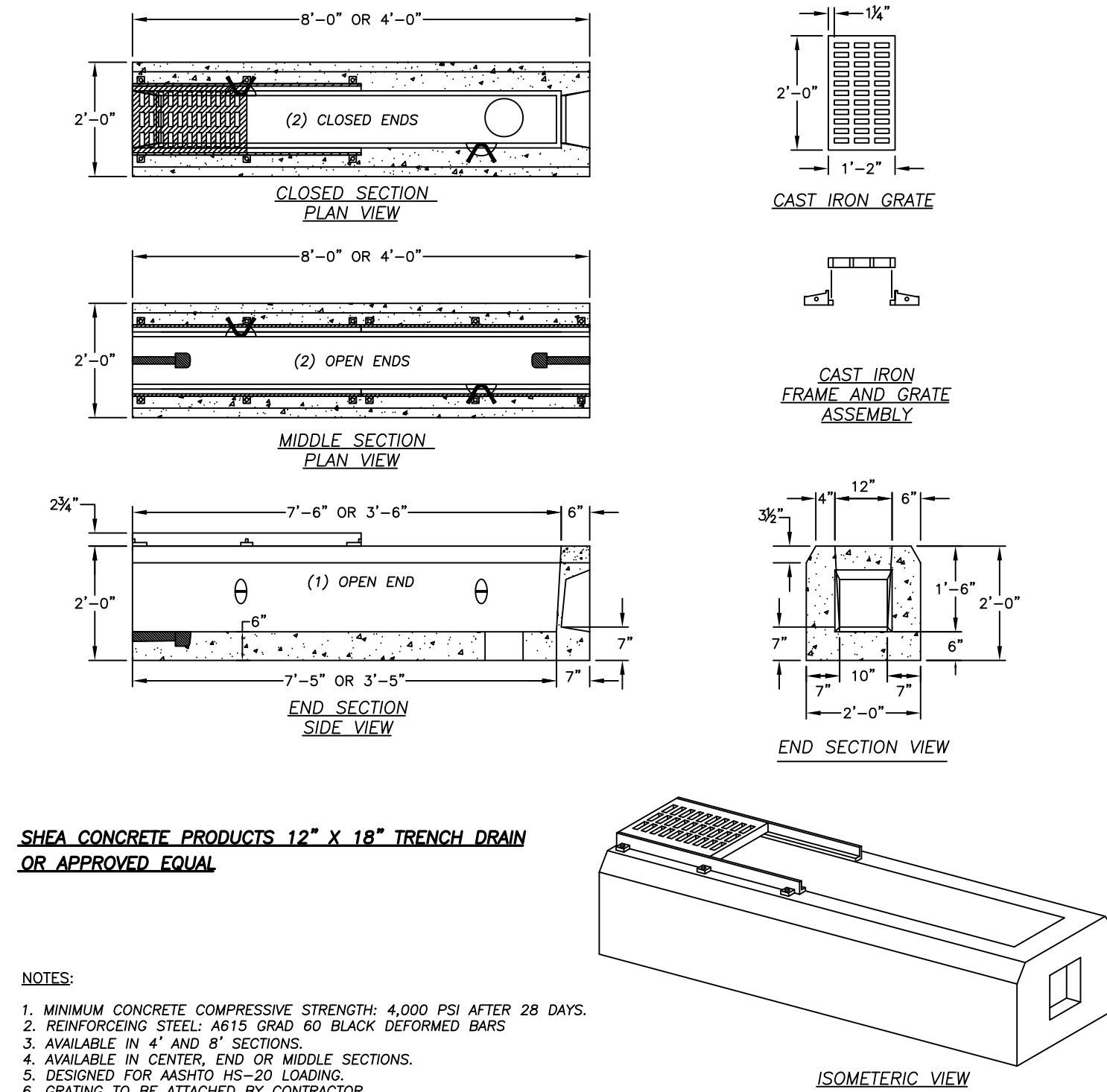
ALTERNATE TOP SLAB FOR SHALLOW CUT
(STEEL REINFORCED FOR H-20 LOADING)



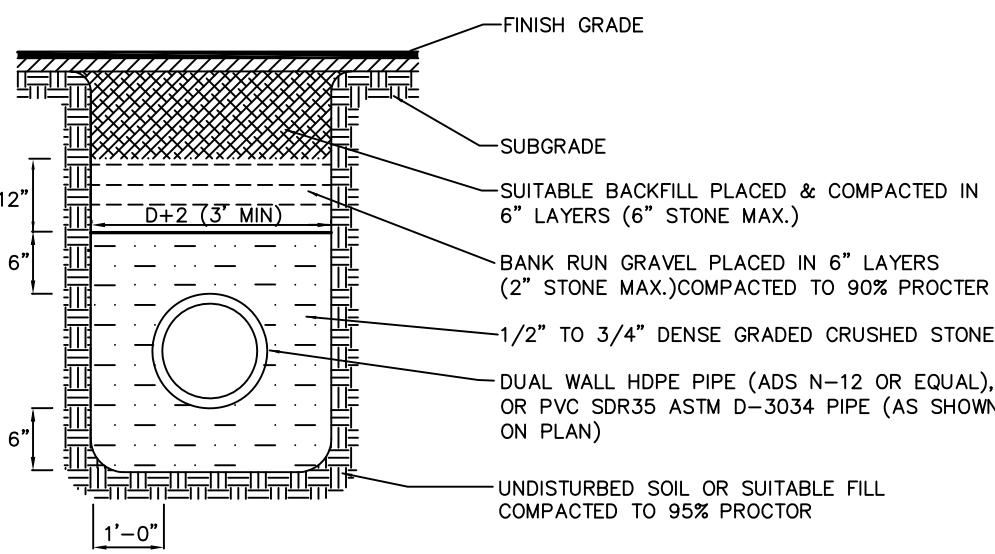
PRECAST CONCRETE CATCH BASIN
(NOT TO SCALE)



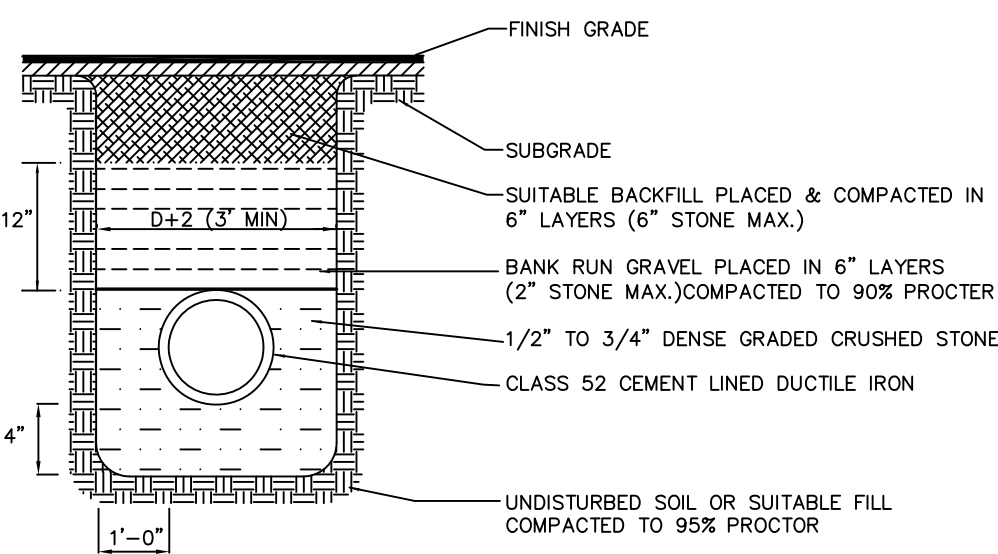
DOUBLE GRATE CATCH BASIN
(NOT TO SCALE)



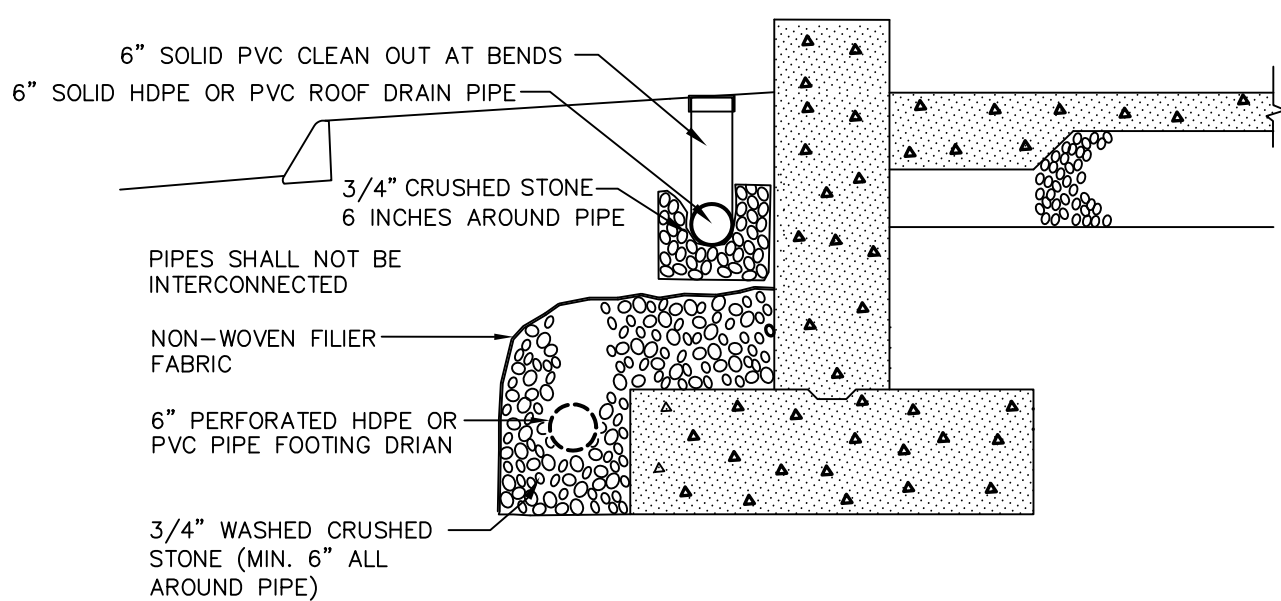
TRENCH DRAIN
(NOT TO SCALE)



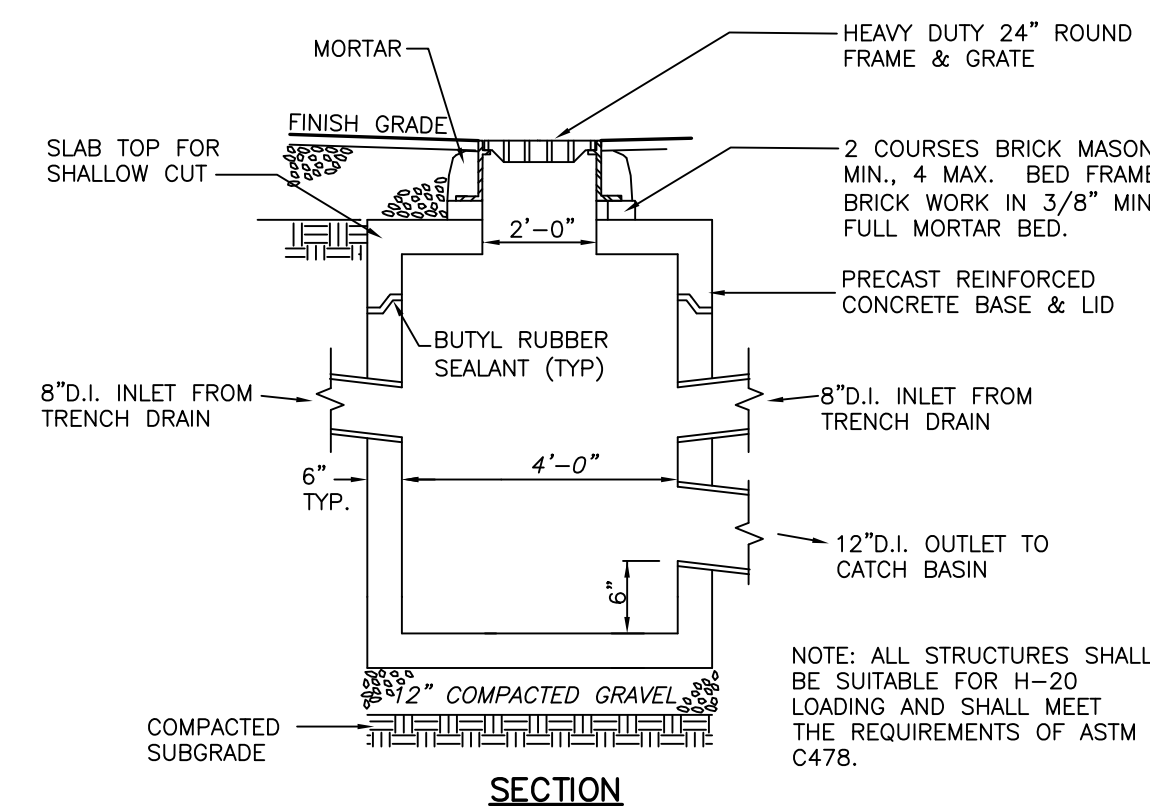
HDPE/PVC PIPE
TRENCH CROSS SECTION
(NOT TO SCALE)



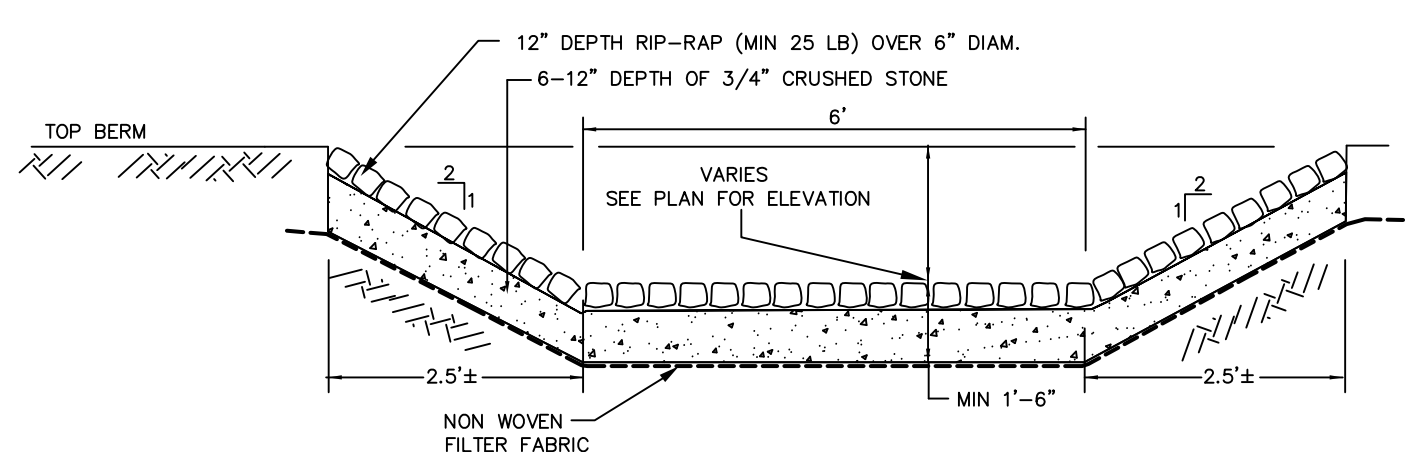
DUCTILE IRON DRAIN PIPE
TRENCH CROSS SECTION
(NOT TO SCALE)



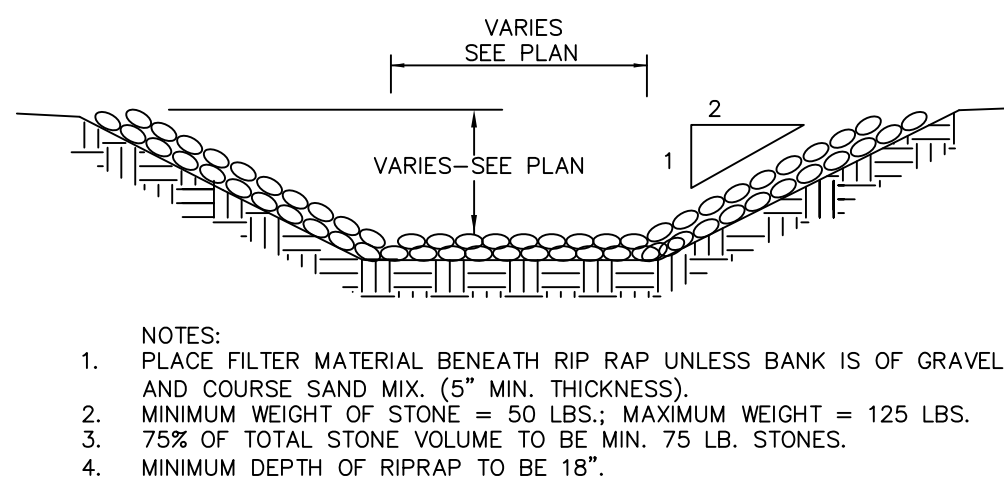
TYPICAL SECTION-ROOF DRAIN & FOOTING DRAIN
(NOT TO SCALE)



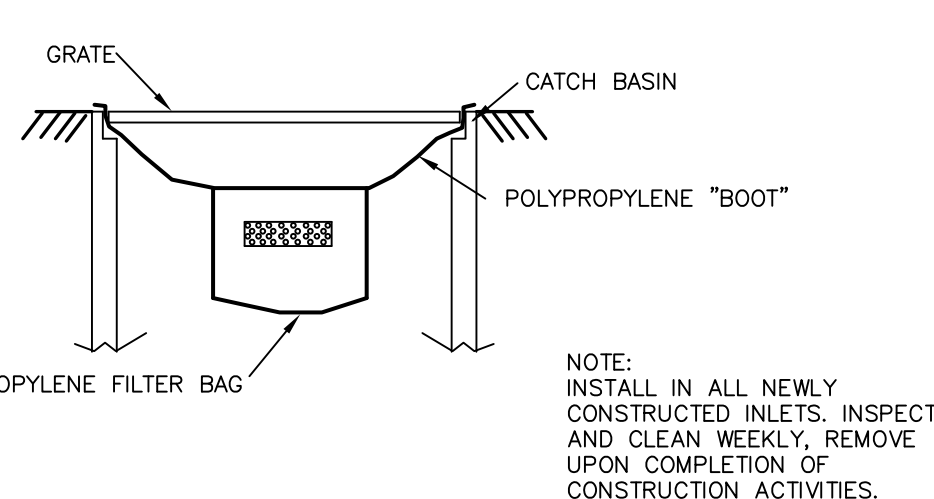
DROP INLET
(NOT TO SCALE)



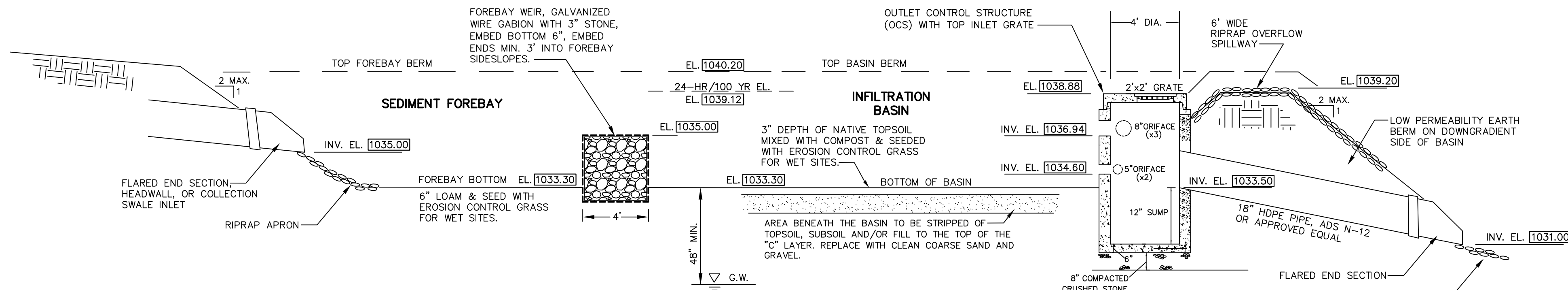
INFILTRATION BASIN
RIPRAP OVERFLOW SPILLWAY
(NOT TO SCALE)



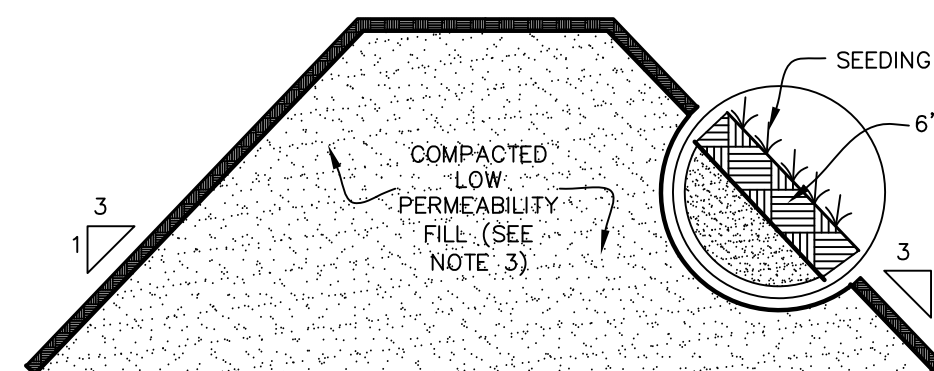
RIPRAP APRON
FOR PIPE ENDS
(NOT TO SCALE)



CATCH BASIN SEDIMENT
FILTER INSERT
(NOT TO SCALE)



STORMWATER SEDIMENT FOREBAY & INFILTRATION BASIN
(NOT TO SCALE)



LOW PERMEABILITY EARTH BERM - SECTION
NOT TO SCALE

LOCUS REFERENCES
ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
LAND COURT PLAN 40185-B, LOT 1
2.83 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE
HIGHWAY BUSINESS-INDUSTRIAL 1
DISTRICT.

NOTES
1. THIS PLAN IS BASED ON A FIELD
SURVEY PERFORMED BY ODORE SURVEY
& MAPPING IN DECEMBER 2012, AND
UPDATED BY ALLEN ENGINEERING &
ASSOCIATES, INC. IN DECEMBER 2020.

2. ELEVATIONS REFER TO NAD 88
VERTICAL DATUM.

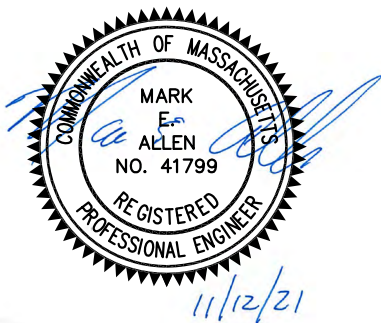
3. THE SITE FALLS WITHIN A FLOOD
ZONE X (AREA OF MINIMAL FLOOD
HAZARD) ACCORDING TO FLOOD
INSURANCE RATE MAP PANEL NUMBER
25027C0780E.

4. THIS SITE DOES NOT CONTAIN
CERTIFIED VERNAL POOLS OR HABITATS
OF RARE SPECIES ACCORDING TO THE
MASSACHUSETTS NATURAL HERITAGE
WEB SITE AS OF DECEMBER 2020.

5. EXISTING UTILITY LINES SHOWN ON
THESE DRAWINGS ARE BASED ON
AVAILABLE RECORD INFORMATION OF
UTILITY COMPANIES AND PUBLIC
AGENCIES AND ARE APPROXIMATE ONLY.
EXISTING UTILITY LINES OTHER THAN
THOSE SHOWN MAY BE ON THE SITE.
CALL "DIG SAFE" AT 811.

6. THERE SHALL BE NO USE OF FILL
CONTAINING HAZARDOUS MATERIALS.

7. APPLICANT SHALL PROVIDE
CONSTRUCTION DRAWINGS FOR
UNDERGROUND STORAGE TANKS WITH
APPLICATION FOR BUILDING PERMIT.
DEPTH OF LEDGE/REFUSAL TO BE
DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

CONSTRUCTION
DETAIL PLAN

For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers • Surveyors
Land Development Consultants

One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE:

AS NOTED

DATE:

September 23, 2021

REVISIONS

#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW

JOB NO:

00047

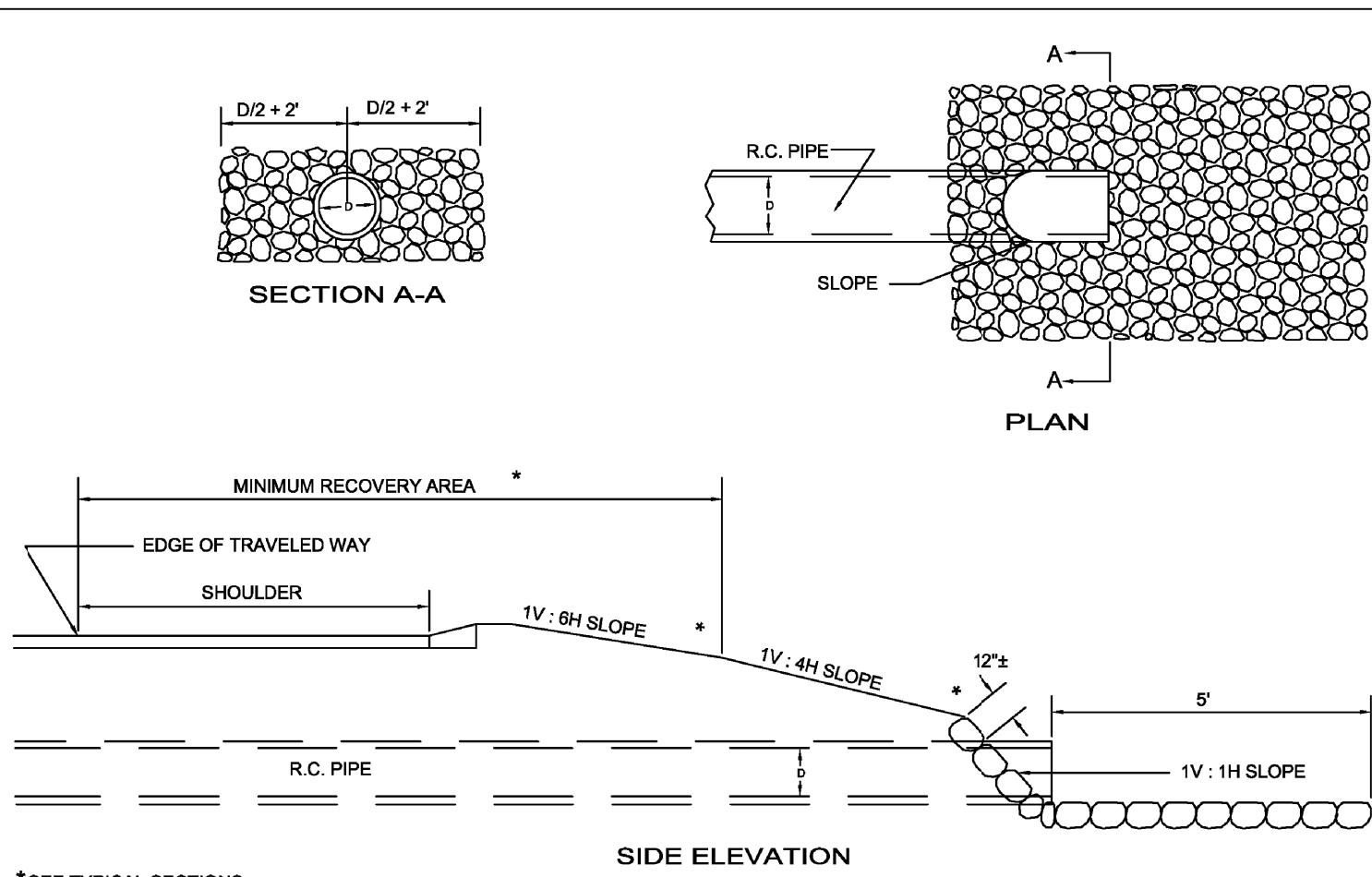
SHEET:

9 of 13

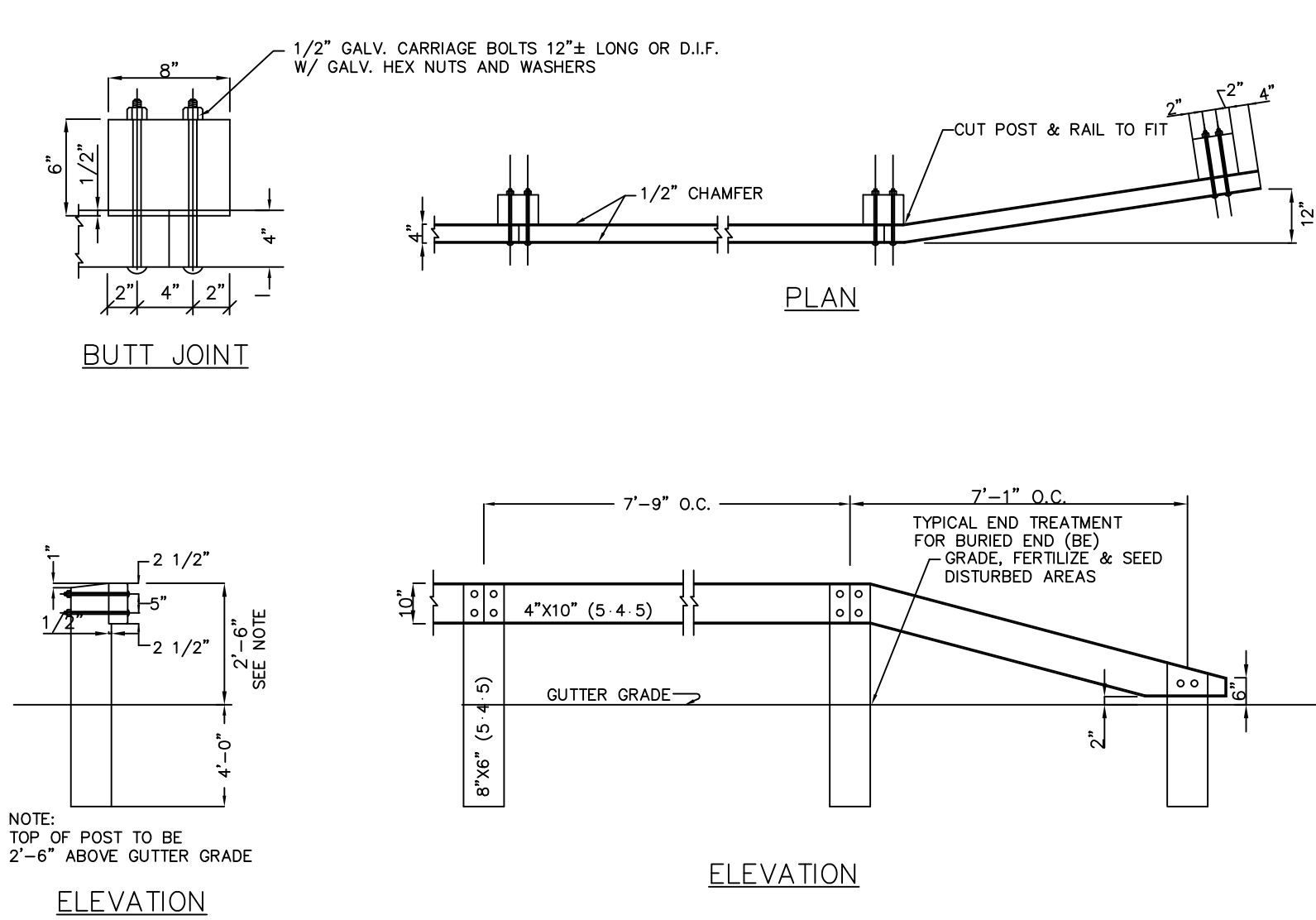
MASSDOT
CONSTRUCTION
STANDARDS

STONE PIPE ENDS
FOR PIPES 24" AND LESS IN DIA.

DATE OF REVISION
OCTOBER 2017
E 206.7.0

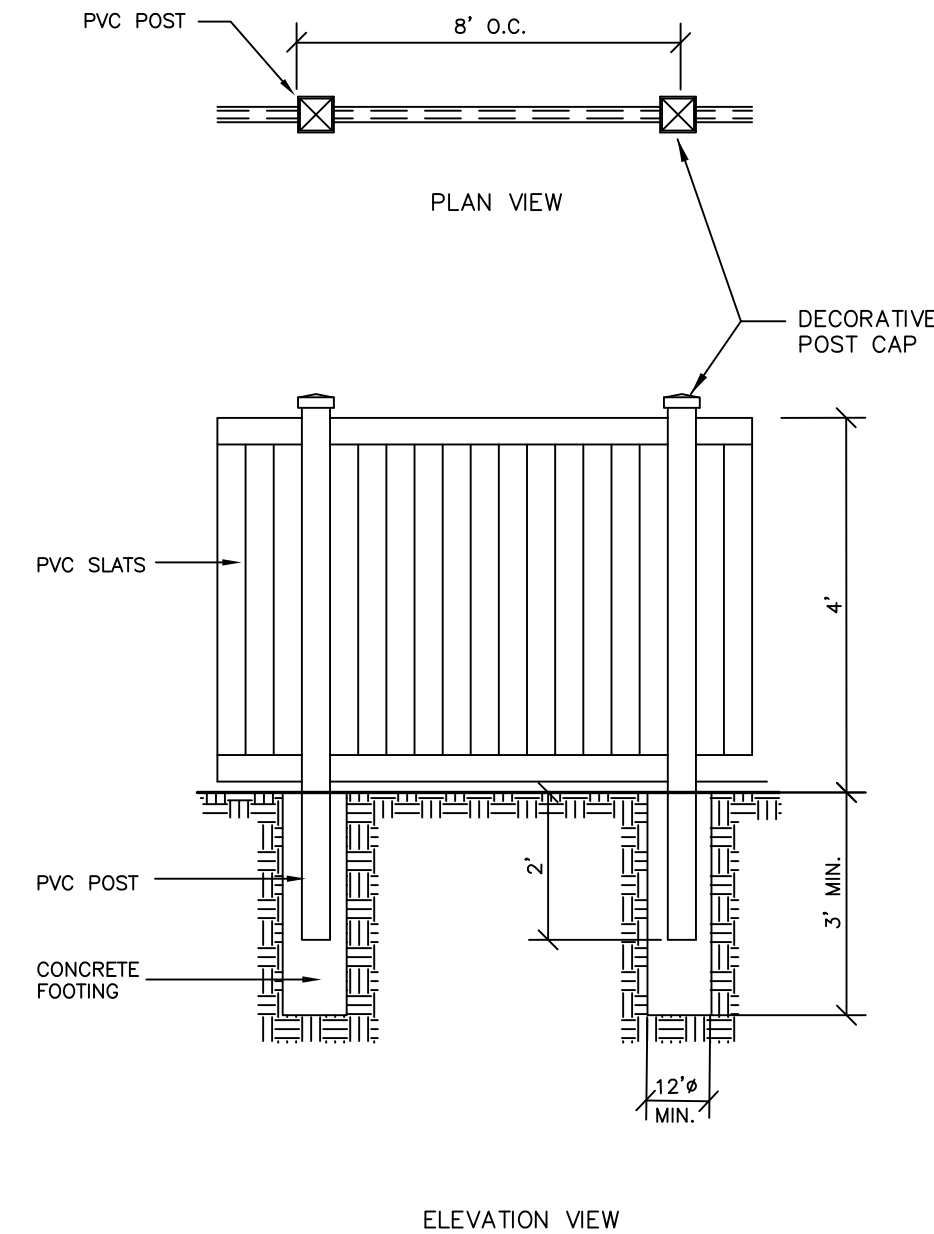


PIPE END RIPRAP APRON
(NOT TO SCALE)



WOODEN GUARD RAIL
(NOT TO SCALE)

- GENERAL NOTES
- WOOD RAILS TO BE LONGLEAF YELLOW PINE OR DOUGLAS FIR - STRUCTURAL GRADE OR BETTER.
 - POSTS TO BE DOUGLAS FIR OR SPRUCE - STRUCTURAL GRADE OR BETTER.
 - TIMBER PRESERVATIVES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-133. THE METHODS OF TREATMENT SHALL CONFORM TO AMER. WOOD PRESERVERS ASSN. STANDARDS C1, C2 & C3. ANY CUTS MADE IN FIELD SHALL BE PAINTED W/ 2 BRUSH COATS OF AFOREMENTIONED METHOD OF TREATMENT.
 - METAL GUARDRAIL CONFORMING TO MASSDOT STANDARD SPECIFICATIONS MAY BE INSTALLED IN LIEU OF WOODEN GUARDRAIL.



OPAQUE PVC FENCE DETAIL
(NOT TO SCALE)

LOCUS REFERENCES

ASSESSORS PARCEL: 18-8.1
#1603 MAIN STREET
OWNER: LEICESTER MAIN, LLC
LAND COURT CERT. 16956
DEED BOOK 41309, PAGE 153
1.05 Acres

ASSESSORS PARCEL: 18A-14 & 15
0 & #1605 MAIN STREET
OWNER: LEICESTER MAIN, LLC
DEED BOOK 41309, PAGE 153
1.05 Acres

LOCUS LOTS ARE LOCATED WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 1 DISTRICT.

NOTES

- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY ODRONE SURVEY & MAPPING IN DECEMBER 2012, AND UPDATED BY ALLEN ENGINEERING & ASSOCIATES, INC. IN DECEMBER 2020.
- ELEVATIONS REFER TO NAD 88 VERTICAL DATUM.
- THE SITE FALLS WITHIN A FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 25027C0780E.
- THIS SITE DOES NOT CONTAIN CERTIFIED VERNAL POOLS OR HABITATS OF RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE WEB SITE AS OF DECEMBER 2020.
- EXISTING UTILITY LINES SHOWN ON THESE DRAWINGS ARE BASED ON AVAILABLE RECORD INFORMATION OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. EXISTING UTILITY LINES OTHER THAN THOSE SHOWN MAY BE ON THE SITE. CALL "DIG SAFE" AT 811.
- THERE SHALL BE NO USE OF FILL CONTAINING HAZARDOUS MATERIALS.
- APPLICANT SHALL PROVIDE CONSTRUCTION DRAWINGS FOR UNDERGROUND STORAGE TANKS WITH APPLICATION FOR BUILDING PERMIT. DEPTH OF LEDGE/REFUSAL TO BE DETERMINED PRIOR TO DESIGN.



PROFESSIONAL ENGINEER

PREPARED FOR:

Skaff Petroleum, Inc.
334 Grafton Street,
Worcester, MA 01604

TITLE:

CONSTRUCTION
DETAIL PLAN
For
#1603 - #1605 Main Street
In
Leicester, MA

PREPARED BY:



ALLEN ENGINEERING
& ASSOCIATES, INC.

Civil Engineers • Surveyors
Land Development Consultants
One Charlesview Road
Suite 2
Hopedale, Ma 01747
(508) 381-3212 • Phone
www.allenrea.com

SCALE:

AS NOTED

DATE:

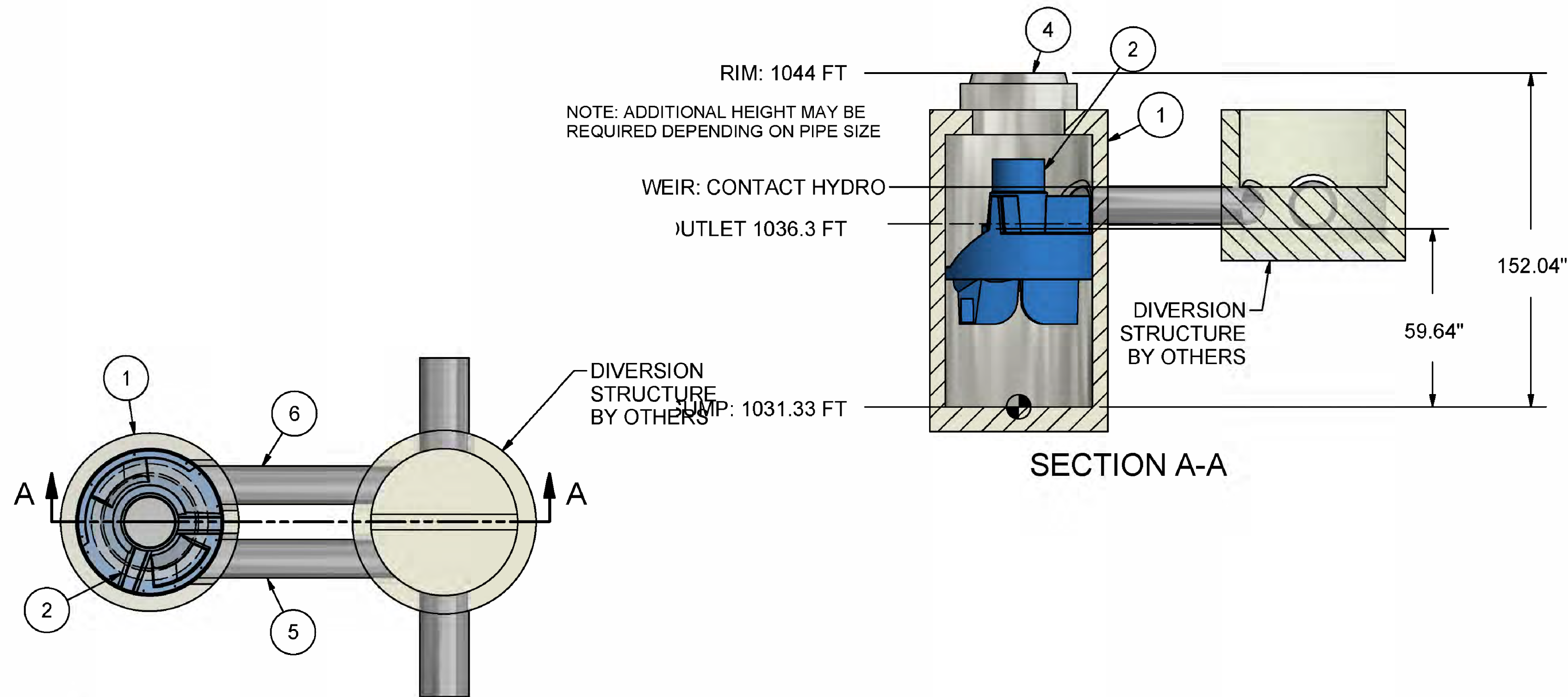
September 23, 2021

REVISIONS

#	DATE	DESCRIPTION	INIT
1	11/12/21	PER COMMENTS	BSW

JOB NO:
00047

SHEET:
10 of 13



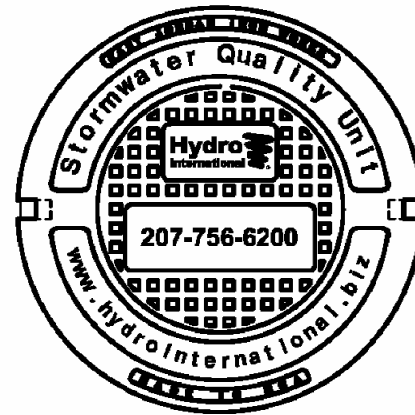
CAPACITIES:

- PEAK HYDRAULIC FLOW: 17.89 cfs
- SEDIMENT STORAGE CAPACITY: 0.7 yd3
- OIL STORAGE CAPACITY: 191 gal
- MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
- THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.

GENERAL NOTES :

- General Arrangement drawings only. Contact Hydro International for site specific drawings.
- Inlet/outlet pipe angle can vary to align with drainage network (refer to project plans)
- Peak flow rate and minimum height limited by available cover and pipe diameter.

ANY WARRANTY GIVEN BY HYDRO INTERNATIONAL WILL APPLY ONLY TO THOSE ITEMS SUPPLIED BY IT. ACCORDINGLY HYDRO INTERNATIONAL CANNOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURE, PLANT, OR EQUIPMENT, (OR THE PERFORMANCE THERE OF) DESIGNED, BUILT, MANUFACTURED, OR SUPPLIED BY ANY THIRD PARTY. HYDRO INTERNATIONAL HAVE A POLICY OF CONTINUOUS DEVELOPMENT AND RESERVE THE RIGHT TO AMEND THE SPECIFICATION. HYDRO INTERNATIONAL CANNOT ACCEPT LIABILITY FOR PERFORMANCE OF ITS EQUIPMENT, (OR ANY PART THEREOF), IF THE EQUIPMENT IS SUBJECT TO CONDITIONS OUTSIDE ANY DESIGN SPECIFICATION. HYDRO INTERNATIONAL OWNS THE COPYRIGHT OF THIS DRAWING, WHICH IS SUPPLIED IN CONFIDENCE. IT MUST NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED AND MUST NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT PRIOR PERMISSION IN WRITING FROM HYDRO INTERNATIONAL.



HYDRO FRAME AND
COVER (INCLUDED)
GRADE RINGS BY OTHERS
AS REQUIRED

- NOTE:
- NOT FOR CONSTRUCTION. CONTACT HYDRO FOR SITE SPECIFIC DETAIL.
 - MAX PIPE SIZE MAY NOT BE POSSIBLE IN OFFLINE CONFIGURATION.

PARTS LIST		
ITEM	DESCRIPTION	SIZE (in)
1	I.D. PRECAST MANHOLE	48
2	INTERNAL COMPONENTS (PRE-INSTALLED)	
4	FRAME AND COVER (ROUND)	30
5	OUTLET PIPE(BY OTHERS)	12
6	INLET PIPE(BY OTHERS)	12

WEIGHT: N/A	MATERIAL:
REFERENCE NUMBER: 21_12_1395	
DRAWING NO.:	
SHEET SIZE: B	SHEET: 1 OF 1
Rev: -	

Bruce@Allen-EA.com 4/5/2021



IF IN DOUBT ASK

- COMMENTS:
- MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
 - CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

REVISION HISTORY		
REV	BY	DESCRIPTION
-	ER	FIRST RELEASE

DATE:	SCALE:
	NTS

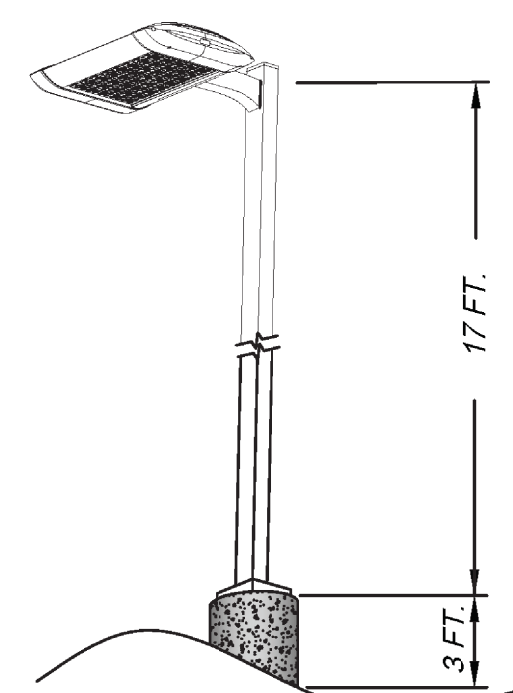
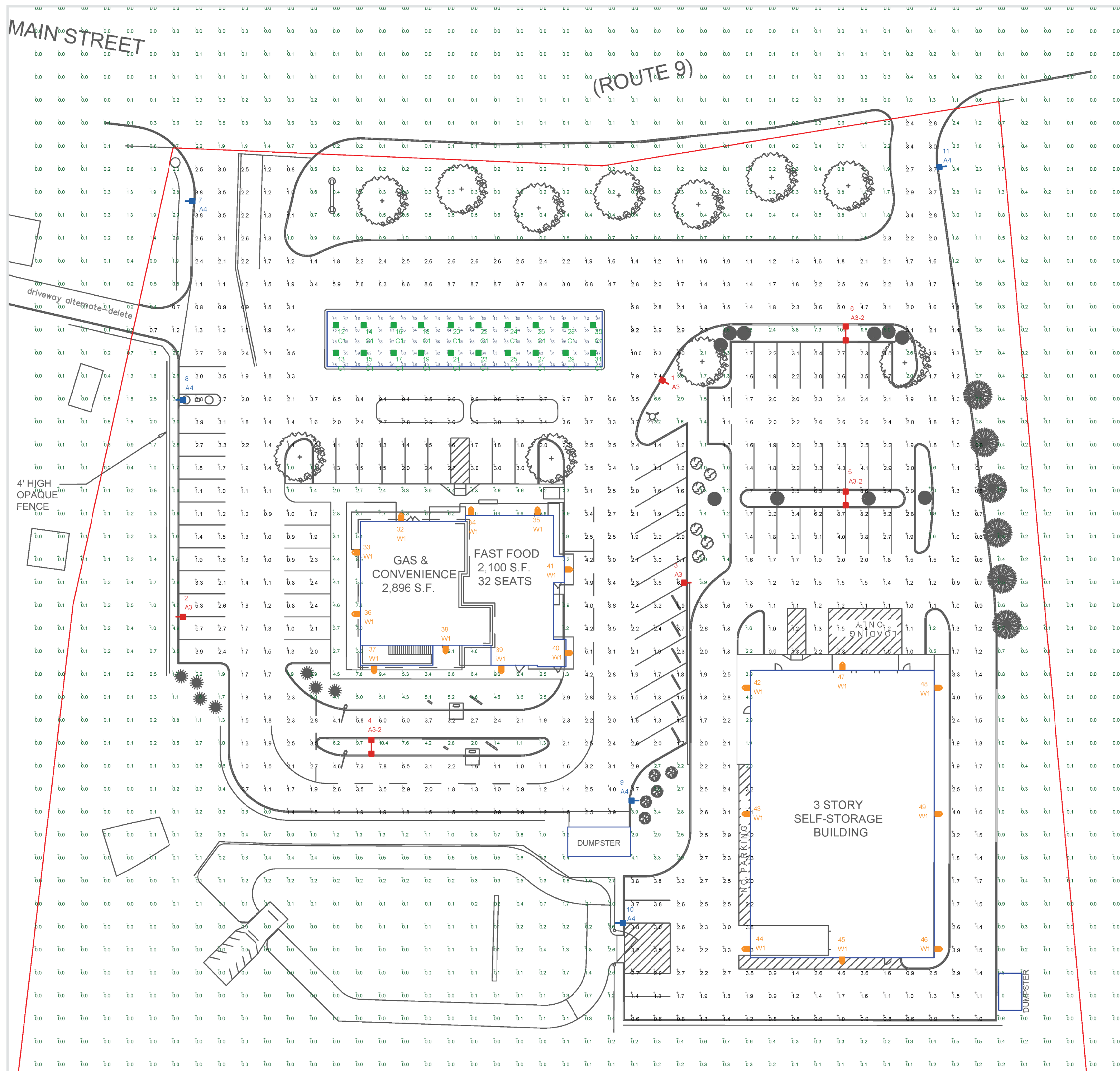
DRAWN BY:	CHECKED BY:	APPROVED BY:
ER		

Title
4 FT FIRST DEFENSE®
HIGH CAPACITY

Site:
Leicester

Structure No:
STU1

Hydro
International
hydro-int.com
HYDRO INTERNATIONAL



NOTE:
- ALL AREA LIGHTS ON NEW 17 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	56.03	68	35	1.60	1.94
PAVED	2.54	10.0	0.6	4.23	16.67
UNDEFINED	0.60	10.4	0.0	N.A.	N.A.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3	20
2	A3	20
3	A3	20
4	A3-2	20
5	A3-2	20
6	A3-2	20
7	A4	20
8	A4	20
9	A4	20
10	A4	20
11	A4	20
12	C1	15
13	C1	15
14	C1	15
15	C1	15
16	C1	15
17	C1	15
18	C1	15
19	C1	15
20	C1	15
21	C1	15
22	C1	15
23	C1	15
24	C1	15
25	C1	15
26	C1	15
27	C1	15
28	C1	15
29	C1	15
30	C1	15
31	C1	15
32	W1	12
33	W1	12
34	W1	12
35	W1	12
36	W1	12
37	W1	12
38	W1	12
39	W1	12
40	W1	12
41	W1	12
42	W1	15
43	W1	15
44	W1	15
45	W1	15
46	W1	15
47	W1	15
48	W1	15
49	W1	15

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	3	A3	SINGLE	11175	1.030	B2-U0-G2	72	216	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	3	A3-2	D180	11175	1.030	B2-U0-G2	72	432	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX
	5	A4	SINGLE	11174	1.030	B2-U0-G2	72	360	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
	20	C1	SINGLE	12516	1.030	B3-U0-G1	91.19	1823.8	Cree Lighting	CPY250-B-DM-F-13L-UL-XX-57K
	18	W1	SINGLE	4270	1.030	B1-U0-G1	31	558	Cree Inc	XSPW-B-VM-3ME-4L-57K-UL-XX



1340 Kemper Meadow Dr, Forest Park, OH 45240
513-674-9600 | redleonard.com

REV.	BY	DATE	DESCRIPTION
R1	LMP	08/19/21	REVISED TO INCLUDE SELF STORAGE PARKING

DISCLAIMER
ANY SITE PLANS, FLOOR PLANS, RENDERINGS, LIGHTING LAYOUTS AND PHOTOMETRIC PLANS (INCLUDING BUT NOT LIMITED TO ANY PROJECTS) CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RECREATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDINGS, SURROUNDING AREA FOR PROJECTS (SUCH AS EXISTING POLES), ANCHOR BOLTS, BASE(S), ARCHITECTURAL AND SIGNAGE STRUCTURES, LANDSCAPING PLANS, LIGHTING PLANS, FUTURE SELECTIONS AND PLACEMENT, MATERIALS, COLOR ACCURACY, TEXTURES, AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC., DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK. THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSON(S) IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWINGS, OR PROJECT(S) IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY LOCATIONS OF EMERGENCY LIGHTING SHOWN WERE PROVIDED BY OTHERS. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INSUFFICIENT LIGHTING DURING AN EMERGENCY EVENT. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAYME J. LEONARD IS STRICTLY PROHIBITED.

SCALE:
1" = 30'
DWG SIZE:
D

LAYOUT BY:
LMP
DATE:
04/30/21

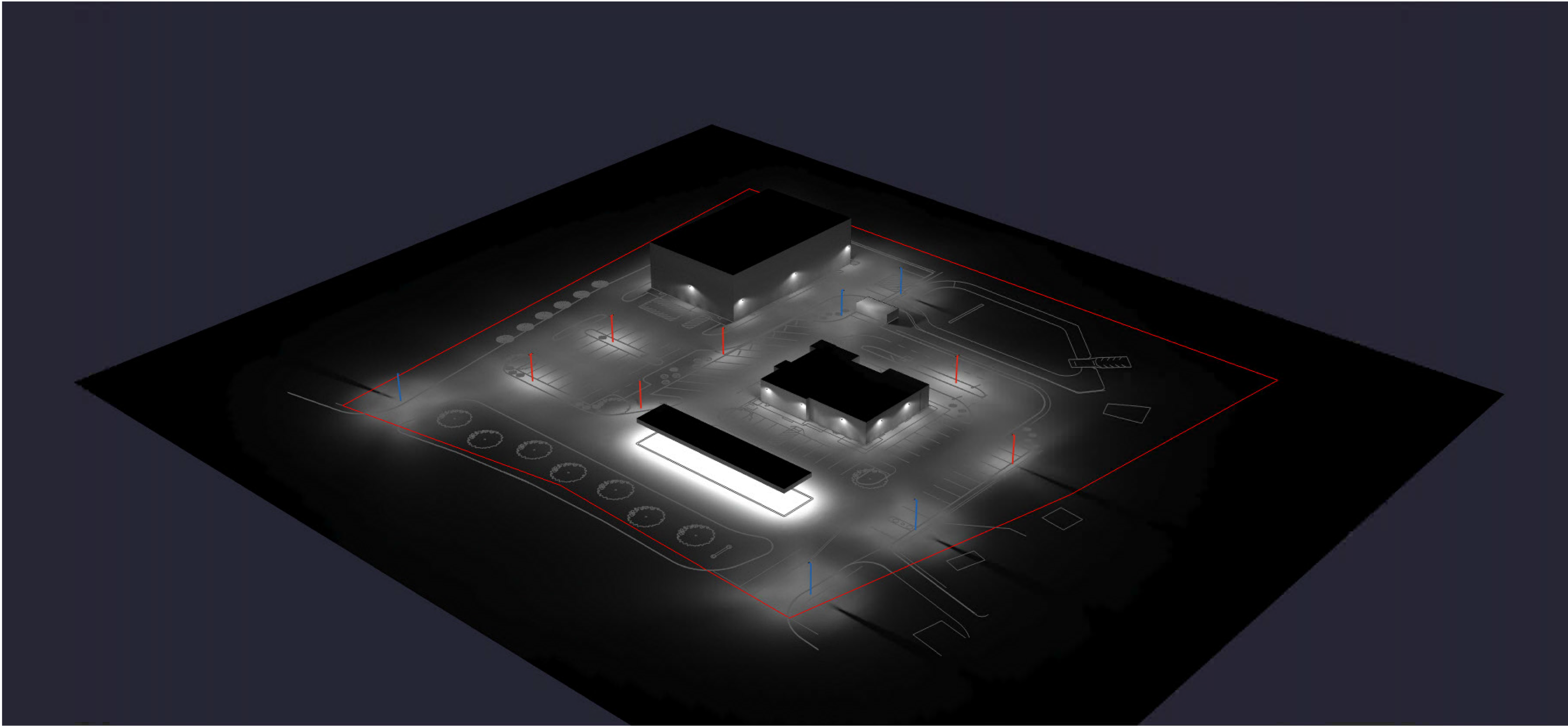
PROJECT NAME:
**MOBIL/BURGER KING
LEICESTER, MA**

DRAWING NUMBER:
RL-7353-S1-R1



LIGHTING
PHOTOMETRIC PLAN

JOB NO:
00047
SHEET:
11 of 13



Tom Corbett

From: Buck, Michelle <BuckM@leicesterma.org>
Sent: Monday, September 13, 2021 3:58 PM
To: Chris Anderson
Subject: RE: Leicester Solar System Counts

Leicester has approved 13, but 3 permits have expired so there are currently 10 remaining permits available.

Michelle R. Buck, AICP
 Leicester Town Planner/Director of Inspectional Services
 508-892-7007

buckm@leicesterma.org

Please note that Leicester Town Hall is closed on Fridays.

From: Chris Anderson <canderson@hanniganengineering.com>
Sent: Monday, September 13, 2021 9:25 AM
To: Buck, Michelle <BuckM@leicesterma.org>
Cc: Peter Forte <pforte@zpeenergy.com>
Subject: Leicester Solar System Counts

Michelle,

Per our conversation last week I am checking to see if you had a final formal count of the solar energy systems towards the Bylaw Cap. Thanks.

Sincerely,

Chris

Christopher M. Anderson, PE
 Project Manager

**HANNIGAN
 ENGINEERING, INC.**
 CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE
 LEOMINSTER, MA 01453

(978) 534-1234 (O)

CELEBRATING 25 YEARS OF SERVICE.

canderson@hanniganengineering.com

The information transmitted in this e-mail is intended for the person or entity to which it is addressed and may contain confidential and/or privileged material. Electronic files transmitted are for the use and information of the intended recipient only, and are not intended as official documents issued by Hannigan Engineering, Inc. The recipient/user bears the responsibility to check these files against the corresponding signed and sealed drawings and specifications issued by Hannigan Engineering, Inc. Once transmitted, Hannigan Engineering, Inc. has no control over the use or application of these files, and assumes no responsibility or liability for their accuracy or completeness, or for any changes made to them. If you are the unintended recipient of this e-mail, please reply to the sender so that we may redirect this information.

Tom Corbett

From: Michael Wilson <mwilson@leicesterfireems.org>
Sent: Thursday, November 4, 2021 10:53 AM
To: Tom Corbett
Subject: Re: Hydrant Calculations

There is plenty of water there and if there is a runaway incident most likely we will just use tank water off the engine.

On Thu, Nov 4, 2021 at 10:23 AM Tom Corbett <tcorbett@zpeenergy.com> wrote:

Hi Mike,

Thank you again for the letter to the board for the meeting the other night.

One Board member asked that we confirm that the flow at the hydrant is sufficient for the suppression system.

- He mentioned this as a cross the "T" and dot the "I" as every other project with a sprinkler system needs to confirm this in their application.

I would imagine that the hydrant has sufficient flow with Tractor Supply being next door. With the Hydrant having a green cap I would imagine the flow rate being over 1000 GPM but that's based on my general knowledge of hydrants.

I have some rough calculations based on the manufacturers flow rate calculations.

- The inlet allows for 2.8 gallons per second (x2)
- Roughly 336GPM

How would I go about confirming that this hydrant will suffice and who would be the one to speak to about this?

Tom Corbett

Project Manager

Energy Safety Response Group llc

8350 US HWY 23

Delaware, Ohio 43015

+1 740.981.7683

Nick.warner@energyresponsegroup.com



To the Leicester Planning Board and Conservation Commission,

My name is Nick Warner and I am a principal and co-founder of Energy Safety Response Group. We are focused on safety, permitting, emergency response related to alternative energy technologies and in particular energy storage. To that end, we have performed over two hundred medium and large scale fire tests on a range of energy storage technologies, primarily lithium ion batteries, across all common chemistries. We are required at our site to collect all runoff water we generate, and when disposal is necessary, we are required to test this runoff prior to disposal. To that end, we have collected several useful data samples on the runoff which we believe is one of the more comprehensive datasets on the topic in industry. Along with this testing and data, ESRG is very much a company of the fire service for the fire service, and well over half of our team, as well as our partners, are current or retired members of the fire service. To that end, we understand what becomes of firefighting runoff, what this water may contain even during a routine structure fire, and the importance of managing the fire even knowing the water may not be pristine afterwards.

With these facts, I write to you to share our guidance on energy storage firefighting operations with recognition of the concerns surrounding fire fighting run off and based on the data we have observed to date and our experience in this industry. As of now, our guidance to the fire service is that our observations regarding runoff water composition should not deter the use of water during an ESS emergency. In cases where runoff water may enter an environmentally sensitive area, or where there are some founded concerns about runoff, ESRG recommends the use of PIGS for controlling water flow, but does not deter against the use of water. Unless the effected system has been breached and water sprayed directly into it (an offensive firefighting attack typically recommended against), it is unlikely that appreciable quantities of contaminants will enter the runoff. ESRG's typical guidance is centered around defensive attacks, protecting uncompromised exposures, which shouldn't pose contaminant risks anymore than regular rain. Though technologies may continue to evolve and things may change, the current slate of systems installed in the field today, if responsibly sourced, should not pose risks beyond what ESRG has identified at their own site, and which are manageable with basic techniques if necessary.

I hope this guidance addresses and assuages the concerns of the Board and the Commission, and as we offer to all in the public safety and regulatory space, please do not hesitate to reach out to us with more questions if you have them.

Thank you,

A handwritten signature in black ink, appearing to read 'Nick Warner', is written over a horizontal line.

Nick Warner
Principal, ESRG

November 9, 2021

Brooke Hultgren

From: Alaa Abusalah
Sent: Monday, November 15, 2021 3:53 PM
To: Brooke Hultgren
Subject: FW: 651 Main Street Leicester

Please add this to the case file and print copies so theyre readily available for reference tomorrow night. Thank you!

From: Dennis Griffin <griffind@leicesterma.org>
Sent: Monday, November 15, 2021 8:18 AM
To: Ken Antanavica <antanavicak@leicesterpd.org>; Alaa Abusalah <AbusalahA@leicesterma.org>; Mike Dupuis <mdupuis@leicesterfireems.org>; KQuinn@QEICivil.com
Subject: RE: 651 Main Street Leicester

I also agree with the concerns of the PD

From: Ken Antanavica <antanavicak@leicesterpd.org>
Sent: Friday, November 12, 2021 8:12 AM
To: Alaa Abusalah <AbusalahA@leicesterma.org>; Mike Dupuis <mdupuis@leicesterfireems.org>; KQuinn@QEICivil.com; Dennis Griffin <griffind@leicesterma.org>
Subject: RE: 651 Main Street Leicester

Hello Alaa:

I still have concerns over the grade being over the maximum allowed. Although a heated roadway sounds interesting it raises more questions like who will maintain the equipment and what happens to the run off, once it hits Rt 9 it will freeze. I think it would be wise to have all departments all on the same page before your meeting Tuesday. If possible would you have any time on Monday to meet with FD, PD and Highway for a few minutes to discuss the situation.

Thank You

*Chief Kenneth M Antanavica
 Leicester Police Department
 90 S. Main St.
 Leicester, Ma 01524
 (508) 892-7010 ext 2010
 Fax (508) 892-7012*

From: Alaa Abusalah <AbusalahA@leicesterma.org>
Sent: Wednesday, November 10, 2021 3:34 PM
To: Michael Malynowski <mmalynowski@allenmajor.com>; Remax Patriot Realty <david@remaxpatriotrealty.com>
Cc: Brooke Hultgren <hultgrenb@leicesterma.org>; Mark Klinger <mark@globalgcny.com>; Eyal Preis <eyal.price94@gmail.com>; Kevin Quinn <KQuinn@QEICivil.com>; Mike Dupuis <mdupuis@leicesterfireems.org>; Ken Antanavica <antanavicak@leicesterpd.org>; Leicester Planning Board <planning@leicesterma.org>
Subject: RE: 651 Main Street Leicester

Hi Mike, thank you.

The revised plans differ from the set David dropped off this morning. Unfortunately this does not give the Town enough time to review and submit comments.

I have asked Kevin to join us next Tuesday night for the Planning Board meeting. He will also be submitting comments in response to the revised plans filed this morning.

Please let me know if you have any questions.

Thanks,
Alaa

From: Michael Malynowski <mmalynowski@allenmajor.com>
Sent: Wednesday, November 10, 2021 2:53 PM
To: Remax Patriot Realty <david@remaxpatriotrealty.com>; Kevin Quinn <KQuinn@QEICivil.com>; Alaa Abusalah <AbusalahA@leicesterma.org>
Cc: Brooke Hultgren <hultgrenb@leicesterma.org>; Mark Klinger <mark@globalgcny.com>; Eyal Preis <eyal.price94@gmail.com>; Mike Dupuis <mdupuis@leicesterfireems.org>; Ken Antanavica <antanavicak@leicesterpd.org>; Leicester Planning Board <planning@leicesterma.org>
Subject: RE: 651 Main Street Leicester

Good afternoon everyone,

David has provided a detail explanation of the items that have changed based on recent discussions with the various departments in town. For those who would like a full set of the plans, please use the following link.

https://www.dropbox.com/s/j837rv6pvt9zsi/2021-11-10_Updates%20per%20Town%20Comments.pdf?dl=0

Thanks & Stay safe,
Mike

Michael A. Malynowski, PE | Senior Project Manager
 Allen & Major Associates, Inc.

Cell: 781-640-7650 | mmalynowski@allenmajor.com

Manchester, NH | Woburn, MA | Lakeville, MA

www.allenmajor.com

Follow us on [LinkedIn](#) | [Instagram](#) | [Twitter](#)

From: Remax Patriot Realty [<mailto:david@remaxpatriotrealty.com>]
Sent: Wednesday, November 10, 2021 10:30 AM
To: Kevin Quinn <KQuinn@QEICivil.com>; Alaa Abusalah <AbusalahA@leicesterma.org>
Cc: Michael Malynowski <mmalynowski@allenmajor.com>; Brooke Hultgren <hultgrenb@leicesterma.org>; Mark Klinger <mark@globalgcny.com>; Eyal Preis <eyal.price94@gmail.com>; Michael Dupuis <Mdupuis@leicesterfireems.org>; Kenneth Antanavica <antanavicak@leicesterpd.org>; planning@leicesterma.org
Subject: 651 Main Street Leicester

Good morning Kevin:

Here are the changes made to the plans for the road and the development to meet the requirements of both fire, police, EMS, and planning board.

1. Changed the grade on the main road into the development to 11.66%.
2. To make sure that the fire/EMS/Police can access the sub-division at all times of the year, we will install 400' of WarmUp heated street on the grade of the main road. The system is controlled by a thermal and air sensor to make sure that the grade will not have snow or ice on it.
3. We expand the main road for parent parking for the school bus to 10 vehicles on the side, and the 4 in the lot at the bottom, brings the count to 14 vehicles.
4. We have changed the grade of the emergency road to the church parking lot to 11.5%.
5. We have made an access road to the back gabion stormwater management system that will be gated for town and maintenance access only (no residence for vehicles).
6. Should the road to Colonial Drive be kept (to be determined by Planning) we will create 750 sq. ft. Of wetlands to replace the 750 sq. ft. We will need for the road.
7. We have made the grade of the road to Colonial Drive 11.66% should the road be required.
8. We have met with the Fire Chief and measured the largest vehicle they have, and have made the graduated grade of the road to insure no access issues to the development.
9. We have converted all the homes to Duplex's to give a better experience to the new owners for both privacy and room sizes.
10. We are adding street lights to the hill where there are no homes for night time driving. All homes will have lights at the end of the driveway to help light the road.

These are the changes to the development, the drainage system, road configuration, and layout has basically stayed the same.

Attached are the 4 pages to the plans that have changed. Plus our rendering of the development with the homes, heated street, and layout.

We are looking for your comments for the next meeting on November 16th.

Thank you in advance for your help making this a fantastic development for the town of Leicester.

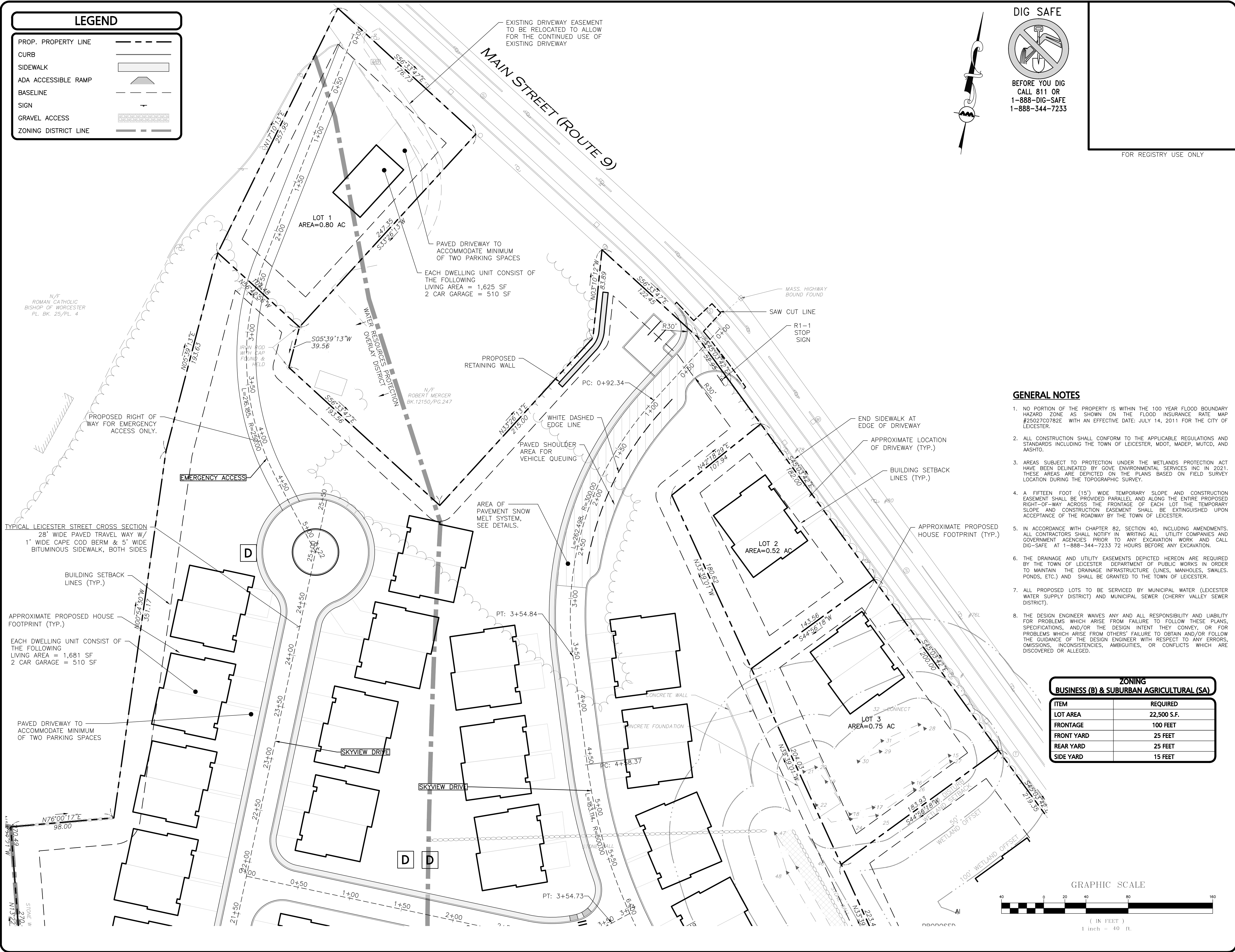
Have a Fantastic Day!



David King
Commander of Results
Broker Owner
978.580.7100 Call or Text
55 Mead Street Leominster, MA 01453

Please note that I am a licensed broker in the state of Massachusetts & Alabama. I am not a builder, surveyor, electrician, plumber, or any other professional than a realtor. A professional should be hired to determine solutions to any situation in or with a property. I am not liable or responsible for projections in spreadsheets, or for any financial forecasts on new or rehab construction. I am not responsible for any misunderstandings or issues that arise from the sale or potential sale of a property.

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_LAYOUT & MATERIALS.DWG



DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

FOR REGISTRY USE ONLY

GENERAL NOTES

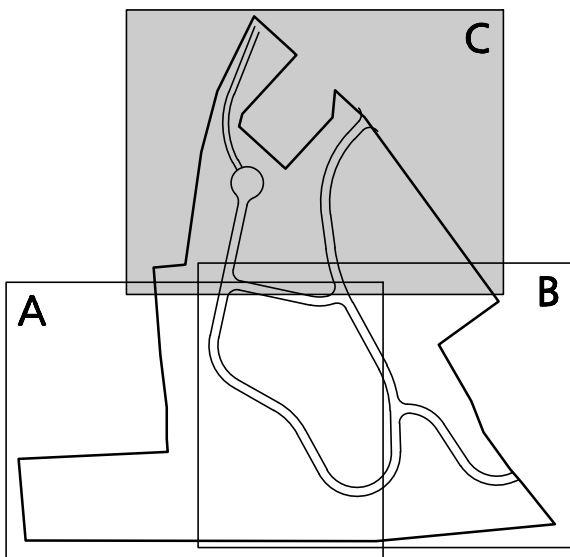
- NO PORTION OF THE PROPERTY IS WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #25027C0782E WITH AN EFFECTIVE DATE: JULY 14, 2011 FOR THE CITY OF LEICESTER.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND ASHTO.
- AREAS SUBJECT TO PROTECTION UNDER THE WETLANDS PROTECTION ACT HAVE BEEN DELINEATED BY COVE ENVIRONMENTAL SERVICES INC IN 2021. THESE AREAS ARE DEPICTED ON THE PLANS BASED ON FIELD SURVEY LOCATION DURING THE TOPOGRAPHIC SURVEY.
- A FIFTEEN FOOT (15') WIDE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE PROVIDED PARALLEL AND ALONG THE ENTIRE PROPOSED RIGHT-OF-WAY ACROSS THE FRONTAGE OF EACH LOT THE TEMPORARY SLOPE AND CONSTRUCTION EASEMENT SHALL BE EXTINGUISHED UPON ACCEPTANCE OF THE ROADWAY BY THE TOWN OF LEICESTER.
- IN ACCORDANCE WITH CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, ALL CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233 72 HOURS BEFORE ANY EXCAVATION.
- THE DRAINAGE AND UTILITY EASEMENTS DEPICTED HEREON ARE REQUIRED BY THE TOWN OF LEICESTER DEPARTMENT OF PUBLIC WORKS IN ORDER TO MAINTAIN THE DRAINAGE INFRASTRUCTURE (LINES, MANHOLES, SWALES, PONDS, ETC) AND SHALL BE GRANTED TO THE TOWN OF LEICESTER.
- ALL PROPOSED LOTS TO BE SERVICED BY MUNICIPAL WATER (LEICESTER WATER SUPPLY DISTRICT) AND MUNICIPAL SEWER (CHERRY VALLEY SEWER DISTRICT).
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

ZONING BUSINESS (B) & SUBURBAN AGRICULTURAL (SA)

ITEM	REQUIRED
LOT AREA	22,500 S.F.
FRONTAGE	100 FEET
FRONT YARD	25 FEET
REAR YARD	25 FEET
SIDE YARD	15 FEET

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.



KEY MAP
NOT TO SCALE

APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**DEFINITIVE
ISSUED FOR REVIEW
NOVEMBER 10, 2021**

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

**SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 40' DWG. : C2889-01_Layout & Materials

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

**ALLEN & MAJOR
ASSOCIATES, INC.**
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT.
CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE
PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER
INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE
POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED
UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES,
INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS
AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR
PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND
SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF
ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: SHEET NO.

DEFINITIVE LAYOUT PLAN C-101C

Copyright © 2021 Allen & Major Associates, Inc.
All Rights Reserved

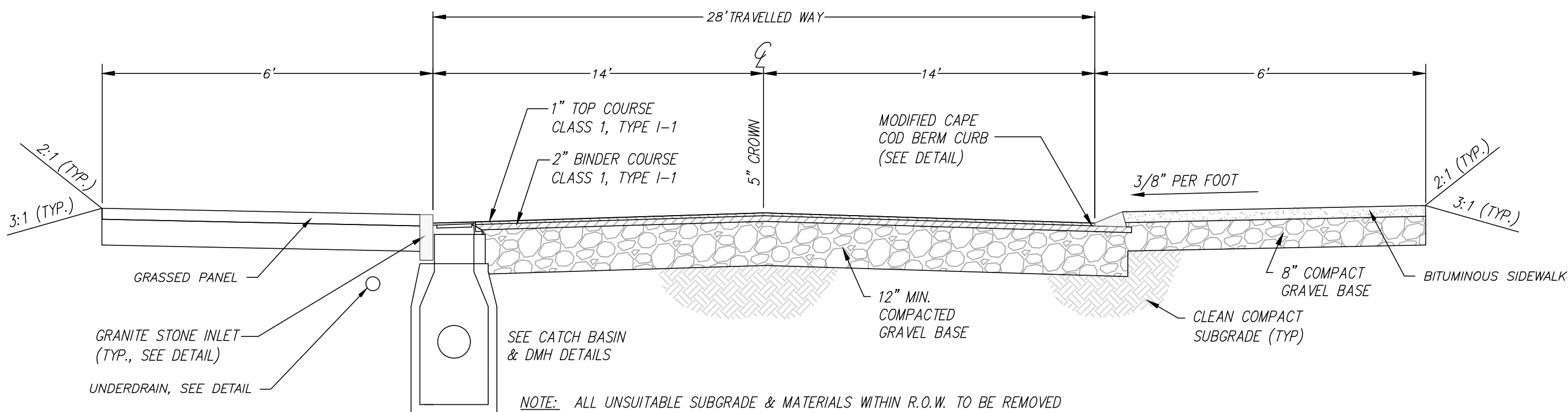
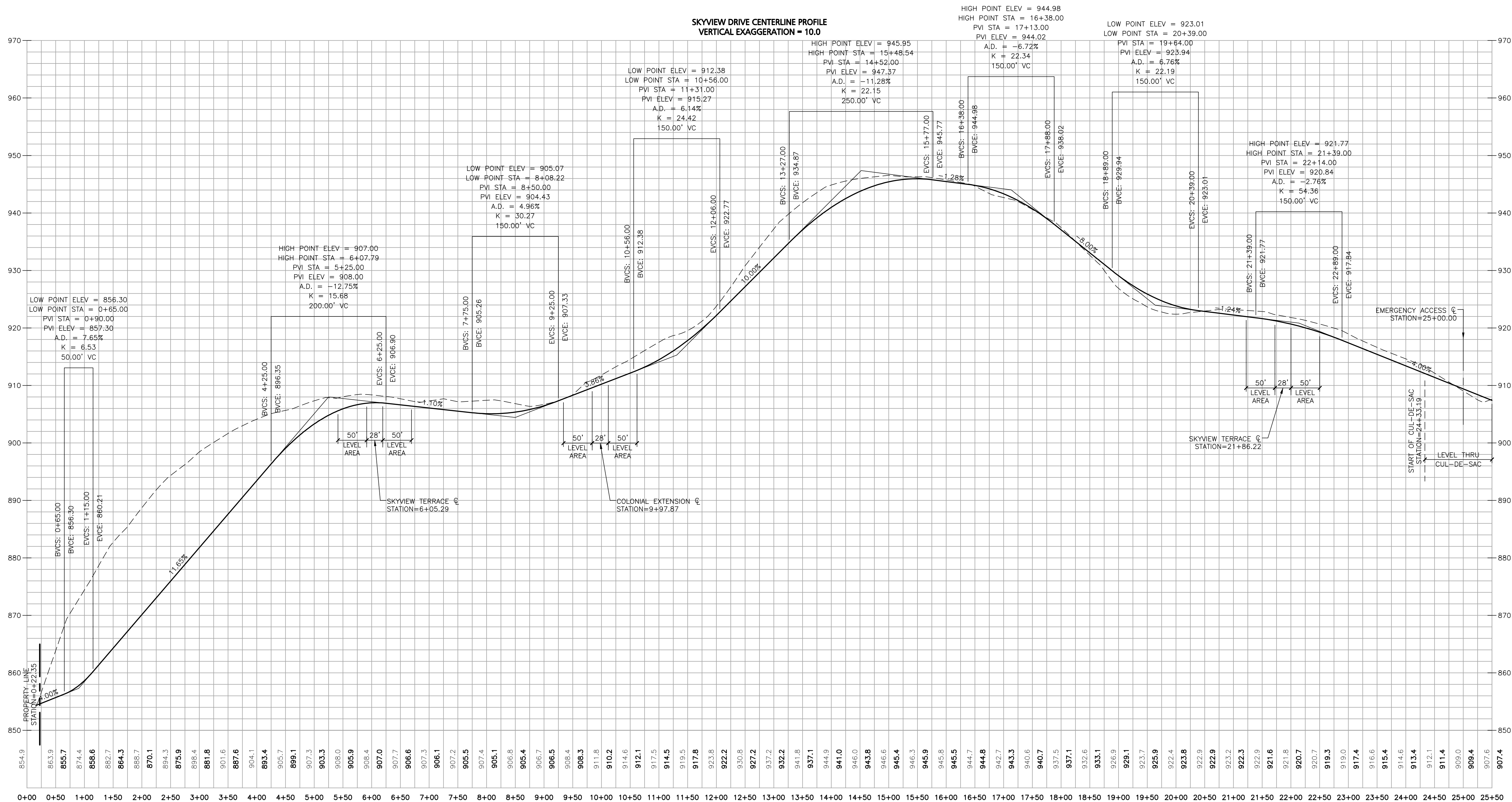
6 OF 22

R:\PROJECTS\2889-01\CIVIL\DRAWINGS\CURRENT\C-2889-01_GRADING & DRAINAGE.DWG

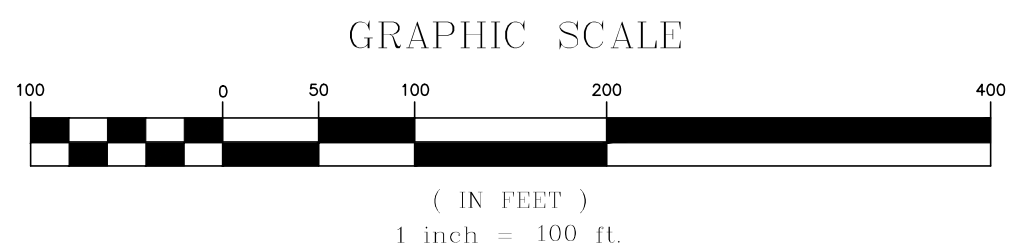
DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



STANDARD ROADWAY CROSS - SECTION
NOT TO SCALE



APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**DEFINITIVE
ISSUED FOR REVIEW
NOVEMBER 10, 2021**

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:

MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:

**SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 100' DWG. : C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

**ALLEN & MAJOR
ASSOCIATES, INC.**
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT.
CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANTS MAY BE
PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER
INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE
POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED
UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES,
INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S
AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR
PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND
SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF
ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE: ROADWAY PROFILE
SKYVIEW DRIVE

SHEET No.

C-201

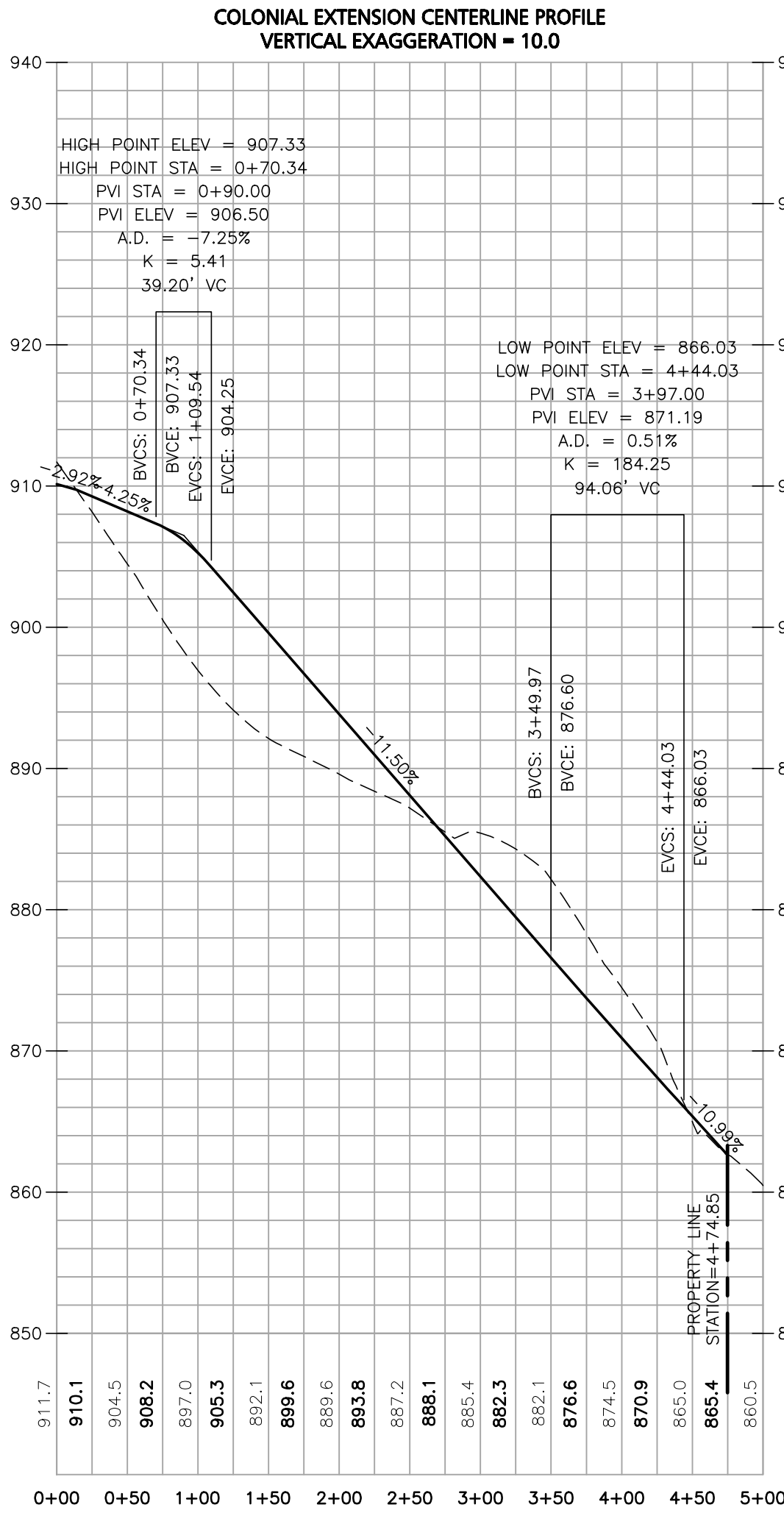
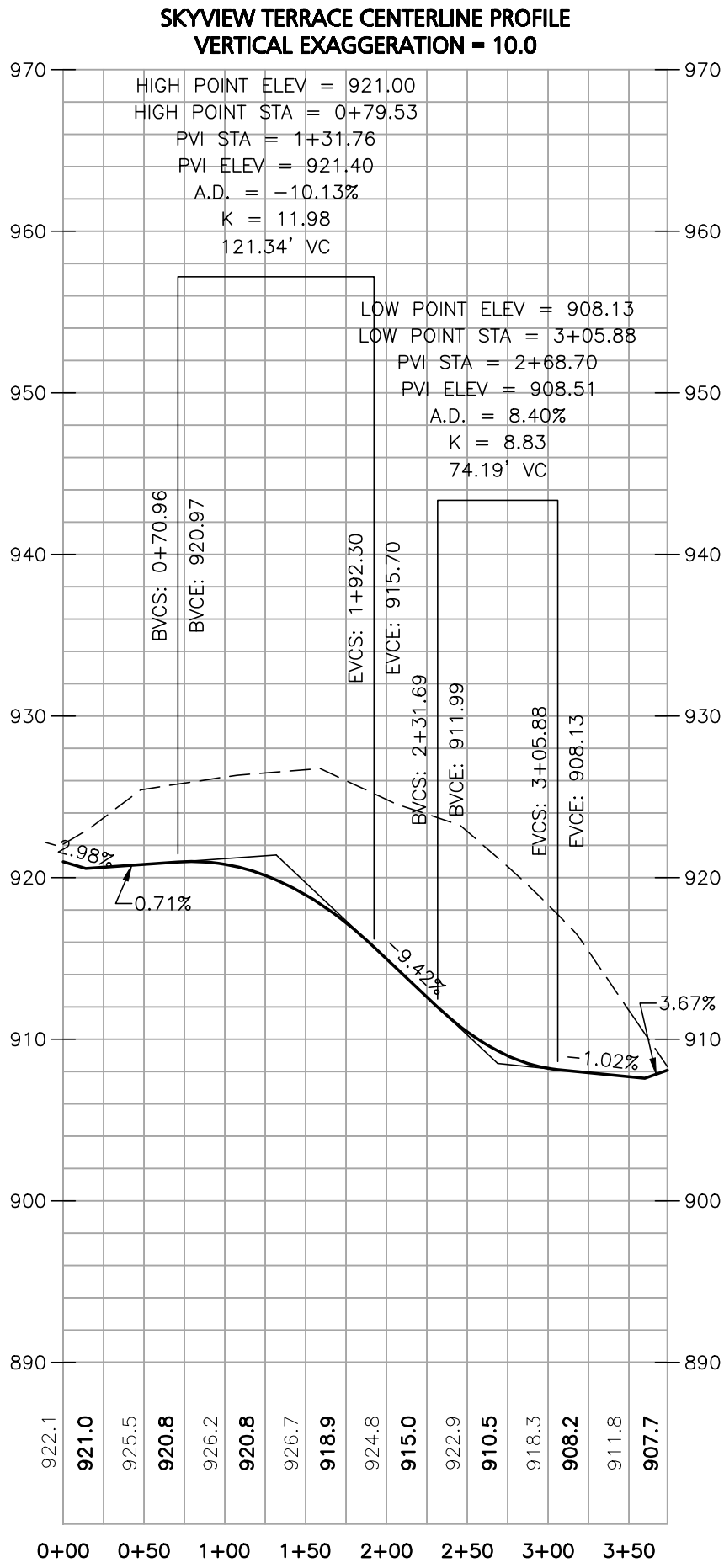
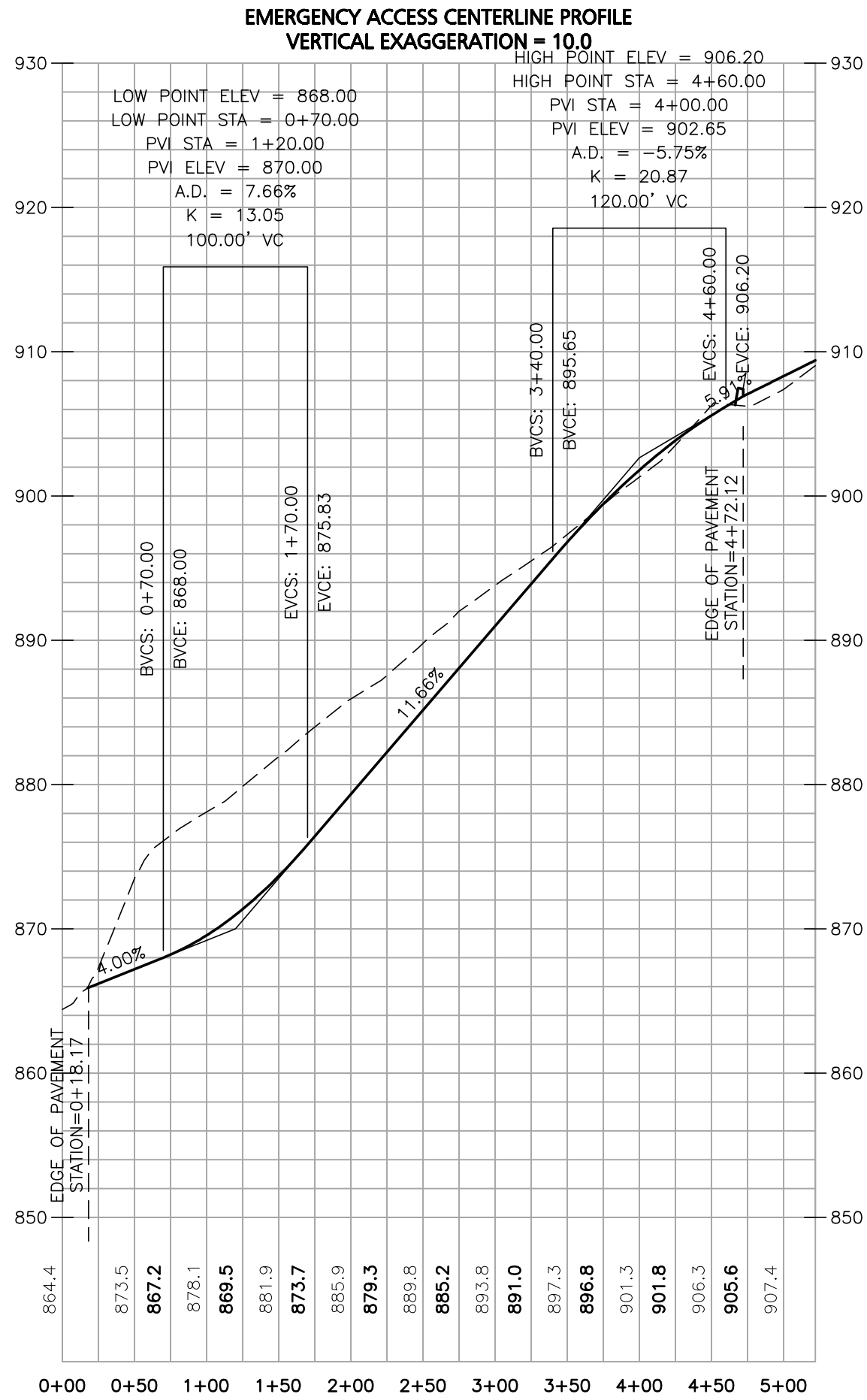
Copyright © 2021 Allen & Major Associates, Inc.
All Rights Reserved

15 OF 22

GENERAL NOTES

1. REFER TO SHEET C-102 FOR ADDITIONAL INFORMATION
2. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF LEICESTER, MDOT, MADEP, MUTCD, AND AASHTO.
3. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OF OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.

8. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



APPROVAL UNDER SITE PLAN APPROVAL
REQUIRED. SUBJECT TO A COVENANT TO
BE RECORDED HEREWITH.

DATE: _____

LEICESTER PLANNING BOARD

I CERTIFY THAT NO NOTICE OF APPEAL
WAS RECEIVED DURING THE TWENTY (20)
RECORDING DAYS NEXT AFTER RECEIPT
AND OF NOTICE FROM THE PLANNING
BOARD OF THE APPROVAL OF THIS PLAN

TOWN CLERK - TOWN OF LEICESTER

**DEFINITIVE
ISSUED FOR REVIEW
NOVEMBER 10, 2021**

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

2	11-10-21	MISC. REVISIONS PER TOWN COMMENTS
1	10-05-21	MISC. REVISIONS PER TOWN COMMENTS
REV	DATE	DESCRIPTION

APPLICANT:
MKEP 770 LLC
265 SUNRISE HIGHWAY, SUITE 1368
ROCKVILLE CENTER, NY 11570

PROJECT:
**SKYVIEW ESTATES
RESIDENTIAL SUBDIVISION
MAIN STREET
LEICESTER, MA**

PROJECT NO. 2889-01 DATE: 09-17-21

SCALE: 1" = 100' DWG.: C2889-01_Grading & Drainage

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

**ALLEN & MAJOR
ASSOCIATES, INC.**
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

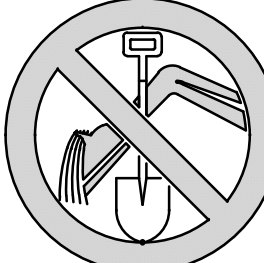
THIS DRAWING HAS BEEN PREPARED IN DIGITAL FORMAT. CLIENT/CUSTOMER REPRESENTATIVE OR CONSULTANTS MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS FOR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:
**ROADWAY PROFILES
SKYVIEW TERRACE, EMERGENCY
ACCESS, & COLONIAL EXTENSION**

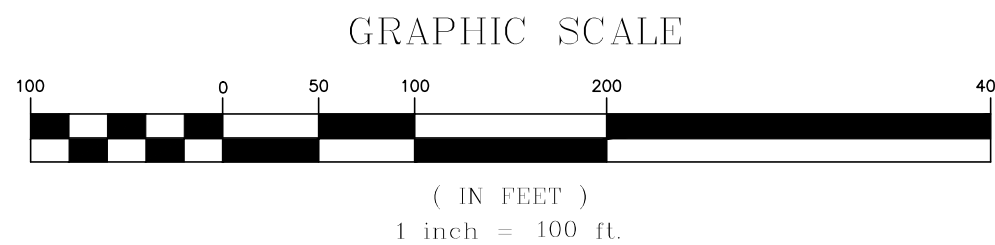
SHEET No.
C-202

16 OF 22

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



November 12, 2021

Leicester Planning Board
Town of Leicester
3 Washburn Square
Leicester, Massachusetts 01524

Re: Skyview Estates
Site Plan Review

To the Board:

We are in receipt of the following in association with the above referenced project:

- Plans entitled “DEFINITIVE SUBDIVISION PLANS FOR SKYVIEW ESTATES, MAIN STREET, LEICESTER, MA 01611”, 22 sheets, dated 7-16-21 with revision date of 11-10-21, by Allen & Major Associates, Inc. of Woburn, Massachusetts.
- Package entitled “Drainage Report, Skyview Estates, Leicester, MA”, issued 7-16-21 with revision date of 10-05-2021 prepared by Allen & Major Associates, Inc. of Woburn, Massachusetts.
- Form C, “*Application for Approval of Definitive Subdivision Plan*”, dated as received July 14, 2021.
- *Application for Special Permit*, pertaining to Leicester Zoning Bylaw §3.2.02, for multi-family residential use in the Business (B) zoning district.
- Letter addressed to Brooke Hultgren dated October 5, 2021 providing a narrative of the revised project.
- Letter addressed to Brooke Hultgren dated October 5, 2021, summarizing the plan responses to Town & Engineer comments.
- Package of information dated July 19, 2021, submitted by Allen & Major Associates, Inc. of Woburn, Massachusetts, including a project narrative with environmental analysis, traffic discussion, availability of municipal water & sewer services, comments characterizing the acceptability of the project to the Police and Fire Department chiefs, and impacts on schools. Special Permit criteria evaluation provided, and requested waivers identified.

Plans resubmitted are a substantial reconfiguration of the project. On the direction of the Leicester Planning office, we have conducted a review of the submitted plans for compliance with Site Plan Review. We are not in receipt of a Site Plan Review application.

Our comments on the plans are found below:

1. As revised, the plans depict four frontage lots (Lots 1 – 4), with remaining land identified as Lot 5. Per the Applicant, the dwellings and roads on Lot 5 will remain private. On that basis, plans are subject to *Major Site Plan Review*, under §5.2.03, 4, B. Because all streets are now proposed as private, there is some question as to whether the Subdivision Control Law is an appropriate mechanism for reviewing the division of the lots. Lots 1 – 4 can be divided as Approval Not Required ANR lots.
2. The submitted plans are found to be incomplete in relation to requirements for Site Plans. The following required plan information is not found:
 - a.) Locations of sidewalks to dwellings not shown. (REF: Site Plan Review Regulations, Section II, F, 4)
 - b.) Proposed landscaping not found. (REF: Site Plan Review Regulations, Section II, F, 6)
 - c.) Proposed water and sewer services not found on plan; roof drywells from each dwelling not found on plan. (REF: Site Plan Review Regulations, Section II, F, 7)
 - d.) Proposed topography not shown on plan. (REF: Site Plan Review Regulations, Section II, F, 8). **The revised roadway profiles will require much deeper excavation, with major revisions to the proposed topography onsite. This change will affect homes, retaining walls, drainage and hydrology over a large area. The Board is urged to not waive this requirement.** See Comments 2e, 6, 13 and 24a below.
 - e.) Plans do not identify the location where earth removal or filling will take place, nor the volume of material to be moved. **The required information cannot be provided in the absence of proposed topography.** (REF: Site Plan Review Regulations, Section II, F, 9)

- f.) The plans received at this office do not include exterior facades of proposed structures. (REF: Site Plan Review Regulations, Section II, F, 10)
3. Lot 1 appears to propose a Single Family Home. In the Business (B) zoning district, Single Family Home use is not permitted.
4. In his memorandum to Brooke Hultgren dated October 5, 2021, the Engineer states that the project will render 22.93% of the subject area impervious. Under the Watershed Protection Overlay District (WPOD) bylaw, §7.1.04, (2), *Special Permit Uses* states that uses which render impervious more than 15% or 2500 square feet of any lot, but not greater than 30% are subject to Special Permit. **Based on the Engineer's calculation, the use proposed on Lot 5 is subject to Special Permit, under §7.1, before Leicester Zoning Board of Appeals.** It is not clear whether the Engineer's impervious calculation pertained to the area within WPOD; the Engineer should clarify whether the percent impervious within WPOD.
5. Plans state that 103 "homes" are proposed, but the number of dwelling units depicted on plan does not equal 103. The Site Plan Review application, narrative and plans should be revised to the correct number of dwelling units proposed.
6. The roadway profiles propose 11.65% slope on Skyview Drive and 11.5% on Colonial Extension. The changes in road slopes will require much deeper excavation onsite than previous plans. **It is not possible to evaluate the impact which these changes in topography will have on homes, drainage, hydrology or retaining walls. In the absence of proposed topography, these plans are considered incomplete.**
7. The plans propose maximum roadway slopes of 11.65% on Skyview Drive and 11.5% on Colonial Extension. Under the Subdivision Rules and Regulations a maximum road grade of 10% is permitted for minor roads. It is the opinion of this office that the proposed road grades do not constitute a safety hazard.
8. Leicester Planning Board may wish to require Colonial Extension be designated as an Emergency Access Road, to divert traffic away from Colonial Drive, which slopes steeply (14%) down to Main Street.
9. In several locations, plans indicate that the site is within the Business (B) and Suburban-Agricultural (SA) zoning districts. Any locations where the site extends into the SA district must be explicitly identified on the plan.

In the SA district “Two family dwellings” and “Multi-family” uses are not permitted.

10. Plans are not embossed with the stamp of a Massachusetts Registered Professional Engineer.
11. A project narrative pertaining to Site Plan Review requirements must be submitted, addressing specific items required under Site Plan Review Regulations, Section II, E, 1 and 2.
12. The Applicant’s proposal package should identify how solid waste removal will be handled.
13. Subdrains should be clearly identified on plan in all cut areas and areas where the gravel road base will be below existing grade, to control water in the road base. In locations where the road passes through cuts on both sides, subdrains should be required on both sides. **Cut areas cannot be evaluated in the absence of proposed topography plan.**
14. Given the likelihood of high groundwater tables in the area, test pits should be conducted on all proposed roads in locations of cuts.
15. Regarding retaining wall called out on Colonial Drive Extension, Sta 0+40 – 2+65, in this location, guardrail is likely required under Massachusetts DOT warrant for guardrail. Engineer must evaluate the warrant for guardrail, to determine whether conditions dictate its installation.
16. Engineer must evaluate the Massachusetts DOT warrant for guardrail, in areas with downslope grades to determine other areas that guardrail may be required for public safety.
17. Main Street in this area is under control of Massachusetts Department of Transportation. A *Permit to Access State Highway* will be required.
18. A note on Sheet C-100 states “REMOVE VEGETATION & TREES” over the entire site, which appears to require clear cutting the site. Leicester Planning Board may wish to require that trees be preserved wherever possible.
19. A detail for pavement and gravel base should be provided for the Emergency Access Road.
20. Wheelchair ramps should be provided for crossing Skyline Drive at Sta 22+00, from Skyline Terrace.

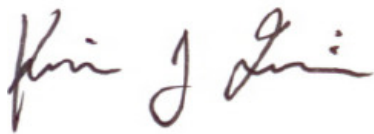
21. The driveways for Lots 1, 2, 3 and 4 must be configured to permit vehicles to turn around onsite. Vehicles should not be required to back onto Main Street.
22. It is recommended that the names of the two proposed streets not share a common noun (Skyview), for public safety purposes.
23. Regarding parking, Leicester Planning Board may wish the Applicant address guest parking onsite.
24. Pertaining to drainage design:
 - a.) The revised roadway profiles will completely alter the proposed topography over a large area of the site, resulting in changes to the drainage design and hydrologic analysis. The drainage report submitted pertains to the previous plan, and does not reflect the current proposed conditions. **In the absence of current proposed topography, the drainage plans and hydrology analysis are not valid.**
 - b.) Drainage and stormwater management facilities must be located within an easement which permits access by Town of Leicester, for inspection and emergency maintenance purposes.
 - c.) At three locations on Main Street (Route 9), drains connect into existing catch basins. Drains must connect into drain manholes, not catch basins.
 - d.) Detention systems are proposed in three locations on plan, which utilize “Retain-It” underground chambers. Engineer must provide buoyancy calculations, documenting that the chambers are stable under high groundwater conditions, while empty.
 - e.) The revised hydrology must include Post-Development Hydrologic Routing Plan, and Watershed Plan, and Pre-Development Watershed Plan on plan size (24' x 36") paper. Previous submissions on 8 ½ x 11" paper were virtually unreadable.
 - f.) Swales along the sides of Skyline Drive, beginning at Station 0+00 extending upgrade are steep, and must be protected against erosion, using check dams and/or rip-rap armor. Engineer must determine velocity of flow and document that proposed armor is sufficient to withstand velocity.

- g.) Engineer must document that Catch Basins CB-03 and CB-09 on Skyline Drive, have sufficient “grate capacity” to admit design flow. Catch basins must be designed to capture storm flow at design velocity.
- h.) Engineer states that to meet the Massachusetts Stormwater Management Policy standard for recharge of stormwater to groundwater with the use of dry wells, installed at each residence in the subdivision. Site plans do not call for dry wells at any dwellings.
- i.) Field test pit evaluation of soils must be conducted at all locations where infiltration will take place per Massachusetts DEP Stormwater Management Policy, to verify suitability of soils and compliance with groundwater table separation requirements.

Due to the large scale of these plans, and the level of information lacking, this review cannot be considered complete or comprehensive. It must be expected that reviews of future submissions will be subject to new comments.

Please contact this office should you have questions.

Sincerely,
QUINN ENGINEERING, INC.

A handwritten signature in dark ink, appearing to read "Kevin J. Quinn". The signature is fluid and cursive, with the first name "Kevin" and last name "Quinn" clearly distinguishable.

Kevin J. Quinn, P.E.
President



Mead, Talerman & Costa, LLC
Attorneys at Law

30 Green Street
Newburyport, MA 01950
Phone 978.463.7700
Fax 978.463.7747

www.mtclawyers.com

Via E-mail Only

November 4, 2021

Jason Grimshaw, Chairman
Leicester Planning Board
3 Washburn Square
Leicester, Massachusetts 01524

Re: Pending Application
Central Land Development Corp.
Smuggler's Cove OSRD
No Variance Required

Dear Chairman Grimshaw and Members of the Board:

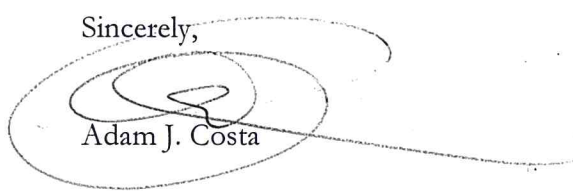
Reference is made to the above-captioned matter. In that connection and as a follow-up to the discussion had at the November 2, 2021 meeting of the Board, I wish to notify the Board of the Applicant's belief, upon further review of the Town's Zoning Bylaw, that no variance is required for an Open Space Residential Development (OSRD) with a single means of ingress/egress, i.e. subdivision roadway, providing access to 10 or fewer building lots.

As I stated at the meeting, the Applicant was advised by (former) Town staff that a variance was required for it to proceed with a modified concept plan for the Smuggler's Cove OSRD subdivision. However, said concept plan has since been further adjusted so as to reduce the number of building lots from 13 to 10. The Zoning Bylaw's requirement that "[n]o dead-end street shall provide access to **more than** 10 building lots" does not, therefore, apply. See Zoning Bylaw, § 5.13.06.C (emphasis added). (It is noteworthy that, even if the subdivision did include more than 10 building lots, the Board has the authority under the Zoning Bylaw, § 5.13.06.A, to "grant a reduction of all intensity regulations" that follow, presumably meaning that only a waiver, not a variance, would be required.) The Applicant acknowledges that it still requires a waiver from the maximum dead-end roadway length of 1,000 feet, as was discussed on Tuesday. See Zoning Bylaw, § 5.13.06.C.

The above conclusion is consistent with a plain reading of the Zoning Bylaw. Nevertheless, if the Board is uncertain, I suggest and request that confirmation be sought from Town Counsel in advance of the continued public hearing on November 16, 2021, to avoid unnecessary delay.

Thank you.

Sincerely,


Adam J. Costa

Millis Office

730 Main Street, Suite 1F
Millis, MA 02054
Phone 508.376.8400

AJC/fhs
cc: Client



Special Permit + Site Plan Review Application **74**
Town of Leicester

PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

For Planning Office Use:
Comment Sent to Applicant

Date: _____

Date 7/15/2019

Type of Application: **Special Permit (& Preliminary Subdivision Plan)**

Project Name: **Smuggler's Cove (SP2019-01)**

Location/Description: **Off Paxton Street/24 lot Open Space Residential Development Subdivision**

Source of water/sewer: **Leicester Water Supply District**

TO:

Required SP/SPR Distribution List:

(Site Plan Review Regulations)

<input type="checkbox"/>	Town Engineer	<input type="checkbox"/>	Board of Health
<input type="checkbox"/>	Code Enforcement Officer	<input type="checkbox"/>	Applicable Sewer District:
<input type="checkbox"/>	Police Department	<input type="checkbox"/>	<u>LWSD</u>
<input type="checkbox"/>	Fire Department	<input type="checkbox"/>	Applicable Water District:
<input type="checkbox"/>	Highway Department	<input type="checkbox"/>	<u>LWSD</u>
<input checked="" type="checkbox"/>	Conservation Commission <i>NOI SW</i>	<input type="checkbox"/>	Historical Commission
<input checked="" type="checkbox"/>	Zoning Board of Appeals	<input type="checkbox"/>	Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.


PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)

Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).

Planning Board public hearing/discussion on this application is scheduled for: **8/20/2019**

The undersigned, on behalf of Conservation recommends:

☒ Approval ☒ Approval with Modifications NOI ☐ Disapproval
Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:


Signature

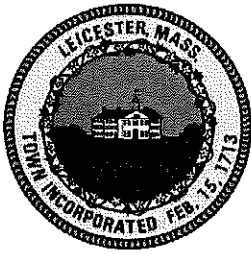
14 17 19
Date

While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.

Buck, Michelle

From: Michael Wilson <mwilson@leicesterfireems.org>
Sent: Tuesday, July 20, 2021 3:25 PM
To: Buck, Michelle
Subject: Smugglers cove

Hi Michelle, Per our conversation the fire dept. will not require an access road on this site. We would like to see 3 hydrants one on Paxton St. another one midway up an another at the beginning of the cul de sac.



Special Permit +Site Plan Review Application
Town of Leicester
PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

For Planning Office Use:
Comment Sent to Applicant

Date: _____

Date 7/15/2019

Type of Application: Special Permit (& Preliminary Subdivision Plan)

Project Name: Smuggler's Cove (SP2019-01)

Location/Description: Off Paxton Street/24 lot Open Space Residential Development Subdivision

Source of water/sewer: Leicester Water Supply District

TO:

Required SP/SPR Distribution List:

(Site Plan Review Regulations)

Town Engineer		Board of Health
Code Enforcement Officer		Applicable Sewer District:
Police Department		<u>LWSD</u>
Fire Department		Applicable Water District:
Highway Department		<u>LWSD</u>
Conservation Commission	X	Historical Commission
Zoning Board of Appeals		Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.

PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)

Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).

Planning Board public hearing/discussion on this application is scheduled for: 8/20/2019

The undersigned, on behalf of Historical Comm. recommends:

Approval ☒ Approval with Modifications _____ Disapproval _____
Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:

SEE ATTACHED

Joseph A. Lenneston Jr.
Signature

8-15-19
Date

While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.



**TOWN OF LEICESTER HISTORICAL COMMISSION
TOWNHALL
3 WASHBURN SQUARE
LEICESTER, MASSACHUSETTS 01524-1333**

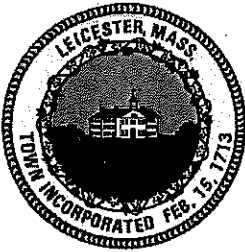
August 15, 2019

TO: Leicester Planning Board

FROM: Leicester Historical Commission

RE: Smuggler's Cove (SP2019-01)

Leicester's first known settler lived in a cave in this area, if anything is located that appears to be unusual the Historical Commission requests that they be advised so they may record information. Cave has not been observed in approximately 60 years, is in rock and shallow in depth.



Special Permit + Site Plan Review Application **78**

Town of Leicester
PLANNING BOARD
3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

For Planning Office Use:
Comment Sent to Applicant
Date: _____

Date 7/15/2019

Type of Application: Special Permit (& Preliminary Subdivision Plan)

Project Name: Smuggler's Cove (SP2019-01)

Location/Description: Off Paxton Street/24 lot Open Space Residential Development Subdivision

Source of water/sewer: Leicester Water Supply District

TO:

Required SP/SPR Distribution List:

(Site Plan Review Regulations)

	Town Engineer	Board of Health
	Code Enforcement Officer	Applicable Sewer District:
X	Police Department	<u>LWSD</u>
	Fire Department	Applicable Water District:
	Highway Department	<u>LWSD</u>
	Conservation Commission	Historical Commission
	Zoning Board of Appeals	Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.

PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)

Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).

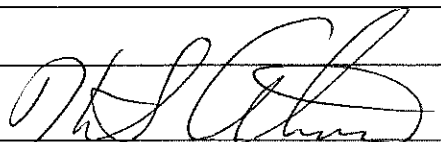
Planning Board public hearing/discussion on this application is scheduled for: 8/20/2019

The undersigned, on behalf of Police Dept. recommends:

Approval X Approval with Modifications _____ Disapproval _____

Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:

See attached w/ 3 recommendations



Signature

8-8-19

Date

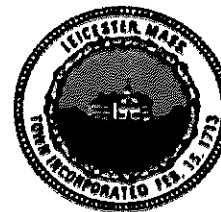
While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.



Leicester Police Department

90 South Main Street
Leicester, MA 01524

www.leicesterpd.org



79

Chief

Kenneth M. Antanavica

antanavica@leicesterpd.org

Emergency: 911

Non-Emergency: 508-892-7009

Non-Emergency: 508-892-7010

Fax: 508-892-7012

August 8, 2019

Re: Planning Board Project (SP2019-01) Smuggler's Cove recommendations.

Upon review of the plans and layout of this project the Police Department has a few recommendations:

- 1) In the interest of public safety, we recommend the installation of sidewalks with adequate street lighting.
- 2) At the intersection of Paxton St and the new roadway install a stop sign facing west with a streetlight at the intersection.
- 3) Also recommended is a turning lane on Paxton St for southbound traffic since this intersection is on a hill with a slight turn and limited line of sight due to the ridge at the top of the hill on Paxton St.

V/r

Chief Kenneth M Antanavica
Leicester Police Department
90 S. Main St.
Leicester, Ma 01524
(508) 892-7010 ext 2010
Fax (508) 892-7012

August 12, 2019

Leicester Planning Board
Town Of Leicester
3 Washburn Sq
Leicester MA 01524-1358

Re: Preliminary Subdivision Plan/OSRD Plan
Smuggler's Cove

To the Board:

We are in receipt of the following plans and information in association with the above referenced project:

- Plan entitled "Preliminary Plan, Open Space Residential Development Plan in Leicester, Massachusetts", 1 sheet, dated July 8, 2019 without revision date, by Allen Engineering & Associates, Inc.
- Plan entitled "Preliminary Plan, Conventional Subdivision Plan of Land in Leicester, Massachusetts", 1 sheet, dated July 8, 2019 without revision date, by Allen Engineering & Associates, Inc.
- Project Narrative, dated July 10, 2019.
- List of Requested Waivers, dated July 10, 2019.
- Letter from Leicester Water Supply District, dated 10-July-19, indicating that sufficient water and sewer capacity exists to accommodate the proposed project.
- *Form B, Application for Approval of a Preliminary Plan*", completed and dated July 10, 2019.

We have performed a review of the submitted plans for conformance with the current Leicester Subdivision Rules & Regulations, and with appropriate sections of the Zoning Bylaws for Leicester, including §5.13 *Open Space Residential Development*.

The following waivers are requested; our comment on the waiver requests follow in *italics*.

- Waive §5.13.06, C, of the Zoning Bylaws, to permit roadway length in excess of 1,000 feet; proposed roadway length 2608 feet.

See comment below.

- Waive §5.13.06, C, of the Zoning Bylaws, to permit more than 10 lots on a dead-end street.

The plan proposes a 20 foot wide gravel road as a secondary means of emergency access, presumably to mitigate concerns for both the length of the dead end roadway, and the number of proposed lots. Leicester Planning Board may wish to seek input from Leicester Police and Fire Departments on this. In general, secondary access roads tend to be treated as a low priority for maintenance, often falling into disrepair. Snowplowing these roads is often overlooked, as high traffic roadways demand those efforts. Gravel road surfaces can be subject to erosion, or washout under surface water flow. The proposed emergency access road will be exceptionally long (2,700 feet), raising the potential for blockage by tree fall, washout or other occurrence.

The proposed waiver seeks to more than double both the length of the subdivision road and the number of proposed homes over that allowed. Any proposed mitigation should provide a highly reliable means of secondary access.

- Waive §5.13.07, C (1) of the Zoning Bylaws, to permit a buffer strip less than 100 feet at the perimeter of the project, to accommodate construction at the entrance, and along Sargent Pond.

We defer to Leicester Planning Board on this non engineering-related request.

- Waive §5.13.07, B (6) of the Zoning Bylaws, to permit Drainage Basin 1 to be located within Open Space.

We defer to Leicester Planning Board on this non engineering-related request

- Waive §V, 2 of the Subdivision Rules and Regulations to allow a traveled way of 24 feet width.

A subdivision roadway of 24 feet width may be expected to provide suitable service, and will require less maintenance than the required 28 foot wide roadway. The lesser width will also reduce impervious area, lowering associated stormwater runoff.

- Waive §V, 5, and §VI, G, 1 of the Subdivision Rules and Regulations to waive sidewalks on both sides of the road.

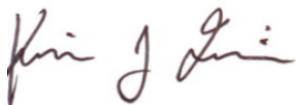
We defer to Leicester Planning Board on this non engineering-related request.

Our comments on the plans are found below:

1. The project appears to be entirely, or almost entirely, located within *Watershed Protection Overlay District*. Within that district, lots will be subject to restrictions on impervious area, storage of materials and other factors. There are thresholds above which a Special Permit can be required.
2. Neither the Conventional Plan nor the OSRD plan identify the name of the subdivision. (REF §III, A, 2, b, 1, Subdivision Rules and Regulations)
3. On the Conventional Plan, the north road, from Station 0+00 to Station 5+35 +/- is located within an easement, and not on land owned in fee. Leicester Planning Board may wish to consult with counsel as to whether a Public Street located within a pre-existing easement can be accepted. Although the proponent may not intend to construct the Conventional Plan, if the proposed roads can't be accepted as Public Streets, the number of lots upon which the OSRD is based is not valid. Should counsel not recommend against the roadway being located within an easement, the Applicant should research and document that the terms of the easement are compatible with the roadway, and its maintenance.
4. Under the OSRD plan, the Emergency Access Road is partially located within the existing easement identified in Comment 3 above. The Applicant should research and document that the terms of the easement are compatible with the Emergency Access Road, and its maintenance.
5. As part of the OSRD application, the Engineer should document compliance with §5.13 of the Zoning Bylaw, with particular respect to §5.13.05 and §5.13.07.

Please contact this office should you have questions.

Sincerely,
QUINN ENGINEERING, Inc.



Kevin J. Quinn, P.E.
President

From: [Kevin Quinn](#)
To: [Buck, Michelle](#)
Subject: smugglers
Date: Thursday, September 26, 2019 11:23:06 AM
Attachments: [LPB 092619 ltr Prel Plan 2nd Review.pdf](#)

My comments on Smugglers Cove resubmittal attached.

Both plans have a road, or the emergency access road, running through an easement, near Paxton Street. I commented on that, so the Engineer submitted a copy of the easement. I don't think the Board, or you, or I, should evaluate whether the easement permits a road through it. I'm not accepting the easement as resolving my comment.

KQ

Kevin J. Quinn, P.E.
President

QUINN ENGINEERING, INC.

P.O. Box 107
Paxton, Massachusetts 01612

(508) 753-7999 Ext 1

September 26, 2019

Leicester Planning Board
Town Of Leicester
3 Washburn Sq
Leicester MA 01524-1358

Re: Preliminary Subdivision Plan/OSRD Plan
Smuggler's Cove

To the Board:

We are in receipt of the following plans and information in association with the above referenced project:

- Plan entitled "Preliminary Plan, Open Space Residential Development Plan in Leicester, Massachusetts", 1 sheet, dated July 8, 2019 with date of 09-09-2019, by Allen Engineering & Associates, Inc.
- Plan entitled "Preliminary Plan, Conventional Subdivision Plan of Land in Leicester, Massachusetts", 1 sheet, dated July 8, 2019 with revision date of 09-09-2019, by Allen Engineering & Associates, Inc.
- Project Narrative, dated July 10, 2019.
- List of Requested Waivers, dated July 10, 2019.
- Letter from Leicester Water Supply District, dated 10-July-19, indicating that sufficient water and sewer capacity exists to accommodate the proposed project.
- *Form B, Application for Approval of a Preliminary Plan*", completed and dated July 10, 2019.
- Letter to Leicester Planning Board, dated September 9, 2019, responding to comments of Leicester Town Planner Michelle Buck.
- Letter to Leicester Planning Board, dated September 9, 2019, responding to comments of Leicester Town Planner Michelle Buck.

We have reviewed the plans in relation to comments contained in our letter to the Planning Board dated August 12, 2019; any other changes made not in response to our comments must be identified by the applicant.

Our comments are found below:

The following waivers are requested; our comment on the waiver requests follow in *italics*.

- Waive §5.13.06, C, of the Zoning Bylaws, to permit roadway length in excess of 1,000 feet; proposed roadway length 2608 feet.

See comment below.

- Waive §5.13.06, C, of the Zoning Bylaws, to permit more than 10 lots on a dead-end street.

The plan proposes a 20 foot wide gravel road as a secondary means of emergency access, presumably to mitigate concerns for both the length of the dead end roadway, and the number of proposed lots. Leicester Planning Board may wish to seek input from Leicester Police and Fire Departments on this. In general, secondary access roads tend to be treated as a low priority for maintenance, often falling into disrepair. Snowplowing these roads is often overlooked, as high traffic roadways demand those efforts. Gravel road surfaces can be subject to erosion, or washout under surface water flow. The proposed emergency access road will be exceptionally long (2,700 feet), raising the potential for blockage by tree fall, washout or other occurrence.

The proposed waiver seeks to more than double both the length of the subdivision road and the number of proposed homes over that allowed. Any proposed mitigation should provide a highly reliable means of secondary access.

- Waive §5.13.07, C (1) of the Zoning Bylaws, to permit a buffer strip less than 100 feet at the perimeter of the project, to accommodate construction at the entrance, and along Sargent Pond.

We defer to Leicester Planning Board on this non engineering-related request.

- Waive §5.13.07, B (6) of the Zoning Bylaws, to permit Drainage Basin 1 to be located within Open Space.

We defer to Leicester Planning Board on this non engineering-related request

- Waive §V, 2 of the Subdivision Rules and Regulations to allow a traveled way of 24 feet width.

A subdivision roadway of 24 feet width may be expected to provide suitable service, and will require less maintenance than the required 28 foot wide roadway. The lesser width will also reduce impervious area, lowering associated stormwater runoff.

- Waive §V, 5, and §VI, G, 1 of the Subdivision Rules and Regulations to waive sidewalks on both sides of the road.

We defer to Leicester Planning Board on this non engineering-related request.

Our comments are found below. In the comments, items identified as “**Resolved**” have received sufficient response. “**Comment Stands**” refers to an issue not satisfactorily resolved. “**No Further Comment**” refers to an issue requiring the attention of the Planning Board.

1. **Resolved with comment.** The plans have been revised to identify *Watershed Protection Overlay District*. Within that district, lots will be subject to restrictions on impervious area, storage of materials and other factors. There are thresholds above which a Special Permit can be required.

The Engineer should address the status of the plan in relation to this bylaw, and especially whether Special Permit is required.

2. **Resolved.** The Conventional Plan and OSRD plans have been revised to identify the name of the subdivision. (REF §III, A, 2, b, 1, Subdivision Rules and Regulations)
3. **No Further Comment.** On the Conventional Plan, the north road, from Station 0+00 to Station 5+35 +/- is located within an easement, and not on land owned in fee. Leicester Planning Board may wish to consult with counsel as to whether a Public Street located within a pre-existing easement can be accepted. Although the proponent may not intend to construct the Conventional Plan, if the proposed roads can't be accepted as Public Streets, the number of lots upon which the OSRD is based is not valid. Should counsel not recommend against the roadway being located within an easement, the Applicant should research and document that the terms of the easement are compatible with the roadway, and its maintenance.
4. **Further Comment.** Under the OSRD plan, the Emergency Access Road is partially located within the existing easement identified in Comment 3 above. The Applicant

Leicester Planning Board
Preliminary Subdivision Plan/OSRD Plan, Smuggler's Cove
September 26, 2019
Page 4 of 4

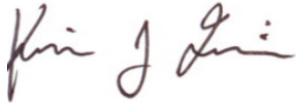
should research and document that the terms of the easement are compatible with the Emergency Access Road, and its maintenance.

The Engineer has provided a copy of the easement, but should document whether the proposed Emergency Access Road is compatible with it.

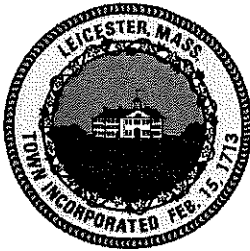
5. **Resolved.** The Engineer has documented compliance with §5.13 of the Zoning Bylaw, with particular respect to §5.13.05 and §5.13.07.

Please contact this office should you have questions.

Sincerely,
QUINN ENGINEERING, Inc.

A handwritten signature in dark ink, appearing to read "Kevin J. Quinn". The signature is fluid and cursive, with the first name "Kevin" and last name "Quinn" clearly distinguishable.

Kevin J. Quinn, P.E.
President



Special Permit +Site Plan Review Application **88**
Town of Leicester
PLANNING BOARD

3 Washburn Square
Leicester, Massachusetts, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

For Planning Office Use:
Comment Sent to Applicant

Date: _____

Date 7/15/2019

Type of Application: Special Permit (& Preliminary Subdivision Plan)

Project Name: Smuggler's Cove (SP2019-01)

Location/Description: Off Paxton Street/24 lot Open Space Residential Development Subdivision

Source of water/sewer: Leicester Water Supply District

TO:

Required SP/SPR Distribution List:

(Site Plan Review Regulations)

Town Engineer		Board of Health
Code Enforcement Officer	X	Applicable Sewer District:
Police Department		<u>LWSD</u>
Fire Department		Applicable Water District:
Highway Department		<u>LWSD</u>
Conservation Commission		Historical Commission
Zoning Board of Appeals		Town Clerk

The Planning Board in its deliberations is submitting this application to your body for review and recommendations. Please respond on this form or in a written report by the reply date.

PLEASE REPLY NO LATER THAN: 08/19/2019 (Kevin Quinn 8/12/2019)

Please note that Site Plan Review & Special Permit applications require comments within 35 days. Failure to submit written comments within 35 days on a special permit application shall be deemed as lack of opposition. (Mass. General Law, Ch. 40A, Section 11).

Planning Board public hearing/discussion on this application is scheduled for: 8/20/2019

The undersigned, on behalf of LWSD recommends:

☒ Approval ☐ Approval with Modifications ☐ Disapproval

Insofar as its area of jurisdiction is concerned. The reasons for this recommendation and any suggested modifications are as follows:

Water and Sewer Design Work will need to be approved by the District.

Signature

Date

While it is not mandatory, typed responses in memo form are preferred, as they are easier to read.



Town of Leicester
PLANNING BOARD
LEICESTER, MASSACHUSETTS, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

89

Memorandum

TO: Matt Schold
Central Land Development Corp.
ScholdDev@gmail.com

FROM: Michelle R. Buck, AICP
Leicester Town Planner

DATE: August 1, 2019

RE: Smuggler's Cove/Paxton Street OSRD Application
PB File#: SP2019-02

I have the following comments regarding the above-referenced application:

Submittal Requirements ([Special Permit Regulations](#))

1. You should submit a revised narrative (or a supplement to your 7/10/2019 narrative) that includes a written description of how the proposed project meets the special permit criteria applicable to the project (Special Permit Regulations I.E.-Special Permit Criteria Evaluation; the applicable Zoning Bylaw Section is 5.13.09.B (attached). Also please include responses to comments #2 - #5 below in your narrative.

[Zoning Bylaw](#) Section 5.13, Open Space Residential Development

2. Please provide the number of lots that would result from the formula in Section 5.13.05.B(3) of the Zoning Bylaw.
3. Please identify what percentage of the open space would be wetlands (5.13.07.A.).
4. Regarding Section 5.13.08., please identify the property owner's preference as to ownership and management of the open space.
5. Are you proposing any screening/landscaping where the required buffer (5.13.07.C.) is proposed to be reduced by the roadway entrance off Paxton Street?

5.13.09 Application and review process

- A. The application process for an Open Space Residential Development is comprised of two steps. In the first step, the applicant submits a special permit application, which describes the overall development plan. The Planning Board shall grant or deny a special permit based upon the information contained in the special permit application. If the special permit is granted, the applicant then submits a definitive plan, as described below, based upon the concept plan. The Planning Board then reviews the plan as a Definitive Subdivision Plan. Two separate public hearings, one for the special permit and one for the Definitive Plan, must be held. Applicants shall submit applications for an OSRD Special Permit in accordance with the Planning Board's Special Permit Rules and Regulations.
- B. **Special Permit Criteria**
The special permit shall be granted only if the Planning Board finds each of the following:
- (1) The development meets the purpose of an Open Space Residential Development as described in Section 5.13.01.
 - (2) The site design shall preserve and, where possible, enhance the historic and natural features of the property, including scenic views, by adapting the location and placement of structures and ways to the existing topography in order to minimize the amount of soil removal, tree cutting and general disturbance to the landscape and surrounding properties.
 - (3) The site design shall identify and ensure preservation of significant and special historic and natural features.
 - (4) The open space is designed in accordance with the standards set forth in this Section 5.13.
 - (5) The parcel could be developed as a conventional subdivision under existing local, state and federal land use regulations.
 - (6) The Open Space Residential Development provides for efficient use and delivery of municipal and other services and infrastructure.
- C. **Definitive plan.**
If the Open Space Residential Development special permit is granted, the applicant shall submit a plan in conformity with the requirements and procedures for definitive plan submission and review under the Subdivision Rules and Regulations of the Planning Board. The overall concept shall only be reconsidered if there is substantial variation between the definitive plan and the concept plan. A substantial variation shall be defined as an increase in the number of lots, a decrease in the open space acreage, a change in the layout which causes dwelling units or roadways to be placed closer to a dwelling unit within 500 feet of the project and/or a change in the development pattern which adversely affects natural landscape features and open space. If the Planning Board finds that a substantial variation exists, it must hold a public hearing on the modifications of the concept plan.

5.13.10 Duration of approval

Notwithstanding anything to the contrary within/without this article, any special permit granted by the Planning Board for an Open Space Residential Development shall lapse and terminate automatically within two years from the date of issue, which two years shall not include time required to pursue or await determination of an appeal referred to in MGL c. 40A, § 17, unless any construction work contemplated thereby shall have commenced and proceeded in good faith continuously to completion, except for good cause.

5.14 Ground-Mounted Solar Energy Systems

[STM 11-8-2011, Amended ATM 5-2-2017 and STM 10-30-2018]

1.0 Purpose

The purpose of this bylaw is to facilitate and appropriately regulate the creation of ground-mounted solar energy systems by providing standards for the placement, design, construction, operation, monitoring, modification and removal of such installations that address public safety, minimize impacts on scenic, natural and historic resources and to provide adequate financial assurance for the eventual decommissioning of such installations.

2.0 Definitions

Solar Energy System: Any solar collector or other solar energy device, including appurtenances, mounted on a