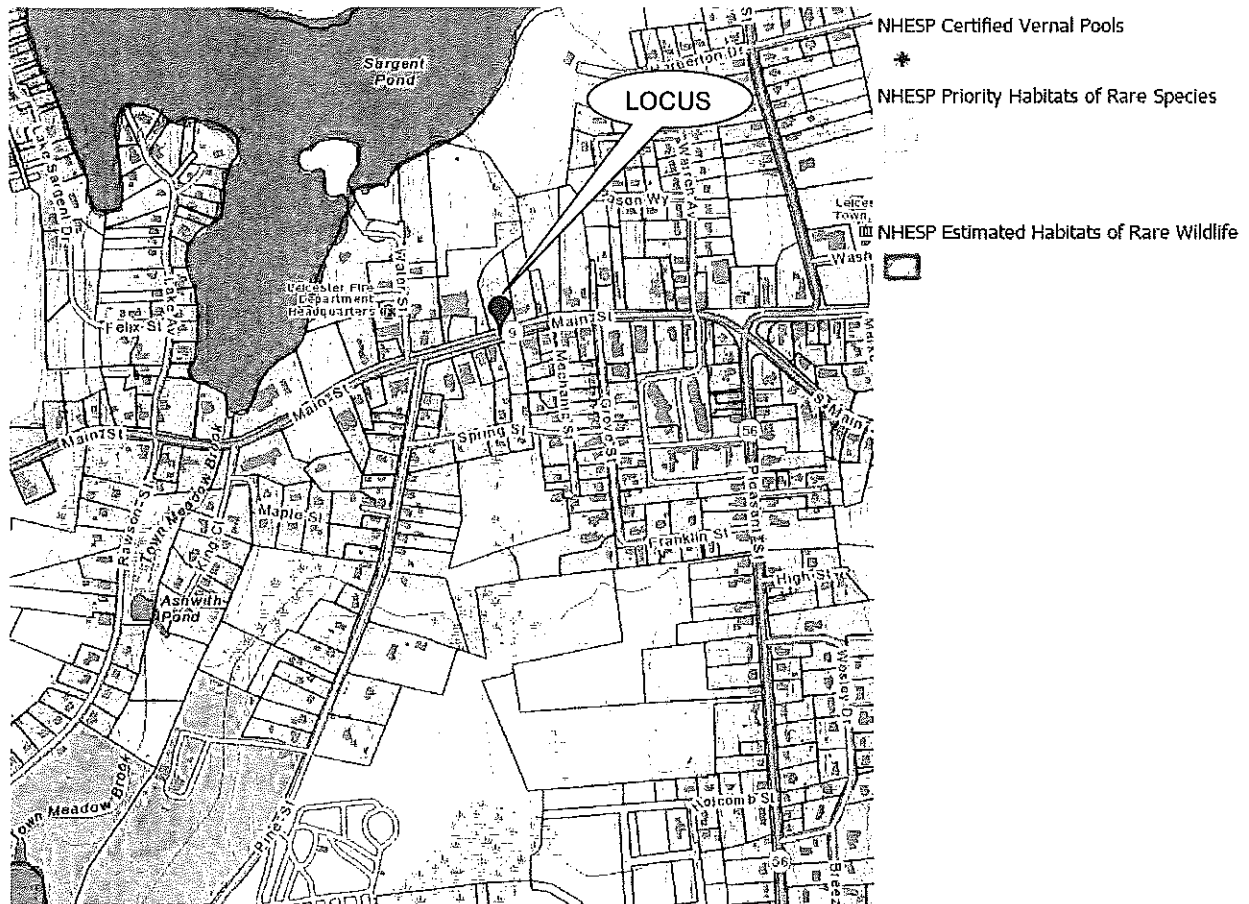


Figure 5

Natural Heritage & Endangered Species Program  
Leicester, MA  
Source: Mass GIS



**Notice of Intent  
for the**

**Leicester Public Library Renovation & Addition  
1136 Main Street  
Leicester, MA  
Map 19B / Lot 30**

**Applicant/Owner:**

**Town of Leicester  
3 Washburn Square  
Leicester, MA 01524**



**RECEIVED**

**JAN 25 2017**

Town of Leicester  
Development & Inspection Services

**Architect:**

**Durland Van Voorhis Architects, Inc.  
20 Pearl Street  
PO Box 1169  
Mattapoisett, MA 02739  
(508)993-6567 fax(888)392-8693**

**Representative/Engineer:**



**GARCIA•GALUSKA•DESOUSA**  
Consulting Engineers Inc.  
370 Faunce Corner Road, Dartmouth, MA 02747-1217  
(508) 998-5700 Fax: (508) 998-0883 Email: [info@g-g-d.com](mailto:info@g-g-d.com)

**Date:**

**January 24, 2017**



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**WPA Form 3 – Notice of Intent**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**Note:**  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

## A. General Information

1. Project Location (Note: electronic filers will click on button to locate project site):

1136 Main Street

a. Street Address

Leicester

b. City/Town

01524

c. Zip Code

Latitude and Longitude:

42°14'45.72"N

d. Latitude

71°54'44.12"W

e. Longitude

19B

f. Assessors Map/Plat Number

30

g. Parcel /Lot Number

2. Applicant:

Kevin

a. First Name

Mizikar

b. Last Name

Town of Leicester

c. Organization

3 Washburn Square

d. Street Address

Leicester

e. City/Town

MA

f. State

01524

g. Zip Code

508-892-7000

h. Phone Number

i. Fax Number

MizikarK@LeicesterMA.org

j. Email Address

3. Property owner (required if different from applicant): ☐ Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Christopher

a. First Name

Garcia, P.E.

b. Last Name

Garcia, Galuska, DeSousa, Inc.

c. Company

370 Faunce Corner Road

d. Street Address

Dartmouth

e. City/Town

MA

f. State

02747

g. Zip Code

508-998-5700

h. Phone Number

508-998-0883

i. Fax Number

chris\_garcia@g-g-d.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

Fee Exempt

a. Total Fee Paid

Fee Exempt

b. State Fee Paid

Fee Exempt

c. City/Town Fee Paid



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**A. General Information (continued)**

6. General Project Description:

Renovation and addition of existing library building with new utilities, walkways, driveways and parking.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- |   |   |
|---|---|
| 1. <input type="checkbox"/> Single Family Home                        | 2. <input type="checkbox"/> Residential Subdivision       |
| 3. <input type="checkbox"/> Commercial/Industrial                     | 4. <input type="checkbox"/> Dock/Pier                     |
| 5. <input type="checkbox"/> Utilities                                 | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation                |
| 9. <input checked="" type="checkbox"/> Other                          |   |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Worcester County

a. County

46984

c. Book

b. Certificate # (if registered land)

327

d. Page Number

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

1. ☒ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
2. ☐ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

| Resource Area  | Size of Proposed Alteration              | Proposed Replacement (if any) |
|--|--|-------------------------------|
| a. <input type="checkbox"/> Bank                                 | 1. linear feet                           | 2. linear feet                |
| b. <input type="checkbox"/> Bordering Vegetated Wetland          | 1. square feet                           | 2. square feet                |
| c. <input type="checkbox"/> Land Under Waterbodies and Waterways | 1. square feet<br>3. cubic yards dredged | 2. square feet                |

| Resource Area  | Size of Proposed Alteration                                    | Proposed Replacement (if any)            |
|--|--|--|
| d. <input type="checkbox"/> Bordering Land Subject to Flooding | 1. square feet<br>3. cubic feet of flood storage lost          | 2. square feet<br>4. cubic feet replaced |
| e. <input type="checkbox"/> Isolated Land Subject to Flooding  | 1. square feet<br>2. cubic feet of flood storage lost          | 3. cubic feet replaced                   |
| f. <input type="checkbox"/> Riverfront Area                    | 1. Name of Waterway (if available) - specify coastal or inland |  |

2. Width of Riverfront Area (check one):

- ☐ 25 ft. - Designated Densely Developed Areas only
- ☐ 100 ft. - New agricultural projects only
- ☐ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet \_\_\_\_\_ b. square feet within 100 ft. \_\_\_\_\_ c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI? ☐ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☐ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete Section B.2.f. above.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your  
document  
transaction  
number  
(provided on your  
receipt page)  
with all  
supplementary  
information you  
submit to the  
Department.

| <u>Resource Area</u>  | <u>Size of Proposed Alteration</u>   | <u>Proposed Replacement (if any)</u>   |
|---|--|--|
| a. <input type="checkbox"/> Designated Port Areas                 | Indicate size under Land Under the Ocean, below  |  |
| b. <input type="checkbox"/> Land Under the Ocean                  | 1. square feet<br>2. cubic yards dredged   |  |
| c. <input type="checkbox"/> Barrier Beach                         | Indicate size under Coastal Beaches and/or Coastal Dunes below   |  |
| d. <input type="checkbox"/> Coastal Beaches                       | 1. square feet   | 2. cubic yards beach nourishment       |
| e. <input type="checkbox"/> Coastal Dunes                         | 1. square feet   | 2. cubic yards dune nourishment        |
|   | <u>Size of Proposed Alteration</u>   | <u>Proposed Replacement (if any)</u>   |
| f. <input type="checkbox"/> Coastal Banks                         | 1. linear feet   |  |
| g. <input type="checkbox"/> Rocky Intertidal Shores               | 1. square feet   |  |
| h. <input type="checkbox"/> Salt Marshes                          | 1. square feet   | 2. sq ft restoration, rehab., creation |
| i. <input type="checkbox"/> Land Under Salt Ponds                 | 1. square feet<br>2. cubic yards dredged   |  |
| j. <input type="checkbox"/> Land Containing Shellfish             | 1. square feet   |  |
| k. <input type="checkbox"/> Fish Runs                             | Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above<br>1. cubic yards dredged  |  |
| l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage | 1. square feet   |  |
| 4. <input type="checkbox"/> Restoration/Enhancement               | If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.<br>a. square feet of BVW<br>b. square feet of Salt Marsh |  |
| 5. <input type="checkbox"/> Project Involves Stream Crossings     | a. number of new stream crossings<br>b. number of replacement stream crossings   |  |



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**C. Other Applicable Standards and Requirements**

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

**Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review**

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581

10/1/2008

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review\*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a) ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☐ Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**C. Other Applicable Standards and Requirements (cont'd)**

- (c) ☐ MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/mesa/mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm)).  
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d) ☐ Vegetation cover type map of site
- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

1. ☐ Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/mesa/mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3. ☐ Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. ☒ Not applicable – project is in inland resource area only b. ☐ Yes ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
1213 Purchase Street – 3rd Floor  
New Bedford, MA 02740-6694  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.





Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**C. Other Applicable Standards and Requirements (cont'd)**

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
a. ☐ Yes ☐ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
a. ☐ Yes ☒ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
a. ☒ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
2. ☒ A portion of the site constitutes redevelopment  
3. ☒ Proprietary BMPs are included in the Stormwater Management System.  
b. ☐ No. Check why the project is exempt:  
1. ☐ Single-family house  
2. ☐ Emergency road repair  
3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☐ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**WPA Form 3 – Notice of Intent**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**D. Additional Information (cont'd)**

3. ☐ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. ☒ List the titles and dates for all plans and other materials submitted with this NOI.

See attached drawing list.

a. Plan Title

Garcia, Galuska, DeSousa, Inc.

Christopher M. Garcia, PE

b. Prepared By

c. Signed and Stamped by

January 24, 2017

1" = 20'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☒ Attach Stormwater Report, if needed.

**E. Fees**

1. ☒ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

Fee Exempt

N/A

2. Municipal Check Number

3. Check date

Fee Exempt

N/A

4. State Check Number

5. Check date

N/A

N/A

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

TOWN ADMINISTRATOR

2. Date

1/23/17

3. Signature of Property Owner (if different)

5. Signature of Representative (if any)

4. Date

6. Date

1/24/17

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



## A. Applicant Information

### 1. Location of Project:

1136 Main Street

a. Street Address

Leicester

b. City/Town

Fee Exempt

N/A

c. Check number

d. Fee amount

### 2. Applicant Mailing Address:

a. First Name

b. Last Name

Town of Leicester (c/o Kevin J. Mizikar, ICMA-CM)

c. Organization

3 Washburn Square

d. Mailing Address

Leicester

MA

01524

e. City/Town

f. State

g. Zip Code

508-892-7000

MizikarK@LeicesterMA.org

h. Phone Number

i. Fax Number

j. Email Address

### 3. Property Owner (if different):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

## B. Fees

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

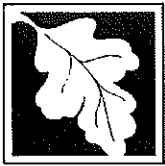
**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

| Step 1/Type of Activity | Step 2/Number<br>of Activities | Step<br>3/Individual<br>Activity Fee | Step 4/Subtotal Activity<br>Fee |
|-------------------------|--------------------------------|--------------------------------------|---------------------------------|
|                         |                                |                                      |                                 |
|                         |                                |                                      |                                 |
|                         |                                |                                      |                                 |
|                         |                                |                                      |                                 |
|                         |                                |                                      |                                 |
|                         |                                |                                      |                                 |
|                         |                                |                                      |                                 |

Step 5/Total Project Fee: \_\_\_\_\_

**Step 6/Fee Payments:**

|                                |                               |
|--------------------------------|-------------------------------|
| Total Project Fee:             | <u>Fee Exempt</u>             |
|                                | a. Total Fee from Step 5      |
| State share of filing Fee:     | <u>Fee Exempt</u>             |
|                                | b. 1/2 Total Fee less \$12.50 |
| City/Town share of filing Fee: | <u>Fee Exempt</u>             |
|                                | c. 1/2 Total Fee plus \$12.50 |

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
Box 4062  
Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



Enter your transmittal number

X273690

Transmittal Number

Your unique Transmittal Number can be accessed online: <http://mass.gov/dep/service/online/trasmfrm.shtml>

## Massachusetts Department of Environmental Protection Transmittal Form for Permit Application and Payment

1. Please type or print. A separate Transmittal Form must be completed for each permit application.

2. Make your check payable to the Commonwealth of Massachusetts and mail it with a copy of this form to:  
DEP, P.O. Box 4062, Boston, MA 02211.

3. Three copies of this form will be needed.

**Copy 1 - the original** must accompany your permit application.  
**Copy 2** must accompany your fee payment.  
**Copy 3** should be retained for your records

4. Both fee-paying and exempt applicants must mail a copy of this transmittal form to:

MassDEP  
P.O. Box 4062  
Boston, MA 02211

**\* Note:**  
For BWSC Permits, enter the LSP.

### A. Permit Information

WPA Form 3

Bureau of Resource Protection

1. Permit Code: 7 or 8 character code from permit instructions

2. Name of Permit Category

Renovation & addition to public library including new parking facilities.

3. Type of Project or Activity

### B. Applicant Information - Firm or Individual

Town of Leicester

1. Name of Firm - Or, if party needing this approval is an individual enter name below:

2. Last Name of Individual

3. First Name of Individual

4. MI

3 Washburn Square

5. Street Address

Leicester

MA

01524

508-892-7000

6. City/Town

7. State

8. Zip Code

9. Telephone #

10. Ext. #

Kevin J. Mizikar, ICMA-CM

MizikarK@LeicesterMA.org

11. Contact Person

12. e-mail address (optional)

### C. Facility, Site or Individual Requiring Approval

Leicester Public Library

1. Name of Facility, Site Or Individual

1136 Main Street

2. Street Address

Leicester

MA

01524

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

8. DEP Facility Number (if Known)

9. Federal I.D. Number (if Known)

10. BWSC Tracking # (if Known)

### D. Application Prepared by (if different from Section B)\*

Garcia, Galuska, DeSousa, Inc.

1. Name of Firm Or Individual

370 Faunce Corner Road

2. Address

Dartmouth

MA

02747

508-998-5700

66

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

Nathan C. Ketchel, EIT

8. Contact Person

9. LSP Number (BWSC Permits only)

### E. Permit - Project Coordination

1. Is this project subject to MEPA review? ☐ yes ☒ no  
If yes, enter the project's EOEA file number - assigned when an Environmental Notification Form is submitted to the MEPA unit:

EOEA File Number

### F. Amount Due

DEP Use Only

Permit No:

Rec'd Date:

Reviewer:

#### Special Provisions:

1. ☒ Fee Exempt (city, town or municipal housing authority)(state agency if fee is \$100 or less).  
*There are no fee exemptions for BWSC permits, regardless of applicant status.*
2. ☐ Hardship Request - payment extensions according to 310 CMR 4.04(3)(c).
3. ☐ Alternative Schedule Project (according to 310 CMR 4.05 and 4.10).
4. ☐ Homeowner (according to 310 CMR 4.02).

Check Number

Dollar Amount

Date



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands Program

# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the Massachusetts Stormwater Handbook. The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



# Checklist for Stormwater Report

## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

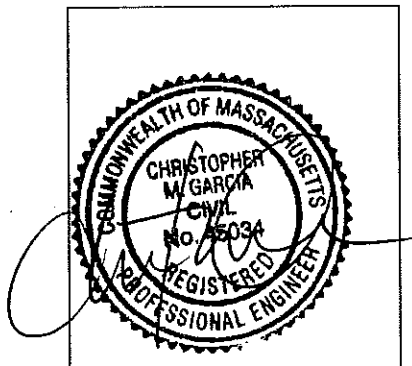
*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Signature and Date

*Christopher M. Garcia* 1/24/17

## Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- ☐ New development
- ☐ Redevelopment
- ☒ Mix of New Development and Redevelopment





# Checklist for Stormwater Report

---

## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- ☐ No disturbance to any Wetland Resource Areas
- ☐ Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- ☐ Reduced Impervious Area (Redevelopment Only)
- ☐ Minimizing disturbance to existing trees and shrubs
- ☐ LID Site Design Credit Requested:
  - ☐ Credit 1
  - ☐ Credit 2
  - ☐ Credit 3
- ☐ Use of "country drainage" versus curb and gutter conveyance and pipe
- ☐ Bioretention Cells (includes Rain Gardens)
- ☐ Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- ☐ Treebox Filter
- ☐ Water Quality Swale
- ☐ Grass Channel
- ☐ Green Roof
- ☐ Other (describe): \_\_\_\_\_

### Standard 1: No New Untreated Discharges

- ☒ No new untreated discharges
- ☒ Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- ☐ Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

---

## Checklist (continued)

### Standard 2: Peak Rate Attenuation

- ☐ Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- ☐ Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- ☒ Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge \* Due to high groundwater conditions infiltration is not feasible. See narrative.

- ☒ Soil Analysis provided.
- ☐ Required Recharge Volume calculation provided.
- ☐ Required Recharge volume reduced through use of the LID site Design Credits.
- ☐ Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - ☐ Static
  - ☐ Simple Dynamic
  - ☐ Dynamic Field<sup>1</sup>
- ☐ Runoff from all impervious areas at the site discharging to the infiltration BMP.
- ☐ Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- ☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- ☐ Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - ☐ Site is comprised solely of C and D soils and/or bedrock at the land surface
  - ☐ M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - ☐ Solid Waste Landfill pursuant to 310 CMR 19.000
  - ☐ Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- ☐ Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- ☐ Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

---

<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 3: Recharge (continued)

- ☐ The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- ☐ Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- ☒ A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - ☒ Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - ☒ is within the Zone II or Interim Wellhead Protection Area
    - ☐ is near or to other critical areas
    - ☐ is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - ☐ involves runoff from land uses with higher potential pollutant loads.
  - ☐ The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - ☒ Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



# Checklist for Stormwater Report

---

## Checklist (continued)

### Standard 4: Water Quality (continued)

- ☐ The BMP is sized (and calculations provided) based on:
  - ☐ The  $\frac{1}{2}$ " or 1" Water Quality Volume or
  - ☒ The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- ☒ The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- ☐ A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- ☐ The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- ☐ The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior** to the discharge of stormwater to the post-construction stormwater BMPs.
- ☐ The NPDES Multi-Sector General Permit does **not** cover the land use.
- ☐ LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- ☐ All exposure has been eliminated.
- ☐ All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- ☐ The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

### Standard 6: Critical Areas

- ☐ The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- ☐ Critical areas and BMPs are identified in the Stormwater Report.



# Checklist for Stormwater Report

## Checklist (continued)

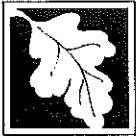
### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- ☒ The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
- ☐ Limited Project
  - ☐ Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - ☐ Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - ☐ Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - ☐ Bike Path and/or Foot Path
  - ☐ Redevelopment Project
  - ☒ Redevelopment portion of mix of new and redevelopment.
- ☒ Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- ☐ The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- ☒ A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

---

## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- ☐ The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- ☒ The project is **not** covered by a NPDES Construction General Permit.
- ☐ The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- ☐ The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted **BEFORE** land disturbance begins.

### Standard 9: Operation and Maintenance Plan

- ☒ The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - ☒ Name of the stormwater management system owners;
  - ☒ Party responsible for operation and maintenance;
  - ☒ Schedule for implementation of routine and non-routine maintenance tasks;
  - ☒ Plan showing the location of all stormwater BMPs maintenance access areas;
  - ☒ Description and delineation of public safety features;
  - ☐ Estimated operation and maintenance budget; and
  - ☒ Operation and Maintenance Log Form.
- ☐ The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - ☐ A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - ☐ A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges

- ☒ The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- ☒ An Illicit Discharge Compliance Statement is attached;
- ☐ NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

### **Stormwater Report**

**Applicant/Owner:** Town of Leicester, 3 Washburn Square, Leicester, MA 01524

**Project Location:** Leicester Public Library, 1136 Main Street, Leicester, MA 01524

**Representative:** Christopher M. Garcia, P.E.  
Garcia, Galuska & DeSousa, Inc.

#### ***Standard #1: Untreated Stormwater***

No new untreated stormwater from the development will discharge to the resource areas. The installation of the proposed drainage systems is intended to improve water quality prior to discharge to the resource areas.

No untreated stormwater from the proposed parking areas will be discharged to resource areas. Runoff from the new paved areas will be discharged to deep sump catch basins, equipped with oil and grease traps, then to a water quality structure which discharges to a subsurface detention bed system for peak flow attenuation. An outlet control structure will discharge the attenuated flow to the north abutter, similar to the existing condition.

#### ***Standard #2: Post-Development Peak Discharge Rates***

Stormwater drainage systems have been designed to control the 2-year, 10-year, 25-year and 100-year storm events. The post development peak discharge rates do not exceed pre-development rates at the design points. Please refer to the attached Drainage Analysis prepared by Garcia, Galuska & DeSousa, Inc.

#### ***Standard #3: Recharge to Groundwater***

The site soils are classified as Scituate Fine Sandy Loam, Paxton Fine Sandy Loam and Canton Fine Sandy Loam. The Scituate Fine Sandy Loam and Paxton Fine Sandy Loam are classified as Hydrologic Soil Group 'C'. Canton Fine Sandy Loam is classified as Hydrologic Soil Group 'A'. Onsite soil borings within the Scituate and Paxton soil limits were generally classified as silty sand, consistent with Hydrologic Soil Group 'C'.

In addition to geotechnical borings, two test pits were excavated on site to determine the depth to seasonal high groundwater. Groundwater was observed approximately 40 inches below grade (Elev. 914.10) and redoximorphic features noted at 17 inches below grade (Elev. 916.00) in Test Pit (TP) #102. Based on the observed seasonal high groundwater elevations, coupled with the Hydrologic Soil Group 'C' material observed on site, we request a waiver from the Massachusetts Stormwater Handbook Standard #3. The proposed stormwater system will not be able to meet the required separation to seasonal high groundwater for infiltration structures. The site also consists of varying amounts of fill material.

#### ***Standard #4: Removal of 80% Total Suspended Solids (TSS)***

The BMP's selected for the project include deep sump catch basins, water quality structures and a subsurface detention bed. The site is located within the Zone II of the Leicester Water Supply District (PWS ID #2151000). The treatment train is designed to remove 81% of TSS prior to discharge from the site. Please refer to the TSS removal worksheet contained in the Drainage Analysis prepared by Garcia, Galuska & DeSousa, Inc.

#### ***Standard #5: Higher Potential Pollutant***

The project site does not contain land uses with higher potential pollutant loads.

***Standard #6: Protection of Critical Areas***

The project site does not contain or discharge runoff to critical areas.

***Standard #7: Redevelopment Projects***

The project consists of a mix of new and redevelopment activities, however the stormwater drainage system is designed to meet the requirements of all of the Stormwater Standards with exception to Standard #3.

***Standard #8: Erosion and Sedimentation Controls***

The Contractor shall adhere to Erosion and Sedimentation Control Narrative on construction drawing C001, prepared by Garcia, Galuska & DeSousa, Inc., dated January 24, 2017.

The Contractor shall furnish the services of an independent professional engineer or a certified professional in erosion and sediment control to prepare a storm water pollution prevention plan (SWPPP). Prior to commencement of site demolition or earthwork said plan shall be implemented. Prior to the start of any construction activities on site, a pre-construction conference shall be held on site to establish supervisory and inspection procedures for sediment and erosion control measures.

General sequence shall be as follows: establish hay bale/silt barrier & construction fence prior to any earthwork; install site entrance mats at site construction entrances; construct temporary settling basins and install erosion control devices; clear/grub vegetation, remove and dispose of all stumps from site; perform mass earthwork and rock excavation for the site; protect all existing and proposed drainage structures from sediment by the use of sediment control bags and hay bales at catch basins.

Silt barrier, construction fencing and erosion control measures shall be removed only after the site is stabilized and permanent vegetation has been established.

***Standard #9: Operation and Maintenance Plans***

The Contractor (*during construction*) and Owner (*after project completion*) shall adhere to the Operation and Maintenance notes described on construction drawing C003, prepared by Garcia, Galuska & DeSousa, Inc., dated January 24, 2017.

The results of inspections, along with the determination of any remedial work that may be found to be necessary as a result of inspections, shall be made available to the Conservation Commission.

***Standard #10: Illicit Discharges to Drainage System***

There are no observable existing illicit discharges on site. The proposed construction will not result in any new illicit discharges to the resource areas.



**GARCIA • GALUSKA • DESOUSA**  
Consulting Engineers Inc.

*Project: Leicester Public Library Renovation & Addition*  
*Location: Leicester, MA*

**Exhibit A-1**

**Project Narrative**

---

NARRATIVE  
FOR THE  
LEICESTER PUBLIC LIBRARY RENOVATION & ADDITION  
1136 MAIN STREET  
LEICESTER, MA  
PARCEL ID: MAP 19B, LOT 30

APPLICANT/OWNER:  
TOWN OF LEICESTER  
3 WASHBURN SQUARE  
LEICESTER, MA 01524

JANUARY 24, 2017

**A. Description of Site and Project**

The proposed project will occur at the existing Leicester Public Library, located on the north side of Main Street in Leicester, MA, and sited on approximately 0.82 acres of town owned land. The library is located at 1136 Main Street, Leicester, MA.

The project scope includes the construction of a new library addition with an approximate footprint of 3,250 square feet, construction of new parking facilities north of the proposed addition, new access driveway to the parking facilities on the west side of the building, new sidewalk connections to the existing building and the addition from Main Street, new electrical, communications, storm drain, water and sewer utilities. The existing impervious lot coverage is 10,986 square feet; the proposed construction will result in a total impervious cover of 26,772 square feet.

Drainage improvements include the installation of hooded deep sump catch basins, stormwater quality separators and a subsurface detention bed and outlet control structure for peak flow attenuation.

**B. Description of Resource Areas**

The proposed work will occur within the buffer zone of a Bordering Vegetated Wetlands located approximately five feet north of the project site on the north abutter's lot. No alteration of resource areas is proposed. As required by the Leicester Wetlands Bylaw, the project will maintain a 25' no disturb buffer from the resource area. The limits of the resource area were flagged by Norman G. Hill, P.E., P.L.S. on July 20, 2016.

Review of the Massachusetts Natural Heritage Atlas indicates that the site is not located within an Estimated Habitat of Rare Wildlife. No certified vernal pools are located on or near the project site.

The site is located in a Zone II drinking water protection area. The project site is not considered a land use with high potential pollutant loads, however, the stormwater system will be equipped with a sluice gate to isolate the drainage system in the event of an emergency spill or other unexpected event per the requirements of the Massachusetts Stormwater Handbook.

The proposed building, parking facilities and lawn areas are located within Zone X, area of 0.2% annual chance flood, all as delineated by F.E.M.A. Flood Insurance Rate Map, Community Panel 25027C 0781E, effective as of July 4, 2011.

**C. Mitigating Measures**

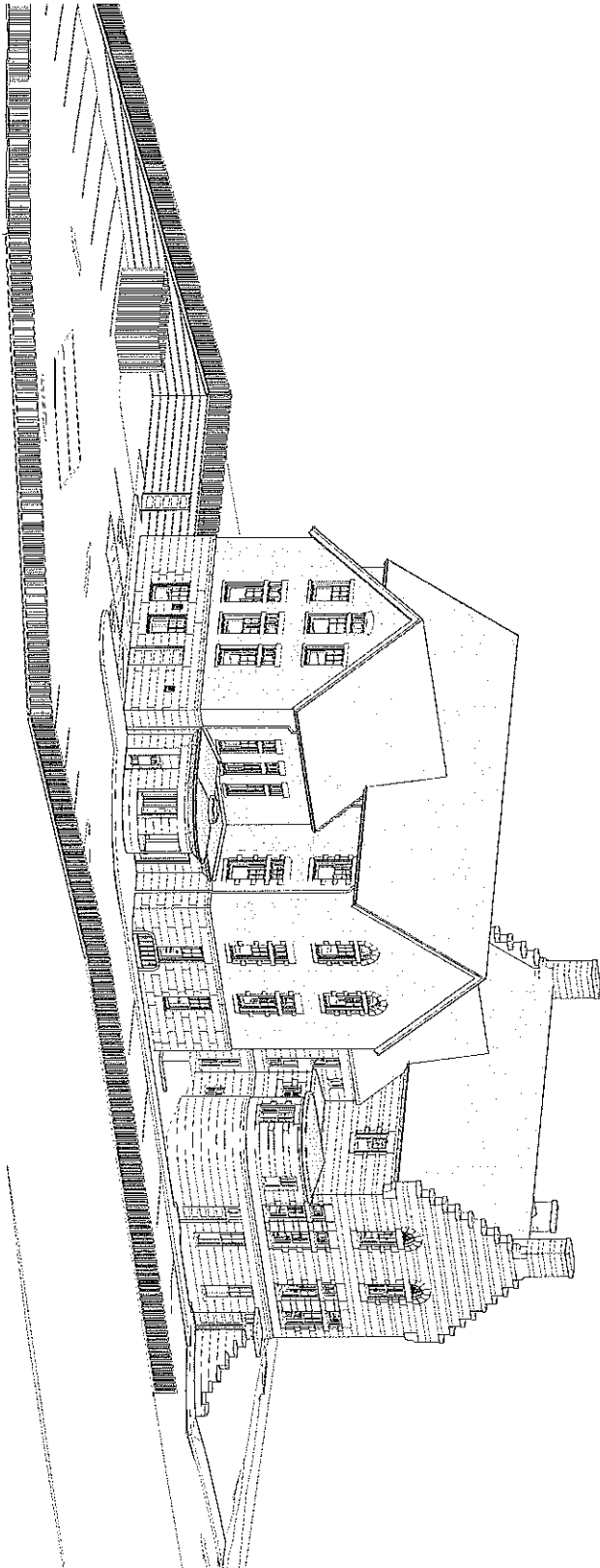
To mitigate impact to the Buffer Zone the following measures will be implemented:

1. Prior to the start of construction activities on site, a pre-construction meeting shall be held to establish supervisory and inspection procedures for sediment and erosion control measures. The meeting shall be attended by the Contractor, Engineer, Conservation Officer and the Applicant/Owner.
2. Prior to the performance of any work, the areas affected will be staked, flagged, and a temporary hay bale and siltation barrier shall be established as shown on the design drawings. The Contractor, Engineer, and Conservation Officer shall review in the field and approve the areas and methods designated. The silt barrier will be inspected daily. Any accumulated sediment collected by the barrier will be removed and be either reused on-site or disposed of at a suitable off-site location. Any damaged sections of silt barrier will be repaired or replaced immediately.
3. The dewatering of utility/construction trenches shall be pumped through a dewatering filter bag prior to discharge. The dewatering bag will not be placed in any resource area or buffer zone to a resource area. Dewatering bag shall be surrounded by a silt barrier.
4. Temporary seeding and mulching operations will be utilized on areas of exposed soils until finish grading and seeding has begun. Slopes equal to and greater than 3:1 shall receive an erosion control blanket.
5. Designated areas for vehicle refueling and concrete truck wash down shall be established and the areas shall be contained by a stone reinforced silt barrier. Accumulated concrete shall be disposed of off-site. Fueling area shall be scraped monthly to a depth approved by the Architect/Engineer and redressed. Scraped material shall be disposed of off-site at an approved disposal facility appropriate to the material.
6. The contractor shall reduce surface and air movement of dust from exposed soil surfaces as required by construction activities. Construction activities shall be so scheduled so that the least area of disturbed soil is exposed at one time. In disturbed areas not subject to traffic, the contractor shall use temporary seeding and mulching operations. In disturbed areas subject to traffic, the contractor shall sprinkle surface with water to minimize dust. Dust control measures shall be maintained through dry weather periods until all disturbed areas have been permanently stabilized.
7. Construction within the resource areas shall be performed as quickly as possible in order to minimize disturbance. Work will occur in the dryer periods of the year to minimize disturbance. Work within the resource areas will be done by a rubber tire backhoe and all operating equipment within the resource area shall be placed on construction mats to limit disturbance. No heavy equipment will be allowed on the BVW outside the established work area. Impact on wetland resource area will be offset through the creation of a replication area. All excavated soil from the existing wetland will be stockpiled outside the BVW for re-use in construction of the replication area. Grading and planting work within the resource area will be supervised by a qualified wetland scientist.

# LEICESTER PUBLIC LIBRARY

## RENOVATION & ADDITION

1136 MAIN STREET  
LEICESTER, MASSACHUSETTS 01524  
TEL. 508.892.7020



### ARCHITECT

**DURLAND - VAN VOORHIS ARCHITECTS**  
20 PERCIVAL STREET  
MATTAPAN, MASSACHUSETTS 02740  
TEL. 508.890.6967

### COST ESTIMATOR

**A.M. FOGARTY & ASSOCIATES**  
175 BROAD STREET  
HINGHAM, MASSACHUSETTS 02043  
TEL. 781.748.7722

### STRUCTURAL

**BOSTON BUILDING CONSULTANTS**  
222 CONGRESS STREET  
BOSTON, MASSACHUSETTS 02110  
TEL. 617.540.2923

### CIVIL/ PLUMB/ MECH/ ELEC/ TECH


**GARCIA GALUSKA DESOUSA**  
270 FAIRFAX CORNER ROAD  
DARTMOUTH, MASSACHUSETTS 02747  
TEL. 508.594.5700

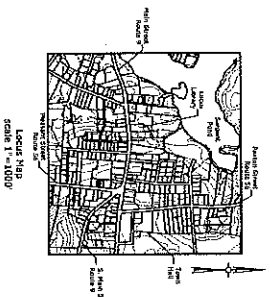
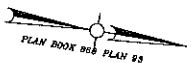
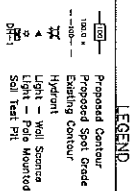
### SPECIFICATIONS

**ARCHITX, LLC**  
5 TORSY DRIVE  
STAFFORD SPRINGS, CONNECTICUT 06076-1040  
TEL. 860.872.8827

February 28, 2017

|              |                   |
|--------------|-------------------|
| DATE         | FEBRUARY 28, 2017 |
| SCALE        | 1/4" = 1'-0"      |
| DESIGNED BY  | AVV               |
| CHECKED BY   | GVV               |
| PROJECT NO.  |                   |
| SHEET NO.    |                   |
| TOTAL SHEETS |                   |
| PROJECT NAME |                   |
| OWNER        |                   |
| ARCHITECT    |                   |
| ENGINEER     |                   |
| MECHANICAL   |                   |
| ELECTRICAL   |                   |
| TECHNICAL    |                   |
| COVER SHEET  |                   |
| G-0.0        |                   |

|  |   |
|--|---|
| <b>LEICESTER PUBLIC LIBRARY</b><br>RENOVATION & ADDITION<br>1136 MAIN STREET LEICESTER, MA |   |
| 50% Construction Docs<br>January 11, 2017  | <b>DURLAND • VAN VOORHIS</b><br> |




| REVISIONS |      |        |         |
|-----------|------|--------|---------|
| NO        | DATE | DESIGN | CHECKED |
| 1         |      |        |         |
| 2         |      |        |         |
| 3         |      |        |         |
| 4         |      |        |         |
| 5         |      |        |         |

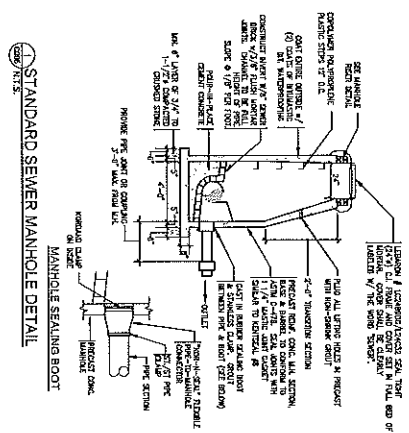
|             |       |         |
|-------------|-------|---------|
| FIELD BY    | SS/RW | 7/28/16 |
| DESIGNED BY |       |         |
| DRAWN BY    | BQH   | 7/28/16 |
| CHECKED BY  | NGH   | 7/28/16 |

MAIN (PUBLIC - VARIABLE WIDTH) STREET  
1896 STATE HIGHWAY LAYOUT

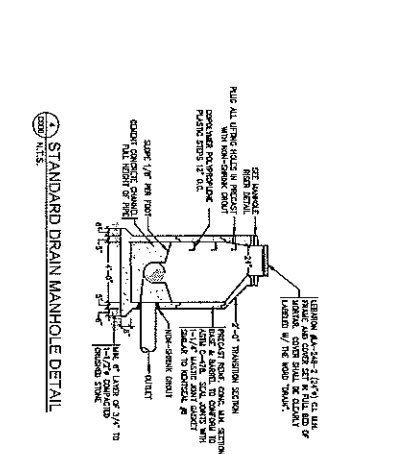
Existing Conditions Plan  
Located At  
Leicester Town Library  
1136 Main Street  
Leicester, MA  
Scale: 1"=20'

|      |             |        |   |   |
|------|-------------|--------|---|---|
| DATE | JUL 29 2018 | 1 of 1 |  | <b>LAND PLANNING, INC.</b><br>Civil Engineers • Land Surveyors<br>Environmental Consultants |
|      |             |        |   | BELLEVILLE<br>167 EASTWATER AVE. 02019<br>508-668-4130                                      |
|      |             |        |   | ORLANDO<br>214 WINDSOR ST. 01506<br>508-681-6638  |
|      |             |        |   | HANSON<br>1115 MAIN STREET 02541<br>781-934-4144  |
|      |             |        |   | HOLBROOK<br>P.O. BOX 10670<br>508-681-3008  |
| DATE | JUL 29 2018 | 1 of 1 |   |   |

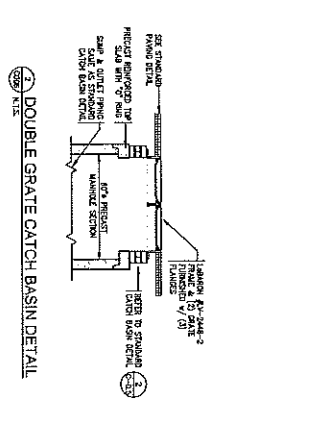




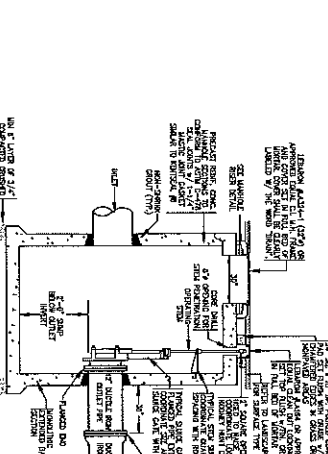
1. STANDARD SEWER MANHOLE DETAIL



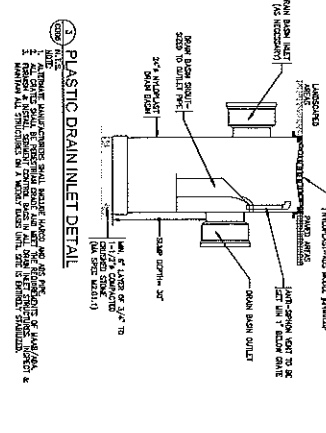
2. STANDARD DRAIN MANHOLE DETAIL



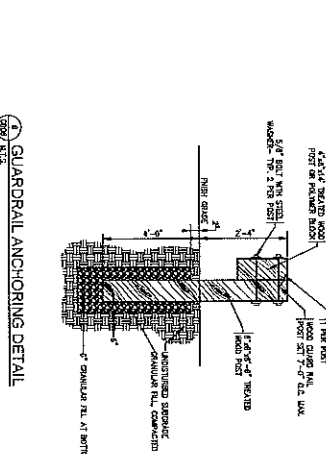
3. DOUBLE GRATE CATCH BASIN DETAIL



4. DRAIN MANHOLE WITH SLUICE GATE



5. PLASTIC DRAIN INLET DETAIL



6. GUARDRAIL ANCHORING DETAIL

**CATCH BASINS/DRAIN INLETS**

| STRUCTURE # | REV. | DATE     | BY | CHKD. |
|-------------|------|----------|----|-------|
| 101         | 1    | 10/10/10 | JD | JD    |
| 102         | 1    | 10/10/10 | JD | JD    |
| 103         | 1    | 10/10/10 | JD | JD    |

**INTER QUALITY STRUCTURES**

| STRUCTURE # | REV. | DATE     | BY | CHKD. |
|-------------|------|----------|----|-------|
| 104         | 1    | 10/10/10 | JD | JD    |
| 105         | 1    | 10/10/10 | JD | JD    |
| 106         | 1    | 10/10/10 | JD | JD    |

**DRAIN MANHOLE SCHEDULE**

| STRUCTURE # | REV. | DATE     | BY | CHKD. |
|-------------|------|----------|----|-------|
| 107         | 1    | 10/10/10 | JD | JD    |
| 108         | 1    | 10/10/10 | JD | JD    |
| 109         | 1    | 10/10/10 | JD | JD    |

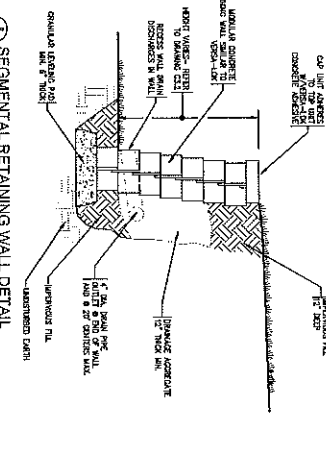
**DOWNPOUTS**

| STRUCTURE # | REV. | DATE     | BY | CHKD. |
|-------------|------|----------|----|-------|
| 110         | 1    | 10/10/10 | JD | JD    |
| 111         | 1    | 10/10/10 | JD | JD    |
| 112         | 1    | 10/10/10 | JD | JD    |

**SEWER MANHOLE SCHEDULE**

| STRUCTURE # | REV. | DATE     | BY | CHKD. |
|-------------|------|----------|----|-------|
| 113         | 1    | 10/10/10 | JD | JD    |
| 114         | 1    | 10/10/10 | JD | JD    |
| 115         | 1    | 10/10/10 | JD | JD    |

7. DRAINAGE AND SEWER STRUCTURE ELEVATION SCHEDULE



8. SEGMENTAL RETAINING WALL DETAIL

SECTION 1

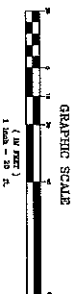
SECTION 2

10' 0"

10' 0"

10' 0"


J. H. H.



|  |        |
|--|--------|
| Date   | T = 28 |
| Scale  |        |
| drawn by                                       | NCH    |
| checked by                                     | DAL    |
| revision info                                  |        |
|  |        |
|  |        |
|  |        |
|  |        |
| SITE<br>DEMOLITION<br>&<br>PREPARATION<br>PLAN | C100   |

**30% Construction Docs**  
**December 14, 2016**

---

 **GARCIA GALUSKA DESOUSA**  
COMMERCIAL ENGINEERS INC.  
275 Airport Blvd., Suite 1000  
St. Louis, MO 63102  
Tel: 314.434.3000 Fax: 314.434.3001

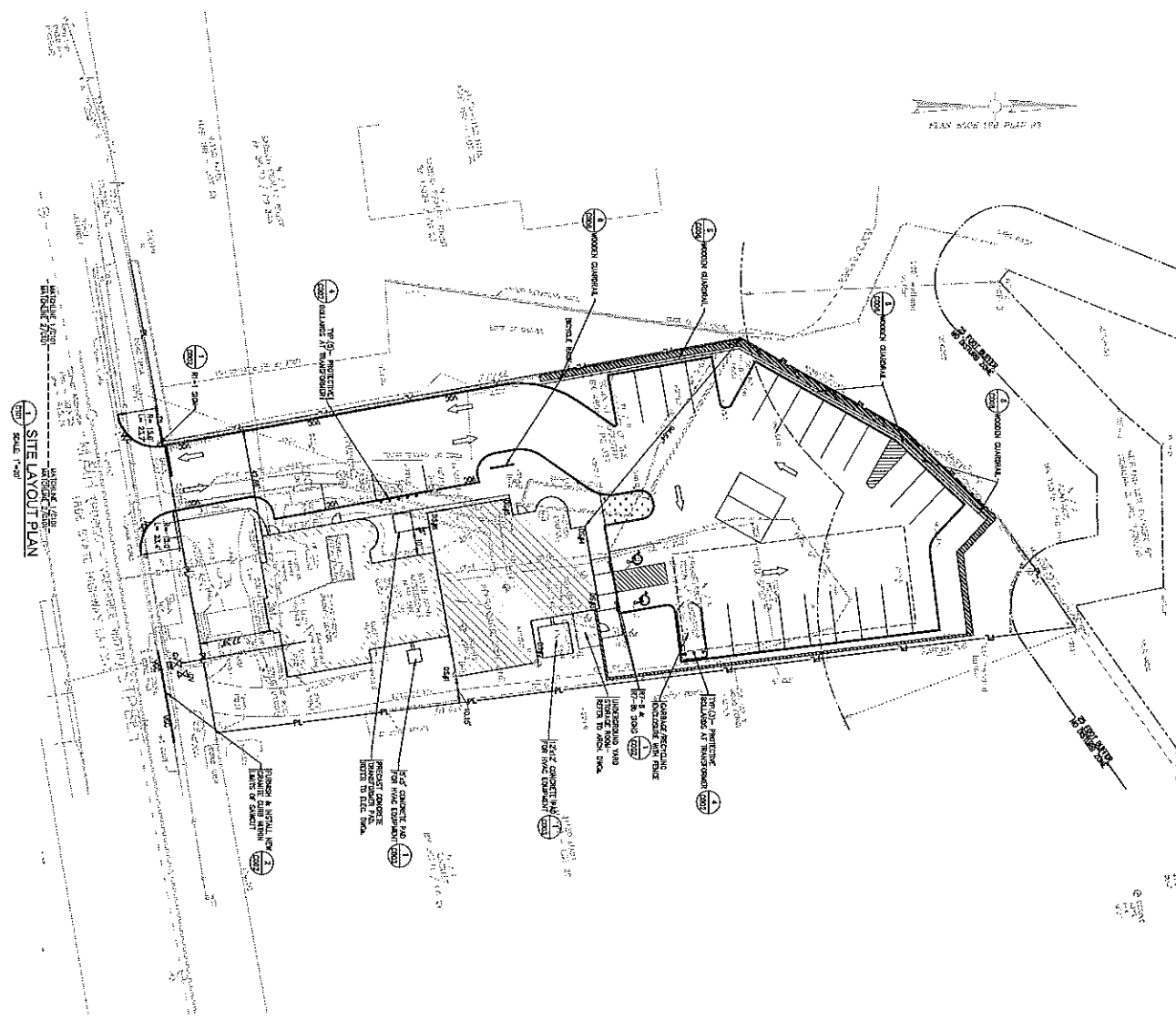
**DURLAND • VAN VOORHIS**

ALL phases of work  
area 122  
new building work  
02740

1-800-993-6167  
1-504-993-6391  
durland@vvh.com

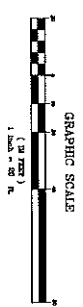
 durland • van voorhis





1 SITE LAYOUT PLAN  
SCALE 1"=20'

2  
PARTIAL SITE LAYOUT PLAN  
SCALE: 1"=20'




|                     |         |
|---------------------|---------|
| Date                | 11 - 20 |
| Scale               | N/A     |
| Drawn by            | MCK     |
| Checked by          | CMS     |
| Project No.         |         |
| Revision Date       |         |
|                     |         |
|                     |         |
|                     |         |
|                     |         |
| SITE LAYOUT<br>PLAN |         |
| C101                |         |

**Leicester Public Library**  
RENOVATION & ADDITION  
1136 Main Street Leicester, MA

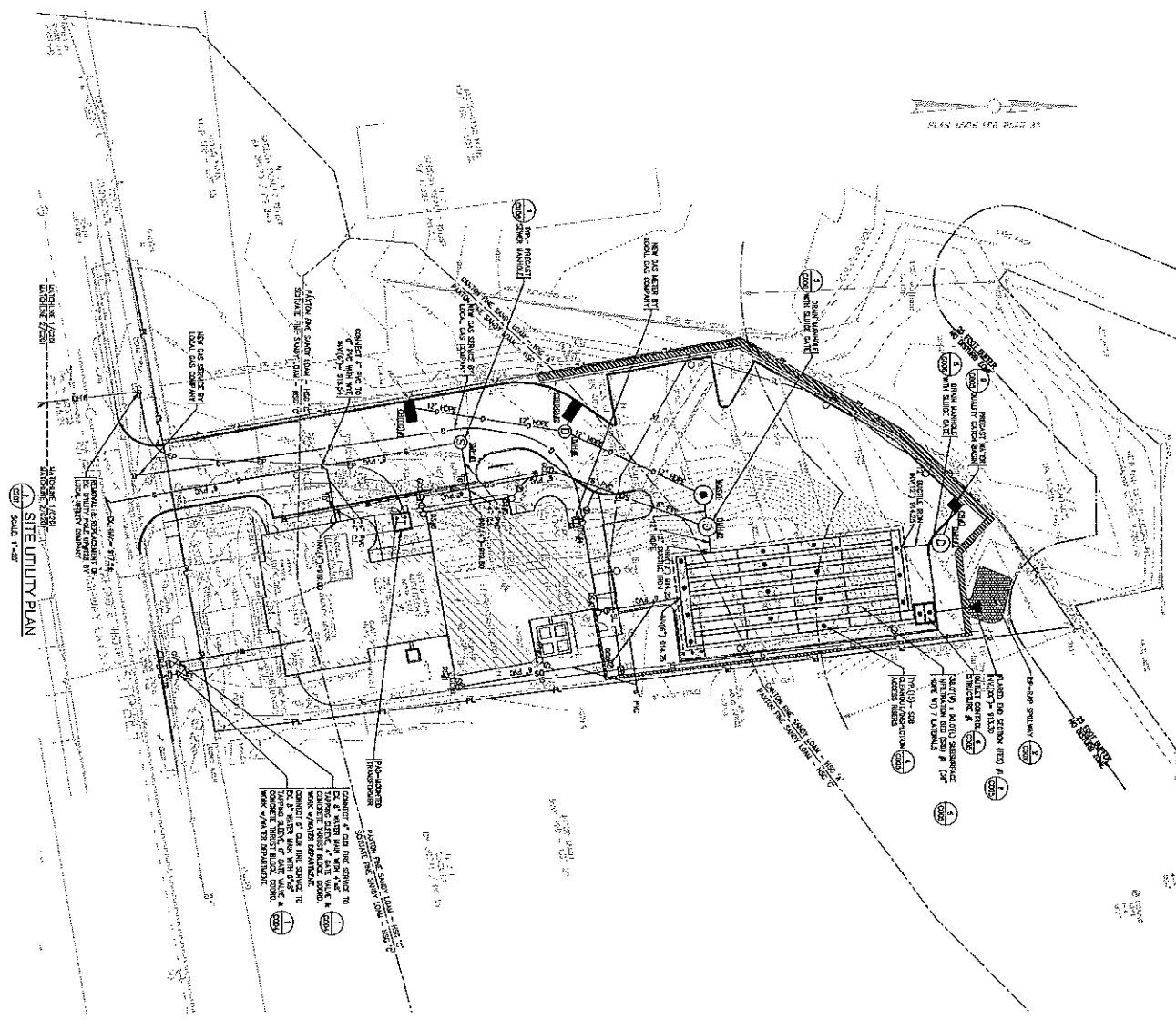
**30% Construction Docs**  
**December 14, 2016**

---

 **GARCIA GALUSKA DESOUSA**  
CONSULTING ENGINEERS  
275 Central Expressway, Suite 200, Cambridge, MA 02142  
Tel: 617.452.0746 Fax: 617.452.0883 E: [info@galdeso.com](mailto:info@galdeso.com) W: [www.galdeso.com](http://www.galdeso.com)

**DURLAND ■ VAN VOORHIS**  
224 pleasant street  
suite 372  
new bedford ma  
01945  
t 508 993 4567  
f 508 993 4581  
dvan@dvvh.com

  
architects



2  
2001  
SHEET 1 OF 20

PARTIAL SITE UTILITY PLAN


**SITE UTILITY PLAN**  
SCALE: 1"=20'

[illegible]

**Leicester Public Library**  
RENOVATION & ADDITION  
1136 Main Street Leicester, MA

**30% Construction Docs**  
**December 14, 2016**

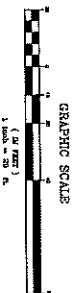
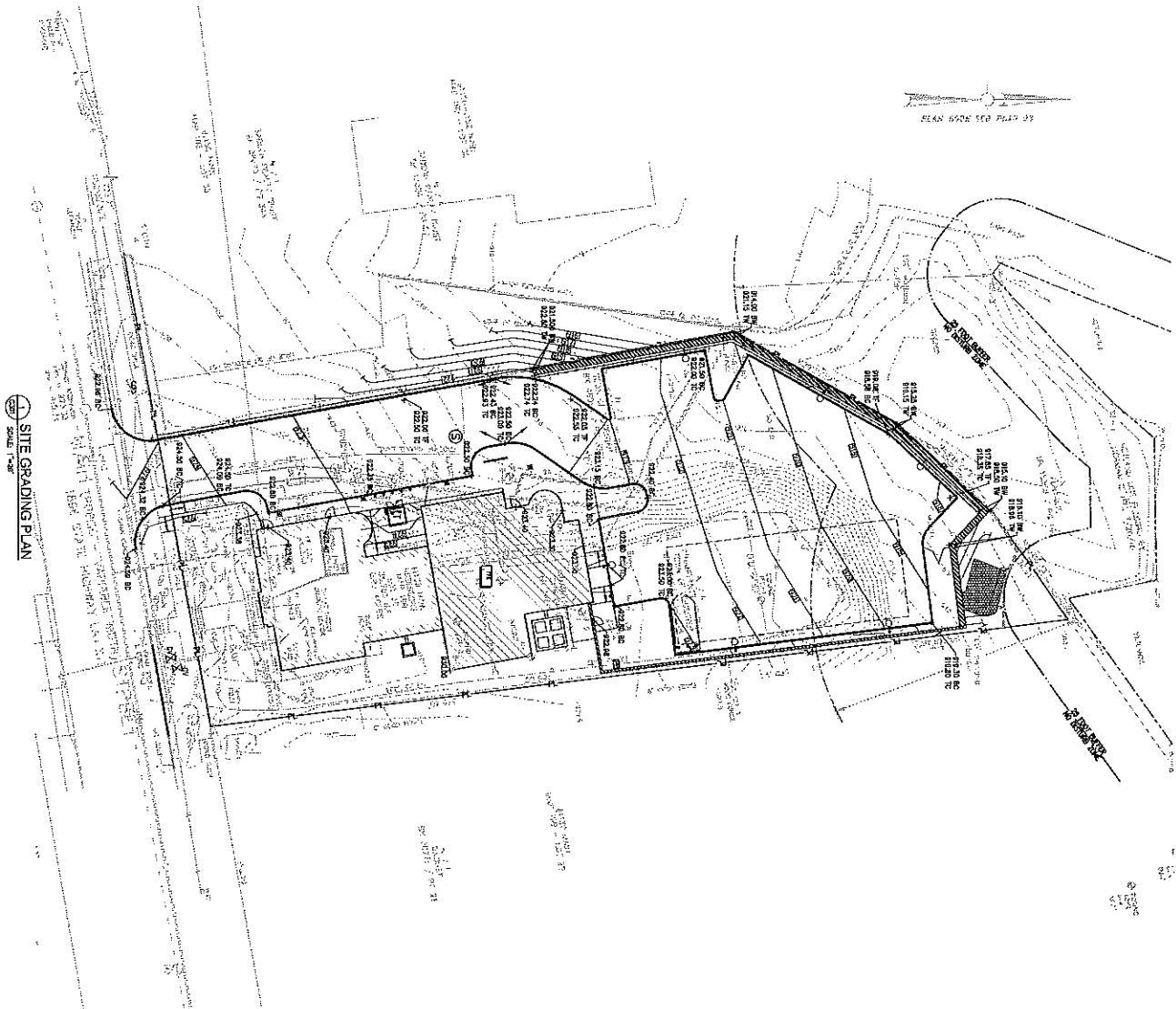
---

 **GARCIA GALUSKA DESOUSA**  
CONSULTING ENGINEERS  
17700 E. 1st Avenue, Suite 100  
Denver, CO 80232  
Tel: 303.733.8800 Fax: 303.733.8801  
www.ggd.com

**DURLAND ■ VAN VOORHIS**  
618 pleasant street  
suite 222  
new bedford ma  
02740  
1-508-993-6167  
1-508-993-6181  
dvan@dv.com



architects



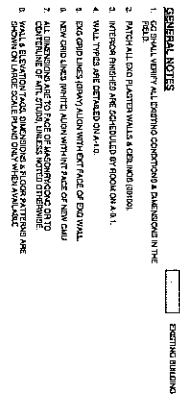
|      |                   |  |
|------|-------------------|--|
| C301 | SITE GRADING PLAN |  |
|      | DATE              | 12-14-16                                       |
|      | DESIGNED BY       | W. J. DURLAND                                  |
|      | CHECKED BY        | W. J. DURLAND                                  |
|      | PROJECT NAME      | LEICESTER PUBLIC LIBRARY RENOVATION & ADDITION |

**Leicester Public Library**  
**RENOVATION & ADDITION**  
 1136 Main Street Leicester, MA

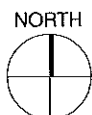
30% Construction Docs  
 December 14, 2016

**GARCIA GALUSKA DESOUSA**  
 CIVIL ENGINEERS  
 100 WEST MAIN STREET, SUITE 200  
 LEICESTER, MA 01545  
 TEL: 413.753.1111 FAX: 413.753.1112  
 WWW.GGDESIGN.COM

**DURLAND • VAN VOORHIS**  
 CIVIL ENGINEERS  
 1100 GLENN STREET, SUITE 200  
 WEST LEBANON, NH 03786  
 TEL: 603.881.4547 FAX: 603.881.4548  
 WWW.DV-ENR.COM



1 GROUND FLOOR PLAN  
SCALE: 3/16" = 1'-0"



# A-1.1

GROUND  
FLOOR  
PLAN

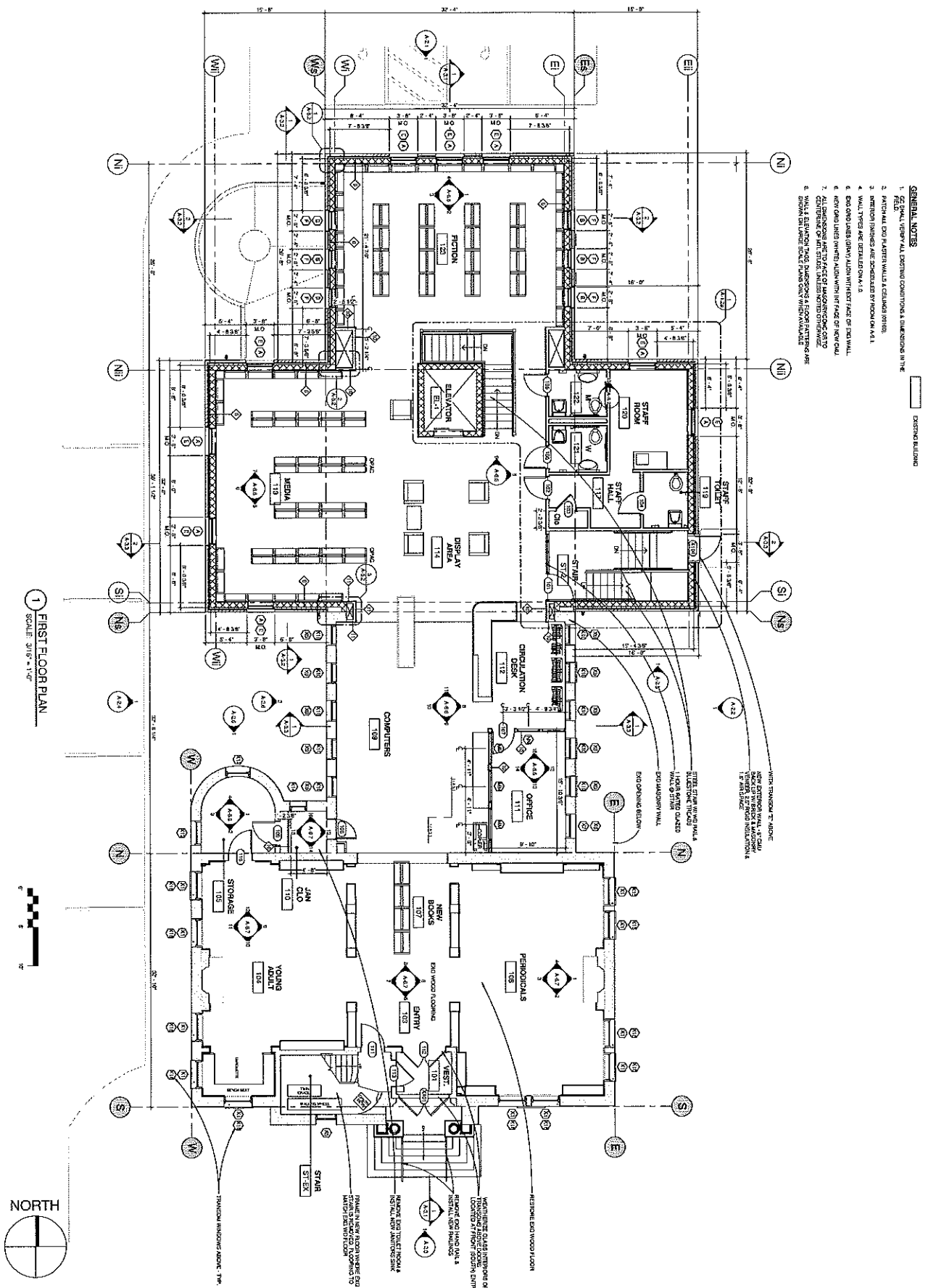
|               |                   |
|---------------|-------------------|
| date          | February 28, 2011 |
| locus         | As indicated      |
| drawn by      | JULIO B.          |
| checked by    | C.V.              |
| reviewed by   |                   |
| approved by   |                   |
| approved date |                   |

LEICESTER PUBLIC LIBRARY  
RENOVATION & ADDITION  
1136 MAIN STREET LEICESTER, MA

50% Construction Done  
January 11, 2017

DURLAND • VAN VOORHIS





- GENERAL NOTES**
1. GENERAL NOTES FOR ALL EXISTING CONDITIONS, UNLESS NOTED OTHERWISE.
  2. PATCH ALL EXISTING PLASTER WALLS & CEILING FINISHES.
  3. INTERIOR FINISHES ARE SPECIFIED BY ROOM OR AREA.
  4. WALL TYPES ARE DETAIL ON A-1.5.
  5. EXISTING DOOR JAMB ALUMINUM WITH FACE OF EXISTING WALL.
  6. NEW DOOR JAMB ALUMINUM WITH FACE OF NEW WALL.
  7. ALL DOORWAYS ARE TO FACE OF UNFINISHED CONTOUR OF INTERIOR FINISHES UNLESS NOTED OTHERWISE.
  8. WALL & CEILING FINISHES, BASEBOARD & FLOOR FINISHES ARE SHOWN IN ROOM SCHEDULE AND FINISH SCHEDULE.

**1 FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



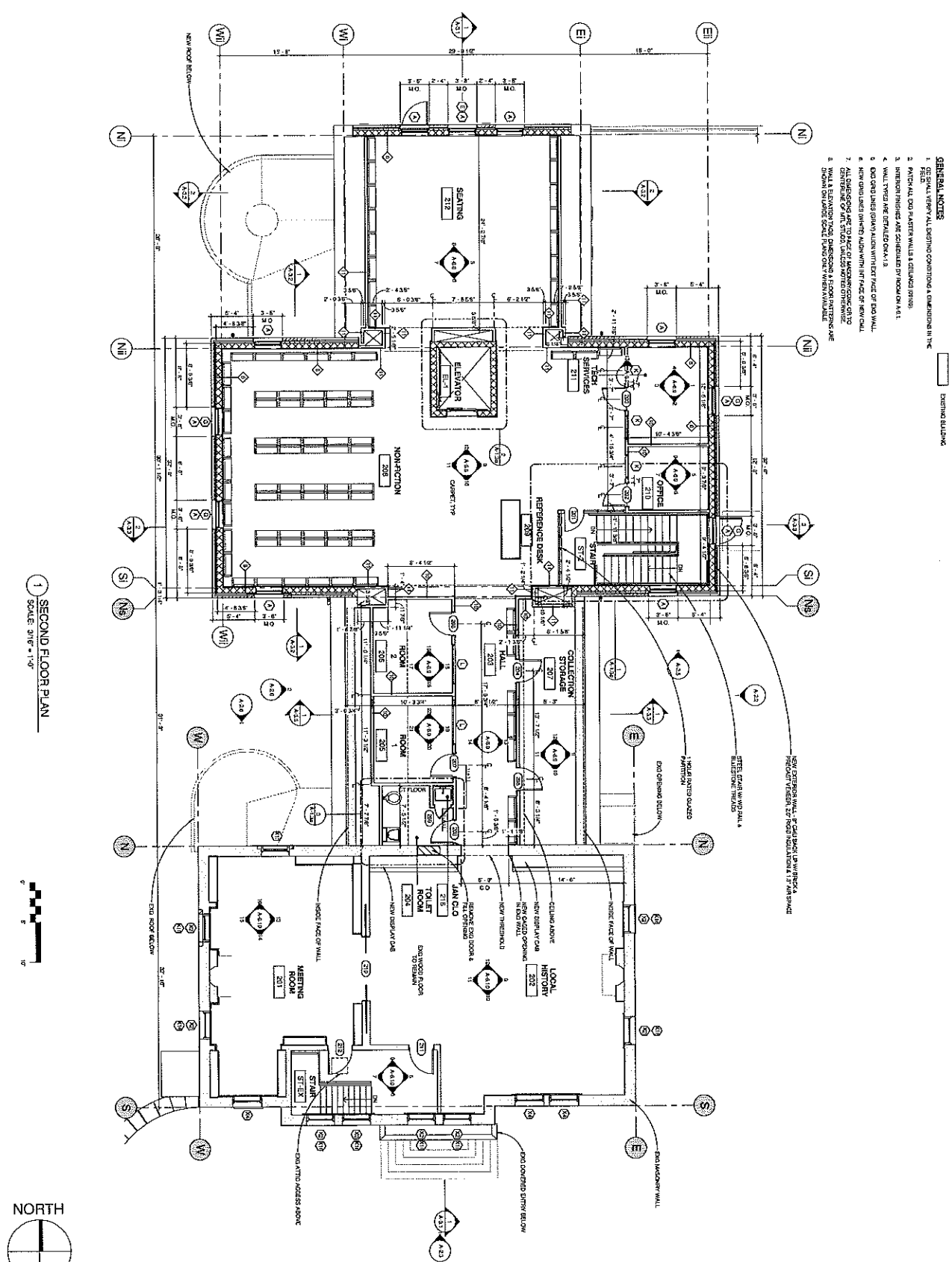
|              |                   |
|--------------|-------------------|
| DATE         | February 28, 2017 |
| DESIGN       | AS NOTED          |
| DESIGNED BY  | J.M. & S.T.       |
| CHECKED BY   | C.V.              |
| PROJECT NO.  |                   |
| PROJECT NAME |                   |

**LEICESTER PUBLIC LIBRARY  
RENOVATION & ADDITION  
1136 MAIN STREET LEICESTER, MA**

50% Construction Docs  
January 11, 2017

**DURLAND • VAN VOORHIS**

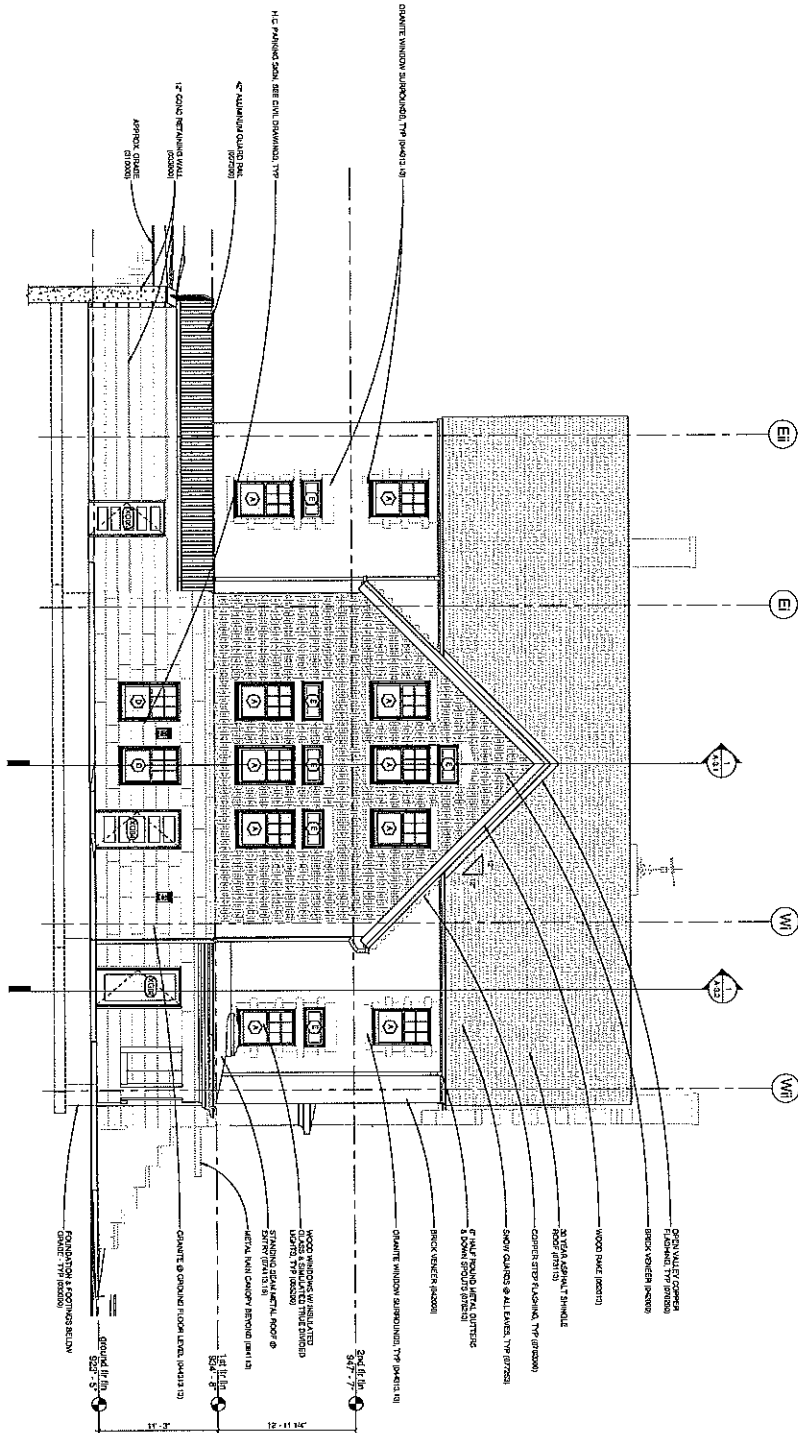
1000 MAIN STREET  
LEICESTER, MA 01545  
TEL: 413-833-1111  
WWW.DVVOORHIS.COM



# GENERAL NOTES - EXTERIOR ELEVATIONS

1. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWING.
2. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWING.
3. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWING.
4. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWING.
5. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWING.
6. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWING.
7. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWING.

1 NORTH ELEVATION  
SCALE: 3/8" = 1'-0"



|              |                   |
|--------------|-------------------|
| DATE         | February 28, 2017 |
| DESIGN       | As Shown          |
| DESIGNED BY  | JAN C. B.         |
| CHECKED BY   | C. V.             |
| PROJECT NAME |                   |

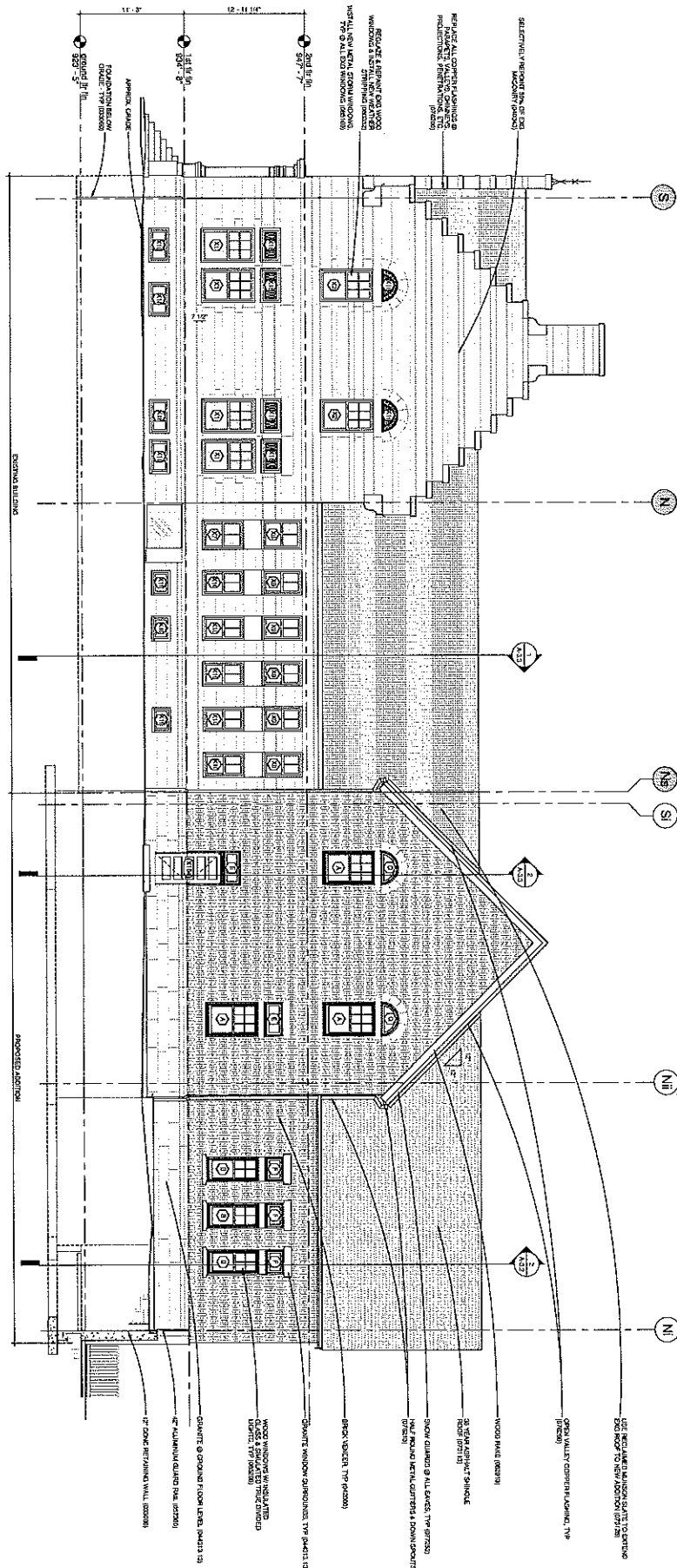
A-2.1  
NORTH ELEVATION

LEICESTER PUBLIC LIBRARY  
RENOVATION & ADDITION  
1136 MAIN STREET LEICESTER, MA

50% Construction Docs  
January 11, 2017

|   |            |
|---|------------|
| BURIAND • VAN VOORHIS   | ARCHITECTS |
| 1000 WEST STREET<br>SUITE 100<br>LEICESTER, MA 01545<br>TEL: 413.526.1100<br>WWW.BVARCHITECTS.COM |            |

1. EXISTING FIBROT GLAZING AT SOUTHEAST ELEVATION TO BE RE-SET IN ALUMINA
2. SELECTIVE REPAIR/REPOINTING OF EXISTING MAJORITY WALLS
3. REINFORCE CHIMNEY
4. STRUCTURAL GRP HAS BEEN SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR GUT DRAINAGE.
5. FOR CHIMNEY ELEVATING ROOFER TO CHIMNEY PLUMBING.
6. REMOVE SAND, PAINT, AND PLASTER ALL EXISTING EXTERIOR WOOD TRAIL
7. O.C. TO USE A CONDITION OF EXISTING WINDOW SILL. SILLS WILL NEED TO BE PATCHED OR REPLACED AS REQUIRED



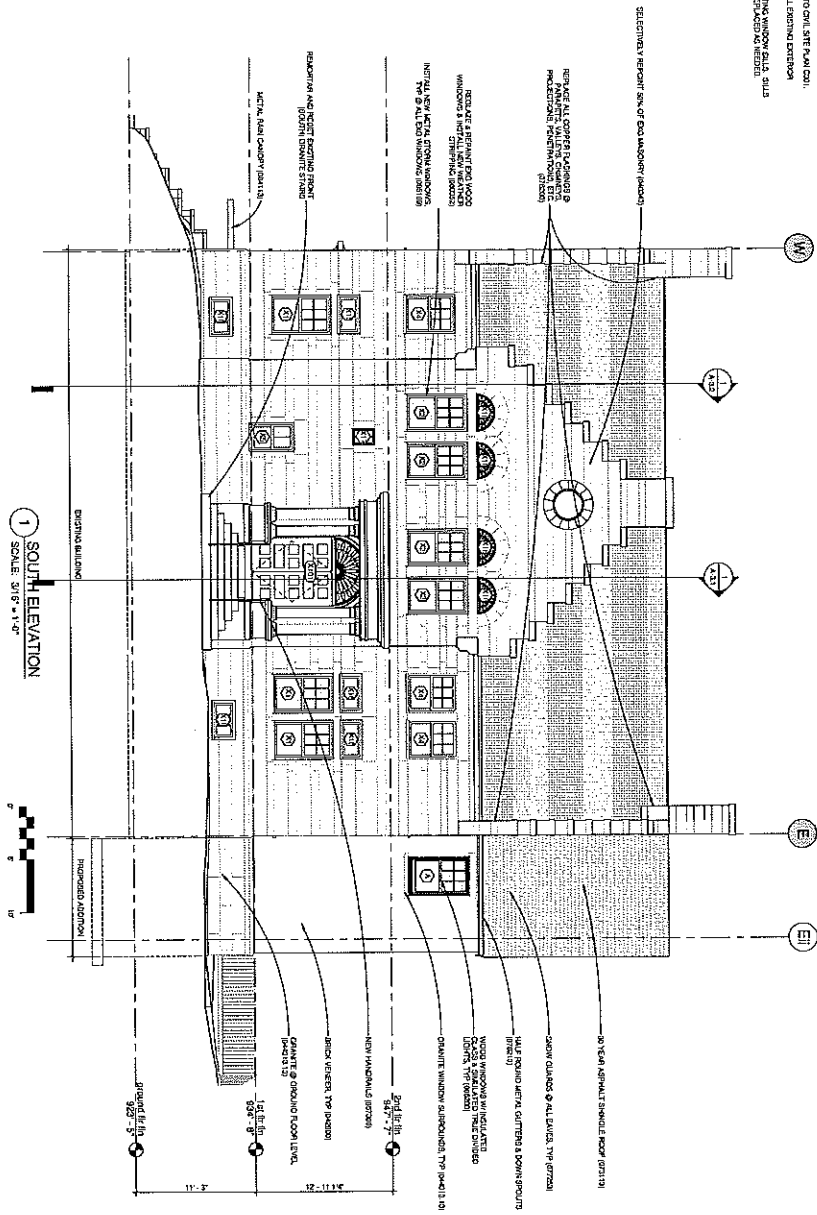
1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



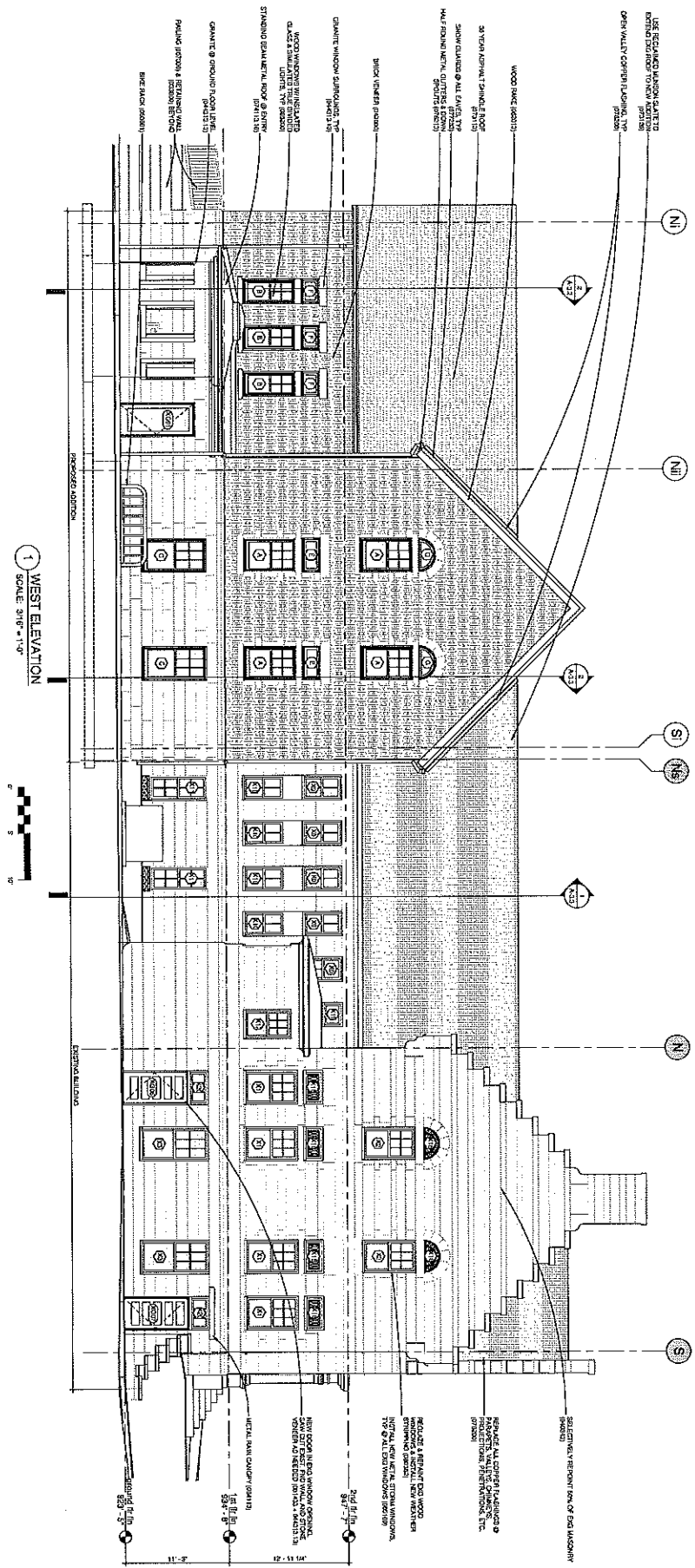


**GENERAL NOTES - EXTERIOR ELEVATIONS**

1. EXISTING PORT STANDING AT SOUTH ELEVATION TO BE RE-SET.
2. SELECTIVE REPAIRING OF EXISTING MASONRY WALLS.
3. REPAIR CHIMNEYS.
4. EXISTING CHIMNEY AND ROOF REPAIRING REFERENCED ONLY.
5. REPAIR TO EXISTING DAMAGED ROOF AND GUTTERS.
6. FOR OTHER ELEVATIONS REFER TO SITE PLAN CALL.
7. EXISTING ROOF, FLOOR & PARTIAL EXTERIOR.
8. ALL TOILET CONDITION OF EXISTING WINDOW SILL, SILL WILL NEED TO BE PATCHED OR REPLACED AS NEEDED.



- GENERAL NOTES - EXTERIOR ELEVATIONS**
1. EXISTING ROOF STANDING AT SOUTH ELEVATION TO BE RE-SET.
  2. SELECTIVE REPAIRS TO EXISTING MASONRY WALLS.
  3. REPAIR CHIMNEYS.
  4. STRUCTURAL GRAD HAS BEEN SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR GRAD DETERMINATION.
  5. FOR GRADE ELEVATIONS REFER TO CIVIL SITE PLAN (CSP).
  6. ROOF GRADE, FINISH & PAINT ALLEGEDLY EXISTING.
  7. GLASS TO GLASS CONNECTIONS OF EXISTING WINDOW SILL, SILL & WALL NEED TO BE PATCHED OR REPLACED AS REQUIRED.



1 WEST ELEVATION  
SCALE 3/16" = 1'-0"



1. DITCHING FRONT STORM AT SLOPE/ELEVATION TO BE RESET IN MORTAR.
2. SELECTING REPAIRMENTS OF EXISTING MASONRY WALLS.
3. REPAIR BRICKWORK.
4. STRUCTURAL GROUT HAS BEEN GIVEN FOR REPAIRS ONLY REFER TO STRUCTURAL DRAWINGS FOR SIZE AND QUANTITY.
5. FOR GROUTS, SCHEDULE REFERS TO CIVIL SET PLAN (CBL).
6. CORNER STAIR, PROVIDE A PLANT ALL EXISTING EXTERIOR WOOD TRIM.
7. G.C. TO BE CONDITION OF EXISTING WINDOW SILLS. SILLS WILL NEED TO BE PATCHED OR REPLACED AS NEEDED.



- EXISTING PLOTT STAINS AT SOUTH ELEVATION TO BE INC. SET IN MORTAR
- OBJECTIVE REPOINTING OF EXISTING MASONRY WALLS.
- REPAIR CHIMNEY.
- STRUCTURAL GRD HAS BEEN SHOWN FOR REFERENCE ON A.Y. PLAN. REVERT TO STRUCTURAL DRAWINGS FOR GRID DETERMINATION.
- FOR DRONE ELEVATIONS REFER TO CIVIL SITE PLAN C01.
- SCAFFOLD, LAMP, PRIMER & PAINT ALL EXISTING EXTERIOR WOOD TRIM.
- AS TO THE CONDITION OF EXISTING MASONRY WALL, SHALL BE NEEDED TO BE PROVIDED ON REPAIRED AS NEEDED.

