

LETTER OF TRANSMITTAL

**TO: Conservation Commission
Town of Leicester
3 Washburn Square
Leicester, MA 01524
508-892-7007**

PROJ. NO: 151-2415-M **DATE:** 8/25/21

PROJECT: Notice of Intent

LOCATION: 112 Huntoon Memorial Highway
Parcel IDs: 44-A-10 and 46-A-1.2

SENT BY WAY OF THE FOLLOWING: Hand Delivery

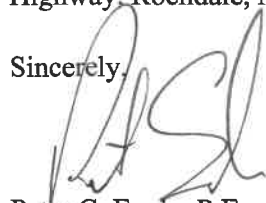
COPIES	DATE	ITEM DESCRIPTION
		NOTICE OF INTENT APPLICATION
2	8/25/21	Cover Letter
2	8/25/21	WPA Form 3 and NOI Wetland Transmittal Form
2	8/25/21	Maps: USGS Topo, NHESP, FIRMette, Plans of Record and Deeds
2	8/19/21	Certified Abutter's List (300 ft.)
3	8/25/21	Stormwater Management Report prepared by McClure Engineering, Inc. date 8/25/21
3	8/20/21	"Site Plan Modification" 112 Huntoon Memorial Highway, Rochdale, MA date 8/20/21 (Size 24x36)
2	8/20/21	"Site Plan Modification" 112 Huntoon Memorial Highway, Rochdale, MA date 8/20/21 (Size 11x17)
1	8/19/21	Check #1451 for \$67.50 payable to Town of Leicester NOI Fee
1	8/19/21	Check #1448 for \$55 payable to Town of Leicester Local Bylaw Fee

REMARKS:

Dear Conservation Commission,

Enclosed are the above listed documents pertaining to the Notice of Intent for 112 Huntoon Memorial Highway, Rochdale, MA. Please call me with any questions or comments at (508) 248-2005.

Sincerely,



Peter C. Engle, P.E.
Senior Engineer

cc: Jack Daige, Central MA Crane Service, Inc., 112 Huntoon Memorial Highway, Rochdale, MA 01542

August 25, 2021

Conservation Commission
Town of Leicester
3 Washburn Square
Leicester, MA 01524

**Re: Notice of Intent Application
112 Huntoon Memorial Highway; Parcel IDs: 44-A-10 and 46-A-1.2**

Dear Commission Members:

On behalf of the project Applicant, Central MA Crane Services, Inc., McClure Engineering, Inc. (McClure) is filing a Notice of Intent for the commercial property located at 112 Huntoon Memorial Highway, Rochdale (Site). The Applicant is proposing to expand the existing gravel parking area on site and modify the existing stormwater management system.

The Property is located on 112 Huntoon Memorial Highway and identified as Assessor's Parcels 46-A-1.2, 44-A-10, and formerly a portion of 44-A-7. The Property consists of roughly 9.8 acres +/- and is a developed commercial site with an existing 14,400 s.f. two story building, asphalt parking, a gravel storage and parking yard, and on-site stormwater management system. The property utilizes municipal water and sewer services. The site development was approved through an Order of Conditions in 2014. A Request for Certificate of Compliance of the original Order of Conditions has also been submitted to the Commission.

There is a small Bordering Vegetated Wetland (BVW) located on the property at the intersection of Huntoon Memorial Highway (Rt.56) and Stafford Street. The wetland boundary was delineated by EcoTec, Inc in November of 2012 as shown on the original 2014 Site Plans prepared by JH Engineering Group. A replication area for a proposed wetland crossing was also constructed per the 2014 Site Plans and Order of Conditions. The limit of the replication area as shown on the 2014 Site Plans has been incorporated into the proposed site plan modification. The on-site wetland and replication area has a 100' buffer zone.

The Applicant's intent of this proposed site plan modification is to expand the existing gravel parking and storage area on site as detailed on the "Site Plan Modification" plans prepared by McClure Engineering, Inc dated 8/20/21. The expansion of this parking area requires some modifications to the existing stormwater management system and the two existing rain gardens to which stormwater is discharged. Stormwater runoff from the proposed gravel parking expansion area will be conveyed via a bituminous concrete drainage channel to a new proposed Stormceptor™ catch basin. The Stormceptor™ catch basin will discharge treated stormwater to a proposed manhole and then to Rain Garden 2 for further treatment and peak flow attenuation. Both rain gardens will need to be slightly modified by way of grading and adjusting outlets to maintain compliance with peak flow attenuation standards. The gravel parking area expansion is located outside of the 100' wetland buffer zone, however, the modifications to the existing rain garden stormwater management structures is located within the 100' buffer zone. The resource areas are proposed to be protected during construction by both straw wattle or silt fence and straw wattle erosion control barriers as depicted on the Erosion and Sedimentation Control Plan found in the "Site Plan Modification" plan set. All disturbed areas are proposed to be treated with loam, seed, and clean straw for stabilization. Erosion control blankets will be implemented for slopes greater than 3:1.

The following documents are enclosed for your review in support of this project:

- Notice of Intent Application Package
- "Site Plan Modification" 112 Huntoon Memorial Highway, Rochdale, MA 01542 McClure Engineering Inc., dated 8/20/21.

If you have any questions regarding the enclosed subject matter, please contact me at (508) 248-2005.

Sincerely,


Peter C. Engle, P.E.

Enclosures

cc: MassDEP, Wetlands Permitting Office, 8 New Bond Street, Worcester, MA 01606

Jack Daige, Central MA Crane Service, Inc., 112 Huntoon Memorial Highway, Rochdale, MA 01542

Wetlands Protection Act Notice of Intent

**Proposed Parking Lot Expansion
Central MA Crane Service, Inc.
112 Huntoon Memorial Highway
Rochdale, MA 01542**

August 25, 2021

McCLURE
ENGINEERING, INC

119 Worcester Rd., Charlton, Massachusetts 01507 - 508.248.2005



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

112 Huntoon Memorial Highway

a. Street Address

Rochdale

b. City/Town

01542

c. Zip Code

Latitude and Longitude:

44 and 46

f. Assessors Map/Plat Number

d. Latitude

e. Longitude

A-10 and A-1.2

g. Parcel /Lot Number

2. Applicant:

Jack

a. First Name

Daige

b. Last Name

Central MA Crane Service, Inc.

c. Organization

112 Huntoon Memorial Highway

d. Street Address

Rochdale

e. City/Town

MA

f. State

01542

g. Zip Code

508-635-7044

h. Phone Number

i. Fax Number

jackd@centralmacrane.com

j. Email Address

3. Property owner (required if different from applicant): ☐ Check if more than one owner

a. First Name

b. Last Name

Huntoon Highway, LLC

c. Organization

112 Huntoon Memorial Highway

d. Street Address

Rochdale

e. City/Town

MA

f. State

01542

g. Zip Code

508-635-7044

h. Phone Number

i. Fax Number

jackd@centralmacrane.com

j. Email address

4. Representative (if any):

Peter

a. First Name

Engle, P.E.

b. Last Name

McClure Engineering, Inc.

c. Company

119 Worcester Road

d. Street Address

Charlton

e. City/Town

MA

f. State

01507

g. Zip Code

508-248-2005

h. Phone Number

508-248-4887

i. Fax Number

pengle@mcclureengineers.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$110

a. Total Fee Paid

\$42.50

b. State Fee Paid

\$67.50

c. City/Town Fee Paid



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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A. General Information (continued)

6. General Project Description:

Expansion of gravel parking area and modification to stormwater management system.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input checked="" type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Worcester

a. County

52916, 63722, 64563

c. Book

b. Certificate # (if registered land)

330, 154, 143

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

1. ☒ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
2. ☐ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- ☐ 25 ft. - Designated Densely Developed Areas only
- ☐ 100 ft. - New agricultural projects only
- ☐ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? ☐ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☐ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings	b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

August 1, 2017

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☐ Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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C. Other Applicable Standards and Requirements (cont'd)

- (c) ☐ MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhESP/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) ☐ Vegetation cover type map of site
- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

1. ☐ Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhESP/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. ☐ Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. ☒ Not applicable – project is in inland resource area only b. ☐ Yes ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
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Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. ☐ Yes ☒ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. ☒ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. ☒ A portion of the site constitutes redevelopment
 3. ☒ Proprietary BMPs are included in the Stormwater Management System.
- b. ☐ No. Check why the project is exempt:
1. ☐ Single-family house
 2. ☐ Emergency road repair
 3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
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D. Additional Information (cont'd)

3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. ☒ List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan Modification

a. Plan Title

McClure Engineering, Inc.

Peter C. Engle, P.E.

b. Prepared By

c. Signed and Stamped by

8/20/21

1"=40'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☒ Attach Stormwater Report, if needed.

E. Fees

1. ☐ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1451

2. Municipal Check Number

8/19/21

3. Check date

1449

4. State Check Number

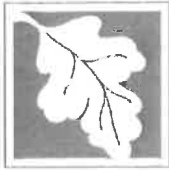
8/19/21

5. Check date

McClure Engineering, Inc.

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

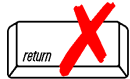
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

A. Applicant Information

1. Location of Project:

112 Huntoon Memorial Highway

a. Street Address

1449

c. Check number

Rochdale

b. City/Town

\$42.50

d. Fee amount

2. Applicant Mailing Address:

Jack

a. First Name

Daige

b. Last Name

Central MA Crane Service, Inc.

c. Organization

112 Huntoon Memorial Highway

d. Mailing Address

Rochdale

e. City/Town

MA

f. State

01542

g. Zip Code

508-635-7044

h. Phone Number

i. Fax Number

jackd@centralmacrane.com

j. Email Address

3. Property Owner (if different):

a. First Name

b. Last Name

Huntoon Highway, LLC

c. Organization

112 Huntoon Highway

d. Mailing Address

Rochdale

e. City/Town

MA

f. State

015442

g. Zip Code

508-635-7044

h. Phone Number

i. Fax Number

jackd@centralmacrane.com

j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 1 - Site Work	1	\$110	\$110

Step 5/Total Project Fee:

Step 6/Fee Payments:

Total Project Fee:	\$110
	a. Total Fee from Step 5
State share of filing Fee:	\$42.50
	b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:	\$67.50
	c. 1/2 Total Fee plus \$12.50

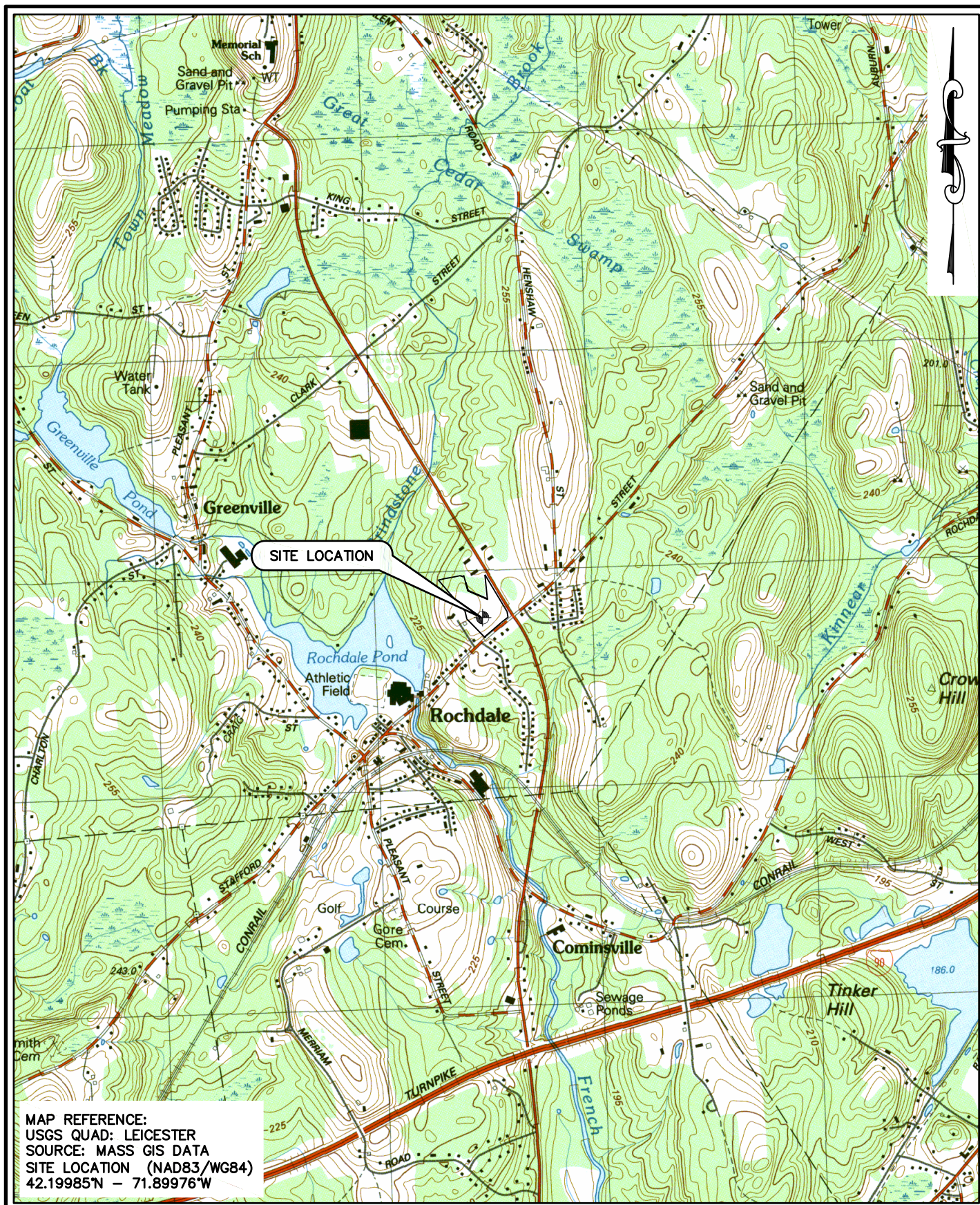
C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
Box 4062
Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



DATE:	8/19/2021
DRAWN BY:	MM
APPROVED BY:	CPM
SCALE:	
HORIZ:	1"=2000'
VERT:	
	0 1000' 2000'

McCLURE
 ENGINEERING, INC

119 Worcester Road
 Charlton, MA 01507

Email: chris@mcclureengineers.com

Tel: (508) 248-2005
 Fax (508) 248-4887

USGS SITE LOCATION
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA 01542
 PREPARED FOR
HUNTOON HIGHWAY, LLC

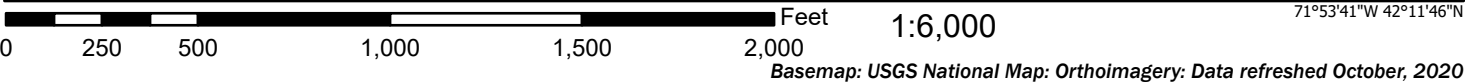
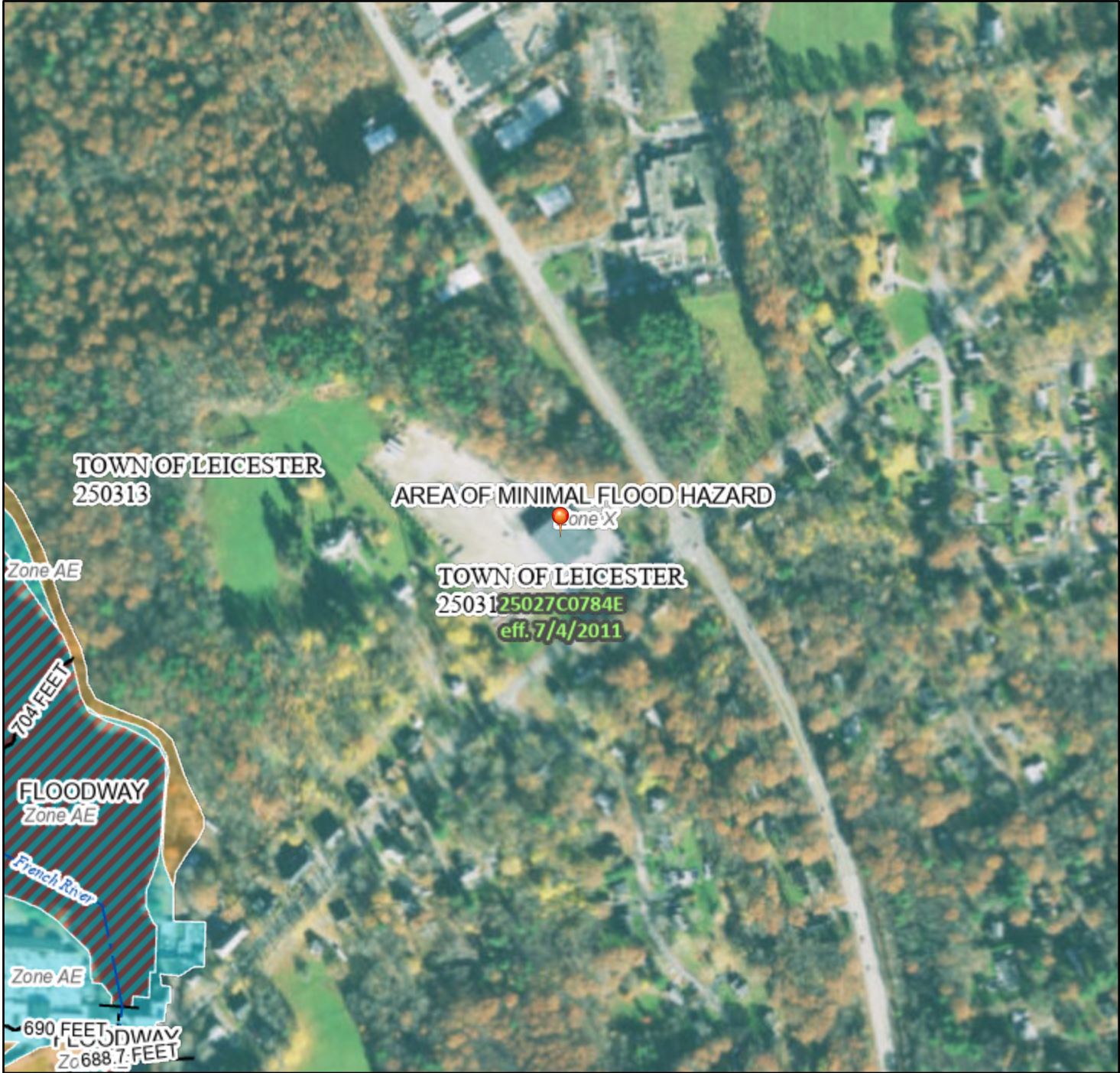
PROJ. NO. 135-2415-M
 DWG. GIS

FIG
1

National Flood Hazard Layer FIRMMette



71°54'18"W 42°12'12"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/18/2021 at 1:01 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

MassGIS-Ortho-NHESP



PLAN OF LAND
IN
LEICESTER, MASSACHUSETTS
(WORCESTER COUNTY)

SCALE : 1" = 40' SEPTEMBER 24, 2012

FEET 0 20 40 80 160

THE BSC GROUP, INC.
33 WALDO STREET, WORCESTER, MASSACHUSETTS
OWNED BY : SAHAGEN-LONSTEIN REALTY TRUST
JOB NO. 8.5331.00 DWG. NO. 2011 FF
SHEET 1 OF 2

- GENERAL NOTES:
- 1.) THE PURPOSE OF THIS PLAN IS TO SUPERCEDE AND REPLACE THE PLAN DATED JUNE 19, 2012 AND RECORDED AS PLAN BOOK 895, PLAN 12. THIS PLAN CREATES NEW LOTS 2-A AND 3-A AS SHOWN HEREON.
 - 2.) THIS PLAN IS THE RESULT OF CURRENT AND PREVIOUS SURVEYS CONDUCTED BY BSC GROUP, INC.
 - 3.) PROPERTY LINES SHOWN HEREON ARE TAKEN FROM PLANS AND DEEDS OF RECORD, THE 2 NEW PROPERTY LINES THAT SEPARATE LOTS 1, 2 AND 3 ARE SHOWN AND LABELED.
 - 4.) THE POND SHOWN HEREON IS APPROXIMATE AND IS BASED ON FIELD OBSERVATIONS MADE IN 1988 BY BSC GROUP, INC., AND FROM CURRENT OBSERVATIONS.
 - 5.) THE TOTAL LAND AREA OF THE 3 PARCELS SHOWN HEREON IS 29.3 ACRES.
 - 6.) ACCESS AND UTILITY EASEMENTS OVER LOTS 1 AND 2-A ARE INTENDED TO ENCOMPASS THE EXISTING UNDERGROUND WATER AND SEWER LINES THAT SERVE THE HOUSE AND MANSION, BASED ON AVAILABLE TOWN RECORDS.

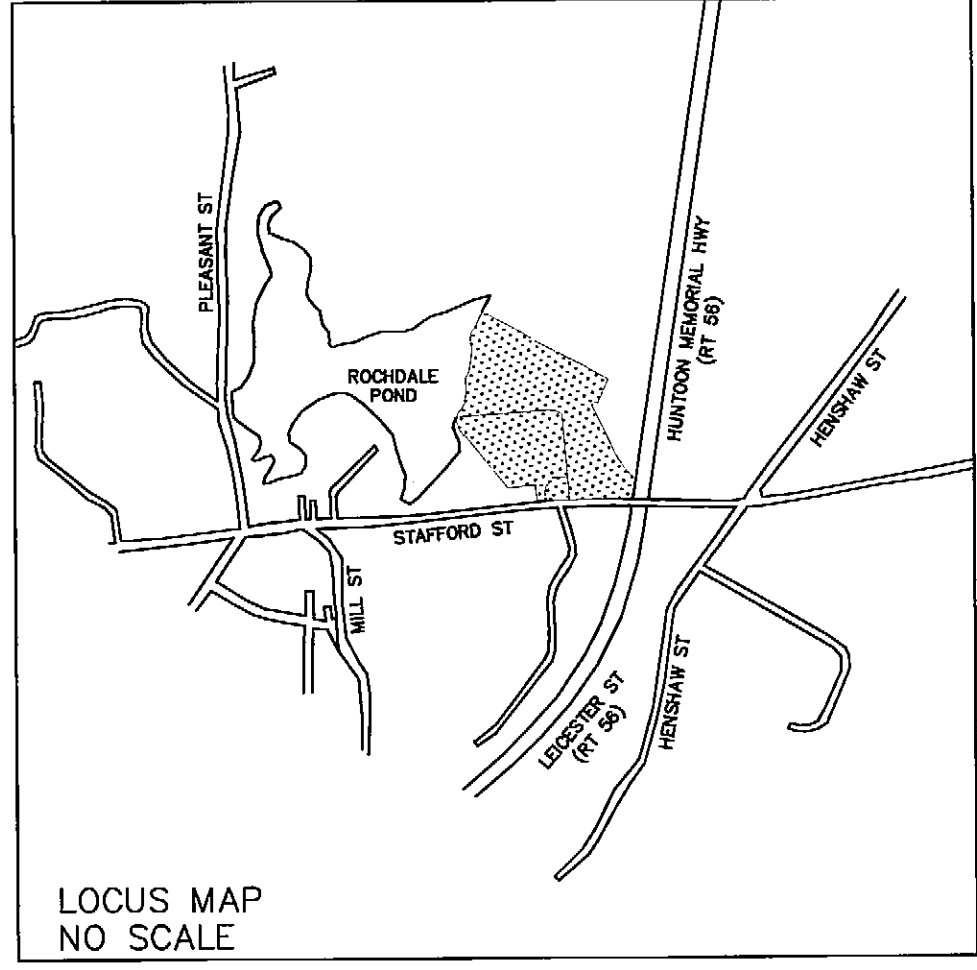
REFERENCES:
LOCUS: MARY SAHAGEN-LONSTEIN, TRUSTEE OF
SAHAGEN-LONSTEIN REALTY TRUST
980 STAFFORD STREET
RECORDED WORCESTER DISTRICT REGISTRY OF DEEDS
DEED BOOK 18843 / PAGE 196
PLAN BOOK 613 / PLAN 125
1938 COUNTY LAYOUT STAFFORD STREET
1963 COUNTY LAYOUT ROUTE 56
TOWN OF LEICESTER ASSESSORS:
46-A1-0

ZONING: RESIDENTIAL 2 (R-2)

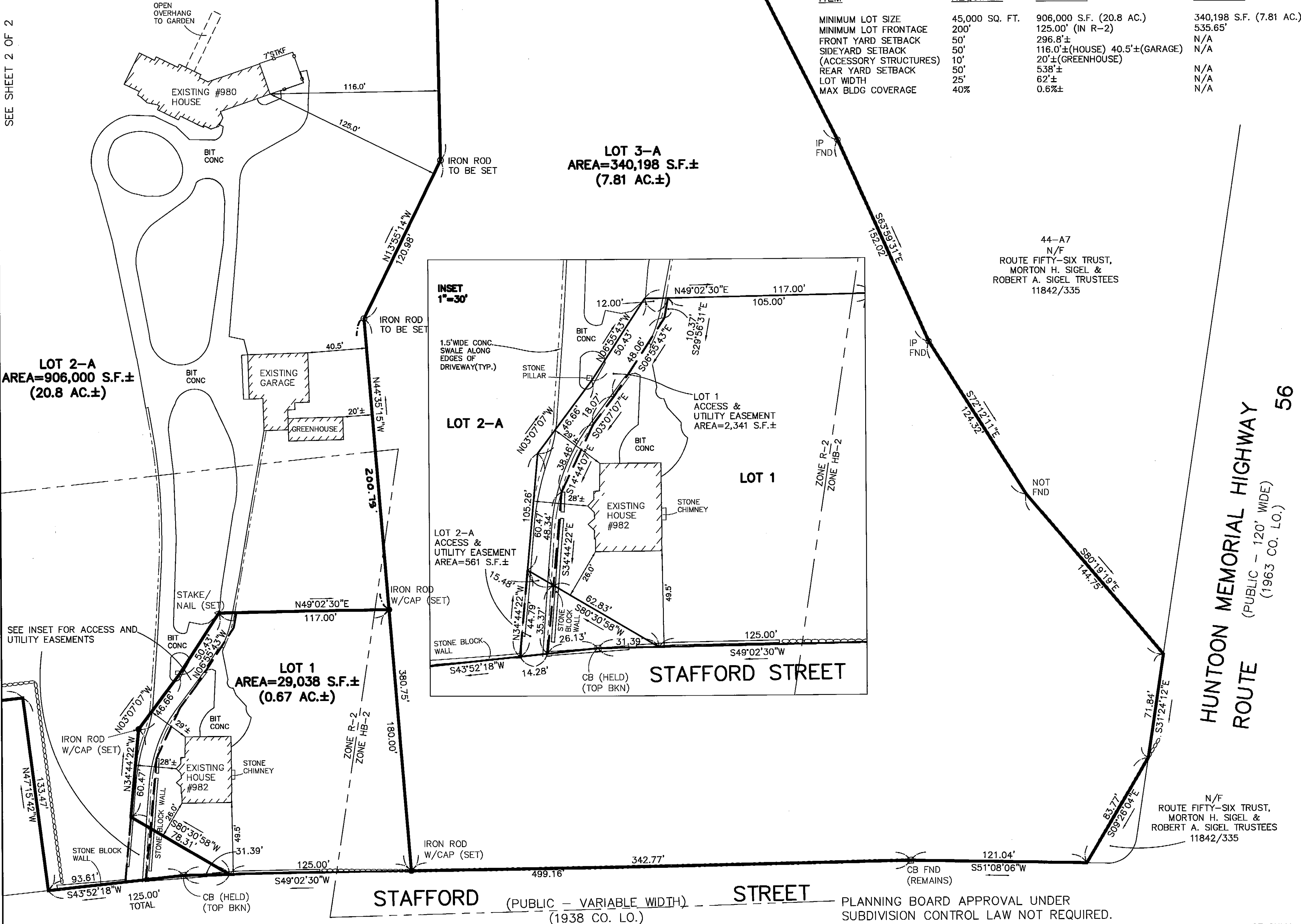
ITEM	REQUIRED	LOT 1 PROVIDED
MINIMUM LOT SIZE	20,000 SQ. FT.	29,038 S.F. (0.67 AC.)
MINIMUM LOT FRONTAGE	125'	125.00'
FRONT YARD SETBACK	25'	49.5'±
SIDEYARD SETBACK	15'	26'±
REAR YARD SETBACK	25'	84.7'±
LOT WIDTH	25'	125'
MAX BLDG COVERAGE	30%	5.3%±

ZONING: HIGHWAY BUSINESS-INDUSTRIAL 2 (HB-2)

ITEM	REQUIRED	LOT 2-A PROVIDED	LOT 3-A PROVIDED
MINIMUM LOT SIZE	45,000 SQ. FT.	906,000 S.F. (20.8 AC.)	340,198 S.F. (7.81 AC.)
MINIMUM LOT FRONTAGE	200'	125.00' (IN R-2)	535.65'
FRONT YARD SETBACK	50'	296.8'±	N/A
SIDEYARD SETBACK	50'	116.0'±(HOUSE) 40.5'±(GARAGE)	N/A
(ACCESSORY STRUCTURES)	10'	20'±(GREENHOUSE)	N/A
REAR YARD SETBACK	50'	538'±	N/A
LOT WIDTH	25'	62'±	N/A
MAX BLDG COVERAGE	40%	0.6%±	N/A



SEE SHEET 2 OF 2



SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Dana J. Standley
PROFESSIONAL LAND SURVEYOR
DATE 9-25-12

PLANNING BOARD APPROVAL UNDER
SUBDIVISION CONTROL LAW NOT REQUIRED.
TOWN OF LEICESTER PLANNING BOARD

RESERVED FOR REGISTRY USE ONLY

[Signature]
DATE: 10/2/12

NO DETERMINATION OF COMPLIANCE WITH
ZONING REQUIREMENTS HAS BEEN MADE OR
INTENDED BY THE PLANNING BOARD'S
ENDORSEMENT

PLAN BOOK 897 PLAN 103
SHEET 2 of 2

RESERVED FOR REGISTRY USE ONLY

FORMER PARCEL A & PARCEL B
ROBERT A SIGEL & DEBORAH SLOAN, TRUSTEES
94-102 HUNTOON HIGHWAY
LEICESTER, MASS.
ASSESSOR PARCEL 44 A7 0
BOOK 53685 PAGE 102

PLAN BK. 189 PLAN 45	PLAN BK. 501 PLAN 118
PLAN BK. 190 PLAN 65	PLAN BK. 509 PLAN 53
PLAN BK. 195 PLAN 132	PLAN BK. 513 PLAN 125
PLAN BK. 202 PLAN 18	PLAN BK. 614 PLAN 75
PLAN BK. 275 PLAN 106	PLAN BK. 631 PLAN 28
PLAN BK. 307 PLAN 80	PLAN BK. 655 PLAN 111
PLAN BK. 318 PLAN 98	PLAN BK. 676 PLAN 81 & 82
PLAN BK. 341 PLAN 14	PLAN BK. 727 PLAN 70
PLAN BK. 352 PLAN 100	PLAN BK. 736 PLAN 94
PLAN BK. 383 PLAN 73	PLAN BK. 801 PLAN 107
PLAN BK. 411 PLAN 43	PLAN BK. 822 PLAN 20
PLAN BK. 415 PLAN 40	PLAN BK. 895 PLAN 12
PLAN BK. 445 PLAN 45	PLAN BK. 897 PLAN 103
PLAN BK. 446 PLAN 50	PLAN BK. 906 PLAN 63
PLAN BK. 471 PLAN 47	
PLAN BK. 494 PLAN 74	

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN JULY, 2019 AND FROM DEEDS AND PLANS OF RECORD.
- 2) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983.
- 3) THE PARCELS LIE WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 2 DISTRICT (HB-2) AS SHOWN ON THE TOWN OF LEICESTER ZONING AND OVERLAY DISTRICT MAP 2016, DATED MAY, 2016, WITH A MARIJUANA ZONING OVERLAY.
- 4) THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE PARCEL A INTO PARCELS A-1 & A-2. PARCEL A-2 IS A NON-BUILDABLE LOT AND WILL BE CONVEYED TO HUNTOON HIGHWAY LLC AND COMBINED WITH LOT 3-A.
- 5) THE PURPOSE OF THIS PLAN IS ALSO TO CONVEY EXISTING PARCEL B TO HUNTOON HIGHWAY LLC, WHICH ALSO WILL BE COMBINED WITH LOT 3-A.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.



DATE: 10/6/2020

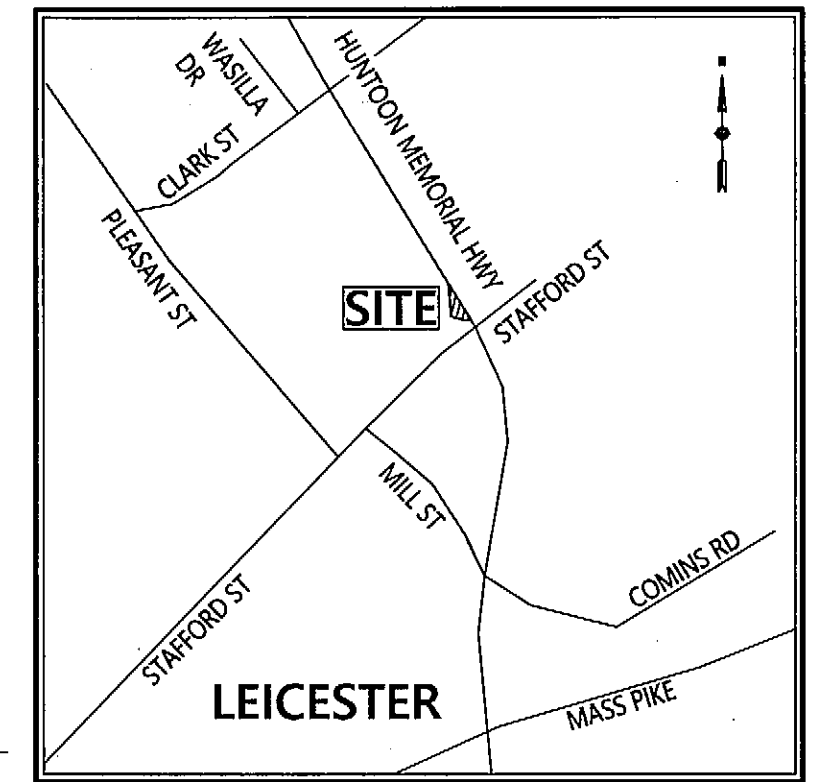
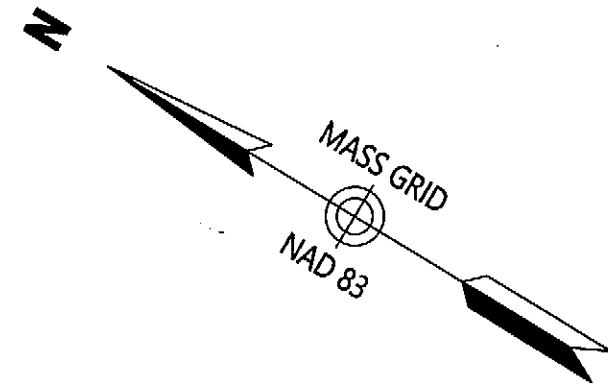
PREPARED FOR: HUNTOON HIGHWAY LLC

PREPARED BY: VHB, Inc.
Engineers | Scientists | Planners | Designers
101 Walnut Street, P.O. Box 9151
Watertown, MA 02471-9151
(617) 924-1770

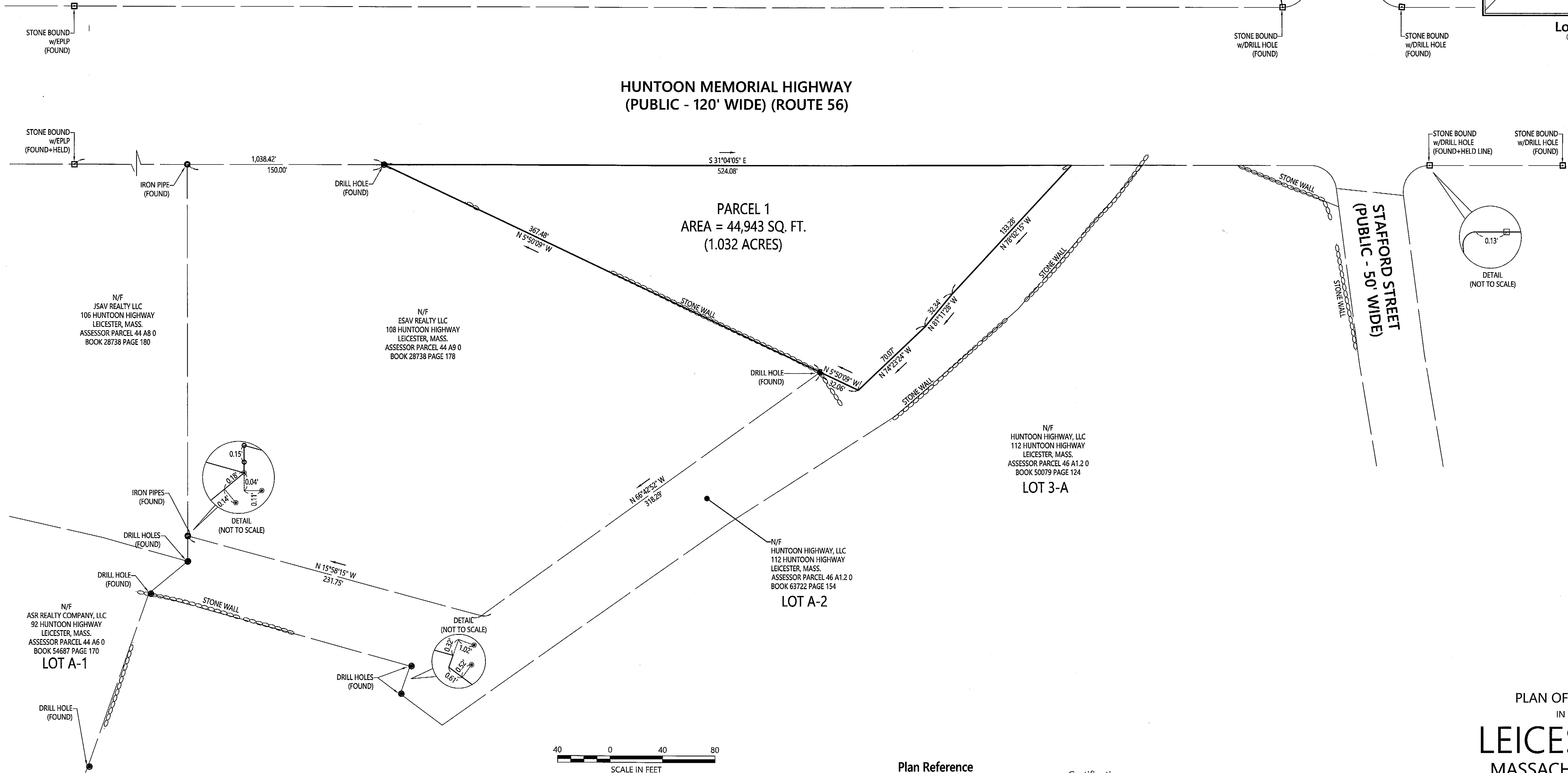
SCALE: 1 INCH = 140 FEET DATE: AUGUST 20, 2020

WORCESTER DISTRICT REGISTRY
OF DEEDS-WORCESTER, MA
PLAN BOOK 954, PLAN 101
Received 2/9/21
2 h 05 m P M
Sheet 1 of 1
Fee \$ 105.-
ATTEST: Katherine A. Jernigan
Register

RESERVED FOR REGISTRY USE ONLY



Locus Map
(NOT TO SCALE)



General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN JULY, 2019 AND FROM DEEDS AND PLANS OF RECORD.
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983.
- THE PARCEL LIES WITHIN THE HIGHWAY BUSINESS-INDUSTRIAL 2 DISTRICT (HB-2) AS SHOWN ON THE 'TOWN OF LEICESTER ZONING AND OVERLAY DISTRICT MAP 2016', DATED MAY, 2016, WITH A MARIJUANA ZONING OVERLAY.
- THE PURPOSE OF THIS PLAN IS TO DEFINE BOUNDARY OF PARCEL 1 (ASSESSORS PARCELA4 A 10 0). PARCEL 1 IS A REMAINDER OF LAND WHICH IS DESCRIBED IN DEED BOOK 55910 PAGE 283 AND CREATED BY LAYOUT OF HUNTOON MEMORIAL HIGHWAY.

Plan Reference
PLAN BK. 953 PLAN 19

Record Owner
PARCEL 1
COOPER'S HILLTOP FARM
110 HUNTOON HIGHWAY
LEICESTER, MASS.
ASSESSOR PARCEL 44 A10 0
BOOK 55910 PAGE 283

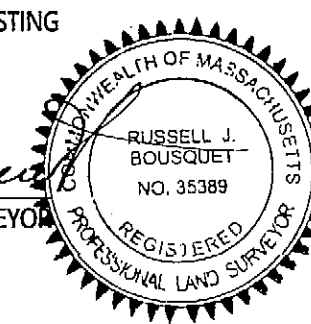
Certification

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (MASS. GEN. LAWS CHAPTER 41, SEC. 81-X).

Feb 8, 2021
DATE

Russell J. Bousquet
PROFESSIONAL LAND SURVEYOR



PLAN OF LAND IN LEICESTER MASSACHUSETTS

PREPARED FOR: HENSHAW HOLDINGS

PREPARED BY: VHB, Inc.
Engineers | Scientists | Planners | Designers
101 Walnut Street, P.O. Box 9151
Watertown, MA 02471-9151
(617) 924-1770

SCALE: 1 INCH = 40 FEET

DATE: JANUARY 20, 2021



2014 00096467

Bk: 52916 Pg: 330

Page: 1 of 5 10/15/2014 10:41 AM WD

AFFIDAVIT PURSUANT TO
M.G.L. CH. 183 § 5B

I, Patricia Finnegan Gates, upon oath do depose and say as follows:

1. That I am an attorney licensed and in good standing in the Commonwealth of Massachusetts.
2. That I certify the facts stated herein are relevant to the title to certain land and will be of benefit and assistance in clarifying the claim of title.
3. That I have personal knowledge of the facts stated herein.
4. That I was the attorney for 980 Stafford Street, LLC at the time of its purchase of Lot 3-A, Stafford Street, Leicester, Massachusetts. Title to the property was conveyed to 980 Stafford Street LLC by deed dated December 6, 2012 and recorded with the Worcester District Registry of Deeds in Book 50079, Page 124.
5. On December 26, 2012, John V. Daige, Manager of 980 Stafford Street, LLC filed an Certificate of Amendment with the office of the Secretary of State of the Commonwealth of Massachusetts, changing the name of 980 Stafford Street LLC to Huntoon Highway LLC. A copy of the Certificate of Amendment is attached hereto.
6. Record title to the property located at Lot 3-A, Stafford Street, Leicester, MA described in the deed recorded with the said Registry of Deeds in Book 50079 Page 124 is in the name of Huntoon Highway LLC.

Signed this 10th day of October, 2014 under the pains and penalties of perjury.

Patricia Finnegan Gates

Lot 3-A, Stafford Street, Leicester, MA

50B


COMMONWEALTH OF MASSACHUSETTS

WORCESTER, SS

Oct. 10, 2014

Patricia Finnegan Gates personally appeared before me and acknowledged having signed the foregoing document voluntarily for its stated purpose, whose identity I determined by

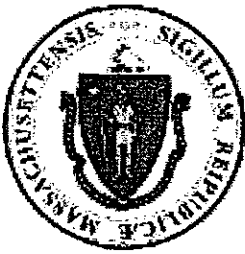
- ☐ driver's license or other state or federal government document bearing a photographic image
- ☐ oath or affirmation of a credible witness known to me who knows the above signatory,
- ☒ my own personal knowledge of identity of the signatory, to be the person whose name is signed above,


Mary C. Small, Notary Public:
My commission expires: 2/16/2018



MARY C. SMALL
NOTARY PUBLIC

Commonwealth of Massachusetts
My Commission Expires Feb. 16, 2018



The Commonwealth of Massachusetts
William Francis Galvin

Minimum Fee: \$100.00

Secretary of the Commonwealth, Corporations Division
 One Ashburton Place, 17th floor
 Boston, MA 02108-1512
 Telephone: (617) 727-9640

Certificate of Amendment

(General Laws, Chapter)

Federal Employer Identification Number: 001088097 (must be 9 digits)

The date of filing of the original certificate of organization: 9/18/2012

1.a. Exact name of the limited liability company: 980 STAFFORD STREET, LLC

1.b. The exact name of the limited liability company as amended, is: HUNTOON HIGHWAY LLC

2a. Location of its principal office:

No. and Street: 5 SACKS DRIVE
 City or Town: CHERRY VALLEY State: MA Zip: 01611 Country: USA

3. As amended, the general character of business, and if the limited liability company is organized to render professional service, the service to be rendered:

THE GENERAL CHARACTER OF THE BUSINESS OF THE LLC IS TO BUY, SELL, LEASE, RENT, PLEDGE, MORTGAGE AND DEVELOP REAL ESTATE AND TO CARRY ON ANY LAWFUL BUSINESS, TRADE, PURPOSE OR ACTIVITY.

4. The latest date of dissolution, if specified:

5. Name and address of the Resident Agent:

Name: JOHN V. DAIGE
 No. and Street: 5 SACKS DRIVE
 City or Town: CHERRY VALLEY State: MA Zip: 01611 Country: USA

6. The name and business address of each manager, if any:

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
MANAGER	JOHN V DAIGE	5 SACKS DRIVE CHERRY VALLEY, MA 01611 USA
MANAGER	ROBERT E DAIGE	89 JOLICOEUR AVE. SPENCER, MA 01562 USA

7. The name and business address of the person(s) in addition to the manager(s), authorized to execute documents to be filed with the Corporations Division, and at least one person shall be named if there are no managers.

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code

8. The name and business address of the person(s) authorized to execute, acknowledge, deliver and record any recordable instrument purporting to affect an interest in real property:

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
REAL PROPERTY	ROBERT E DAIGE	89 JOLICOEUR AVE. SPENCER, MA 01562 USA
REAL PROPERTY	JOHN V DAIGE	5 SACKS DRIVE CHERRY VALLEY, MA 01611 USA

9. Additional matters:

10. State the amendments to the certificate:

TO AMEND THE NAME OF THE LLC AND THE LOCATION OF THE PRINCIPAL OFFICE ADDRESS.

11. The amendment certificate shall be effective when filed unless a later effective date is specified:

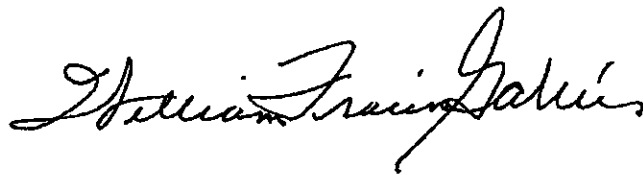
**SIGNED UNDER THE PENALTIES OF PERJURY, this 26 Day of December, 2012,
JOHN V. DAIGE , Signature of Authorized Signatory.**

MA SOC Filing Number: 201212603160 Date: 12/26/2012 2:38:00 PM

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are deemed to have been filed with me on:

December 26, 2012 02:38 PM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, stylized initial "W".

WILLIAM FRANCIS GALVIN

Secretary of the Commonwealth

ATTEST: WORC. Anthony J. Vigliotti, Register

Worcester South District Registry of Deeds Electronically Recorded Document

This is the first page of the document – Do not remove

Recording Information

Document Number	: 27481
Document Type	: DEED
Recorded Date	: February 26, 2021
Recorded Time	: 11:52:38 AM
Recorded Book and Page	: 64563 / 143
Number of Pages(including cover sheet)	: 5
Receipt Number	: 1314999
Recording Fee (including excise)	: \$782.00

MASSACHUSETTS EXCISE TAX
Worcester District ROD #20 001
Date: 02/26/2021 11:52 AM
Ctrl# 220468 06871 Doc# 00027481
Fee: \$627.00 Cons: \$137,500.00

Worcester South District Registry of Deeds
Kathryn A. Toomey, Register
90 Front St
Worcester, MA 01608
(508) 798-7717

QUITCLAIM DEED

HENSHAW HOLDINGS, LLC, a Massachusetts limited liability company with a usual place of business at 515 Henshaw Street, Leicester, Massachusetts,

For consideration paid, and in full consideration of **ONE HUNDRED THIRTY-SEVEN THOUSAND FIVE HUNDRED 00/100 (\$137,500.00) DOLLARS**,

grants to **HUNTOON HIGHWAY, LLC**, a Massachusetts limited liability company with a street address of 101 Huntoon Memorial Highway, P.O. Box 325 Rochdale, Massachusetts,

WITH QUITCLAIM COVENANTS,

A certain tract or parcel of land, situated in the southerly part of Leicester, County of Worcester, Massachusetts, and bounded and described as follows:

See Exhibit A attached here to.

Said premises are conveyed subject to and together with any and all easements, restrictions, reservations, agreements and rights of way of record insofar as the same are now in force and applicable, without re-imposing same.

Meaning and intending to convey 1.032 acres shown as Parcel 1 on the plan of land entitled "Plan of Land in Leicester, MA" prepared for Henshaw Holdings LLC by VHB, Inc. dated January 20, 2021, and recorded with the Registry in Plan Book 954, Plan 101 and being a portion of the Parcel 4, Tract II premises, lying on the westerly side of Huntoon Highway, conveyed to the Grantors by deed recorded in the Worcester District Registry of Deeds in Book 59210, Page 295. This instrument does not create new boundaries.

The sale does not constitute a sale of all or substantially all of the Grantor's assets.

[SIGNATURE PAGE TO FOLLOW]

Executed as a sealed instrument this 3rd day of January, 20 21.

HENSHAW HOLDINGS, LLC

By: Marjorie A. Cooper
 Title: Marjorie A. Cooper, Manager and Member

By: James A. Cooper
 Title: James A. Cooper, Manager and Member

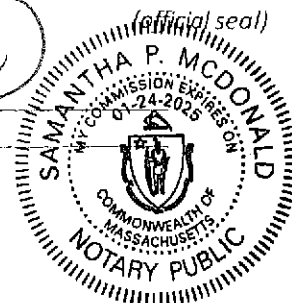
By: Richard A. Cooper
 Title: Richard A. Cooper, Manager and Member

THE COMMONWEALTH OF MASSACHUSETTS

Worcester, ss.

On this 3rd day of January, 2021, before me, the undersigned notary public, personally appeared Marjorie A. Cooper, manager of Henshaw Holdings, LLC proved to me through satisfactory evidence of identification, which was ☐ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief and she signed the preceding document as her free act and deed as member and Manager of Henshaw Holdings, LLC.

Notary Public: [Signature]
 My commission expires: _____



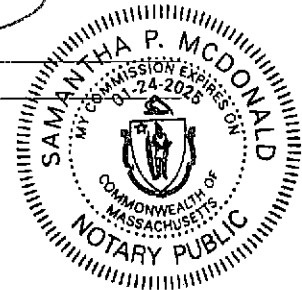
THE COMMONWEALTH OF MASSACHUSETTS

Worcester, ss.

On this 30th day of January, 2021, before me, the undersigned notary public, personally appeared James A. Cooper, Manager of Henshaw Holdings, LLC proved to me through satisfactory evidence of identification, which was ☐ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief and he signed the preceding document as his free act and deed as member and Manager of Henshaw Holdings, LLC.

Notary Public: _____
My commission expires: _____

(official seal)



THE COMMONWEALTH OF MASSACHUSETTS

Worcester, ss.

On this 30th day of January, 2021, before me, the undersigned notary public, personally appeared Richard A. Cooper, Manager of Henshaw Holdings, LLC proved to me through satisfactory evidence of identification, which was ☐ photographic identification with signature issued by a federal or state governmental agency, ☐ oath or affirmation of a credible witness, ☒ personal knowledge of the undersigned, to be the person whose name is signed on the preceding document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief and he signed the preceding document as his free act and deed as member and Manager of Henshaw Holdings, LLC.

Notary Public: _____
My commission expires: _____

(official seal)

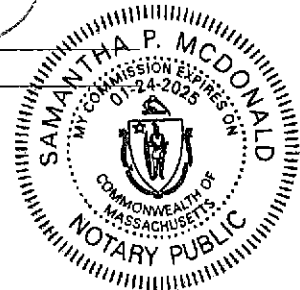


EXHIBIT A

Legal Description – “Cooper Parcel”

A certain portion of a parcel of land owned now or formerly Cooper's Hilltop Farm situated west of Huntoon Memorial Highway (Route 56) and north of Stafford Street in the Town of Leicester, in the County of Worcester and the Commonwealth of Massachusetts bounded and described as follows:

Beginning at a point on the westerly sideline of Huntoon Memorial Highway (Route 56) which point is S 31°04' 05" E a distance of One Thousand Thirty Eight and Forty Two Hundredths feet (1038.42') from a Worcester County Highway Bound, said point being the northeast corner of the lot being conveyed, monumented by a drill hole in a stone wall.; thence

S 31°04'05" E a distance of Five Hundred Twenty Four and Eight Hundredths feet (524.08') by said sideline to a point; thence

N 78°02'15" W a distance of One Hundred Thirty Three and Twenty Eight Hundredths feet (133.28') to a point; thence

N 81°11'28" W a distance of Thirty Two and Thirty Four Hundredths feet (32.34') to a point; thence

N 74°23'24" W a distance of Seventy and Seven Hundredths feet (70.07') to a point; thence

N 05°50'09" W a distance of Thirty Two and Six Hundredths feet (32.06') to a point, the last four (4) courses by land owned now or formerly Huntoon Highway LLC (Parcel A-2); thence

N 05°50'09" W a distance of Three Hundred Sixty Seven and Forty Eight Hundredths feet (367.48') by land now or formerly ESav Realty LLC to the point of beginning

The above described parcel contains approximately 44,943 square feet or 1.032 acres more or less.



Bk: 63722 Pg: 154
Page: 1 of 14 11/10/2020 03:54 PM WD

MASSACHUSETTS EXCISE TAX
Worcester District ROD #20 001
Date: 11/10/2020 03:54 PM
Ctrl# 216489 17175 Doc# 00137373
Fee: \$228.00 Cons: \$50,000.00

This space reserved for Recorder's use only

QUITCLAIM DEED

We, **ROBERT A. SIGEL** and **PAUL A. SILVER**, TRUSTEES OF THE TRUST FOR THE BENEFIT OF JEREMY SIGEL, created under Article III of The Sigel 1988 Grandchildren's Trust (Robert) under Declaration of Trust dated December 19, 1988 (the "**Robert Trust**") and as further described in a Trustees' Certificate recorded herewith; **ROBERT A. SIGEL** and **PAUL A. SILVER**, TRUSTEES OF THE TRUST FOR THE BENEFIT OF JOSHUA SIGEL, created under Article III of the Robert Trust and as further described in a Trustees' Certificate recorded herewith; **ROBERT A. SIGEL** and **PAUL A. SILVER**, TRUSTEES OF THE TRUST FOR THE BENEFIT OF ZACHARY SIGEL, created under Article III of the Robert Trust and as further described in a Trustees' Certificate recorded herewith; **ROBERT A. SIGEL** and **PAUL A. SILVER**, TRUSTEES OF THE TRUST FOR THE BENEFIT OF EVAN SIGEL, created under Article III of the Robert Trust and as further described in a Trustees' Certificate recorded herewith; **DEBORAH SLOANE** and **PAUL A. SILVER**, TRUSTEES OF THE TRUST FOR THE BENEFIT OF ADAM SLOANE, created under Article III of The Sigel 1988 Grandchildren's Trust (Deborah) under Declaration of Trust dated December 19, 1988 (the "**Deborah Trust**") and as further described in a Trustees' Certificate recorded herewith; and **DEBORAH SLOANE** and **PAUL A. SILVER**, TRUSTEES OF THE TRUST FOR THE BENEFIT OF JULIE SLOANE, created under Article III of the Deborah Trust and as further described in a Trustees' Certificate recorded herewith (collectively, the "**Grantors**"), for consideration paid of **FIFTY THOUSAND AND 00/100 DOLLARS (\$50,000.00)**, grant to **HUNTOON HIGHWAY LLC**, a Massachusetts limited liability company, with a mailing address of 101 Huntoon Memorial Highway, P.O. Box 325, Rochdale, Massachusetts 01611, **WITH QUITCLAIM COVENANTS**,

Parcel A-2 and Parcel B as shown on a plan entitled "Subdivision Plan of Land in Leicester, Massachusetts," dated August 20, 2020, prepared by VHB, Inc., and recorded with the Worcester District Registry of Deeds herewith.

The Grantors hereby state under the penalties of perjury that the premises conveyed herein was not homestead property for any of the Grantors or the Grantors' spouses or former spouses.

titles@adamslegalservices.com
(508)791-3800

Order No. *20-63851*

Being a portion of the premises conveyed to the Grantors in that certain Quitclaim Deed dated April 6, 2015, and recorded with the Worcester District Registry of Deeds in Book 53685, Page 102.

[SIGNATURES FOLLOW ON THE NEXT PAGE]

08/19/2021

Town of Leicester

Concom NOT

Page 1 of 1

9:59:28AM

Abutters List

ParcelID	Location	Owner	Co-Owner	Mailing Address	City	State	Zip
43 C9 0	REAR PLEASANT ST	BERGIN JR JOSEPH D	BERGIN JR THOMAS J	P O BOX 486	HARDWICK	MA	01037
44 A10 0	110 HUNTOON MEMORIAL HW	HUNTOON HIGHWAY LLC		P O BOX 325	ROCHDALE	MA	01542-0338
44 A4.1 0	90 HUNTOON MEMORIAL HW	SIGEL ROBERT		117 PADDOCK CIRCLE	MASHPEE	MA	02649
44 A5 0	ROUTE 56	BERGIN JR JOSEPH D		P O BOX 486	HARDWICK	MA	01037
44 A6 0	92 HUNTOON MEMORIAL HW	SIGEL ROBERT		117 PADDOCK CIRCLE	MASHPEE	MA	02649
44 A7.1 0	104 HUNTOON MEMORIAL HW	KONCEPTS REALTY LLC		30 MILL STREET/P O BOX 23	ROCHDALE	MA	01542
44 A8 0	106 HUNTOON MEMORIAL HW	JSAY REALTY LLC		223 WEST STREET	PAXTON	MA	01612
44 A9 0	108 HUNTOON MEMORIAL HW	ESAV REALTY LLC	C/O JOHN SAVICKAS	223 WEST STREET	PAXTON	MA	01612
44 B1 0	HENSHAW ST	HENSHAW HOLDINGS LLC		515 HENSHAW ST	ROCHDALE	MA	01542
44 B5 0	115 HUNTOON MEMORIAL HW	HENSHAW HOLDINGS LLC		515 HENSHAW ST	ROCHDALE	MA	01542
44 B5.1 0	111 HUNTOON MEMORIAL HW	MPT OF ROCHDALE-VIBRA	C/O VIBRA HOSP/ACCT PAY	4499 ACUSHNET AVE	NEW BEDFORD	MA	02745
44 B6 0	93 HUNTOON MEMORIAL HW	CKB REALTY LLC		447 RAWSON ST	LEICESTER	MA	01524
44 B6.1 0	105 HUNTOON MEMORIAL HW	BUCZAK EDWIN D	C/O JAMIE GIRARD	929 OLD FALMOUTH ROAD	MARSTEN MILLS	MA	06248
44 B6.2 0	103 HUNTOON MEMORIAL HW	ASQUITH STEPHEN	ASQUITH CAROL	35 REDFIELD RD	CHERRY VALLEY	MA	01611
44 B6.3 0	101 HUNTOON MEMORIAL HW	101 HUNTOON LLC		101 HUNTOON MEM HWY	ROCHDALE	MA	01542
44 B6.4 0	99 HUNTOON MEMORIAL HW	FONTAINE STEPHEN		9 MAYFLOWER CR	LEICESTER	MA	01524-0313
44 B6.5 0	HUNTOON MEMORIAL HW	FONTAINE STEPHEN		9 MAYFLOWER CR	LEICESTER	MA	01524
44 B6.6 0	HUNTOON MEMORIAL HW	MISSIEWICZ JOHN M	MISSIEWICZ SHARON M	PO BOX 461	LEICESTER	MA	01524
46 A1 0	980 STAFFORD ST	ONEIL NANCY E		980 STAFFORD STREET	ROCHDALE	MA	01542
46 A1.2 0	112 HUNTOON MEMORIAL HW	HUNTOON HIGHWAY LLC		112 HUNTOON MEMORIAL H	ROCHDALE	MA	01542-0338
46 A2 0	STAFFORD ST	CENTRAL WATER DISTRICT CO IN		P O BOX 327	ROCHDALE	MA	01542-0327
46D C3 0	961 STAFFORD ST	DORR CHRISTINE I		961 STAFFORD ST	ROCHDALE	MA	01542
46D C4 0	957 STAFFORD ST	PLANTE KEVIN M		957 STAFFORD ST	ROCHDALE	MA	01542
46D C5 0	120 HUNTOON MEMORIAL HW	PELLEGRINO TINA R		120 HUNTOON MEMORIAL H	ROCHDALE	MA	01542

End of Report

Above is a certified list abutters and abutters to abutters within 300 feet of subject.

Subject property: 94-102 Huntoon Memorial Highway, Assessors Map 44-A7, Deed Ref. 11842/335

Subject owner(s): Robert A. Sigel Tr. Rt. 56 Trust

Sandy Genna, Principal Assessor

Prepared by: Kathleen Asquith, Assistant

08/19/2021

Town of Leicester

CONCOM NOT

Page 1 of 1

10:17:42AM

Abutters List

ParcelID	Location	Owner	Co-Owner	Mailing Address	City	State	Zip
44 A7 0	94 102 HUNTOON MEMORIAL HW	ROBERT A SIGEL TR RT 56 TRUST		117 PADDOCK CIRCLE	MASHPEE	MA	02649
44 A8 0	106 HUNTOON MEMORIAL HW	JSAY REALTY LLC		223 WEST STREET	PAXTON	MA	01612
44 A9 0	108 HUNTOON MEMORIAL HW	ESAV REALTY LLC	C/O JOHN SAVICKAS	223 WEST STREET	PAXTON	MA	01612
44 B5 0	115 HUNTOON MEMORIAL HW	HENSHAW HOLDINGS LLC		515 HENSHAW ST	ROCHDALE	MA	01542
44 B5.1 0	111 HUNTOON MEMORIAL HW	MPT OF ROCHDALE-VIBRA	C/O VIBRA HOSP/ACCT PAY	4499 ACUSHNET AVE	NEW BEDFORD	MA	02745
44 B6.1 0	105 HUNTOON MEMORIAL HW	BUCZAK EDWIN D	C/O JAMIE GIRARD	929 OLD FALMOUTH ROAD	MARSTEN MILLS	MA	06248
46 A1.2 0	112 HUNTOON MEMORIAL HW	HUNTOON HIGHWAY LLC		112 HUNTOON MEMORIAL H	ROCHDALE	MA	01542-0338
46D C4 0	957 STAFFORD ST	PLANTE KEVIN M		957 STAFFORD ST	ROCHDALE	MA	01542
46D C5 0	120 HUNTOON MEMORIAL HW	PELLEGRINO TINA R		120 HUNTOON MEMORIAL H	ROCHDALE	MA	01542
46D D1 0	945 STAFFORD ST	MACDOUGALL MATHEW K	YOST LILY	945 STAFFORD ST	ROCHDALE	MA	01542
46D D14 0	121 HUNTOON MEMORIAL HW	BACHAND SR STEPHEN M	BACHAND DEL-MARIE	121 HUNTOON MEM HWY	ROCHDALE	MA	01542

End of Report

Above is a certified list abutters and abutters to abutters within 300 feet of subject.

Subject property: 110 Huntoon Memorial Highway, Assessors Map 44-A10, Deed Ref. 64563/143

Subject owner(s): Huntoon Highway LLC

Sandy Genna, Principal Assessor

Prepared by: Kathleen Asquith, Assistant

08/19/2021

Town of Leicester

CONCOM NOI

Page 1 of 1

8:50:15AM

Abutters List

ParcelID	Location	Owner	Co-Owner	Mailing Address	City	State	Zip
44 A10 0	110 HUNTOON MEMORIAL HW	HUNTOON HIGHWAY LLC		P O BOX 325	ROCHDALE	MA	01542-0338
44 A7 0	94 102 HUNTOON MEMORIAL HW	ROBERT A SIGEL TR RT 56 TRUST		117 PADDOCK CIRCLE	MASHPEE	MA	02649
44 A7.1 0	104 HUNTOON MEMORIAL HW	KONCEPTS REALTY LLC		30 MILL STREET/P O BOX 23	ROCHDALE	MA	01542
44 A8 0	106 HUNTOON MEMORIAL HW	JSAY REALTY LLC		223 WEST STREET	PAXTON	MA	01612
44 A9 0	108 HUNTOON MEMORIAL HW	ESAY REALTY LLC	C/O JOHN SAVICKAS	223 WEST STREET	PAXTON	MA	01612
44 B5 0	115 HUNTOON MEMORIAL HW	HENSHAW HOLDINGS LLC		515 HENSHAW ST	ROCHDALE	MA	01542
46 A1 0	980 STAFFORD ST	ONEIL NANCY E		980 STAFFORD STREET	ROCHDALE	MA	01542
46 A1.1 0	982 STAFFORD ST	DIGUETTE MELISSA M		982 STAFFORDE ST	ROCHDALE	MA	01542
46D A7 0	986 STAFFORD ST	BACHMAN ROBERT	BACHMAN GLORIA	986 STAFFORD STREET	ROCHDALE	MA	01542
46D B6 0	2 CARLETON RD	SMITH VINCENT W	SMITH AMANDA C	2 CARLETON RD	ROCHDALE	MA	01542
46D B6.1 0	985 STAFFORD ST	GAGNON DANIELLE	MARSTON LYNN J	985 STAFFORD STREET	ROCHDALE	MA	01542-1129
46D C1 0	1 CARLETON RD	PAGAN JESSICA	PAGAN GIOVANNI	1 CARLETON RD	ROCHDALE	MA	01542
46D C16 0	3 CARLETON RD	FAUCHER MATTHEW R		3 CARLETON RD	ROCHDALE	MA	01542
46D C2 0	967 STAFFORD ST	CRUZ DIEGO	CRUZ CARMEN	967 STAFFORD STREET	ROCHDALE	MA	01542
46D C3 0	961 STAFFORD ST	DORR CHRISTINE I		961 STAFFORD ST	ROCHDALE	MA	01542
46D C4 0	957 STAFFORD ST	PLANTE KEVIN M		957 STAFFORD ST	ROCHDALE	MA	01542
46D C5 0	120 HUNTOON MEMORIAL HW	PELLEGRINO TINA R		120 HUNTOON MEMORIAL H	ROCHDALE	MA	01542

End of Report

Above is a certified list abutters and abutters to abutters within 300 feet of subject.

Subject property: 112 Huntoon Memorial Highway, Assessors Map 46-A1.2, Deed Ref. 52916/330

Subject owner(s): Huntoon Highway LLC

Sandy Genna, Principal Assessor

Prepared by: Kathleen Asquith, Assistant

McCLURE ENGINEERING, INC

508-248-2005
119 WORCESTER RD
CHARLTON, MA 01507

53-7173/2113
23270
CHECK ARMOR
FRAUD PROTECTION

8/19/2021

PAY TO THE
ORDER OF Town of Leicester

\$ **67.50

Sixty-Seven and 50/100***** DOLLARS

MEMO

Town of Leicester
Attn: Assessors Office
3 Washburn Square
Leicester, MA 01524
NOI - Town Fee

Janet T. Nesbitt
AUTHORIZED SIGNATURE

⑈001451⑈ ⑆211371735⑆ 102 462846 4⑈

McCLURE ENGINEERING, INC

1451

Town of Leicester				8/19/2021	
Date	Type	Reference	Original Amt.	Balance Due	Discount
8/19/2021	Bill	151-2415-M NOI	67.50	67.50	
				Check Amount	Payment
					67.50
					67.50

Cornerstone Operatin NOI - Town Fee

67.50

McCLURE ENGINEERING, INC

508-248-2005
119 WORCESTER RD
CHARLTON, MA 01507

53-7173/2113
23270
CHECK ARMOR
FRAUD PROTECTION

8/19/2021

PAY TO THE
ORDER OF Town of Leicester

\$ **55.00

Fifty-Five and 00/100***** DOLLARS

MEMO

Town of Leicester
Attn: Assessors Office
3 Washburn Square
Leicester, MA 01524
NOI - Town Bylaw Fee

James Nesbitt
AUTHORIZED SIGNATURE

⑈001448⑈ ⑆211371735⑆ 102 462846 4⑈

McCLURE ENGINEERING, INC

1448

Town of Leicester				8/19/2021	
Date	Type	Reference	Original Amt.	Balance Due	Discount
8/19/2021	Bill	151-2415-M NOI Bylaw	55.00	55.00	
				Check Amount	Payment
					55.00
					55.00

Cornerstone Operatin	NOI - Town Bylaw Fee	55.00
----------------------	----------------------	-------

McCLURE ENGINEERING, INC
508-248-2005
119 WORCESTER RD
CHARLTON, MA 01507

53-7173/2113
23270
CHECK ARMOR
FRANKFORD, MD

8/19/2021

PAY TO THE ORDER OF Commonwealth of Massachusetts

\$ **42.50

Forty-Two and 50/100***** DOLLARS

Commonwealth of MA
Department of Environmental Protection
PO Box 4062
Boston, MA 02211-4062

MEMO

NOI - State Fee

Janet T. Valenti
AUTHORIZED SIGNATURE

⑈001449⑈ ⑆211371735⑆ 102 462846 4⑈

McCLURE ENGINEERING, INC

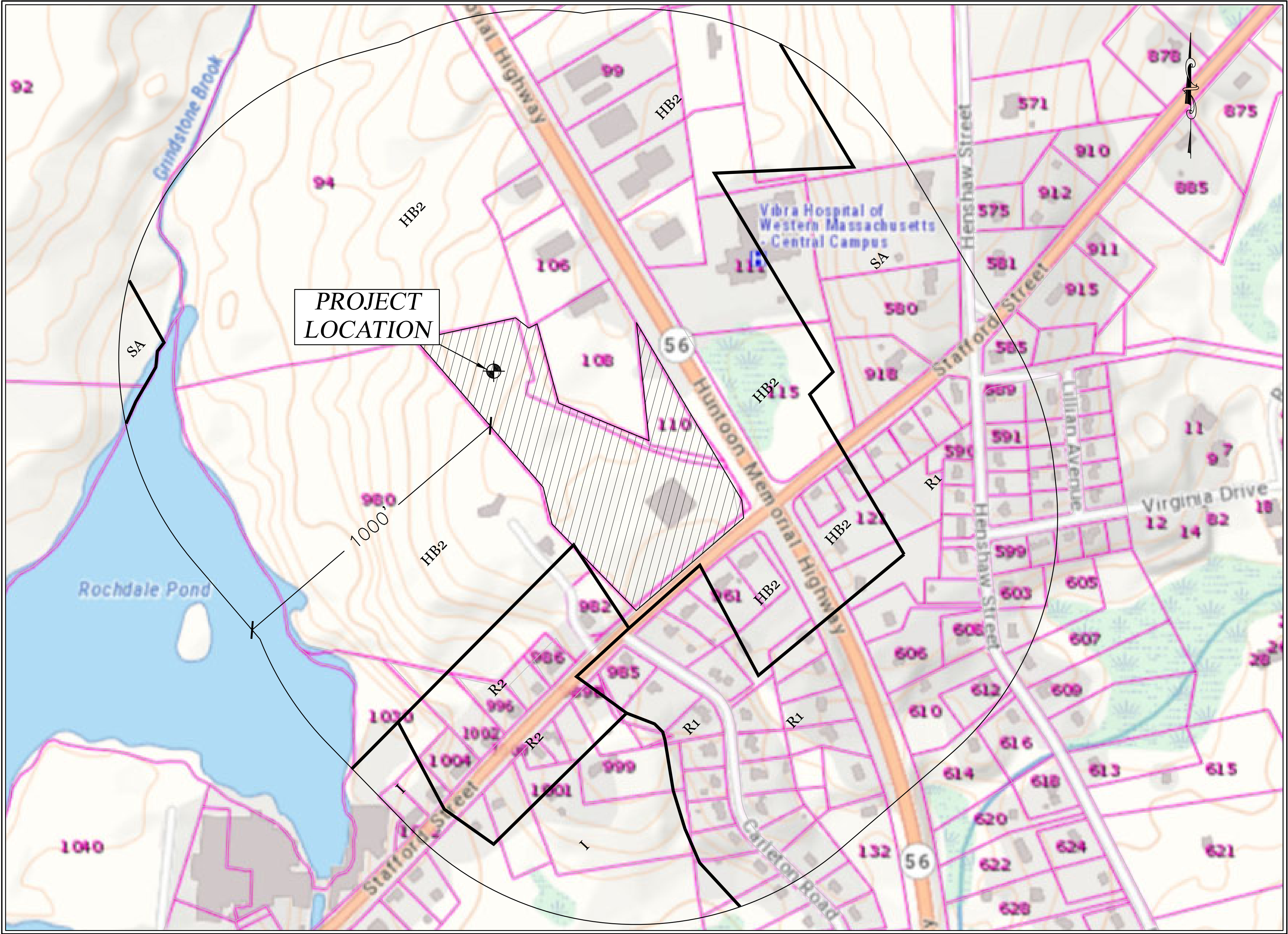
1449

Commonwealth of Massachusetts			8/19/2021	
Date	Type	Reference	Original Amt.	Balance Due
8/19/2021	Bill	151-2415-M NOI State	42.50	42.50
				Discount
				Payment
				42.50
				Check Amount
				42.50

Cornerstone Operatin NOI - State Fee

42.50

SITE PLAN MODIFICATION
GRAVEL PARKING EXPANSION
CENTRAL MASS CRANE
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA 01542



SITE LOCUS

1" = 200'

DRAWING INDEX

- C-1 TITLE SHEET
C-2 EXISTING CONDITIONS PLAN
C-3 LAYOUT, GRADING, AND UTILITIES PLAN
C-4 EROSION AND SEDIMENTATION CONTROL PLAN
C-5 CONSTRUCTION DETAILS
C-6 CONSTRUCTION DETAILS

DIG-SAFE (1-888-344-7233) NOTE:
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS
PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION
AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY
LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT
THEIR UTILITIES.

APPLICANT / PROPERTY INFORMATION:

APPLICANT: CENTRAL MASS CRANE
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA 01542-0338

OWNER: HUNTOON HIGHWAY, LLC.
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA 01542-0338

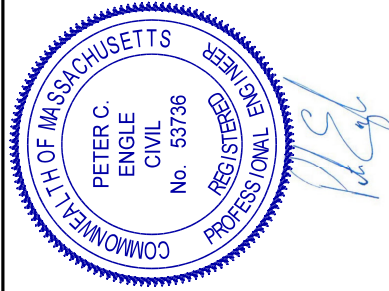
ASSESSORS ID: 46-A-1.2, 44-A-7 (FORMERLY), 44-A-10
DEED REFERENCE: WORCESTER COUNTY REGISTRY OF DEEDS
DEED BOOK 52916, PAGE 330
DEED BOOK 64563, PAGE 143
DEED BOOK 63722, PAGE 154
PLAN BOOK 897 PLAN 103
PLAN BOOK 953 PLAN 19
PLAN BOOK 954 PLAN 101

PROJECT ENGINEER:
PETER ENGLE, P.E.
MCCLURE ENGINEERING, INC.
119 WORCESTER ROAD
CHARLTON, MA 01507
PHONE: (508)-248-2005

PROJECT SURVEYOR:
MARK LAPRAD, P.L.S.
MCCLURE ENGINEERING, INC.
119 WORCESTER ROAD
CHARLTON, MA 01507
PHONE: (508)-248-2005

GENERAL NOTES:

1. THE BASE PLAN FOR THIS DESIGN WAS COMPILED FROM AN ON THE GROUND SURVEY CONDUCTED BY MCCLURE ENGINEERING ON DATE AND SUPPLEMENTED WITH TOPOGRAPHY TAKEN FROM 2013-2014 USGS LIDAR: POST SANDY (MA, NH, RI) TAKEN FROM NOAA ON LINE DATA ACCESS VIEWER.
2. ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988.
3. HORIZONTAL CONTROL IS BASED UPON THE NORTH AMERICAN DATUM OF 1983.
4. PROPERTY IS LOCATED WITHIN THE HB2 DISTRICT AND HAS THE FOLLOWING DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA: 45,000 S.F.
MINIMUM LOT FRONTAGE: 200' FEET
MINIMUM YARD SETBACKS (FRONT/SIDE/REAR): 50'/50'/50'
MAXIMUM BUILDING HEIGHT: 55'
MAXIMUM STORIES: 5 1/2
MAXIMUM COVERAGE: 40%
5. PROPERTY DOES NOT LIE WITHIN THE SPECIAL FLOOD HAZARD AREA. FOR REFERENCE SEE THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 25027C0784E FOR COMMUNITY NO. 250313 AND DATED JULY 4, 2011.
6. THIS PLAN IS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT SUCH A REPORT MAY DISCLOSE.



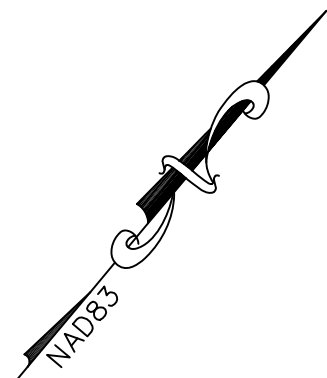
McCLURE
ENGINEERING, INC.
119 Worcester Road
Charlton, MA 01507
Email: pengle@mcclureengineers.com

SITE PLAN MODIFICATION
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA
PREPARED FOR
HUNTOON HIGHWAY, LLC.
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA 01542-0338

DRAWN BY: WN
DATE: 8.20.21
CHK BY: PE
SCALE: 1"=200'
PROJ. NO. 151-2415-M

TITLE SHEET

C1



EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.

ASSESSOR'S
REFERENCE:
46-A1-0
N/F
NANCY E.
O'NEIL

ASSESSOR'S
REFERENCE:
46-A1-10
N/F
MELISSA M.
DIGUETTE

ASSESSOR'S
REFERENCE:
46-A1-20
N/F
HUNTOON HIGHWAY, LLC.
DEED BOOK 52916, PAGE 330

ASSESSOR'S
REFERENCE:
44-A9-0
N/F
ESAV REALTY, LLC.

ASSESSOR'S
REFERENCE:
44-A10-0
N/F
HUNTOON HIGHWAY, LLC.
DEED BOOK 64563, PAGE 154

HUNTOON MEMORIAL HIGHWAY
(ROUTE 86)
(PUBLIC ~ 120' WIDE)

STAFFORD STREET
(PUBLIC ~ 50' WIDE)

SOIL TESTING
DECEMBER 5, 2012
PERFORMED BY SHELLEY HAMMOND
WITNESSED BY KEVIN QUINN

DH-1
DEPTH = 107"
ESHOW @ 20"
NO REFUSAL

DH-2
DEPTH = 92"
ESHOW @ 23"
NO REFUSAL

DH-3
DEPTH = 71"
ESHOW @ 22"
NO REFUSAL

DH-4
DEPTH = 112"
ESHOW @ 31"
NO REFUSAL

DH-5
DEPTH = 118"
ESHOW @ 31"
NO REFUSAL

DH-6
DEPTH = 46"
ESHOW @ 32"
REFUSAL @ 46"

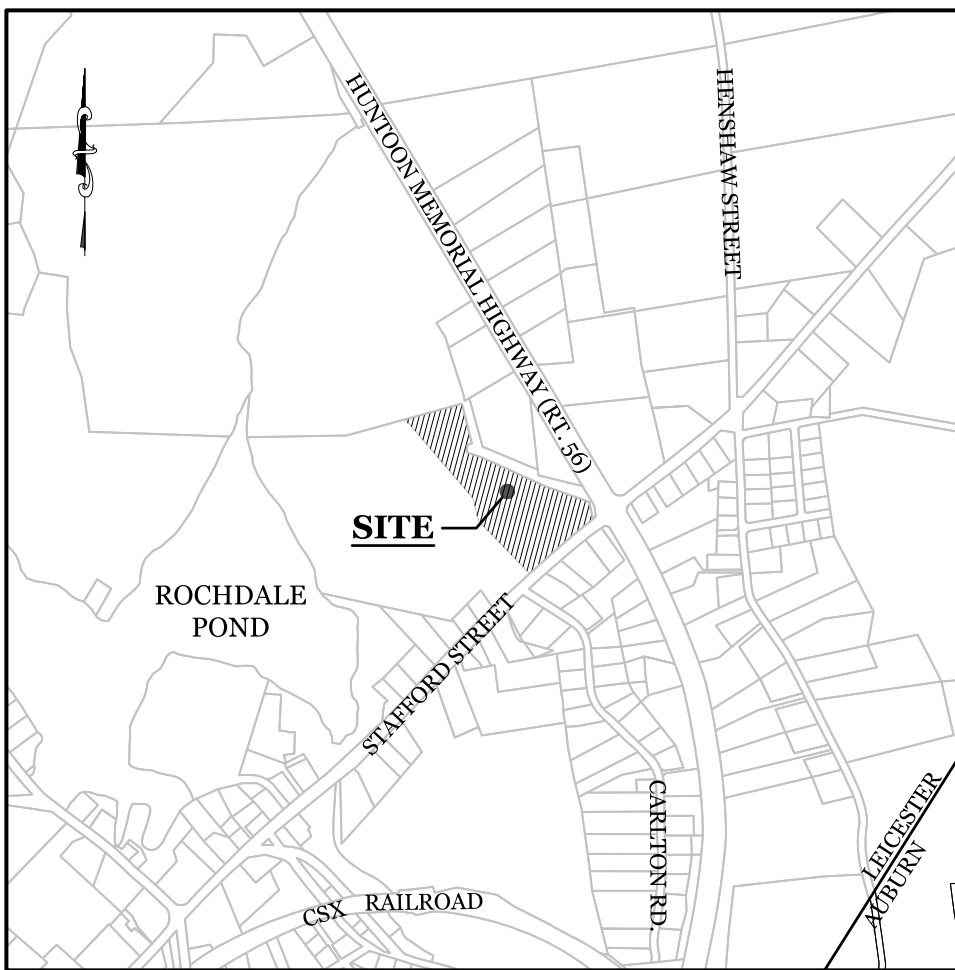
DH-7
DEPTH = 58"
ESHOW @ 31"
REFUSAL RANGES FROM 25"-58"

DH-8
DEPTH = 82"
ESHOW @ 33"
REFUSAL @ 82"

LEGEND:

BIT. BITUMINOUS
CB CATCH BASIN
CO CLEAN OUT
CONC. CONCRETE
62 CONTOUR
CPP CORRUGATED PLASTIC PIPE
DH DRILL HOLE
DMH DRAIN MANHOLE
EM DRAINAGE LINE
EXIST. EXISTING
FF FIRST FLOOR ELEVATION
FH FIRE HYDRANT
FND FLARED END SECTION
FOUND

GM GAS METER
HDPE HIGH DENSITY POLYETHYLENE PIPE
IP IRON PIN
R LIGHT POLE
R RIM ELEVATION
RCP REINFORCED CONCRETE PIPE
SMH SANITARY SEWER MANHOLE
SMH SEWER PIPE
T/ TOP OF
TREELINE
TYP. TYPICAL
WATER GATE
APPROXIMATE LIMIT OF WETLANDS



LOCUS PLAN
SCALE: 1" = 1,000'

NOTES:

- 1). OWNER OF RECORD:
HUNTOON HIGHWAY, LLC.
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA 01542-0338
- 2). SURVEYOR OF RECORD:
MCCLURE ENGINEERING
119 WORCESTER ROAD
CHARLTON, MA 01507
508-248-2005
3. THE BASE PLAN FOR THIS DESIGN WAS COMPILED FROM AN ON THE GROUND SURVEY CONDUCTED BY MCCLURE ENGINEERING ON DATE AND SUPPLEMENTED WITH TOPOGRAPHY TAKEN FROM 2013-2014 USGS LIDAR: POST SANDY (MA, NH, RI) TAKEN FROM NOAA ON LINE DATA ACCESS VIEWER.
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6. PROPERTY IS LOCATED WITHIN THE HB2 DISTRICT AND HAS THE FOLLOWING DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA: 45,000 S.F.
MINIMUM LOT FRONTAGE: 200' FEET
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MAXIMUM BUILDING HEIGHT: 55'
MAXIMUM STORIES: 5
MAXIMUM COVERAGE: 40%
7. PROPERTY DOES NOT LIE WITHIN THE SPECIAL FLOOD HAZARD AREA. FOR REFERENCE SEE THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 25027C0784E FOR COMMUNITY NO. 250313 AND DATED JULY 4, 2011.
8. THIS PLAN IS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT SUCH A REPORT MAY DISCLOSE.

REFERENCES:

WORCESTER COUNTY REGISTRY OF DEEDS
DEED BOOK 52916 PAGE 330
DEED BOOK 63722 PAGE 154
DEED BOOK 64563 PAGE 143
PLAN BOOK 897 PLAN 103
PLAN BOOK 953 PLAN 19
PLAN BOOK 954 PLAN 101

"PROPOSED SITE PLAN, CENTRAL MASS CRANE" PREPARED BY JH ENGINEERING DATED AUGUST 4, 2014.

WETLANDS:
THE SITE IS SUBJECT TO THE MASSACHUSETTS WETLANDS PROTECTION ACT. THE WETLANDS BOUNDARIES AS SHOWN WERE TAKEN FROM THE 2014 SITE PLAN PREPARED BY JH ENGINEERING. THE WETLAND RESOURCE AREAS WERE DELINEATED BY ECOTEC INC. IN NOVEMBER OF 2012.

SITE PLAN MODIFICATION
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA
PREPARED FOR
CENTRAL MASS CRANE
112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA 01542-0338

DRAWN BY: WN
DATE: 8.20.21
CHK BY: PE
SCALE: 1"=40'
PROJ. NO. 151-2415-M

EXISTING
CONDITIONS PLAN

C2

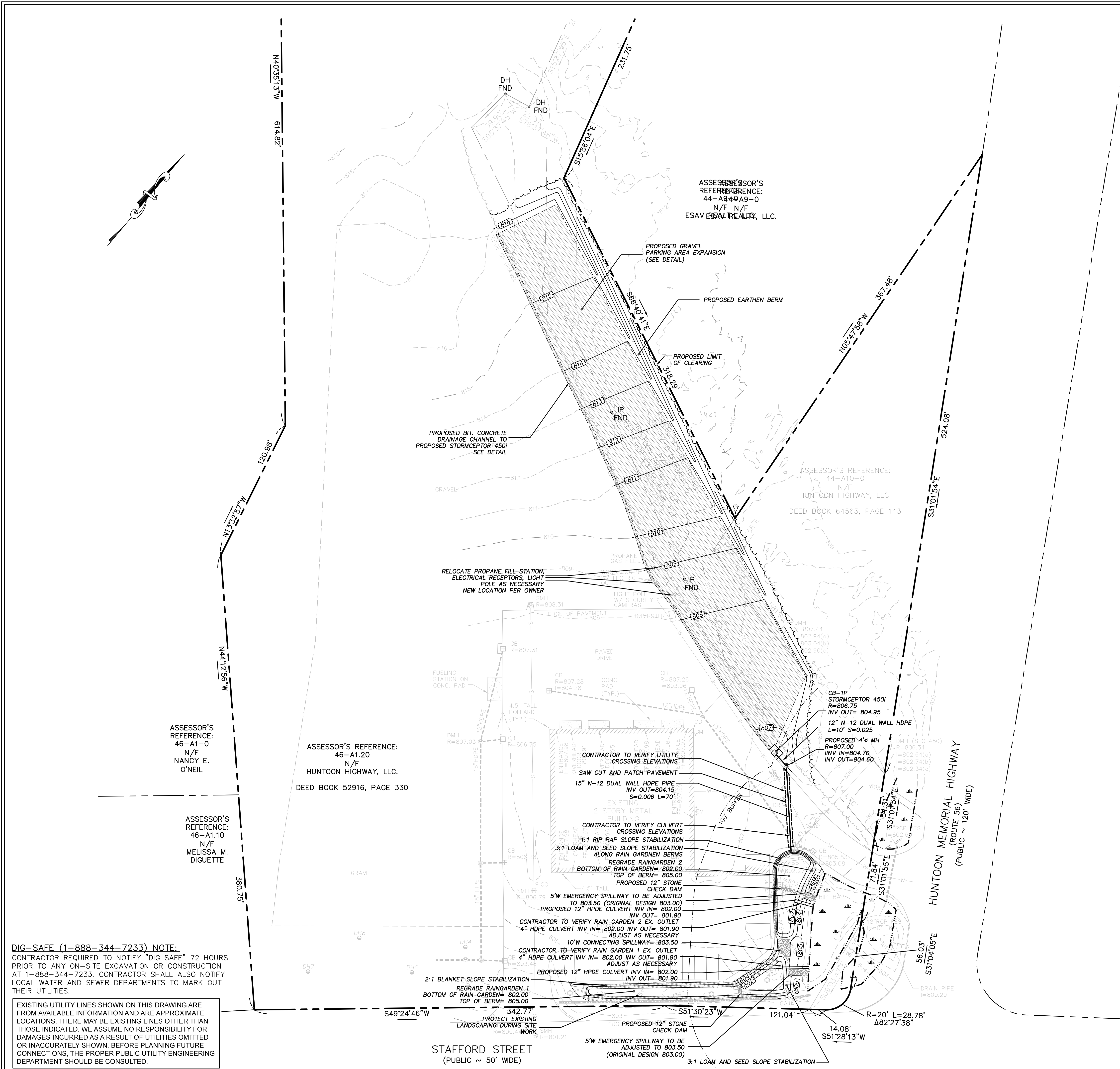


McCLURE
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119 Worcester Road
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PETER C. ENGLE, P.E.
PROFESSIONAL ENGINEER
MA LIC. NO. 53736

REVISIONS		MADE APVD	
REV	DATE	DESCRIPTION	

HOR. SCALE IN FEET: 1"=40'



ZONING:
PARCELS: 46A1.2, 44A10, 44A7 (FORMERLY)
ZONE: HB2 DISTRICT
EXISTING USE: CENTRAL MASS CRANE – OFFICE, WAREHOUSE, TRUCK SERVICE (SEE SPR2014–01)
PROPOSED USE: EXISTING USES AS WELL AS OUTDOOR STORAGE OF COMMERCIAL VEHICLES – ALLOWED IN THE HB2 DISTRICT BY RIGHT (LEICESTER ZONING BYLAWS 3.2.08.B.1&2)

	REQUIRED	EXISTING/PROPOSED
MINIMUM LOT AREA:	45,000 S.F.	428,891.76 S.F.±/ NO CHANGE
MINIMUM LOT FRONTAGE:	200'	1,212.93±/ NO CHANGE
MINIMUM YARD SETBACKS (FRONT,SIDE,REAR):	50',50',50'	112±,178±,735±/ NO CHANGE
MAXIMUM BUILDING HEIGHT:	55'	35±/ NO CHANGE
MAXIMUM STORIES:	5 ½	2/ NO CHANGE
MAXIMUM BUILDING COVERAGE:	40%	3.4%/ NO CHANGE

PARKING:
NO PROPOSED EXPANSION OF BUILDING OR USES THAT REQUIRE PARKING SPACES PER THE LEICESTER PLANNING BOARD PARKING REGULATIONS. PARKING AT THE SITE FOR THE BUILDING AND USES ARE PROVIDED PER THE APPROVED SITE PLANS PREPARED BY JH ENGINEERING DATED AUGUST 4, 2014.

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LEGEND:

BIT.	BITUMINOUS	HDPE	HIGH DENSITY POLYETHYLENE PIPE
CB	CATCH BASIN	IP	IRON PIN
CO	CLEAN OUT	*	LIGHT POLE
CONC.	CONCRETE	R=	RIM ELEVATION
CPP	CORRUGATED PLASTIC PIPE	RCP	REINFORCED CONCRETE PIPE
DH	DRILL HOLE	SMH	SANITARY SEWER MANHOLE
DMH	DRAIN MANHOLE	S	SEWER PIPE
EM	ELECTRIC METER	T/	TOP OF
EXIST.	EXISTING	TYP.	TREELINE
FF=	FIRST FLOOR ELEVATION	W/	TYPICAL
FES	FIRE HYDRANT	W/	WATER GATE
FND	FLARED END SECTION	W/	APPROXIMATE LIMIT OF WETLANDS
GM	GAS METER	W/	EXISTING CONTOURS
		W/	PROPOSED CONTOURS

GENERAL NOTES:

- THE BASE PLAN FOR THIS DESIGN WAS COMPILED FROM AN ON THE GROUND SURVEY CONDUCTED BY MCCLURE ENGINEERING ON DATE AND SUPPLEMENTED WITH TOPOGRAPHY TAKEN FROM 2013–2014 USGS LIDAR: POST SANDY (MA, NH, RI) TAKEN FROM NOAA ON LINE DATA ACCESS VIEWER.
- ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- HORIZONTAL CONTROL IS BASED UPON THE NORTH AMERICAN DATUM OF 1983.
- PROPERTY IS LOCATED WITHIN THE HB2 DISTRICT AND HAS THE FOLLOWING DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA: 45,000 S.F.
MINIMUM LOT FRONTAGE: 200' FEET
MINIMUM YARD SETBACKS (FRONT/SIDE/REAR): 50'/50'/50'
MAXIMUM BUILDING HEIGHT: 55'
MAXIMUM STORIES: 5 ½
MAXIMUM COVERAGE: 40%
- PROPERTY DOES NOT LIE WITHIN THE SPECIAL FLOOD HAZARD AREA. FOR REFERENCE SEE THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 25027C0784E FOR COMMUNITY NO. 250313 AND DATED JULY 4, 2011.
- THIS PLAN IS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY MATTERS THAT SUCH A REPORT MAY DISCLOSE.

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**LAYOUT, GRADING,
AND UTILITIES
PLAN**

C3

EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.

STAFFORD STREET
(PUBLIC ~ 50' WIDE)

HUNTOON MEMORIAL HIGHWAY
(ROUTE 66)
(PUBLIC ~ 120' WIDE)

PROPOSED SILT FENCE AND STRAW
WATTLE EROSION CONTROL BARRIER AT
EDGE OF RAIN GARDEN BERM/ WETLAND
REPLICATION AREA
(SEE DETAIL)

NOTE:
ALL DISTURBED AREAS SHALL BE
STABILIZED WITH A MIN. 4" LOAM AND
SEED.

NOTE:
ALL EXISTING CATCH BASINS AND
STORMCEPTOR WATER QUALITY UNITS
SHALL BE CLEANED/ PUMPED PER THE
STORMWATER OPERATION AND
MAINTENANCE PLAN.

RESPONSIBILITIES OF OWNER/PERMITEE

THE OWNER/ PERMITEE SHALL:

- PROVIDE THE CONTRACTOR WITH COPIES OF LAND-USE PERMITS THAT THE OWNER HAS ACQUIRED.
- INFORM ALL PARTIES INVOLVED WITH THE PROPOSED SITE WORK OF THIS PLAN'S OBJECTIVES AND REQUIREMENTS.

RESPONSIBILITIES OF CONTRACTOR

THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING EROSION OF THE SITE AND FOR PROTECTING ADJACENT STORM SEWERS AND WATERWAYS FROM SEDIMENTATION.

THE CONTRACTOR SHALL:

- INSTALL, MONITOR, AND MAINTAIN ALL OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN
- COMPLY WITH ALL PERMIT REQUIREMENTS.

PRE-CONSTRUCTION CONFERENCE

PRIOR TO CONSTRUCTION, FOLLOWING INSTALLATION OF EROSION CONTROL.

THE PERMITEE, OWNER-OF-RECORD, CONTRACTOR, ENGINEER, AND TOWN REPRESENTATIVE (CONSERVATION COMMISSION) SHALL:

- HOLD A "PRE-CONSTRUCTION" CONFERENCE AT THE SITE TO REVIEW THE INSTALLATION OF THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL MEASURES.

GENERAL CONTROLS

1. CLEANING OF STORMWATER STRUCTURES:

CLEAN ALL STORMWATER STRUCTURES INCLUDING, BUT NOT LIMITED TO, PIPES, SWALES, SUBSURFACE RETENTION BASINS, SEDIMENT TRAPS, AND RIPRAP APRONS OF SEDIMENT UPON COMPLETION OF THE PROJECT.

2. PAVEMENT MAINTENANCE:

THE CONTRACTOR SHALL SWEEP PAVED ROADWAYS ADJACENT TO THE SITE ON A ROUTINE BASIS TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS AND WASHING OF MUD INTO WATERWAYS. IF THE CONTRACTOR'S SCHEDULE FOR CLEANING THE PAVEMENT IS FOUND TO BE INADEQUATE BY THE OWNER, OWNER'S REPRESENTATIVE, OR TOWN, THE CONTRACTOR SHALL INCREASE THE FREQUENCY AT NO ADDITIONAL COST TO THE OWNER.

3. WASTE DISPOSAL:

THE CONTRACTOR SHALL PROVIDE AN ADEQUATE NUMBER OF COVERED WASTE CONTAINERS TO ENSURE THAT NO LITTER, DEBRIS, BUILDING MATERIALS, OR SIMILAR MATERIALS ARE DISCHARGED TO WETLANDS OR WATERCOURSES. THE CONTRACTOR SHALL INSTRUCT SUBCONTRACTORS TO USE THE CONTAINERS FOR WASTE MATERIAL. THE CONTAINERS SHALL BE PROMPTLY EMPTIED WHEN FULL.

GENERAL CONDITIONS

1. IF EROSION CONTROL MEASURES ARE DAMAGED BY CONSTRUCTION VEHICLES, ACTS OF VANDALISM, OR SEVERE WEATHER CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT IN THE VICINITY OF THE EROSION CONTROL MEASURES AND REPAIR THESE MEASURES TO A FUNCTIONAL CONDITION.

2. IF DURING OR AFTER CONSTRUCTION, IT BECOMES APPARENT THAT EXISTING EROSION CONTROL MEASURES ARE INCAPABLE OF CONTROLLING EROSION, THE ENGINEER OR THE TOWN MAY REQUIRE ADDITIONAL CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: ADDITIONAL STRAW WATTLES, HAYBALES, SILT FENCE, SEDIMENT BASINS, MECHANICALLY ANCHORED MULCH, OR ENHANCED DEWATERING FILTRATION.

3. NO CONSTRUCTION SHALL PROCEED UNTIL A WRITTEN PROPOSAL OF METHODS TO PREVENT CONSTRUCTION DEBRIS, PAINT, OR OTHER SUCH CONTAMINATED MATERIALS FROM ENTERING A STORM SEWER, THE WETLAND, OR WATERCOURSE HAS BEEN SUBMITTED BY THE CONTRACTOR TO THE OWNER, APPROVED BY THE OWNER AND SUCH METHODS HAVE BEEN IMPLEMENTED AS THE OWNER DIRECTS. THESE MATERIALS SHALL BE COLLECTED AND DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE FEDERAL AND STATE LAWS AND REGULATIONS. THE OWNER MAY ORDER THE CONTRACTOR TO CEASE SUCH ACTIVITY TEMPORARILY IF, IN THE JUDGMENT OF THE OWNER, WIND OR STORM CONDITIONS THREATEN TO CAUSE THE DEPOSIT OF SUCH MATERIAL IN A WATERWAY.

4. ALL TEMPORARY FILL SHALL BE STABILIZED DURING USE TO PREVENT EROSION AND SHALL BE SUITABLY CONTAINED TO PREVENT SEDIMENT OF OTHER PARTICULATE MATTER FROM REENTERING A WETLAND OR WATERCOURSE. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS OR AS DIRECTED BY THE OWNER, AND REVEGETATED. THE AREA EXTENT OF TEMPORARY FILL OR EXCAVATION SHALL BE CONFINED TO THAT AREA NECESSARY TO PERFORM THE WORK, AS APPROVED BY THE OWNER.

5. DUMPING OF OIL, CHEMICALS OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING, AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL. ALL SPILLS OF SUCH MATERIALS SHALL BE REPORTED IMMEDIATELY BY THE CONTRACTOR TO APPROPRIATE TOWN AND STATE AGENCIES.

6. ALL REFUELING OF CONSTRUCTION EQUIPMENT IS TO TAKE PLACE OUTSIDE OF WETLAND BUFFER AREAS. NO CONCRETE WASHOUT OR WASHING OF CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN THE RESOURCE BUFFER AREAS.

7. INSPECTIONS: EROSION CONTROLS SHALL BE INSPECTED DAILY OR AFTER A LEGITIMATE STORM EVENT. INSPECTION SHALL BE RECORDED IN A LOG ALONG WITH THE TIME AND DATE. LOG SHALL BE AVAILABLE FOR INSPECTION BY THE TOWN OR ENGINEER.

8. FILL MATERIAL TESTING: THE TOWN MAY REQUIRE TESTING OF OUTSIDE FILL SOURCES. THE RESULTS OF SUCH TESTING MAY BE REVIEWED BY A STATE OF MASSACHUSETTS LICENSED SITE PROFESSIONAL (LSP) AND CONSERVATION AGENT PRIOR TO DELIVERY OF SAID MATERIAL TO THE SITE. CONTRACTOR TO REFER TO CONSERVATION ORDER OF CONDITIONS FOR SPECIFIC SOIL TESTING AND REVIEW REQUIREMENTS FOR ALL OUTSIDE FILL SOURCES.

DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES

TEMPORARY STABILIZATION MEASURES

EROSION CONTROL BARRIERS:

INSTALL EROSION CONTROL BARRIERS AT VARIOUS LOCATIONS AS SHOWN ON THE PLANS AND DETAILS. EMBED THE EROSION CONTROL BARRIER INTO THE GROUND AND FIRMLY ANCHOR IT AS SHOWN IN THE DETAILS. REMOVE SEDIMENT ONCE LEVELS HAVE REACHED 1/4 OF THE EFFECTIVE HEIGHT. REPAIR AND/OR REPLACE THE SILT FENCE/ HAYBALES IMMEDIATELY IF DAMAGED OR DETERIORATED.

STOCKPILING OR STORAGE OF EXCAVATED MATERIALS: COMPLETELY SURROUND TEMPORARY MATERIAL STOCKPILES WITH STRAW WATTLES TO PREVENT TRANSPORTATION OF SEDIMENT. NO STOCKPILES SHALL BE KEPT WITHIN 100' WETLAND BUFFER ZONES.

DUST CONTROL:

TAKE PRECAUTIONS TO PREVENT DUST FROM BECOMING A NUISANCE TO ADJUTING PROPERTY OWNERS. BROOM OFF PAVEMENT AREAS ADJOINING THE EXCAVATION ON A DAILY BASIS. COVER AND/OR KEEP MOIST ALL EARTH STOCKPILES AT ALL TIMES. USE CALCIUM CHLORIDE TO CONTROL DUST OVER CERTAIN AREAS OF THE SITE AS NEEDED AND/OR AS DIRECTED BY THE ENGINEER. CALCIUM CHLORIDE SHALL CONFORM TO ASTM D-98, TYPE I. THE CONTRACTOR SHALL MAINTAIN AND INSPECT, ON A DAILY BASIS, THE ADEQUACY OF DUST CONTROL MEASURES AND CORRECT ANY DEFICIENCIES IMMEDIATELY.

DEWATERING:

IF DEWATERING IS REQUIRED, WATER SHOULD BE DISCHARGED TO DEWATERING BAGS OR OTHER SEDIMENT REMOVAL DEVICES PRIOR TO DISCHARGE TO RESOURCE AREAS. WATER MAY ALSO BE USED FOR DUST CONTROL AND/OR VEGETATION WATERING.

PERMANENT STABILIZATION MEASURES

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPED AREAS. IF TOPSOIL, SEED, AND/OR MULCH IS WASHED AWAY BY RAINFALL, THE CONTRACTOR SHALL RESTORE THE AREA.

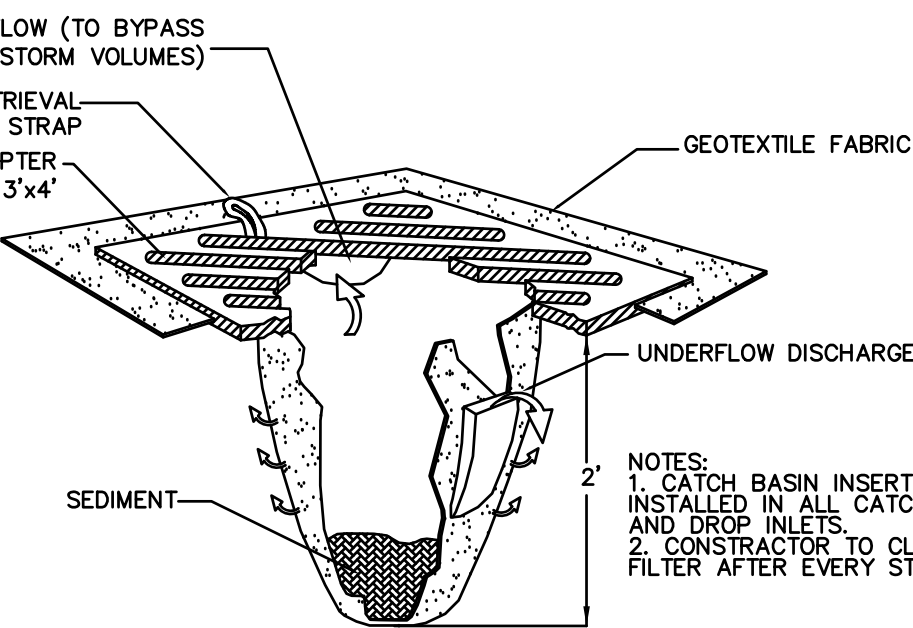
MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCES.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO A PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

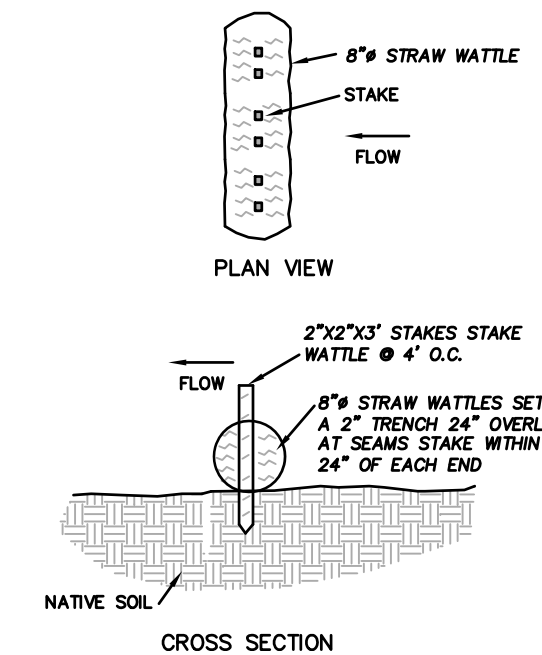
LEGEND:

BIT.	BITUMINOUS	HDPE	HIGH DENSITY POLYETHYLENE PIPE
BCB	CATCH BASIN	IP	IRON PIN
CO	CLEAN OUT	*	LIGHT POLE
CONC.	CONCRETE	R=	RIM ELEVATION
CPP	CORRUGATED PLASTIC PIPE	RCP	REINFORCED CONCRETE PIPE
DMH	DRILL HOLE	SMH	SANITARY SEWER MANHOLE
DMH	DRAIN MANHOLE	S	SEWER PIPE
EM	DRAINAGE LINE	T/	TOP OF
EXIST.	ELECTRIC METER	TYP.	TREELINE
FF=	EROSION CONTROL SOCK	WG	WATER GATE
FES	EXISTING	---	APPROXIMATE LIMIT OF WETLANDS
FND	FIRST FLOOR ELEVATION	---	EXISTING CONTOURS
FM	FLARED END SECTION	---	PROPOSED CONTOURS
GM	FOUND		
GM	GAS METER		



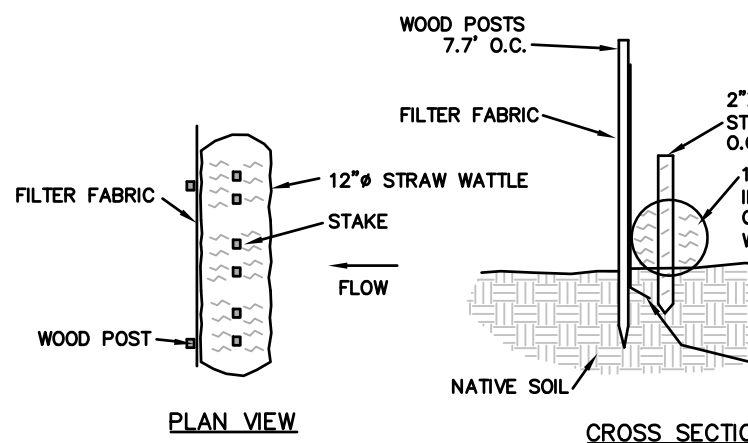
CATCH BASIN INLET FILTER "SILT SACK"

NOT TO SCALE



STRAW WATTLE DETAIL

NOT TO SCALE



STRAW WATTLE AND SILT FENCE DETAIL

NOT TO SCALE

CONSTRUCTION SCHEDULE AND EROSION & SEDIMENTATION CONTROL CHECKLIST

112 HUNTOON MEMORIAL HIGHWAY

WORK DESCRIPTION

SEQUENCE OF CONSTRUCTION

THE FOLLOWING NARRATIVE DESCRIBES THE PLANNED CONSTRUCTION SEQUENCE WITH AN EMPHASIS ON THE TIMING AND SEQUENCE OF EROSION/SEDIMENTATION CONTROL MEASURES:

THE FOLLOWING CONSTRUCTION SEQUENCE WILL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION/SEDIMENT CONTROL MEASURES IS OPTIMIZED.

- INSTALL STABILIZED CONSTRUCTION EXIT(S), SWPPP ENTRANCE SIGN, AND DEP SIGN.
- INSTALL EROSION CONTROL BARRIERS ON THE ENTIRE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE AND HAYBALES).
- EROSION CONTROL INSPECTION WILL BE CONDUCTED AFTER INSTALLATION OF EROSION CONTROL BARRIERS.
- PREPARE TEMPORARY PARKING AND STORAGE AREA UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: PARKING, LAY DOWN, PORTA POTT, MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- CLEAR AND GRUB AREA FOR SEDIMENT BASINS. CONSTRUCT AND STABILIZE SEDIMENT BASINS. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING THE SITE.
- INSTALL TEMPORARY DIVERSION DITCHES AND CHECK DAMS.
- BEGIN GRADING THE SITE AS NEEDED.
- START INSTALLATION OF DRAINAGE AND SITE WORK.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 15 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE COMPLETED.

FINAL PHASE

- PERMANENTLY STABILIZE ANY REMAINING EXPOSED AREAS.
- TEMPORARY DRAINAGE DITCHES TO BE REMOVED AND STABILIZED.
- SEDIMENT FROM BASINS TO BE REMOVED AND SEDIMENT DISPOSED OF OFFSITE. BASINS ARE TO BE CONVERTED TO FINAL STORMWATER BASINS AS SHOWN ON GRADING PLAN.
- ONCE ENTIRE SITE IS STABILIZED, CALL FOR FINAL INSPECTION FROM SITE MONITOR.

NOTES:

- ONCE CONSTRUCTION IS COMPLETED, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH LOAM AND SEED UNLESS OTHERWISE SPECIFIED.
- INSPECTIONS WILL BE CONDUCTED WEEKLY AND AFTER 0.25 INCH RAIN EVENTS. COPIES OF WEEKLY REPORTS AND RAIN EVENT REPORTS SHALL BE KEPT ON RECORD AND PROVIDED TO THE TOWN AND ENGINEER AT THEIR REQUEST.
- EXTRA EROSION CONTROL MATERIALS (HAYBALES, SILT FENCE) EQUAL TO 100 LF SHALL BE KEPT ON SITE FOR EMERGENCY REPAIRS. THESE MATERIALS SHALL BE KEPT COVERED.

NOTE: APPLICANT AND/OR LANDOWNER SHALL NOTIFY THE TOWN OF LEICESTER IN WRITING AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO COMMENCING ANY WORK.

NOTE: PRIOR TO ANY WORK TAKING PLACE

- A PRE-CONSTRUCTION MEETING SHOULD BE SCHEDULED BETWEEN MCCLURE ENGINEERING, INC. AND CONSTRUCTION MANAGER. ALL ASPECTS OF EROSION CONTROLS AND CONSTRUCTION OF PROJECT ARE TO BE DISCUSSED.
- STRAW WATTLES AND SILTATION FENCE TO BE INSTALLED. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SITE TRACKING PAD).
- INSPECTIONS WILL BE CONDUCTED WEEKLY AND AFTER 0.25 INCH RAIN EVENTS. COPIES OF WEEKLY REPORTS AND RAIN EVENT REPORTS SHALL BE KEPT ON FILE UNTIL COMPLETION.

ACREAGE SUMMARY IN ACRES

GRAVEL AREA	0.68 AC±
SEEDED AREA	0.25 AC±
TOTAL DISTURBED	0.93 AC±

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EROSION AND
SEDIMENTATION
CONTROL PLAN

C4



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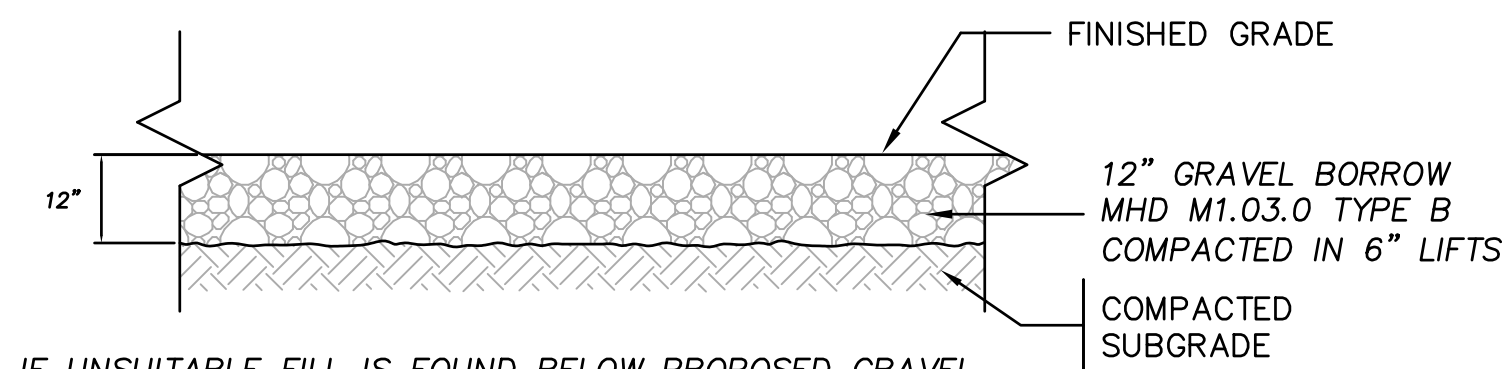
PROFESSIONAL ENGINEER

MA LIC. NO. 53736

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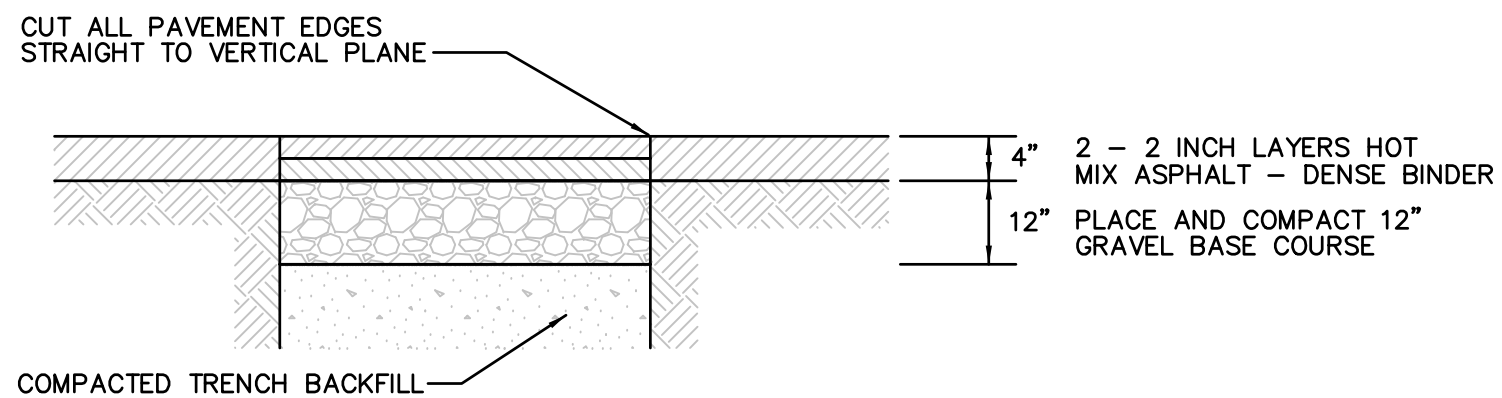
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IF UNSUITABLE FILL IS FOUND BELOW PROPOSED GRAVEL PARKING AREA, FILL IS TO BE REMOVED TO AT LEAST 36" BELOW FINISHED GRADE, GEOTEXTILE REINFORCEMENT IS TO BE INSTALLED BEYOND LIMITS OF FILL, AND BACKFILLED WITH CLEAN COMPACTED FILL IN 6" LIFTS

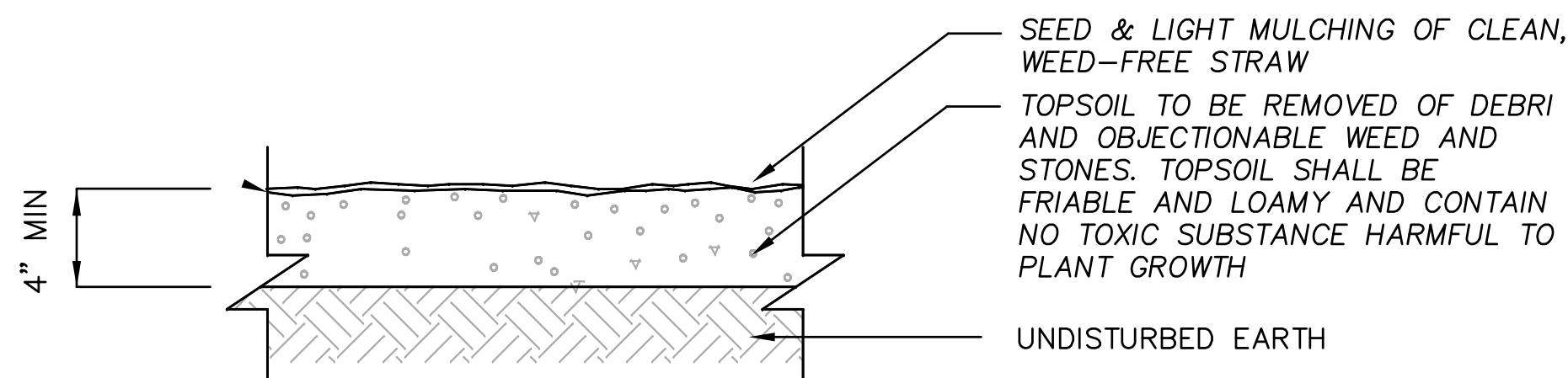
GRAVEL PARKING LOT DETAIL

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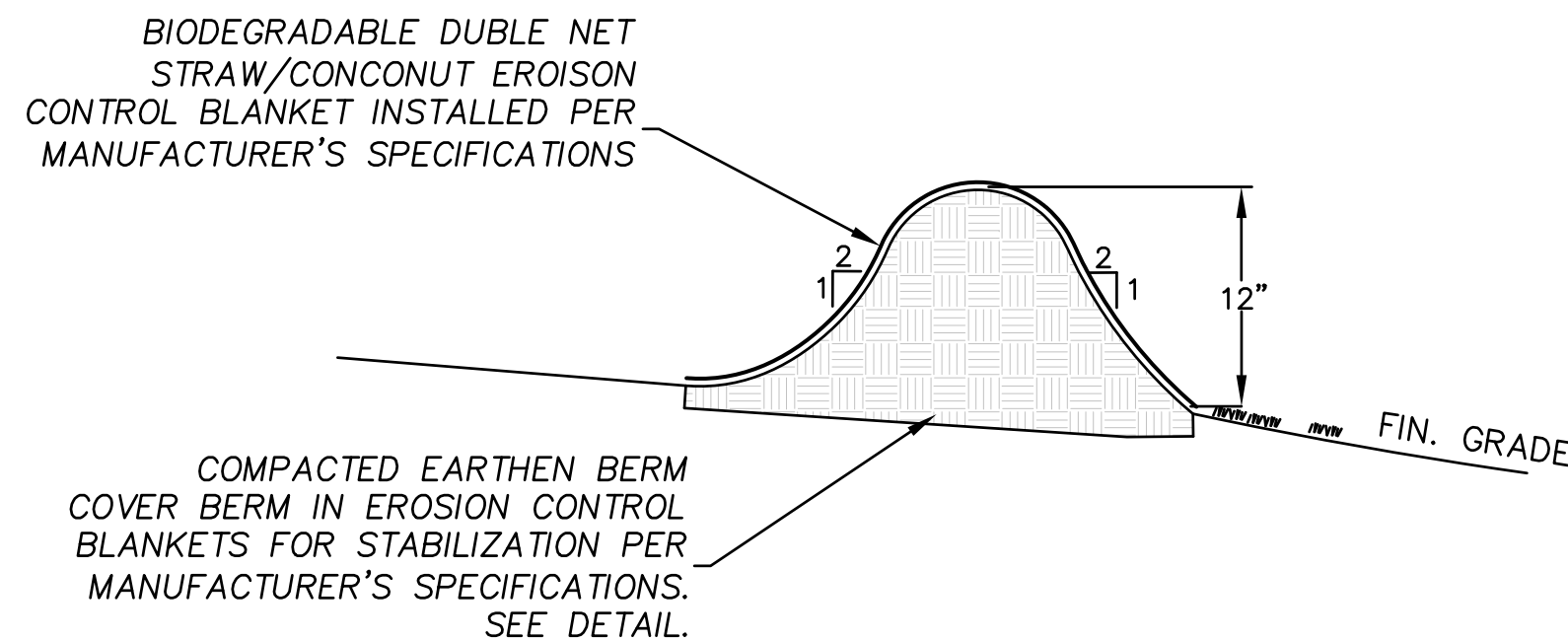
PAVEMENT PATCH/ TRENCH REPAIR DETAIL

NOT TO SCALE



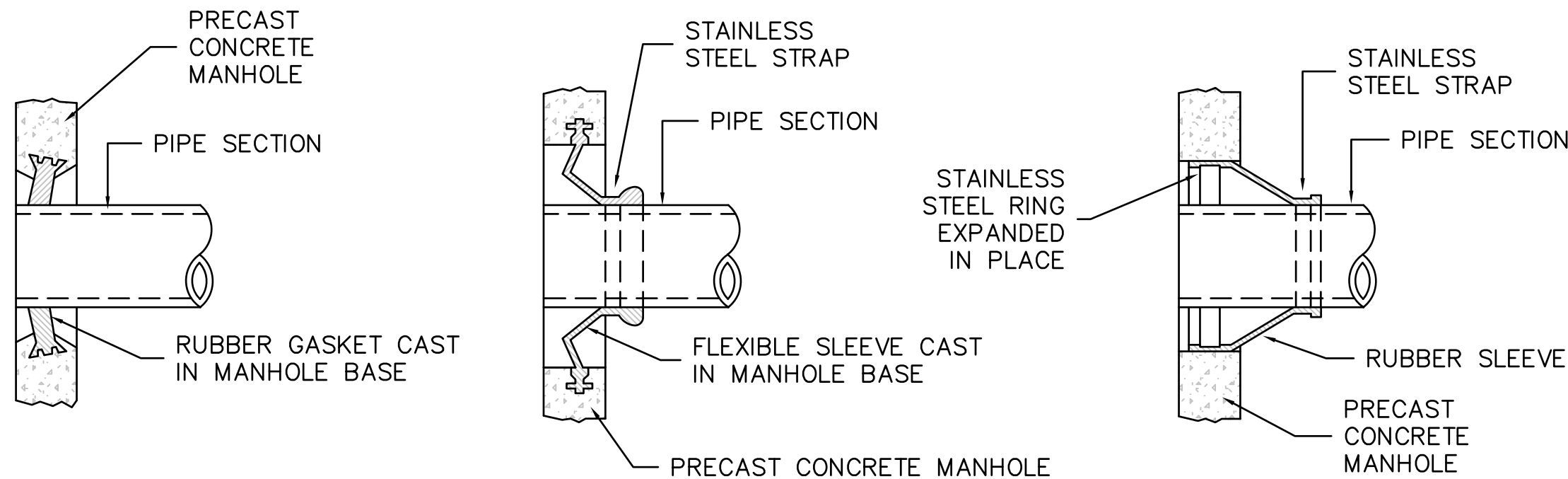
TOP SOIL & SEEDING DETAIL

NOT TO SCALE



EARTHEN DIVERSION BERM DETAIL

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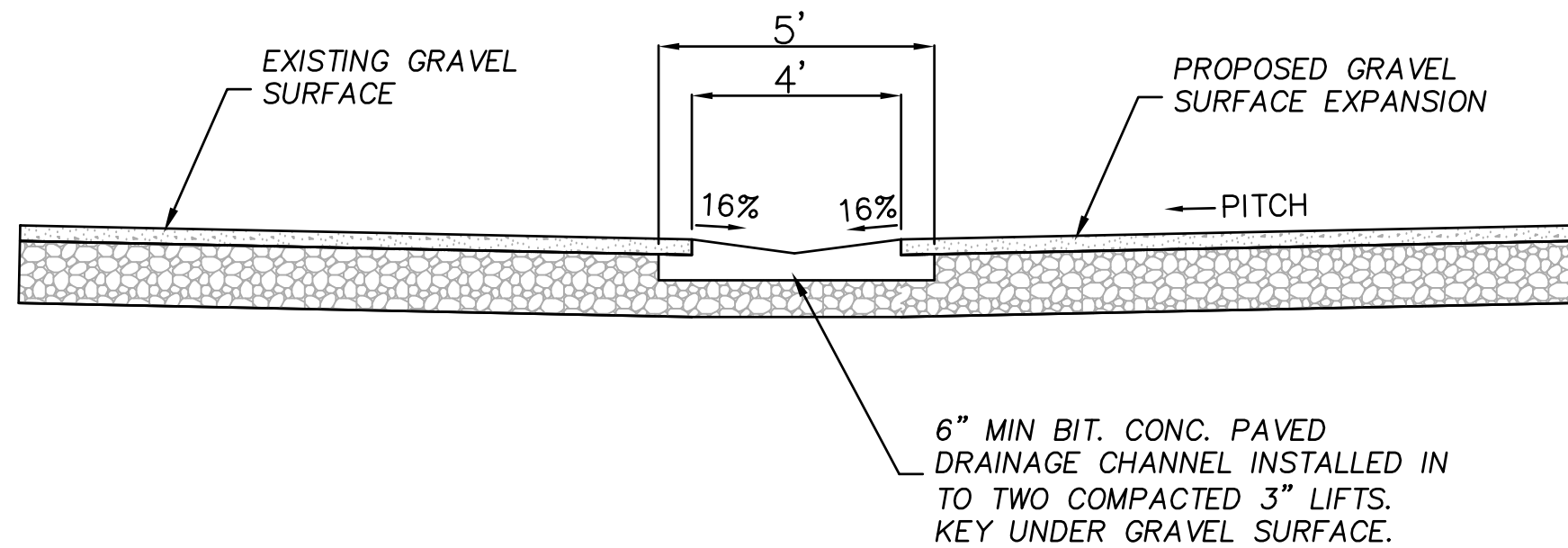


NOTE:

- 1) CONTRACTOR SHALL BE REQUIRED TO MAKE ALL PIPE PENETRATIONS WATER TIGHT.
- 2) THE PIPE TO MANHOLE CONNECTION SHALL BE A FLEXIBLE RUBBER PIPE SLEEVE EITHER CAST IN PRECAST MANHOLE SECTION OR HELD IN PLACE BY STAINLESS STEEL RINGS EXPANDED IN PLACE TO MEET SPECIFICATIONS OF ASTM C923.

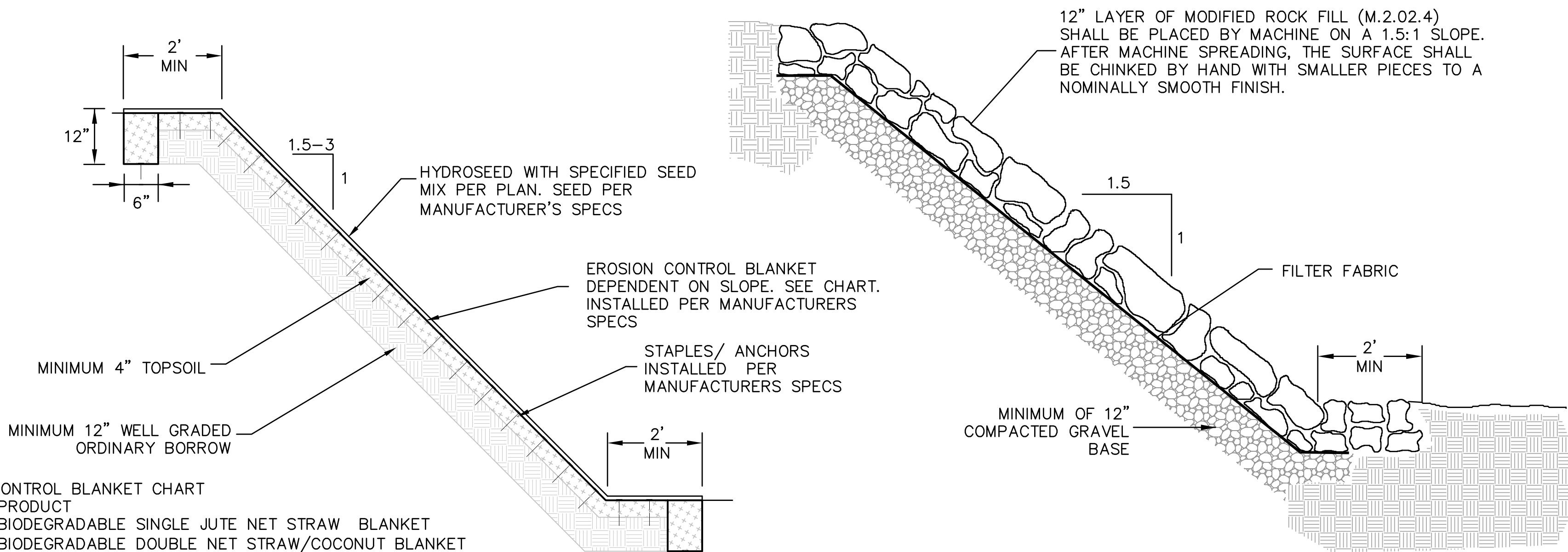
MANHOLE SEAL DETAILS

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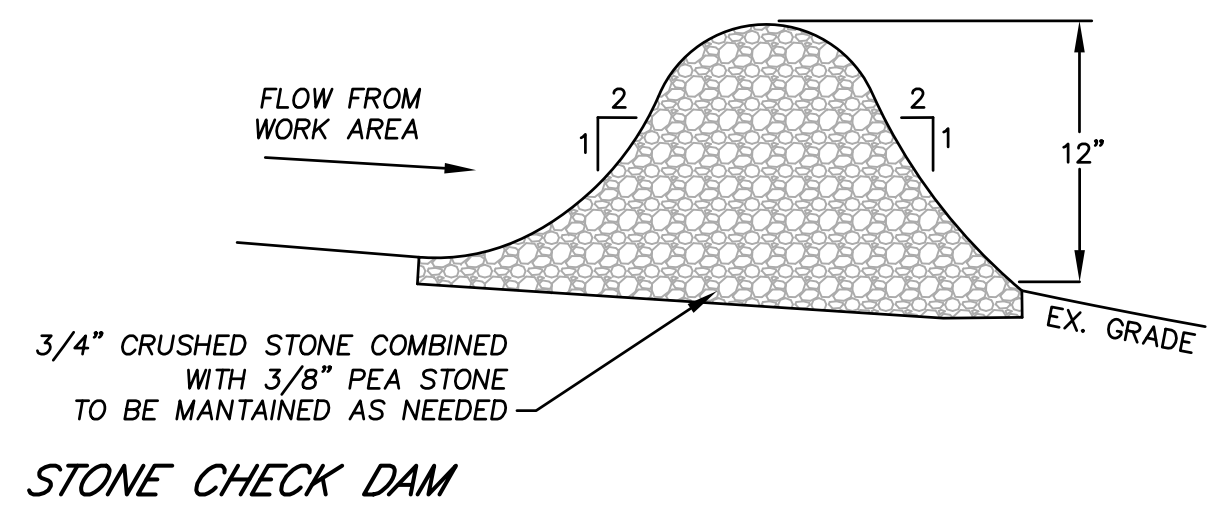
BIT. CONCRETE DRAINAGE CHANNEL DETAIL

NOT TO SCALE

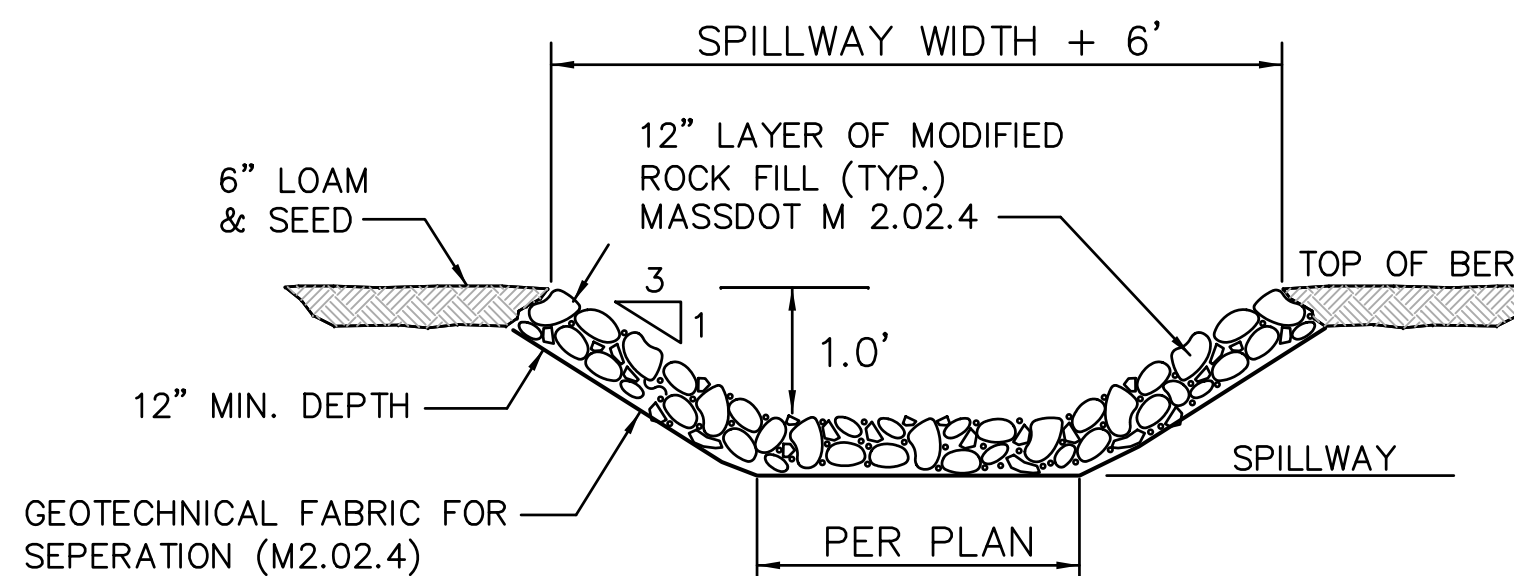


SLOPE STABILIZATION DETAILS

NOT TO SCALE



NOT TO SCALE

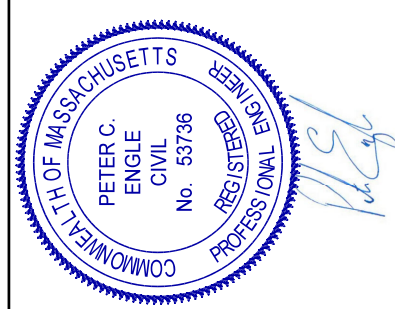


EMERGENCY SPILLWAY DETAIL

NOT TO SCALE

REV	DATE	DESCRIPTION	MADE	APVD

PETER C. ENGLE, P.E. PROFESSIONAL ENGINEER	MA LIC. NO. 53736
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SITE PLAN MODIFICATION 112 HUNTON MEMORIAL HIGHWAY ROCHDALE, MA PREPARED FOR CENTRAL MASS CRANE 112 HUNTON MEMORIAL HIGHWAY ROCHDALE, MA 01542-0338

DRAWN BY:	WN
DATE:	8.20.21
CHK BY:	PE
SCALE:	N.T.S.
PROJ. NO.	151-2415-M

CONSTRUCTION
DETAILS

RAIN GARDEN 2 CROSS SECTION

RAIN GARDEN 1 CROSS SECTION

PRECAST CONCRETE DRAINAGE MANHOLE

SECTION A-A

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. STORMCATCHER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STORMCATCHER SHALL MEET A MINIMUM 52 PSI MINIMUM RATING, ASSUMING EARTH COVER OF 0' - 2' [610], AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. STORMCATCHER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

STORMCEPTOR 450i DETAILS

NOTE:
UNTIL THE PLANT MATERIAL HAS TAKEN ROOT, WATER THE RAIN GARDEN ON A DAILY BASIS. IN ADDITION, WATER THE RAIN GARDEN DURING DROUGHT CONDITIONS. INSPECT THE SOIL AN DREPAIR ERODED AREAS OF THE RAIN GARDEN MONTHLY. RE-MULCH VOID AREAS AS NEEDED. REMOVE LITTER AND DEBRIS MONTHLY. TREAT ALL EXPOSED VEGETATION AS NEEDED. REMOVE AND REPLACE DEAD VEGETATION TWICE PER YEAR (SPRING AND FALL). REMOVE INVASIVE SPECIES INCLUDING WEEDS. NEED TO PREVENT THESE SPECIES FROM SPREADING INTO THE RAIN GARDEN. REPLACE MULCH EVERY TWO YEARS, IN THE EARLY SPRING. UPON FAILURE, EXCAVATE THE RAIN GARDEN AREA, SCARIFY THE BOTTOM AND SEDS, REPLACE SOIL, REPLANT, AND MULCH.

RAINGARDEN PLANTING SCHEDULE:

- SIDE SLOPES:
 (10) LOWBUSH BLUEBERRY (*VACCINIUM ANGUSTIFOLIUM*), 12" TALL, 3' O.C.
 (8) MEADOWSWEET (*SPIRAEA LATIFOLIA*), 2-3' TALL, 3' O.C.
 (10) BLACK CHokeBERRY (*ARONIA MELANOCARPA*), 2-3' TALL, 4' O.C.
 (48) BEARBERRY (*ARCTOSTAPHYLOS UVA-URSI*), 12" TALL, 12" O.C.

- BASE OF RAIN GARDEN:
 (50) NEW ENGLAND ASTER (*ASTER NOVAE-ANGLIAE*), 2" PLUGS, 2' O.C.
 (50) SENSATIVE FERN (*ONOCLEA SENSIBILIS*), 2" PLUGS, 2' O.C.
 (50) GRASS-LEAVED GOLDENROD (*EUTHAMIA GRAMINIFOLIA*), 2" PLUGS, 2' O.C.
 (100) BLUE FLAG IRIS (*IRIS VERSICOLOR*), 2' PLUGS, 18" O.C.
 (50) BROOM SEDGE (*CAREX SCOPARIA*), 2' PLUGS, 2' O.C.

SALVAGE AND REPLANT EXISTING VEGETATION WHERE POSSIBLE.
CAREFULLY REMOVE AND POT DURING CONSTRUCTION AND TRANSPLANT
IMMEDIATELY AFTER RAIN GARDEN REGRADING IS COMPLETED.

TYP. RAIN GARDEN DETAIL

- GENERAL NOTES:
1. IF SIGNIFICANT LEDGE IS ENCOUNTERED THE ENGINEER WILL BE INFORMED AND A PLAN FOR EXPECTED METHODS AND SCHEDULE OF REMOVAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

TYPICAL DRAIN LINE TRENCH DETAIL

REVISIONS			
REV	DATE	DESCRIPTION	MADE BY/D

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PROFESSIONAL ENGINEER

MA LIC. NO. 53736



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SITE PLAN MODIFICATION
1112 HUNTOON MEMORIAL HIGHWAY
ROCHDALE, MA

**PROCEEDINGS, MAY
PREPARED FOR
CENTRAL MASS CRANE
HUNTOON MEMORIAL HIGHWAY**

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