



TOWN OF LEICESTER CONSERVATION COMMISSION

3 Washburn Square
Leicester, MA 01524-1333
Phone: 508-892-7007 – Fax: 508-892-7070
www.leicesterma.org

CONSERVATION COMMISSION AGENDA

Wednesday, February 14, 2024 at 6:30 PM
Select Board Meeting Room

RECEIVED
2024 FEB -7 PM 4:14
TOWN DEPUTY'S OFFICE
LEICESTER, MASS.

Call to Order

1. Public Hearings

6:35 PM Public Hearing: Notice of Intent – 211 Baldwin Street (DEP #197-Pending)

Clearing, grading and tree removal within the 100' buffer zone and the 25' "No Disturb" buffer zone between the proposed new house and Stiles Reservoir. Applicants: James and Jennifer Mercier.

6:40 PM Public Hearing: Notice of Intent – Waite Pond Dam (DEP #197-Pending)

Repairs to Waite Pond Dam described as the vertical extension of the retaining wall on the right side of the spillway. Applicant: Town of Leicester.

2. National Grid Maintenance – Heidi Graf with BSC Group

- 2024 Massachusetts Rights-of-Way Vegetation Management Yearly Operational - Comments for 2024
- National Grid Notification of Utility Maintenance in the ROW - exempt

3. Discussion

- 506 and 508 Pine Street – Complaint – status
- 122 White Birch Street – Complaint – status
- 214 Rawson Street – Re-flagging status
- MassDEP regulation amendments, staff review of bylaws and regulations and research on other Towns land disturbance bylaws/permits and tree removal policies.

4. Approval of Minutes: January 17, 2024

5. Miscellaneous/Board Updates

- Sargent Pond – Solitude Lake Management's 2023 Year End Report
- 160 Peter Salem Road - Update
- 120 White Birch Street - Update

Please note that agenda items may be taken out of order.

Public Hearing
211 Baldwin St. - NOI



Town of Leicester
CONSERVATION COMMISSION
LEICESTER, MASSACHUSETTS, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

RECEIVED
2024 JAN 22 AM 9:43
TOWN CLERK'S OFFICE
LEICESTER, MASS.

PUBLIC HEARING NOTICE
Leicester Conservation Commission

211 Baldwin Street

The Leicester Conservation Commission will hold a Public Hearing on **Wednesday, February 14, 2024 at 6:35 PM** in the Conference Room of the Leicester Town Hall, 3 Washburn Square, Leicester, MA in accordance with M.G.L. c.131 s.40 and the Town of Leicester Wetland Bylaw to hear the Notice of Intent filed by James and Jennifer Mercier for the purpose of clearing, grading and tree removal within the 100' buffer zone and the 25' "No Disturb" buffer zone between the proposed new house and Stiles Reservoir. Site Location: 211 Baldwin Street, Assessors Parcel: 48-B2-0, Zone: Suburban Agricultural (SA).

Anyone wishing to comment or hear discussion should be present at the above stated date and time. The submitted documents may be viewed in the Leicester Town Conservation Commission Office during Town Hall hours or online at leicesterma.org.

Stephan Parretti, Chair
Leicester Conservation Commission

Published in Worcester Telegram & Gazette: Monday, February 5, 2024

Lisa Westwell

From: CERO_NOI@MassMail.state.ma.us
Sent: Wednesday, February 14, 2024 3:26 PM
To: aallen@ecotecinc.com; kimberly.roth@mass.gov
Cc: cero_noi@state.ma.us; Conservation Commission; Donna Main; cero_noi@state.ma.us
Subject: MassDEP NOI File Number

COMMONWEALTH OF MASSACHUSETTS
EXECUTIVE OFFICE OF ENERGY & ENVIRONMENTAL AFFAIRS
DEPARTMENT OF ENVIRONMENTAL PROTECTION
CENTRAL REGIONAL OFFICE
8 NEW BOND STREET, WORCESTER, MA 01606 508-792-7650

Date: 02/14/2024 Municipality LEICESTER

RE: **NOTIFICATION OF WETLANDS PROTECTION ACT FILE NUMBER**

The Department of Environmental Protection has received a Notice of Intent filed in accordance with the Wetlands Protection Act (M.G.L. c. 131, §40):

Applicant JAMES & JENNIFER MERCIER		Owner Address
Address	6 SABINA CIRCLE,ROCHDALE MA 01542	
Locus	211 BALDWIN STREET , LEICESTER MA 01542	

This project has been assigned the following file # : **CE 197-0710**

ISSUANCE OF A FILE NUMBER INDICATES ONLY COMPLETENESS OF SUBMITTAL, NOT APPROVAL OF APPLICATION

Although a file # is being issued, please note the following:

Should the Commission approve the project, they may also want to consider including a perpetual condition in their Order of Conditions requiring permanent memorialization fixtures such as a split rail fence, landscaping boulders, and/or signage to prevent future encroachment beyond the limit of work.

Regards,
for MassDEP,

(508)-767-2711
Kimberly.Roth@mass.gov

Account Number:	692723
Customer Name:	Leicester Planning Board
Customer Address:	Leicester Planning Board TOWN HALL 3 WASHBURN SQ LEICESTER MA 01524
Contact Name:	Justine Caggiano
Contact Phone:	508-892-7077
Contact Email:	caggianoj@leicesterma.org
PO Number:	

Date:	01/22/2024
Order Number:	9765135
Prepayment Amount:	\$ 0.00

Column Count:	1.0000
Line Count:	46.0000
Height in Inches:	0.0000

Print

Product	#Insertions	Start - End	Category
NEO WOR Telegram & Gazette	1	02/05/2024 - 02/05/2024	Govt Public Notices
NEO WOR telegram.com	1	02/05/2024 - 02/05/2024	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$61.64
Service Fee 3.99%	\$2.46
Cash/Check/ACH Discount	-\$2.46
Payment Amount by Cash/Check/ACH	\$61.64
Payment Amount by Credit Card	\$64.10

Order Confirmation Amount	\$61.64
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**PUBLIC HEARING
NOTICE**

**Leicester Conservation
Commission**

211 Baldwin Street

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Anyone wishing to comment or hear discussion should be present at the above stated date and time. The submitted documents may be viewed in the Leicester Town Conservation Commission Office during Town Hall hours or online at leicesterma.org.

Stephan Parretti, Chair
Leicester Conservation
Commission

Published in Worcester
Telegram & Gazette:

Monday, February 5, 2024

2/5/24

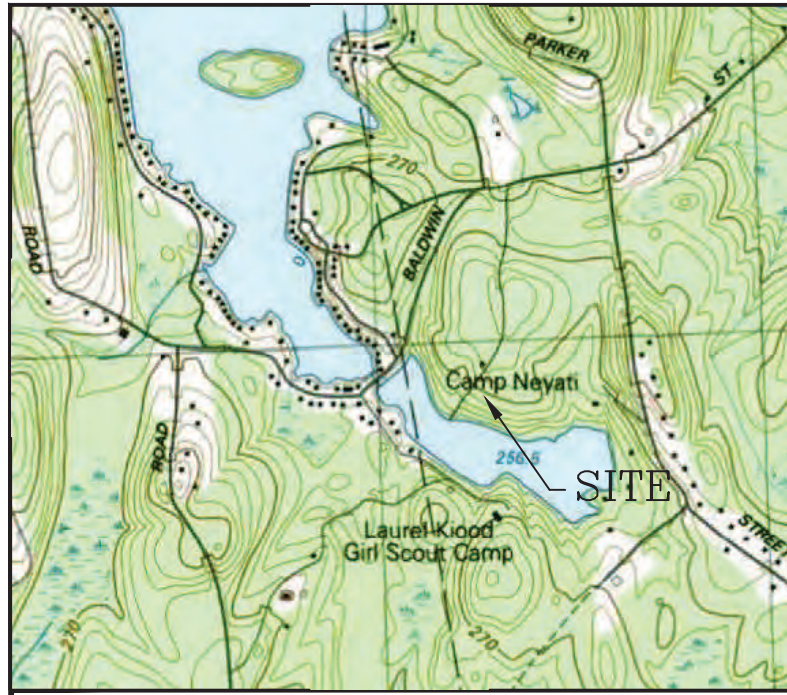
From: Arthur Allen <aallen@ecotecinc.com>
Sent: Monday, January 29, 2024 12:53 PM
To: Lisa Westwell <westwell@leicesterma.org>
Subject: RE: 211 Baldwin Street, Leicester

Hi Lisa. On my advice, the client agreed to reduce the extent of Buffer Zone clearing, at his lakefront home site. Attached is a revised site plan showing the reduction.

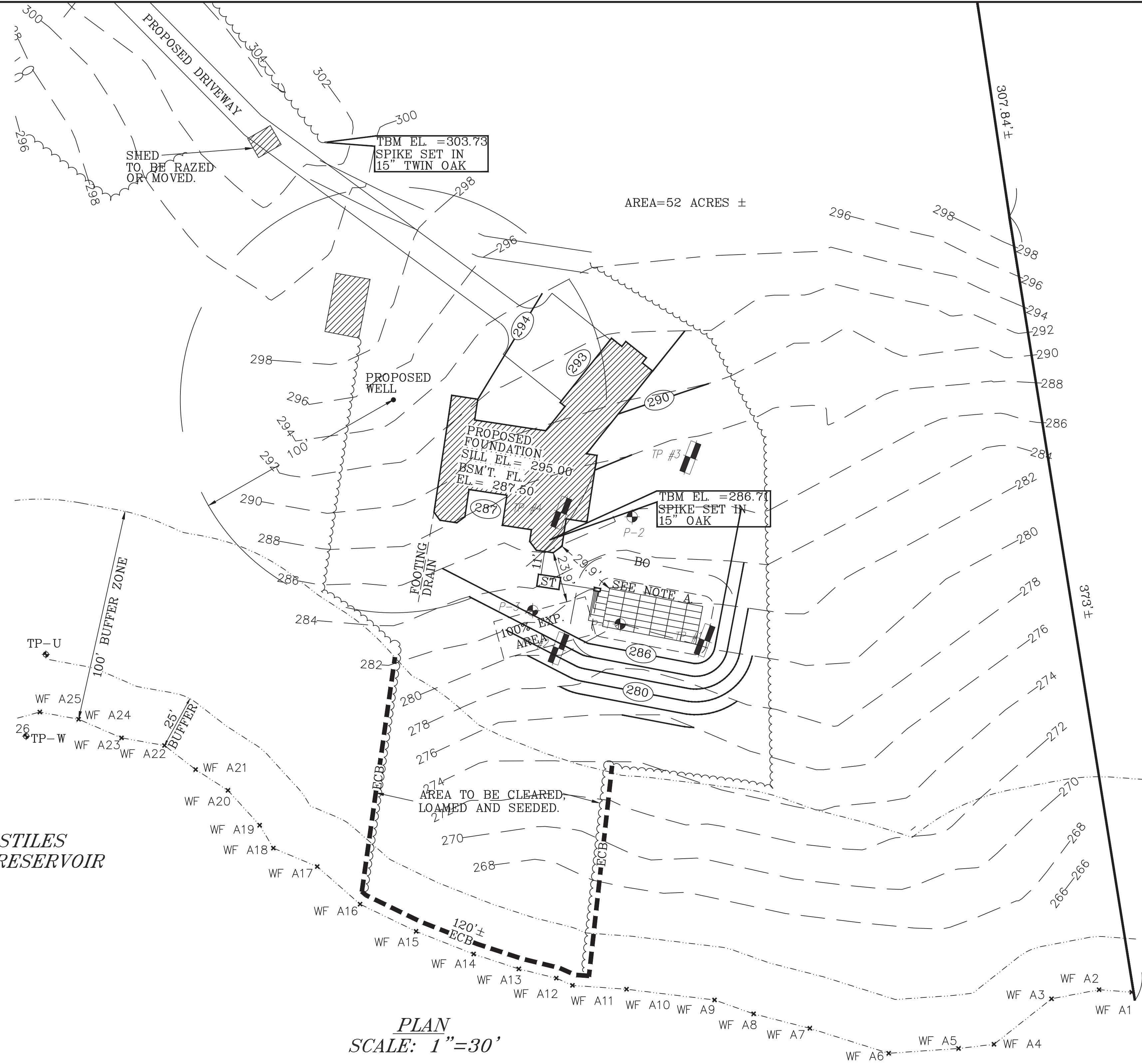
Please let me know if you'd like hard copies ahead of the meeting or if I should just bring two (or more) extra copies to the meeting?

Thanks, ART

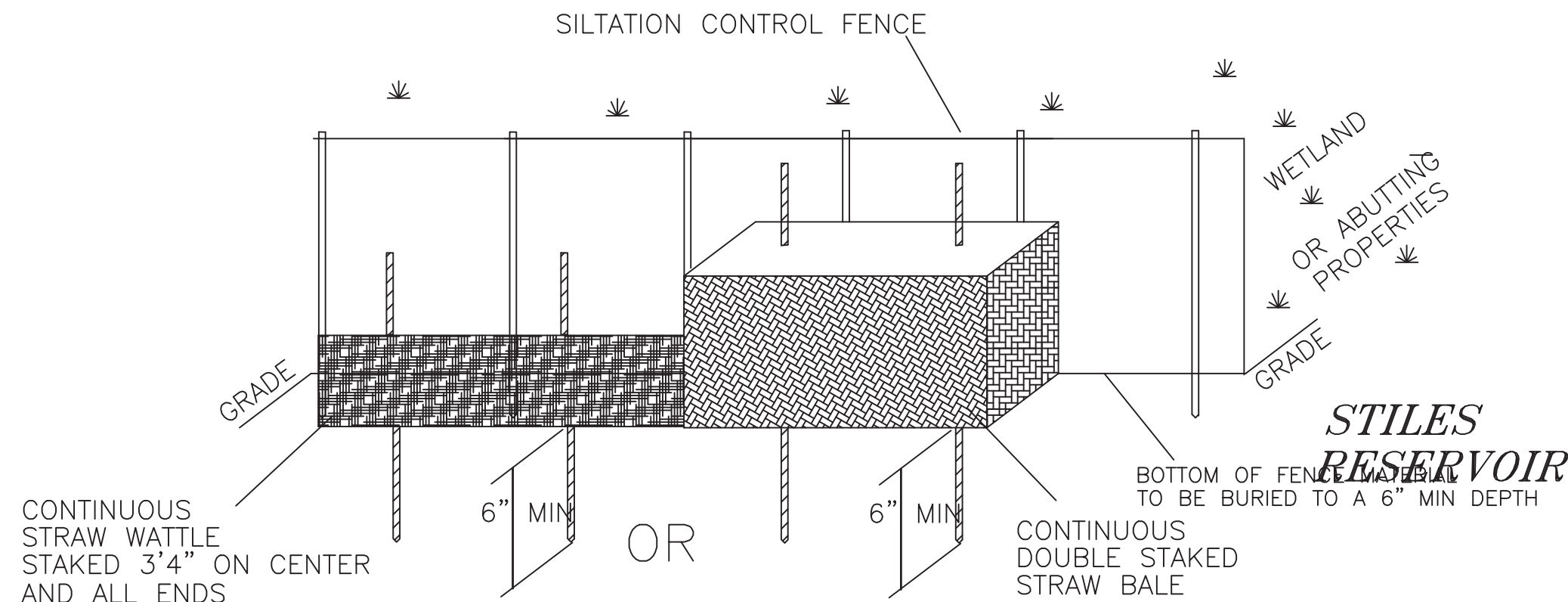
Arthur Allen, Vice President
EcoTec, Inc.
508-752-9666, ext. 224
<https://www.ecotecinc.com>



LOCUS MAP
NO SCALE



PLAN
SCALE: 1"=30'



TYPICAL ENVIRONMENTAL CONTROL BARRIER (ECB)
NO SCALE

SILT TEX EROSION FENCING
MAN. BY GEO-SYNTHETICS INC.
(OR APPROVED EQUAL)



John E. Finlay II

OWNER OF RECORD:
JENNIFER AND JAMES MERCIER
DEED BK. 58540 PG. 217
ASSESSOR'S MAP 48 PARCEL B2

GENERAL NOTES

- 1.) ALL EXISTING TOPOGRAPHICAL AND UTILITY INFORMATION WAS PREPARED BY FINLAY ENGINEERING SERVICES, WORCESTER, MA.. ELEVATIONS REFER TO AN ASSUMED DATUM.
- 2.) ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (MDPW) CONSTRUCTION STANDARDS AND THE MDPW "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", UNLESS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR THE ENGINEER.
- 3.) THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY AF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- 4.) UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX.
- 5.) THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.
- 6.) DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING SOON AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW SECURED BY JUTE NETTING WITH STAPLES. SEED FOR PERMANENT GRASS COVER SHOULD BE ACCORDING TO SOIL CONSERVATION SERVICE GUIDELINES FOR SOIL AND MOISTURE CONDITIONS FOUND ON THE SITE.
- 7.) STRAW BALES, STRAW WADDLES AND SILTATION CONTROL FENCE SHALL BE MAINTAINED UNTIL ALL SLOPES HAVE BEEN STABILIZED.
- 8.) THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY; THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF STRUCTURES AND UTILITIES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. PRIOR TO, AND DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE LOCAL UTILITY COMPANIES, WITH THE LOCAL DEPARTMENTS OF PUBLIC WORKS, OTHER CITY AND TOWN UTILITY DEPARTMENTS, APPLICABLE PRIVATELY OWNED UTILITY COMPANIES AND DIG-SAFE (1-888-344-7233) TO VERIFY UTILITY LOCATION AND TO PROTECT UTILITIES DURING AND AFTER CONSTRUCTION.
- 9.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IN COMPLETED AND ACCEPTED.
- 10.) NO TRENCHES SHALL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- 11.) STUMP GRINDINGS SHOULD BE KEPT ON THE SITE AND USED AS TEMPORARY COVER OR BERMS TO REDUCE EROSION.
- 12.) THE CONTRACTOR WILL SWEEP ANY MATERIAL THAT GETS ONTO THE ROADWAY SURFACE DAILY AND PRIOR TO RAINFALL.
- 13.) THE CONTRACTOR SHALL BRING DISTURBED AREAS TO FINAL GRADE AND INSTALL TOPSOIL AND SEED AS SOON AS POSSIBLE TO LIMIT DISTURBED AREAS ON THE SITE.
- 14.) THE WETLANDS WERE DELINEATED BY ECOTEC INC. AND LOCATED BY SHERMAN & FRYDRYK.

DATE	ISSUE	REVISION	DESCRIPTION	APP.
PROPOSED SITE PLAN				
PREPARED FOR				
JAMES MERCIER				
211 BALDWIN STREET				
LEICESTER, MASSACHUSETTS				
FINLAY ENGINEERING SERVICES			DES. JEF DWN. PPF CHK. JEF	
625 CHANDLER STREET			SCALE 1"=30' DATE: 01/29/24	
WORCESTER, MASSACHUSETTS			PLAN NUMBER	SHEET
(508) 757-1595			230020	1 OF 1

EcoTec, Inc.

ENVIRONMENTAL CONSULTING SERVICES

102 Grove Street
Worcester, MA 01605-2629
508-752-9666 – Fax: 508-752-9494

January 4, 2024

Leicester Conservation Commission
Town Hall
3 Washburn Square
Leicester, MA 01524

Re: Notice of Intent
211 Baldwin Street, Leicester
Applicant: James & Jennifer Mercier

Dear Commission Members:

Enclosed please find two (2) copies of a Notice of Intent submitted on behalf of the Applicant: James & Jennifer Mercier filed under the Wetlands Protection Act regulations and the Town of Leicester Wetlands Protection Bylaw for the above referenced property. Also enclosed, please find the following checks: 1.) a check in the amount of \$67.50 to cover the town share of the filing fee under the Act, 2.) a check in the amount of \$27.50 to cover the filing fee under the bylaw. Please note that EcoTec will pay for the Legal Advertisement promptly upon notification of the cost of the advertisement, at your direction, with information to be provided by the Commission.

This filing comprises:

1. This cover letter;
2. WPA Form 3, Notice of Intent Form; with all required attachments and copies of WPA checks;
3. Abutter's List and Form of Abutter Notice;
4. Wetland Resource Evaluation report by EcoTec dated July 7, 2023, including:
 - a. USGS Map, with site indicated;
 - b. Flood Insurance Rate Map FIRMette, with site indicated;
 - c. NHESP Atlas, including Estimated Habitats of Rare Wetlands Wildlife and Certified Vernal Pools, from MassGIS Datalayer with site indicated; and
 - d. BVW delineation field forms.
5. Waiver Requests prepared by EcoTec, Inc., (provided below).
6. Site Plans titled "Proposed Site Plan" Prepared by Finlay Engineering dated December 5, 2023 (5 full size and 3 reduced).

One (1) copy of this filing has been submitted to the Department of Environmental Protection and one copy of this filing has been submitted to the property owner. EcoTec will email an electronic version of this application to the Commission.

The proposed work includes the clearing, loam and seeding of a portion of the Buffer Zone between the proposed home and Stiles Reservoir and the removal of several additional trees, some of which are dead or in decline. To protect the resource areas during the project, an erosion control barrier consisting of silt fencing and straw wattle and/or double staked bales will be installed, monitored and maintained throughout construction. The details of the work will be as follows:

1. Stumps within the beach area/boat launch will be removed and immediately restored with topsoil and seed or by replacing with sand to ensure the area is restored to the current condition. Dead trees will be cut down to remove the hazard, with stumps remaining to ensure that resource areas are not impacted.
2. Earthwork below the house will be conducted during the growing season during a dry period to allow the area to stumped, regraded, topsoil placed, and hydroseeded as quickly as possible to ensure that the area is not left disturbed for an extended period.

The proposed work is in part within the 25-foot "No Disturb" Buffer Zone. As such, the proposed project will require a waiver from the Bylaw regulations. The waiver requires that the project must show that measures will be incorporated into the project to ensure that there will be no significant adverse impacts to resource areas. As noted above, the project will incorporate erosion controls to ensure that will protect resource areas. No direct wetland impacts are proposed. The entire project site consists of a 52+/- acre parcel, that was a former summer camp. This includes approximately 1,600-linear feet of Bank on Stiles Reservoir. The applicants wish to clear an area to allow for a yard and a view of the lake, which preserves the remainder of the site and lake frontage, which will preserve a significant amount of forest and pond frontage with no wetland impacts. The work area will allow a 5-foot Buffer to remain along the edge of Bordering Vegetated Wetland (BVW) and will impact approximately 230 feet or less than 15% of the total waterfront Buffer Zone on the site. Therefore, the applicant requests that the Conservation Commission grant a waiver based upon the information presented above.

We look forward to meeting with the Commission regarding this project. If you have any questions, please feel free to contact me at any time.

Sincerely,



Arthur Allen, CPSS
Senior Environmental Scientist



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

211 Baldwin Street

a. Street Address

Leicester

b. City/Town

01542

c. Zip Code

Latitude and Longitude:

48

f. Assessors Map/Plat Number

42.19916

d. Latitude

-71.93958

e. Longitude

B2

g. Parcel /Lot Number

2. Applicant:

James & Jennifer

a. First Name

Mercier

b. Last Name

c. Organization

6 Sabina Circle

d. Street Address

Rochdale

e. City/Town

MA

f. State

01542

g. Zip Code

508-864-3121

h. Phone Number

i. Fax Number

jim.mercier@mercierelectric.com

j. Email Address

3. Property owner (required if different from applicant): ☐ Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Arthur

a. First Name

Allen

b. Last Name

EcoTec, Inc.

c. Company

102 Grove Street, Suite 110

d. Street Address

Worcester

e. City/Town

MA

f. State

01605

g. Zip Code

508-752-9666

h. Phone Number

i. Fax Number

aallen@ecotecinc.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

110.00

a. Total Fee Paid

42.50

b. State Fee Paid

67.50

c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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A. General Information (continued)

6. General Project Description:

The proposed project consists of clearing, grading and tree removal within the 100-foot Buffer Zone.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input checked="" type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Worcester

a. County

58540

c. Book

b. Certificate # (if registered land)

217

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- ☒ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- ☐ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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Leicester

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- ☐ 25 ft. - Designated Densely Developed Areas only
- ☐ 100 ft. - New agricultural projects only
- ☐ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? ☐ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☐ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____ 2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	

4. ☐ Restoration/Enhancement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW _____

b. square feet of Salt Marsh _____

5. ☐ Project Involves Stream Crossings

a. number of new stream crossings _____

b. number of replacement stream crossings _____



Massachusetts Department of Environmental Protection
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C. Other Applicable Standards and Requirements

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

August 1, 2021

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☐ Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

C. Other Applicable Standards and Requirements (cont'd)

- (c) ☐ MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) ☐ Vegetation cover type map of site

- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. ☐ Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing.

a. NHESP Tracking #

b. Date submitted to NHESP

3. ☐ Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. ☒ Not applicable – project is in inland resource area only b. ☐ Yes ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Bourne to Rhode Island border, and the Cape & Islands:

North Shore - Plymouth to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. ☐ Is this an aquaculture project?

- d. ☐ Yes ☐ No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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Leicester

City/Town

C. Other Applicable Standards and Requirements (cont'd)

Online Users:

Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. ☐ Yes ☒ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. ☐ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. ☐ A portion of the site constitutes redevelopment
 3. ☐ Proprietary BMPs are included in the Stormwater Management System.
- b. ☒ No. Check why the project is exempt:
 1. ☒ Single-family house
 2. ☐ Emergency road repair
 3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

D. Additional Information (cont'd)

3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. ☒ List the titles and dates for all plans and other materials submitted with this NOI.

Proposed Site Plan- 211 Baldwin Street, Leicester

a. Plan Title

Finlay Engineering Services

John Finlay, PE

b. Prepared By

c. Signed and Stamped by

12/5/23

1" = 30'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☐ Attach Stormwater Report, if needed.

E. Fees

1. ☐ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1003

12/26/23

2. Municipal Check Number

3. Check date

1004

12/26/23

4. State Check Number

5. Check date

James & Jennier

Mercier

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number


Leicester

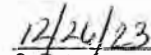
City/Town

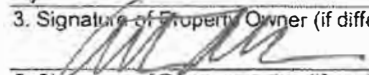
F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.


1. Signature of Applicant


2. Date


3. Signature of Property Owner (if different)

4. Date
1/5/2024

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

211 Baldwin Street

a. Street Address

1004

c. Check number

Leicester

b. City/Town

42.50

d. Fee amount

2. Applicant Mailing Address:

James and Jennifer

a. First Name

Mercier

b. Last Name

c. Organization

6 Sabina Circle

d. Mailing Address

Rochdale

e. City/Town

MA

f. State

01542

g. Zip Code

508-864-3121

h. Phone Number

i. Fax Number

jim.mercier@mercierelectric.com

j. Email Address

3. Property Owner (if different):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category I (work assoc. with SFH)	1	110.00	110.00
Step 5/Total Project Fee:			110.00

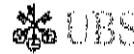
Total Project Fee:	110.00
	a. Total Fee from Step 5
State share of filing Fee:	42.50
	b. 1/2 Total Fee less \$12.50
City/Town share of filling Fee:	67.50
	c. 1/2 Total Fee plus \$12.50

a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

Page 2 of 2

JAMES R. MERCIER
JENNIFER L. MERCIER JTWROS
6 SABRINA CIRCLE
ROCHDALE, MA 01542-1022



UBS Financial Services Inc.

1005

25-80/440

DEC 26 2023

DATE

PAY TO THE
ORDER OF

TOWN OF LEICESTER

\$ 27.50

TWENTY SEVEN AND 50/100

DOLLARS



Resource Management Account®
800-762-1000
UMB Bank, N.A.
Kansas City, MO 64106

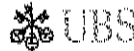
ABCDEFGHIJKL MNOPQRST UVWXYZ

MEMO

211 BALDWIN ST.

[Redacted]

JAMES R. MERCIER
JENNIFER L. MERCIER JTWROS
6 SABRINA CIRCLE
ROCHDALE, MA 01542-1022



UBS Financial Services Inc.

1004

25-80/440

DEC 26 2023

DATE

PAY TO THE
ORDER OF

COMMONWEALTH OF MASSACHUSETTS

\$ 42.50

Forty two AND 50/100

DOLLARS



Resource Management Account®
800-762-1000
UMB Bank, N.A.
Kansas City, MO 64106

ABCDEFGHIJKL MNOPQRST UVWXYZ

MEMO

211 BALDWIN ST.

[Redacted]

JAMES R. MERCIER
JENNIFER L. MERCIER JTWROS
6 SABRINA CIRCLE
ROCHDALE, MA 01542-1022



UBS Financial Services Inc.

1003

25-80/440

DEC 26 2023

DATE

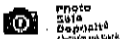
PAY TO THE
ORDER OF

TOWN OF LEICESTER

\$ 67.50

SIXTY SEVEN AND 50/100

DOLLARS



Resource Management Account®
800-762-1000
UMB Bank, N.A.
Kansas City, MO 64106

ABCDEFGHIJKL MNOPQRST UVWXYZ

MEMO

211 BALDWIN ST.

[Redacted]

ABUTTER NOTIFICATION REQUIREMENTS

The Wetlands Protection Act at 310 CMR 10.05 states:

“Concurrent with the filing of the Notice of Intent, the applicant shall provide notification to all Abutters. Notwithstanding the foregoing, the requirement to provide Abutter notification is subject to the following limits. An applicant is required to provide notification to an Abutter whose Lot is separated from the Project Locus by a public or private street or body of water only if the Abutter's Lot is within 100 feet from the property line of the Project Locus. An applicant who proposes work solely within Land under Water Bodies or Waterways, or solely within a Lot with an area greater than 50 acres, is required to provide notification only to Abutters whose Lot is within one hundred feet from the Project Site.....”

The project parcel consists of 52.2+/- acres of land. As such in accordance with the Wetlands Protection Act regulations only abutters whose lot is within one hundred feet of the project site are required to be notified. There are none.

The Town of Leicester Abutter Notification requirements use the same procedure but extend the notification requirement to 300-feet (see abutter list application sheet, attached.) The only abutters within 300-feet of the work area are the following:

Walls Walter J Trustee Walls
Judith A Trustee
33 Parker Street
Rochdale, MA 01542

Stiles Lake Water District
P.O. Box 401
Rochdale, MA 01542

Therefore, in accordance with the regulations these abutters were notified.

A B U T T E R S L I S T R E Q U E S T

TOWN OF LEICESTER

ASSESSORS HAVE TEN DAYS TO PROCESS YOUR REQUEST, PLEASE PLAN AHEAD!

**\$10.00 PREPAID AT TIME OF REQUEST FOR FIRST THREE PAGES, \$5.00 PER PAGE AT
TIME OF PICKUP FOR EACH ADDITIONAL PAGE.**

Subject Information

Parcel	Assessors Map: 48	Parcel: B2	Deed Ref#: 58540-217
Owner(s)	James & Jennifer Mercier		
Street Address	211 Baldwin Street		

Requestor Information

Name	Scott Morrison, EcoTec		
Telephone	508-328-5935	Email	smorrison@ecotecinc.com

	Board/Department	Description of Required Abutters List
	Conservation Commission RDA	Direct abutters, including abutters across any street
<input checked="" type="radio"/>	Conservation Commission NOI	Abutters and abutters to abutters within <u>300 feet</u> , including across any street or body of water ¹
	Planning Board Special Permit, <u>Major</u> Site Plan Review, or Definitive Subdivision	Abutters and abutters to abutters within <u>300 feet</u> , including across any street
	Zoning Board of Appeals Special Permit OR Variance	Abutters and abutters to abutters within <u>300 feet</u> , including across any street
	Board of Health	Specify Distance (consult with Board of Health Staff to determine the required distance) _____
	Board of Selectmen Class II License	Direct abutters, including abutters across any street
	Board of Selectmen Liquor License	Direct abutters, including abutters across any street AND schools, churches, or hospitals within 500 feet
	Other: Please specify Board/Department _____	Please specify: _____ Direct Abutters <u>300</u> feet Other: _____

¹ An applicant who proposes work solely within Land under Water Bodies or Waterways, or solely within a Lot with an area greater than 50 acres, is required to provide notification only to Abutters whose Lot is within three hundred feet from the *Project Site*. An applicant proposing a Linear- shaped Project greater than 1,000 feet in length is required to provide notification only to Abutters whose Lot is within 1,000 feet from the *Project Site*.



300 feet Abutters List Report

Leicester, MA
January 04, 2024

Subject Property:

Parcel Number: 48-B2-0
CAMA Number: 48-B2-0
Property Address: 211 BALDWIN ST

Mailing Address: MERCIER JAMES R
MERCIER JENNIFER L
6 SABINA CR
ROCHDALE, MA 01542

Abutters:

Parcel Number: 42-A3.3-0
CAMA Number: 42-A3.3-0
Property Address: 208 BALDWIN ST

Mailing Address: JERRY RICHARD J GENTILE-JERRY
LISA A
208 BALDWIN ST
LEICESTER, MA 01524

Parcel Number: 42-A3.4-0
CAMA Number: 42-A3.4-0
Property Address: 2 SALMINEN DR

Mailing Address: JONES HOTROD
2 SALMINEN DR
LEICESTER, MA 01524

Parcel Number: 42-A3.5-0
CAMA Number: 42-A3.5-0
Property Address: PARKER ST

Mailing Address: GENERELLI JR THOMAS A
7 BULLARD AV
WORCESTER, MA 01605

Parcel Number: 42-A3-0
CAMA Number: 42-A3-0
Property Address: 6 SALMINEN DR

Mailing Address: GOULD MICHAEL M GOULD KAREN J
6 SALMINEN DRIVE
LEICESTER, MA 01524

Parcel Number: 42-A5.3-0
CAMA Number: 42-A5.3-0
Property Address: 204 BALDWIN ST

Mailing Address: BROUILLARD ROBERT J BROUILLARD
CHRISTINE M
204 BALDWIN ST
LEICESTER, MA 01524

Parcel Number: 42-A5.4-0
CAMA Number: 42-A5.4-0
Property Address: 206 BALDWIN ST

Mailing Address: DUMAS RICHARD J DUMAS ELIZABETH
M
206 BALDWIN ST
LEICESTER, MA 01524

Parcel Number: 42-D1-0
CAMA Number: 42-D1-0
Property Address: 1 SALMINEN AV

Mailing Address: HESSELTON TRACY J
1 SALMINEN DRIVE
LEICESTER, MA 01524

Parcel Number: 48-A1.1-0
CAMA Number: 48-A1.1-0
Property Address: 3 OAK BLUFF LN

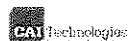
Mailing Address: FRASER SELENA
3 OAK BLUFF LANE
LEICESTER, MA 01524

Parcel Number: 48-A1.2-0
CAMA Number: 48-A1.2-0
Property Address: 218 BALDWIN ST

Mailing Address: MILEWSKI PIOTR MILEWSKI JENNIFER
218 BALDWIN ST
LEICESTER MA, MA 01524

Parcel Number: 48-A1.3-0
CAMA Number: 48-A1.3-0
Property Address: 220 BALDWIN ST

Mailing Address: JAQUITH ROBERT JAQUITH STEPHANIE
ANN
220 BALDWIN ST
LEICESTER, MA 01524



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1/4/2024

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Page 1 of 3



300 feet Abutters List Report

Leicester, MA
January 04, 2024

Parcel Number: 48-A1.4-0
CAMA Number: 48-A1.4-0
Property Address: 222 BALDWIN ST

Mailing Address: DUPONT RICHARD DUPONT SUSAN
222 BALDWIN ST
LEICESTER, MA 01524

Parcel Number: 48-A1.5-0
CAMA Number: 48-A1.5-0
Property Address: 4 OAK BLUFF LN

Mailing Address: JENNINGS DAWN L.
4 OAK BLUFF LANE
LEICESTER, MA 01524

Parcel Number: 48-A1.6-0
CAMA Number: 48-A1.6-0
Property Address: 6 OAK BLUFF LN

Mailing Address: PATEL HASITKUMAR
1044 MAIN ST
LEICESTER, MA 01524

Parcel Number: 48-A1-0
CAMA Number: 48-A1-0
Property Address: 2 OAK BLUFF LN

Mailing Address: SHARMA KRISTAN KIRAN
2 OAK BLUFF LN
LEICESTER, MA 01524

Parcel Number: 48-B1.1-0
CAMA Number: 48-B1.1-0
Property Address: 205 BALDWIN ST

Mailing Address: KIM HAING KIM YOUNG
205 BALDWIN ST
LEICESTER, MA 01524

Parcel Number: 48-B1.2-0
CAMA Number: 48-B1.2-0
Property Address: 203 BALDWIN ST

Mailing Address: MCLEOD LINDA A MCLEOD EDMUND
203 BALDWIN STREET
LEICESTER, MA 01524

Parcel Number: 48-B1.3-0
CAMA Number: 48-B1.3-0
Property Address: 51 PARKER ST

Mailing Address: VALENTI TIMOTHY E VALENTI BRENDA
51 PARKER STREET
ROCHDALE, MA 01542

Parcel Number: 48-B1-0
CAMA Number: 48-B1-0
Property Address: 207 BALDWIN ST

Mailing Address: SIMPSON BRYAN E
207 BALDWIN ST
LEICESTER, MA 01524

Parcel Number: 48-B2.1-0
CAMA Number: 48-B2.1-0
Property Address: 39 PARKER ST

Mailing Address: ADU THERESA
39 PARKER ST
ROCHDALE, MA 01542

Parcel Number: 48-B2.2-0
CAMA Number: 48-B2.2-0
Property Address: 41 PARKER ST

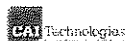
Mailing Address: GENTILE LAWRENCE P GENTILE
KAREN L
49 BLUEBERRY HILL
WEBSTER, MA 01570

Parcel Number: 48-B2.3-0
CAMA Number: 48-B2.3-0
Property Address: 43 PARKER ST

Mailing Address: JOHNSON TRAVIS
89 DOWNEY RD
N BROOKFIELD, MA 01535

Parcel Number: 48-B2.4-0
CAMA Number: 48-B2.4-0
Property Address: 45 PARKER ST

Mailing Address: KULARSKI ANDREW S KULARSKI
JENNA R
45 PARKER ST
ROCHDALE, MA 01542



www.cai-tech.com

1/4/2024

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Page 2 of 3



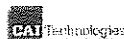
300 feet Abutters List Report

Leicester, MA
January 04, 2024

Parcel Number: 48-B3.1-0 CAMA Number: 48-B3.1-0 Property Address: 37 PARKER ST	Mailing Address: WALLS ROBERT J GRABAUSKAS DEBRA A 37 PARKER STREET ROCHDALE, MA 01542
Parcel Number: 48-B3.2-0 CAMA Number: 48-B3.2-0 Property Address: 35 PARKER ST	Mailing Address: WALLS STEVEN WALLS LYNNE M 35 PARKER ST ROCHDALE, MA 01542
Parcel Number: 48-B3-0 CAMA Number: 48-B3-0 Property Address: 33 PARKER ST	Mailing Address: WALLS WALTER J TRUSTEE WALLS JUDITH A TRUSTEE 33 PARKER ST ROCHDALE, MA 01542
Parcel Number: 48-B5-0 CAMA Number: 48-B5-0 Property Address: P/O STILES RESERVOIR	Mailing Address: STILES LAKE WATER DISTRICT PO BOX 401 ROCHDALE, MA 01542-0401
Parcel Number: 48-C10.4-0 CAMA Number: 48-C10.4-0 Property Address: 46 PARKER ST	Mailing Address: VAN HAZINGA JONATHAN A VAN HAZINGA HEATHER M 46 PARKER ST ROCHDALE, MA 01542
Parcel Number: 48-C10.6-0 CAMA Number: 48-C10.6-0 Property Address: 48 PARKER ST	Mailing Address: ROONEY JUSTIN P 48 PARKER ST ROCHDALE, MA 01542
Parcel Number: 48-C12-0 CAMA Number: 48-C12-0 Property Address: 199 BALDWIN ST	Mailing Address: DONOVAN DANIEL F DONOVAN CINDY R 199 BALDWIN ST LEICESTER, MA 01524
Parcel Number: 48-C13-0 CAMA Number: 48-C13-0 Property Address: 50 PARKER ST	Mailing Address: CASTILLO HERNANDO CASTILLO MARIANA 50 PARKER ST ROCHDALE, MA 01542

Above is a certified list of abutters and abutters to abutters within 300 feet including across the street.
Subject Property: 211 Baldwin Street Map 48 Lot B2 Deed reference Book 58540 page 217
Subject Owners: James r and Jennifer L Mercier
Certified by Alyce D Johns, Interim Assessor

Alyce D Johns



www.cai-tech.com

1/4/2024

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Page 3 of 3

ADU THERESA
39 PARKER ST
ROCHDALE, MA 01542

HESELTON TRACY J
1 SALMINEN DRIVE
LEICESTER, MA 01524

PATEL HASITKUMAR
1044 MAIN ST
LEICESTER, MA 01524

BROUILLARD ROBERT J
BROUILLARD CHRISTINE M
204 BALDWIN ST
LEICESTER, MA 01524

JAQUITH ROBERT
JAQUITH STEPHANIE ANN
220 BALDWIN ST
LEICESTER, MA 01524

ROONEY JUSTIN P
48 PARKER ST
ROCHDALE, MA 01542

CASTILLO HERNANDO
CASTILLO MARIANA
50 PARKER ST
ROCHDALE, MA 01542

JENNINGS DAWN L.
4 OAK BLUFF LANE
LEICESTER, MA 01524

SHARMA KRISTAN KIRAN
2 OAK BLUFF LN
LEICESTER, MA 01524

DONOVAN DANIEL F
DONOVAN CINDY R
199 BALDWIN ST
LEICESTER, MA 01524

JERRY RICHARD J
GENTILE-JERRY LISA A
208 BALDWIN ST
LEICESTER, MA 01524

SIMPSON BRYAN E
207 BALDWIN ST
LEICESTER, MA 01524

DUMAS RICHARD J
DUMAS ELIZABETH M
206 BALDWIN ST
LEICESTER, MA 01524

JOHNSON TRAVIS
89 DOWNEY RD
N BROOKFIELD, MA 01535

STILES LAKE WATER DISTRICT
PO BOX 401
ROCHDALE, MA 01542-0401

DUPONT RICHARD
DUPONT SUSAN
222 BALDWIN ST
LEICESTER, MA 01524

JONES HOTROD
2 SALMINEN DR
LEICESTER, MA 01524

VALENTI TIMOTHY E
VALENTI BRENDA
51 PARKER STREET
ROCHDALE, MA 01542

FRASER SELENA
3 OAK BLUFF LANE
LEICESTER, MA 01524

KIM HAING
KIM YOUNG
205 BALDWIN ST
LEICESTER, MA 01524

VAN HAZINGA JONATHAN A
VAN HAZINGA HEATHER M
46 PARKER ST
ROCHDALE, MA 01542

GENERELLI JR THOMAS A
7 BULLARD AV
WORCESTER, MA 01605

KULARSKI ANDREW S
KULARSKI JENNA R
45 PARKER ST
ROCHDALE, MA 01542

WALLS ROBERT J
GRABAUSKAS DEBRA A
37 PARKER STREET
ROCHDALE, MA 01542

GENTILE LAWRENCE P
GENTILE KAREN L
49 BLUEBERRY HILL
WEBSTER, MA 01570

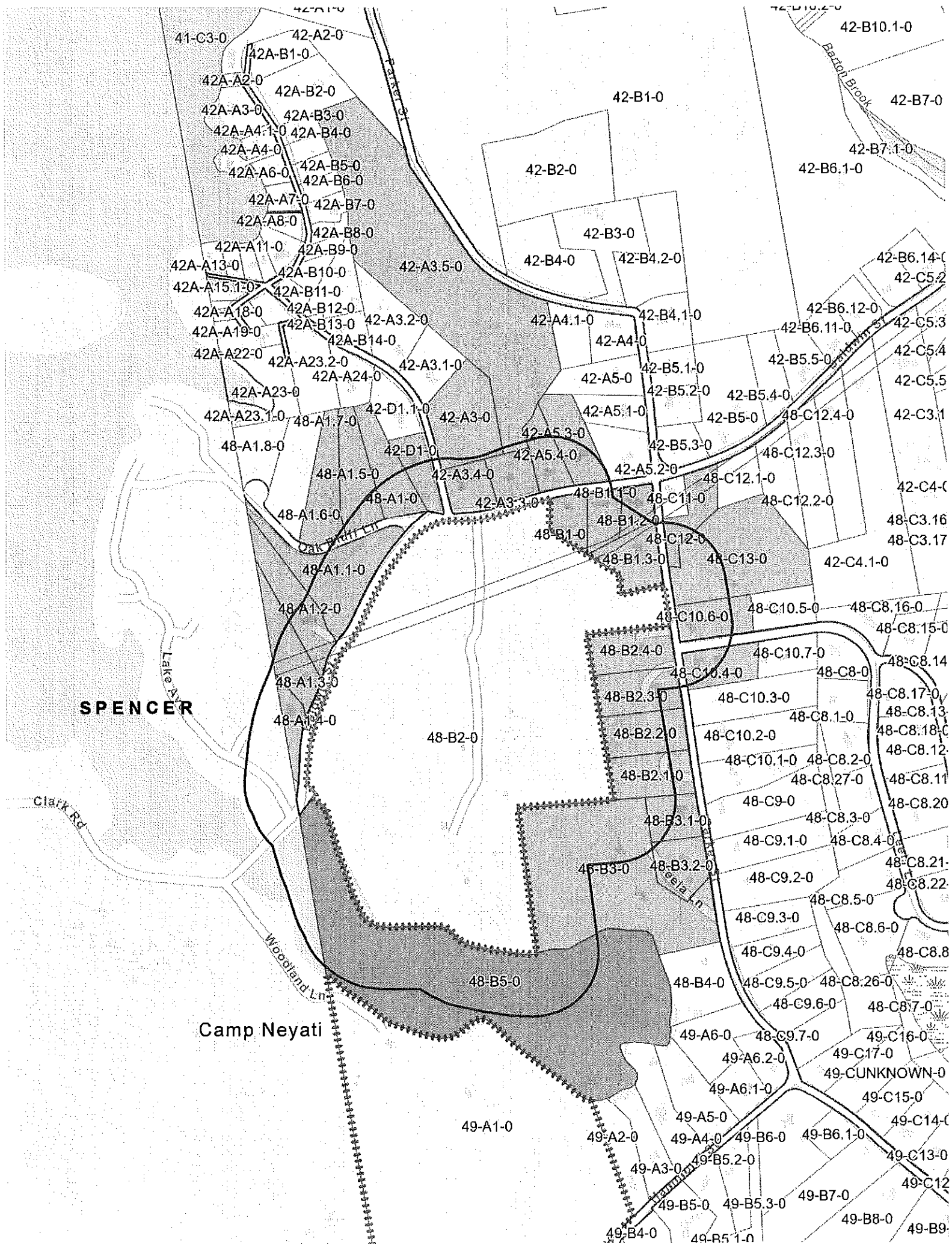
MCLEOD LINDA A
MCLEOD EDMUND
203 BALDWIN STREET
LEICESTER, MA 01524

WALLS STEVEN
WALLS LYNNE M
35 PARKER ST
ROCHDALE, MA 01542

GOULD MICHAEL M
GOULD KAREN J
6 SALMINEN DRIVE
LEICESTER, MA 01524

MILEWSKI PIOTR
MILEWSKI JENNIFER
218 BALDWIN ST
LEICESTER MA, MA 01524

WALLS WALTER J TRUSTEE
WALLS JUDITH A TRUSTEE
33 PARKER ST
ROCHDALE, MA 01542



Notification of Abutters Under the
Massachusetts Wetlands Protection Act and the Town of Leicester Wetlands Bylaw

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

- A. The name of the applicant is James & Jennifer Mercier.
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of Leicester seeking permission to remove trees and regrade a portion of the property located within the 100-foot Buffer Zone to an Area Subject to Protection Under the Wetlands Protection Act (General Laws Chapter 131, Section 40) and the Town of Leicester Wetlands Bylaw.
- C. The address where the planned activity will take place is 211 Baldwin Street, Leicester.
- D. Copies of the Notice of Intent may be examined and obtained by making an appointment at EcoTec, Inc., 102 Grove Street, Worcester, MA, during regular business hours.

For more information call Arthur Allen of EcoTec at (508) 752-9666 to make an appointment to review the filing materials. This is the applicant's representative.

- E. Information regarding the date, time and place of the public hearing may be obtained from EcoTec, Inc., by calling this telephone number (508) 752-9666 during regular business hours.

NOTE: Notice of the public hearing, including the date, time and place will be published at least five (5) days in advance in the Worcester Telegram.

NOTE: Notice of the public hearing, including the date, time and place will be posted in the City or Town Hall not less than forty-eight (48) hours in advance.

NOTE: You also may contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call:

Central Region: 508-792-7650

EcoTec, Inc.
ENVIRONMENTAL CONSULTING SERVICES
102 Grove Street, Suite 110
Worcester, MA 01605-2629
508-752-9666 – Fax: 508-752-9494

July 7, 2023

Jim Mercier
211 Baldwin Street
Leicester, MA 01424

RE: Wetland Resource Evaluation, 211 Baldwin Street, Leicester, Massachusetts

Dear Mr. Mercier:

On June 30, 2023, EcoTec, Inc. inspected the above-referenced property for the presence of wetland resources as defined by: (1) the Massachusetts Wetlands Protection Act (M.G.L. Ch. 131, § 40; the “Act”) and its implementing regulations (310 CMR 10.00 *et seq.*; the “Regulations”); (2) the U.S. Clean Water Act (i.e., Section 404 and 401 wetlands); and (3) the Town of Leicester Wetlands Protection Bylaw. Scott M. Morrison, PWS conducted the inspection.

The subject site consists of a 50-acre parcel located to the south of Baldwin Street and north of Stiles Reservoir containing the former Camp Neyati. The portion of the site inspected consists of the southwestern portion of the site between the existing barn and the Lake. The upland portions of the site consist of undeveloped forest with several outbuildings and camp platforms. Plant species observed include northern red oak (*Quercus rubra*), white oak (*Quercus alba*), eastern white pine (*Pinus strobus*), black cherry (*Prunus serotina*), red maple (*Acer rubrum*), sugar maple (*Acer saccharum*), American beech (*Fagus grandifolia*), shag-bark hickory (*Carya ovata*), white ash (*Fraxinus americana*), black birch (*Betula lenta*), and sassafras (*Sassafras albidum*) trees and/or saplings; poison ivy (*Toxicodendron radicans*), Virginia creeper (*Parthenocissus quinquefolia*) climbing woody vines; American witch-hazel (*Hamamelis virginiana*), highbush blueberry (*Vaccinium corymbosum*), mountain laurel (*Kalmia latifolia*), eastern red cedar (*Juniperus virginiana*), American hazel-nut (*Corylus americana*), black huckleberry (*Gaylussacia baccata*), and maple-leaf viburnum (*Viburnum acerifolium*) shrubs; and sheep-laurel (*Kalmia angustifolia*), lowbush blueberry (*Vaccinium angustifolium*), wild sarsaparilla (*Aralia nudicaulis*), tree clubmoss (*Lycopodium obscurum*), trailing clubmoss (*Lycopodium complanatum*), bracken fern (*Pteridium aquilinum*), hayscented fern (*Dennstaedtia punctilobula*), teaberry (*Gaultheria procumbens*), partridge-berry (*Mitchella repens*), feather false-Solomon’s-seal (*Smilacina racemosa*), wild-lily-of-the-valley (*Maianthemum canadense*), striped pipsissewa (*Chimaphila maculata*), and Indian pipe (*Monotropa uniflora*) ground cover. The wetland resources observed on the site are described below.

Methodology

The site was inspected, and areas suspected to qualify as wetland resources were identified. The boundary of Bordering Vegetated Wetlands or, in the absence of Bordering Vegetated Wetlands, Bank was delineated in the field in accordance with the definitions set forth in the regulations at 310 CMR 10.55(2)(c) and 310 CMR 10.54(2). Section 10.55(2)(c) states that “The boundary of Bordering Vegetated Wetlands is the line within which 50% or more of the vegetational community consists of wetland indicator plants and saturated or inundated conditions exist.” Section 10.54(2)(c) states that “The upper boundary of Bank is the first observable break in the slope or the mean annual flood level, whichever is lower.” The methodology used to delineate Bordering Vegetated Wetlands is further described in: (1) the BVW Policy “*BVW: Bordering Vegetated Wetlands Delineation Criteria and Methodology*,” issued March 1, 1995; and (2) “*Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act: A Handbook*,” produced by the Massachusetts Department of Environmental Protection, dated March 1995. The plant taxonomy used in this report is based on the *National List of Plant Species that Occur in Wetlands: Massachusetts* (Fish and Wildlife Service, U.S. Department of the Interior, 1988). Federal wetlands were presumed to have boundaries conterminous with the delineated Bordering Vegetated Wetlands and Bank. One set of DEP Bordering Vegetated Wetland Delineation Field Data Forms completed for observation plots located in the wetlands and uplands near flag A-25 is attached. The table below provides the Flag Numbers, Flag Type, and Wetland Types and Locations for the delineated wetland resources.

Flag Numbers	Flag Type	Wetland Types and Locations
Start A1 to A43 Stop	Blue Flags	Boundary of Bank/narrow fringe of Bordering Vegetated Wetlands located in the southern portion of the site that is associated with Stiles Reservoir.

Findings

Wetland A (i.e., flags A1 to A43) consists of a fringe of forested/shrub swamp located in the western portion of the site that is associated with a pond. Plant species observed include willow (*Salix sp.*), common buttonbush (*Cephalanthus occidentalis*), American elder (*Sambucus canadensis*), steeple-bush (*Spiraea tomentosa*), and broad-leaf meadow-sweet (*Spiraea latifolia*) shrubs; and grasses (Gramineae sp.), sedges (Cyperaceae sp.), rushes (Juncaceae sp.), broad-leaf cattail (*Typha latifolia*), narrow-leaf cattail (*Typha angustifolia*), purple loosestrife (*Lythrum salicaria*), wool-grass (*Scirpus cyperinus*), tussock sedge (*Carex stricta*), soft rush (*Juncus effusus*), spotted touch-me-not (*Impatiens capensis*), golden-rods (*Solidago sp.*), fragrant-golden-rods (*Euthamia sp.*), sensitive fern (*Onoclea sensibilis*), bedstraw (*Gallium sp.*), aster (*Aster sp.*), beggar-tick's (*Bidens sp.*), blueflag (*Iris versicolor*), common boneset (*Eupatorium perfoliatum*), butter-cup (*Ranunculus sp.*), blue vervain (*Verbena hastata*),

smartweed (*Polygonum sp.*), horsetail (*Equisetum sp.*), skunk-cabbage (*Symplocarpus foetidus*), spotted Joe-pye-weed (*Eupatoriadelphus maculatus*), swamp Jack-in-the-pulpit (*Arisaema triphyllum*), and sphagnum moss (*Sphagnum sp.*) ground cover. Evidence of wetland hydrology, including hydric soils, high groundwater, saturated soils, evidence of flooding, and drainage patterns, was observed within the delineated wetland. This vegetated wetland borders a pond; accordingly, the vegetated wetlands would be regulated as Bordering Vegetated Wetlands and the pond would be regulated as Bank and Land Under Water Bodies and Waterways under the Act and Bylaw. A 100-foot Buffer Zone extends horizontally outward from the edge of Bordering Vegetated Wetlands and Bank under the Act and Bylaw.

Bordering Land Subject to Flooding is an area that floods due to a rise in floodwaters from a bordering waterway or water body. Where flood studies have been completed, the boundary of Bordering Land Subject to Flooding is based upon flood profile data prepared by the National Flood Insurance Program. Section 10.57(2)(a)3. states that “The boundary of Bordering Land Subject to Flooding is the estimated maximum lateral extent of flood water which will theoretically result from the statistical 100-year frequency storm.” Based upon a review of the Flood Insurance Rate Map, Worcester County, Massachusetts, Map Number 25027C0780F, Effective Date June 21, 2023, there is a mapped Zone A (i.e., 100-year floodplain with an unspecified flood elevation) located over the reservoir. The project engineer should evaluate the most recent National Flood Insurance Program flood profile data to determine if Bordering Land Subject to Flooding occurs on the site. Bordering Land Subject to Flooding would occur in areas where the 100-year flood elevation is located outside of or upgradient of the delineated Bordering Vegetated Wetlands or Bank boundary. Bordering Land Subject to Flooding does not have a Buffer Zone under the Act.

The Massachusetts Rivers Protection Act amended the Act to establish an additional wetland resource area: Riverfront Area. Based upon a review of the current USGS Map (attached) and observations made during the site inspection, there are no mapped or unmapped streams located within 200 feet of the site. Accordingly, Riverfront Area would not occur on the site. Riverfront Area does not have a Buffer Zone under the Act.

The Regulations require that no project may be permitted that will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures set forth at 310 CMR 10.59. Based upon a review of the *Massachusetts Natural Heritage Atlas*, 15th edition, Priority Habitats and Estimated Habitats from the NHESP Interactive Viewer, valid from August 1, 2021, and Certified Vernal Pools from MassGIS, there are no Estimated Habitats [for use with the Act and Regulations (310 CMR 10.00 *et seq.*)], Priority Habitats [for use with Massachusetts Endangered Species Act (M.G.L. Ch. 131A; “MESA”) and MESA Regulations (321 CMR 10.00 *et seq.*)], or Certified Vernal Pools on or in the immediate vicinity of the site. A copy of this map is attached.

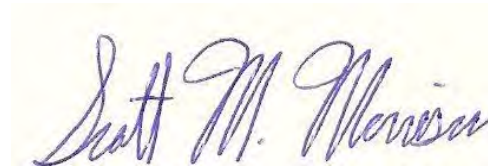
211 Baldwin Street, Leicester

July 7, 2023

Page 4.

The reader should be aware that the regulatory authority for determining wetland jurisdiction rests with local, state, and federal authorities. A brief description of my experience and qualifications is attached. If you have any questions, please feel free to contact me at any time.

Cordially,
ECOTEC, INC.



Scott M. Morrison, PWS
Senior Environmental Scientist

Attachments (5, 11 pages)

17/E/LeicesterBaldwin211Report

EcoTec, Inc.

ENVIRONMENTAL CONSULTING SERVICES

102 Grove Street

Worcester, MA 01605-2629

508-752-9666 – Fax: 508-752-9494

Scott M. Morrison, PWS, CERP, RPSS, SE **Senior Environmental Scientist**

Scott Morrison is a Senior Environmental Scientist with EcoTec, Inc. Since joining EcoTec in 2000, Mr. Morrison's project experience include wetland resource evaluation, delineation, and permitting at the local, state, and federal levels; wildlife habitat evaluation; pond and stream evaluation; vernal pool evaluation, monitoring, and certification; wetland replacement, replication, and restoration area design, construction, and monitoring; soil evaluations to determine infiltration rates and seasonal high groundwater elevations for detention basin construction; environmental sampling and analysis tasks, including soil and groundwater sample collection and handling; and expert testimony preparation. He has conducted rare species habitat assessments for the eastern box turtle, wood turtle, Blanding's turtle, spotted turtle, and marbled salamander. He has participated in rare species studies for rare species including the marbled salamander, piping plover, eastern box turtle, and northern diamondback terrapin and developed mitigation strategies for the marbled salamander, spotted turtle, eastern box turtle and wood turtle. He has participated in visual preconstruction sweeps for the wood turtle and both preconstruction and research projects for the eastern box turtle. He has served as a consultant to municipalities, conservation commissions, engineering and survey firms. He has completed numerous wetland related projects including environmental impact assessments for proposed development, erosion control and environmental monitoring for subdivisions, commercial developments, golf courses and landfills. He has prepared Massachusetts Environmental Policy Act (MEPA) documentation, including Environmental Notification Forms (ENFs), Notice of Project Changes (NPCs), and Draft and Final Environmental Impact Reports (EIRs) including Green House Gas Assessments for various projects including subdivisions, commercial buildings, and dredging projects. Prior to joining EcoTec, Inc. Mr. Morrison worked for the Massachusetts Department of Environmental Management (currently the Department of Conservation and Recreation) where he was involved with the monitoring and protection of endangered species and rare old growth forest. He was an active member of the Spencer Conservation Commission from 1998 to 2000 where he provided oversight of proposed wetland replication projects and review of projects submitted for wetland permitting. His educational background includes courses in forestry, ecology, chemistry, soils, and natural resource policy. His prior research experience includes research on forest succession and field research on nesting piping plovers, an endangered coastal shore bird.

Education:

Graduate Soil Science Certificate Program
University of Massachusetts at Amherst, 2006
Bachelor of Science: Natural Resource Studies
University of Massachusetts at Amherst, 1998
Associate of Science: Business Administration
Quinsigamond Community College, 1996

Professional Affiliations:

Registered Professional Soil Scientist, Society of Soil Scientists of
Southern New England (SSSSNE)
Massachusetts Association of Conservation Commissioners
Association of Massachusetts Wetland Scientists
Society of Wetland Scientists
Society for Ecological Restoration-

Certifications:

Society of Wetlands Scientists Professional Wetland Scientist,
Certification Number 2583
Massachusetts Department of Environmental Protection Soil Evaluator,
Certification Number SE 13766
Society for Ecological Restoration-Certified Ecological Restoration Practitioner
Certification Number 0648
OSHA Health and Safety Training, 40-Hour, 29 CFR 1910.120
University of Massachusetts Extension, Invasive Species Management



USGS Topographic Mapping
Leicester Quadrangle, 1979,
Scale: 1:25,000, Metric

approximate site
locus

211 Baldwin Street, Leicester, NHESP



- NHESP Priority Habitats of Rare Species
- □
- NHESP Estimated Habitats of Rare Wildlife
-
- NHESP Certified Vernal Pools
- ★

Natural Heritage Atlas
Online Data Viewer,
15th edition, valid
August 1, 2021
created: 6/29/2023
211 Baldwin Street,
Leicester

approx. site
locus

National Flood Hazard Layer FIRMette



71°56'37"W 42°12'17"N



Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

Without Base Flood Elevation (BFE)
Zone A, V, A99

With BFE or Depth *Zone AE, AO, AH, VE, AR*

Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*

Future Conditions 1% Annual Chance Flood Hazard *Zone X*

Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*

Area with Flood Risk due to Levee *Zone D*

NO SCREEN

Area of Minimal Flood Hazard *Zone X*

Effective LOMRs

Area of Undetermined Flood Hazard *Zone D*

Channel, Culvert, or Storm Sewer

Levee, Dike, or Floodwall

Cross Sections with 1% Annual Chance Water Surface Elevation

Coastal Transect

Base Flood Elevation Line (BFE)

Limit of Study

Jurisdiction Boundary

Coastal Transect Baseline

Profile Baseline

Hydrographic Feature

Digital Data Available

No Digital Data Available

Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **6/30/2023 at 12:46 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

BORDERING VEGETATED WETLAND DETERMINATION FORM

Project/Site: 211 Baldwin St City/Town: leicester Sampling Date: 6/30/23
 Applicant/Owner: _____ Sampling Point or Zone: Upland
 Investigator(s): Scott Morrison Latitude / Longitude: _____
 Soil Map Unit Name: Montauk NWI or DEP Classification: _____

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☒ No ☐ (If no, explain in Remarks)

Are Vegetation ☐, Soil ☐, or Hydrology ☐ significantly disturbed? (If yes, explain in Remarks)

Are Vegetation ☐, Soil ☐, or Hydrology ☐ naturally problematic? (If yes, explain in Remarks)

SUMMARY OF FINDINGS – Attach site map and photograph log showing sampling locations, transects, etc.

Wetland vegetation criterion met?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Hydric Soils criterion met?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Wetlands hydrology present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Remarks, Photo Details, Flagging, etc.:			

HYDROLOGY

Field Observations:		
Surface Water Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/> Depth (inches) _____
Water Table Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/> Depth (inches) _____
Saturation Present (including capillary fringe)?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/> Depth (inches) _____
Wetland Hydrology Indicators		
Reliable Indicators of Wetlands Hydrology	Indicators that can be Reliable with Proper Interpretation	Indicators of the Influence of Water
<input type="checkbox"/> Water-stained leaves <input type="checkbox"/> Evidence of aquatic fauna <input type="checkbox"/> Iron deposits <input type="checkbox"/> Algal mats or crusts <input type="checkbox"/> Oxidized rhizospheres/pore linings <input type="checkbox"/> Thin muck surfaces <input type="checkbox"/> Plants with air-filled tissue (aerenchyma) <input type="checkbox"/> Plants with polymorphic leaves <input type="checkbox"/> Plants with floating leaves <input type="checkbox"/> Hydrogen sulfide odor	<input type="checkbox"/> Hydrological records <input type="checkbox"/> Free water in a soil test hole <input type="checkbox"/> Saturated soil <input type="checkbox"/> Water marks <input type="checkbox"/> Moss trim lines <input type="checkbox"/> Presence of reduced iron <input type="checkbox"/> Woody plants with adventitious roots <input type="checkbox"/> Trees with shallow root systems <input type="checkbox"/> Woody plants with enlarged lenticels	<input type="checkbox"/> Direct observation of inundation <input type="checkbox"/> Drainage patterns <input type="checkbox"/> Drift lines <input type="checkbox"/> Scoured areas <input type="checkbox"/> Sediment deposits <input type="checkbox"/> Surface soil cracks <input type="checkbox"/> Sparsely vegetated concave surface <input type="checkbox"/> Microtopographic relief <input type="checkbox"/> Geographic position (depression, toe of slope, fringing lowland)
Remarks (describe recorded data from stream gauge, monitoring well, aerial photos, previous inspections, if available):		

This form is only for BVW delineations. Other wetland resource areas may be present and should be delineated according to the applicable regulatory provisions.

VEGETATION – Use both common and scientific names of plants.

<u>Tree Stratum</u>		Plot size <u>30' Radius</u>		Indicator Status	Absolute/ Relative % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name*	Scientific name						
1. white pine	<i>Pinus strobus</i>	FACU	60	Yes	No		
2. red maple	<i>Acer rubrum</i>	FAC	20	Yes	Yes		
3. red oak	<i>Quercus borealis</i>	FACU-	20	Yes	No		
4.							
5.							
6.							
7.							
8.							
9.							
100 = Total Absolute Cover							
<u>Shrub/Sapling Stratum</u>		Plot size <u>15' Radius</u>		Indicator Status	Absolute/ Relative % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name*	Scientific name						
1. mountain laurel	<i>Kalmia latifolia</i>	FACU	60	Yes	No		
2. witch-hazel	<i>Hamamelis virginiana</i>	FAC-	20	Yes	No		
3.							
4.							
5.							
6.							
7.							
8.							
9.							
80 = Total Absolute Cover							
<u>Herb Stratum</u>		Plot size <u>5' Radius</u>		Indicator Status	Absolute/ Relative % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name*	Scientific name						
1. wild sarsaparilla	<i>Aralia nudicaulis</i>	FACU	30	Yes	No		
2. starflower	<i>Trientalis borealis</i>	FAC	20	Yes	Yes		
3. witch-hazel	<i>Hamamelis virginiana</i>	FAC-	10	No	No		
4.							
5.							
6.							
7.							
8.							
9.							
10.							
11.							
12.							
60 = Total Absolute Cover							

* 1988 Plant List

VEGETATION – continued.

<u>Woody Vine Stratum</u>		Plot size <u>30' Radius</u>			
Common name*	Scientific name	Indicator Status	Absolute/ Relative % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
1.					
2.					
3.					
4.					
			_____ = Total Absolute Cover		

* 1988 Plant List

Rapid Test: Do all dominant species have an indicator status of OBL or FACW?				Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Dominance Test:	Number of dominant species	Number of dominant species that are wetland indicator plants		Do wetland indicator plants make up ≥ 50% of dominant plant species?	
				Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Prevalence Index:		Total % Cover (all strata)	Multiply by:	Result	
	OBL species		X 1	= 0.0	
	FACW species		X 2	= 0.0	
	FAC species		X 3	= 0.0	
	FACU species		X 4	= 0.0	
	UPL species		X 5	= 0.0	
	Column Totals	(A) 0.0		(B) 0.0	
Prevalence Index		B/A = 0.0		Is the Prevalence Index ≤ 3.0?	
				Yes <input type="checkbox"/> No <input type="checkbox"/>	
Wetland vegetation criterion met? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>					

Definitions of Vegetation Strata

- Tree - Woody plants 3 in. (7.62 cm) or more in diameter at breast height (DBH), regardless of height
- Shrub / Sapling - Woody plants less than 3 in. (7.62 cm) DBH and greater than or equal to 3.3 ft. (1 m) tall
- Herb - All herbaceous (non-woody plants, regardless of size, and woody plants less than 3.3 ft. (1 m) tall
- Woody vines - All woody vines greater than 3.3 ft. (1 m) in height

Cover Ranges	
Range	Midpoint
1-5 %	3.0 %
6-15 %	10.5 %
15-25 %	20.5 %
26-50 %	38.0 %
51-75 %	63.0 %
76-95 %	85.5 %
96-100 %	98.0 %

SOIL

[illegible]

BORDERING VEGETATED WETLAND DETERMINATION FORM

Project/Site: 211 Baldwin Street City/Town: Leicester Sampling Date: 6/30/23
 Applicant/Owner: _____ Sampling Point or Zone: Wetland
 Investigator(s): Scott Morrison Latitude / Longitude: _____
 Soil Map Unit Name: Montauk NWI or DEP Classification: _____

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☒ No ☐ (If no, explain in Remarks)

Are Vegetation ☐, Soil ☐, or Hydrology ☐ significantly disturbed? (If yes, explain in Remarks)

Are Vegetation ☐, Soil ☐, or Hydrology ☐ naturally problematic? (If yes, explain in Remarks)

SUMMARY OF FINDINGS – Attach site map and photograph log showing sampling locations, transects, etc.

Wetland vegetation criterion met?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Hydric Soils criterion met?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Wetlands hydrology present?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Remarks, Photo Details, Flagging, etc.:			

HYDROLOGY

Field Observations:			
Surface Water Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Depth (inches) _____
Water Table Present?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Depth (inches) <u>0</u>
Saturation Present (including capillary fringe)?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Depth (inches) <u>0</u>
Wetland Hydrology Indicators			
Reliable Indicators of Wetlands Hydrology	Indicators that can be Reliable with Proper Interpretation	Indicators of the Influence of Water	
<input checked="" type="checkbox"/> Water-stained leaves <input type="checkbox"/> Evidence of aquatic fauna <input type="checkbox"/> Iron deposits <input type="checkbox"/> Algal mats or crusts <input type="checkbox"/> Oxidized rhizospheres/pore linings <input type="checkbox"/> Thin muck surfaces <input type="checkbox"/> Plants with air-filled tissue (aerenchyma) <input type="checkbox"/> Plants with polymorphic leaves <input type="checkbox"/> Plants with floating leaves <input type="checkbox"/> Hydrogen sulfide odor	<input type="checkbox"/> Hydrological records <input type="checkbox"/> Free water in a soil test hole <input type="checkbox"/> Saturated soil <input type="checkbox"/> Water marks <input type="checkbox"/> Moss trim lines <input type="checkbox"/> Presence of reduced iron <input type="checkbox"/> Woody plants with adventitious roots <input type="checkbox"/> Trees with shallow root systems <input type="checkbox"/> Woody plants with enlarged lenticels	<input type="checkbox"/> Direct observation of inundation <input type="checkbox"/> Drainage patterns <input type="checkbox"/> Drift lines <input type="checkbox"/> Scoured areas <input type="checkbox"/> Sediment deposits <input type="checkbox"/> Surface soil cracks <input type="checkbox"/> Sparsely vegetated concave surface <input type="checkbox"/> Microtopographic relief <input type="checkbox"/> Geographic position (depression, toe of slope, fringing lowland)	
Remarks (describe recorded data from stream gauge, monitoring well, aerial photos, previous inspections, if available):			

This form is only for BVW delineations. Other wetland resource areas may be present and should be delineated according to the applicable regulatory provisions.

VEGETATION – Use both common and scientific names of plants.

<u>Tree Stratum</u>		Plot size <u>30' Radius</u>		Indicator Status	Absolute/ Relative % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name*	Scientific name						
1. white pine	<i>Pinus strobus</i>	FACU	60	Yes	No		
2. red maple	<i>Acer rubrum</i>	FAC	40	Yes	Yes		
3.							
4.							
5.							
6.							
7.							
8.							
9.							
				100 = Total Absolute Cover			
<u>Shrub/Sapling Stratum</u>		Plot size <u>15' Radius</u>		Indicator Status	Absolute/ Relative % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name*	Scientific name						
1. fetherbush	<i>Leucothoe racemosa</i>	FACW	40	Yes	Yes		
2. highbush blueberry	<i>Vaccinium corymbosum</i>	FACW	20	Yes	Yes		
3. winterberry	<i>Ilex verticillata</i>	FACW	20	Yes	Yes		
4. mountain laurel	<i>Kalmia latifolia</i>	FACU	20	Yes	No		
5.							
6.							
7.							
8.							
9.							
				100 = Total Absolute Cover			
<u>Herb Stratum</u>		Plot size <u>5' Radius</u>		Indicator Status	Absolute/ Relative % Cover	Dominant? (yes/no)	Wetland Indicator? (yes/no)
Common name*	Scientific name						
1. lurid sedge	<i>Carex lurida</i>	OBL	20	Yes	Yes		
2. marsh fern	<i>Thelypteris thelypteroides</i>	FACW+	20	Yes	Yes		
3. sphagnum	<i>Sphagnum sp.</i>	OBL	20	Yes	Yes		
4. tussock sedge	<i>Carex stricta</i>	OBL	20	Yes	Yes		
5.							
6.							
7.							
8.							
9.							
10.							
11.							
12.							
				80 = Total Absolute Cover			

* 1988 Plant List

VEGETATION – continued.

<u>Woody Vine Stratum</u>		Plot size <u>30' Radius</u>			
Common name*		Scientific name	Indicator Status	Absolute/ Dominant? Relative % (yes/no) Cover	Wetland Indicator? (yes/no)
1.					
2.					
3.					
4.					
_____ = Total Absolute Cover					

* 1988 Plant List

Rapid Test: Do all dominant species have an indicator status of OBL or FACW?				Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Dominance Test:	Number of dominant species	Number of dominant species that are wetland indicator plants		Do wetland indicator plants make up $\geq 50\%$ of dominant plant species?	
				Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Prevalence Index:		Total % Cover (all strata)	Multiply by:	Result	
	OBL species		X 1	= 0.0	
	FACW species		X 2	= 0.0	
	FAC species		X 3	= 0.0	
	FACU species		X 4	= 0.0	
	UPL species		X 5	= 0.0	
	Column Totals	(A) 0.0		(B) 0.0	
Prevalence Index		B/A = 0.0		Is the Prevalence Index ≤ 3.0 ?	
				Yes <input type="checkbox"/> No <input type="checkbox"/>	
Wetland vegetation criterion met? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>					

Definitions of Vegetation Strata

- Tree - Woody plants 3 in. (7.62 cm) or more in diameter at breast height (DBH), regardless of height
- Shrub / Sapling - Woody plants less than 3 in. (7.62 cm) DBH and greater than or equal to 3.3 ft. (1 m) tall
- Herb - All herbaceous (non-woody plants, regardless of size, and woody plants less than 3.3 ft. (1 m) tall
- Woody vines - All woody vines greater than 3.3 ft. (1 m) in height

Cover Ranges	
Range	Midpoint
1-5 %	3.0 %
6-15 %	10.5 %
15-25 %	20.5 %
26-50 %	38.0 %
51-75 %	63.0 %
76-95 %	85.5 %
96-100 %	98.0 %

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains ²Location: PL=Pore Lining, M=Matrix

Restrictive Layer (if observed) Type: _____ Depth (inches): _____

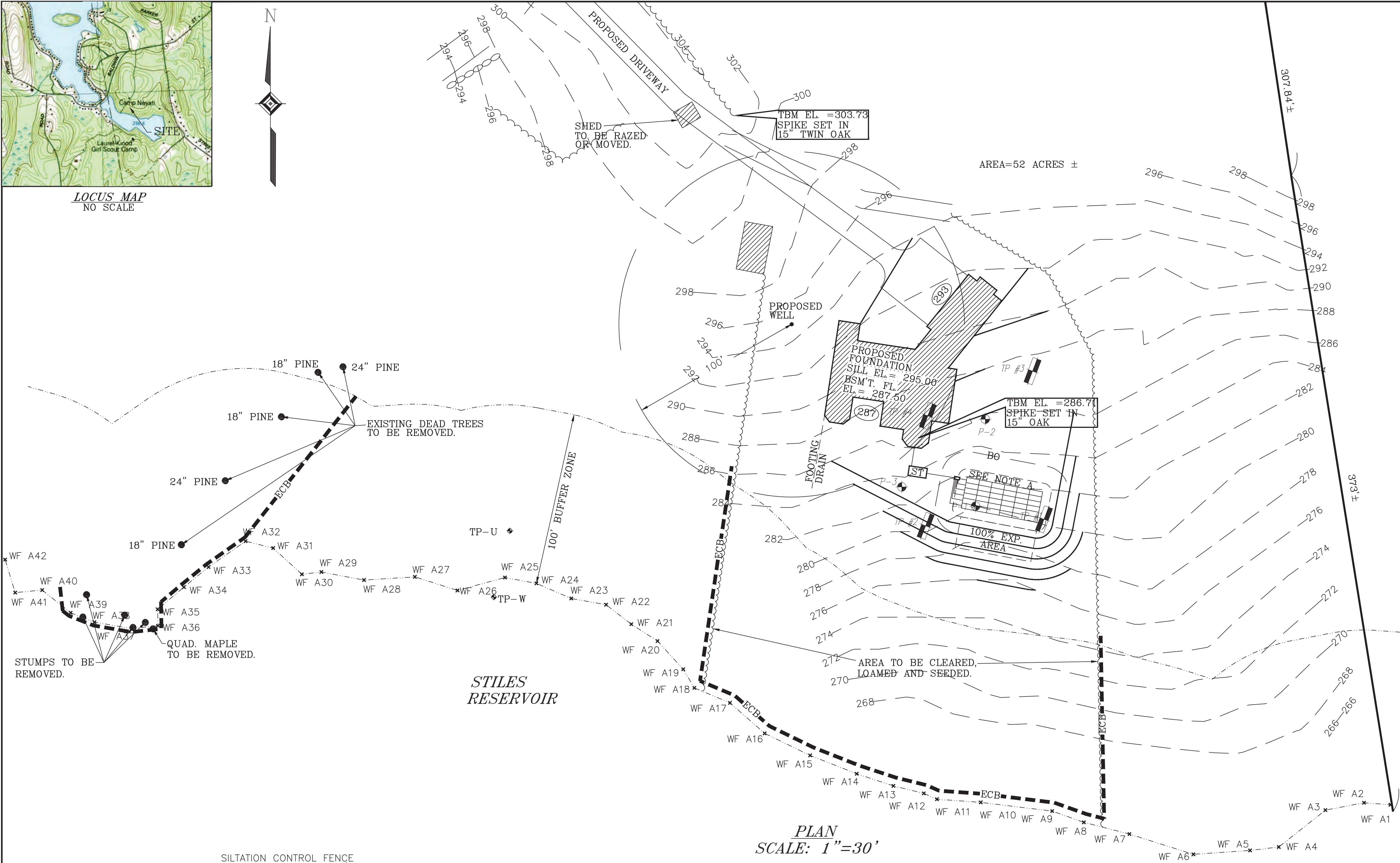
Remarks:

Hydric Soils criterion met?

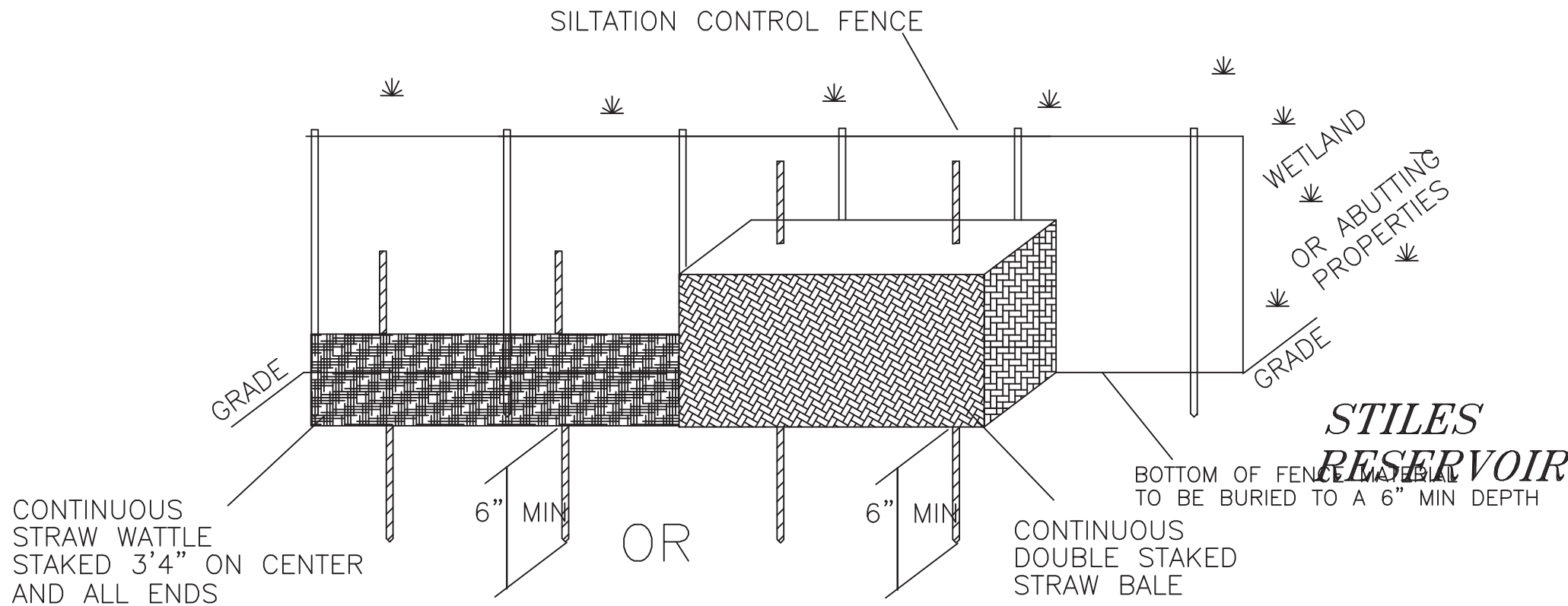
Yes ☒ No ☐



LOCUS MAP
NO SCALE



PLAN
SCALE: 1"=30'



TYPICAL ENVIRONMENTAL CONTROL BARRIER (ECB)
NO SCALE

SILT TEX EROSION FENCING
MAN. BY GEO-SYNTHETICS INC.
(OR APPROVED EQUAL)



OWNER OF RECORD:
JENNIFER AND JAMES MERCIER
DEED BK. 58540 PG. 217
ASSESSOR'S MAP 48 PARCEL B2

GENERAL NOTES

- 1.) ALL EXISTING TOPOGRAPHICAL AND UTILITY INFORMATION WAS PREPARED BY FINLAY ENGINEERING SERVICES, WORCESTER, MA.. ELEVATIONS REFER TO AN ASSUMED DATUM.
- 2.) ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (MDPW) CONSTRUCTION STANDARDS AND THE MDPW "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", UNLESS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR THE ENGINEER.
- 3.) THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY AF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- 4.) UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE DRESSED WITH A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX.
- 5.) THE CONTRACTOR SHALL PROVIDE APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES AT ALL TIMES. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.
- 6.) DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING SOON AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH STRAW SECURED BY JUTE NETTING WITH STAPLES. SEED FOR PERMANENT GRASS COVER SHOULD BE ACCORDING TO SOIL CONSERVATION SERVICE GUIDELINES FOR SOIL AND MOISTURE CONDITIONS FOUND ON THE SITE.
- 7.) STRAW BALES, STRAW WADDLES AND SILTATION CONTROL FENCE SHALL BE MAINTAINED UNTIL ALL SLOPES HAVE BEEN STABILIZED.
- 8.) THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF STRUCTURES AND UTILITIES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. PRIOR TO, AND DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE LOCAL UTILITY COMPANIES, WITH THE LOCAL DEPARTMENTS OF PUBLIC WORKS, OTHER CITY AND TOWN UTILITY DEPARTMENTS, APPLICABLE PRIVATELY OWNED UTILITY COMPANIES AND DIG-SAFE (1-888-344-7233) TO VERIFY UTILITY LOCATION AND TO PROTECT UTILITIES DURING AND AFTER CONSTRUCTION.
- 9.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY AND UTILITY DEPARTMENTS. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IN COMPLETED AND ACCEPTED.
- 10.) NO TRENCHES SHALL BE ALLOWED TO REMAIN OPEN OVERNIGHT.
- 11.) STUMP GRINDINGS SHOULD BE KEPT ON THE SITE AND USED AS TEMPORARY COVER OR BERMS TO REDUCE EROSION.
- 12.) THE CONTRACTOR WILL SWEEP ANY MATERIAL THAT GETS ONTO THE ROADWAY SURFACE DAILY AND PRIOR TO RAINFALL.
- 13.) THE CONTRACTOR SHALL BRING DISTURBED AREAS TO FINAL GRADE AND INSTALL TOPSOIL AND SEED AS SOON AS POSSIBLE TO LIMIT DISTURBED AREAS ON THE SITE.
- 14.) THE WETLANDS WERE DELINEATED BY ECOTEC INC. AND LOCATED BY SHERMAN & FRYDRYK.

DATE	ISSUE	REVISION	DESCRIPTION	APP.
PROPOSED SITE PLAN				
PREPARED FOR				
JAMES MERCIER				
211 BALDWIN STREET				
LEICESTER, MASSACHUSETTS				
FINLAY ENGINEERING SERVICES		DES. JEF DWN. PPF CHK. JEF		
625 CHANDLER STREET		SCALE 1"=30' DATE: 12/05/23		
WORCESTER, MASSACHUSETTS		PLAN NUMBER		
(508) 757-1595		230020		
		SHEET		
		1 OF 1		

Public Hearing

Waite Pond Dam Repairs - NOI



Town of Leicester
CONSERVATION COMMISSION
LEICESTER, MASSACHUSETTS, 01524-1333
Phone: 508-892-7007 Fax: 508-892-7070
www.leicesterma.org

RECEIVED
2024 JAN 30 PM 12:57
TOWN CLERK'S OFFICE
LEICESTER, MASS.

PUBLIC HEARING NOTICE
Leicester Conservation Commission

Waite Pond Dam

The Leicester Conservation Commission will hold a Public Hearing on **Wednesday, February 14, 2024 at 6:40 PM** in the Conference Room of the Leicester Town Hall, 3 Washburn Square, Leicester, MA in accordance with M.G.L. c.131 s.40 and the Town of Leicester Wetland Bylaw to hear the Notice of Intent filed by the Town of Leicester for the purpose of repairs to Waite Pond Dam described as the vertical extension of the retaining wall on the right side of the spillway. Site Location: Waite Pond Dam, Chapel St./Waite St., Assessors Parcel 21A-A48, Zoned Residential 1 (R1).

Anyone wishing to comment or hear discussion should be present at the above stated date and time. The submitted documents may be viewed in the Leicester Town Conservation Commission Office during Town Hall hours or online at leicesterma.org.

Stephan Parretti, Chair
Leicester Conservation Commission

Published in Worcester Telegram & Gazette: Monday, February 5, 2024

Order Confirmation

Not an Invoice

Account Number:	692723
Customer Name:	Leicester Planning Board
Customer Address:	Leicester Planning Board TOWN HALL 3 WASHBURN SQ LEICESTER MA 01524
Contact Name:	Justine Caggiano
Contact Phone:	508-892-7077
Contact Email:	caggianoj@leicesterma.org
PO Number:	

Date:	01/30/2024
Order Number:	9795860
Prepayment Amount:	\$ 0.00

Column Count:	1.0000
Line Count:	47.0000
Height in Inches:	0.0000

Print

Product	#Insertions	Start - End	Category
NEO WOR Telegram & Gazette	1	02/05/2024 - 02/05/2024	Govt Public Notices
NEO WOR telegram.com	1	02/05/2024 - 02/05/2024	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$62.98
Service Fee 3.99%	\$2.51
Cash/Check/ACH Discount	-\$2.51
Payment Amount by Cash/Check/ACH	\$62.98
Payment Amount by Credit Card	\$65.49

Order Confirmation Amount	\$62.98
----------------------------------	----------------

Ad Preview

**PUBLIC
HEARING NOTICE
Leicester Conservation
Commission
Waite Pond Dam**

The Leicester Conservation Commission will hold a Public Hearing on Wednesday, February 14, 2024 at 6:40 PM in the Conference Room of the Leicester Town Hall, 3 Washburn Square, Leicester, MA in accordance with M.G.L. c.131 s.40 and the Town of Leicester Wetland Bylaw to hear the Notice of Intent filed by the Town of Leicester for the purpose of repairs to Waite Pond Dam described as the vertical extension of the retaining wall on the right side of the spillway. Site Location: Waite Pond Dam, Chapel St./Waite St., Assessors Parcel 21A-A48, Zoned Residential 1 (R1).

Anyone wishing to comment or hear discussion should be present at the above stated date and time. The submitted documents may be viewed in the Leicester Town Conservation Commission Office during Town Hall hours or online at leicesterma.org.

Stephan Parretti, Chair
Leicester Conservation
Commission

Published in Worcester
Telegram & Gazette:
Monday, February 5, 2024

Lisa Westwell

From: McDonald, Mia (DEP) <Mia.McDonald@mass.gov>
Sent: Tuesday, December 26, 2023 3:12 PM
To: Kenneth Berchielli; 'BKortz@fando.com'
Cc: Genereux, David; Kristen Jacobsen; Conservation Commission
Subject: FW: LEICESTER - EC - Waite Pond Dam-Chapel St. - Fuss & O'Neill, Inc.

Hello Ken & Brian -

This does not appear to be in the spirit of an Emergency as the dam safety order was issued 14 years ago, and this design is dated several months ago. MassDEP expects to see a Notice of Intent filed with the Leicester Conservation Commission for this project, even if it is filed after-the-fact.

Please call or email with any questions.

Thank you,
Mia

Mia McDonald
Circuit Rider/Environmental Analyst
MassDEP Wetlands Central Regional Office
Cell: 857-303-2114

From: Lisa Westwell <westwelll@leicesterma.org>
Sent: Tuesday, December 19, 2023 4:27 PM
To: CERO_NOI (DEP) <cero_noi@mass.gov>
Cc: Kenneth Berchielli <Kberchielli@fando.com>; Brian E. Kortz <BKortz@fando.com>; Genereux, David <genereuxd@leicesterma.org>; Kristen Jacobsen <jacobsenk@leicesterma.org>
Subject: LEICESTER - EC - Waite Pond Dam-Chapel St. - Fuss & O'Neill, Inc.

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon,
Please find attached, Emergency Certification for dam repairs at Waite Pond Dam, Chapel St., Leicester, MA. This will be placed on the Conservation Commission's January 17, 2024 meeting for review/ratification. Please call with any questions.

Sincerely,

Lisa Westwell
Administrative Assistant
to the Planning Department
Town of Leicester
3 Washburn Square
Leicester, MA 01524
508.892.7007 x 120

Waite Pond Dam Repairs Notice of Intent

Proponent: Town of Leicester
Leicester, Massachusetts

January 30, 2024



317 Iron Horse Way, Suite 204
Providence, RI 02908



January 30, 2024

Town of Leicester Conservation Commission
3 Washburn Square
Leicester, MA 01524

RE: Notice of Intent
Waite Pond Dam Repairs
Waite Pond
Leicester, MA 01524

Dear Commission Members:

On behalf of the Town of Leicester, Fuss & O'Neill has prepared the enclosed Notice of Intent (NOI) for the Waite Pond Dam Repairs located at Waite Pond in Leicester, Massachusetts. The proposed project will occur within Riverfront Area which is protected under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40 (WPA), the Massachusetts Wetland Protection Regulations 310 CMR §10.00 (Wetland Regulations), and the Town of Leicester Wetlands Protection Bylaw (Local Wetland Bylaw).

The enclosed NOI application package includes the WPA Form 3 along with the supporting project narrative, figures, and supplemental information. This NOI will be filed online through eDEP.

If you have any questions, please feel free to contact me at 401-533-5968 or at KBerchielli@fando.com. Thank you for your consideration of this NOI and we look forward to meeting with the Commission.

Sincerely,

Ken Berchielli
Water Resources Engineer

108 Myrtle Street
Suite 502
Quincy, MA
02171
t 617.282.4675
800.286.2469
f 617.481.5885

www.fando.com

California
Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Vermont

c: MassDEP, Central Region
David Genereux, Town of Leicester Administrator

\\private\DFS\ProjectData\P2008\1286\A80\Permits\2023 NOI\Waite Pond Dam NOI.docx

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Notice of Intent
Town of Leicester

WPA Form 3 – Notice of Intent

NOI Wetland Fee Transmittal Form

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Notice of Intent Town of Leicester

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- 2 NHESP Map
- 3 Drainage area

Appendices

End of Report

- A Construction Drawings (Sept. 2020 – June 2021)
- B Right Training Wall Extension Drawings (January 2024)
- C Certified Abutters List
- D Site Photos
- E Wetland Delineation Report (October 2013)
- F Permit Approvals



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

Waite Pond Dam

a. Street Address

Leicester

b. City/Town

01524

c. Zip Code

Latitude and Longitude:

42.24900

d. Latitude

-71.88708

e. Longitude

21A

f. Assessors Map/Plat Number

A48

g. Parcel /Lot Number

2. Applicant:

David

a. First Name

Genereux

b. Last Name

Town of Leicester

c. Organization

3 Washburn Square

d. Street Address

Leicester

e. City/Town

MA

f. State

01524

g. Zip Code

508-892-7077

h. Phone Number

GenereuxD@leicesterma.org

j. Email Address

3. Property owner (required if different from applicant): ☐ Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Ken

a. First Name

Berchielli

b. Last Name

Fuss & O'Neill, Inc

c. Company

317 Iron Horse Way, Suite 204

d. Street Address

Providence

e. City/Town

RI

f. State

02908

g. Zip Code

401-533-5968

h. Phone Number

KBerchielli@fando.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

Exempt

a. Total Fee Paid

Exempt

b. State Fee Paid

Exempt

c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

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Leicester

City/Town

A. General Information (continued)

6. General Project Description:

The proposed project will be a vertical extension of the retaining wall on the right side of the spillway (when looking downstream) to Waite Pond Dam. The extension is necessary to contain flow over the spillway within the channel during significant storm events. See Attached for more details.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input checked="" type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☒ Yes ☐ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)
- 310 CMR 10.53(3)(i) - Dam Maintenance

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Worcester

a. County

36166

c. Book

b. Certificate # (if registered land)

286 (See also Tax Taking at Book 28857, Page 196)

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- ☐ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- ☒ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Kettle Brook - Inland 1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- ☐ 25 ft. - Designated Densely Developed Areas only
- ☐ 100 ft. - New agricultural projects only
- ☒ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 6,340
square feet

4. Proposed alteration of the Riverfront Area:

<u>1,540</u>	<u>1,540</u>	<u>0</u>
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? ☒ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☒ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

4. ☐ Restoration/Enhancement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. ☐ Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
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WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

C. Other Applicable Standards and Requirements

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

August 2021

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☒ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) ☒ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☒ Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) ☐ MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) ☐ Vegetation cover type map of site

- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. ☐ Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing.

a. NHESP Tracking #

b. Date submitted to NHESP

3. ☐ Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. ☐ Not applicable – project is in inland resource area only b. ☐ Yes ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Bourne to Rhode Island border, and the Cape & Islands:

North Shore - Plymouth to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. ☐ Is this an aquaculture project?

- d. ☐ Yes ☐ No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Leicester

City/Town

C. Other Applicable Standards and Requirements (cont'd)

Online Users:

Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. ☐ Yes ☒ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. ☐ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. ☐ A portion of the site constitutes redevelopment
 3. ☐ Proprietary BMPs are included in the Stormwater Management System.
- b. ☒ No. Check why the project is exempt:
 1. ☐ Single-family house
 2. ☐ Emergency road repair
 3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
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D. Additional Information (cont'd)

3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. ☒ List the titles and dates for all plans and other materials submitted with this NOI.

See Attached List

a. Plan Title

b. Prepared By

c. Signed and Stamped by

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☐ Attach Stormwater Report, if needed.

E. Fees

1. ☒ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
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WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant, David Genereux, Town Administrator

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative, Ken Berchielli, Fuss & O'Neill, Inc.

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

Waite Pond

a. Street Address

Leicester

b. City/Town

Exempt

d. Fee amount

c. Check number

2. Applicant Mailing Address:

David

a. First Name

Genereux

b. Last Name

Town of Leicester

c. Organization

3 Washburn Square

d. Mailing Address

Leicester

e. City/Town

MA

f. State

01524

g. Zip Code

508-892-7077

h. Phone Number

i. Fax Number

GenereuxD@leicesterma.org

j. Email Address

3. Property Owner (if different):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



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NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Step 5/Total Project Fee:			Exempt

Step 6/Fee Payments:

Total Project Fee:	<u>Exempt</u> a. Total Fee from Step 5
State share of filing Fee:	<u>Exempt</u> b. 1/2 Total Fee less \$12.50
City/Town share of filling Fee:	<u>Exempt</u> c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
Box 4062
Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



Notice of Intent – List of Attachments Waite Pond Dam Repairs

Section D: Additional Information

4. List the titles and dates for all plans and materials submitted with this NOI

- i. Plan Title: Waite Pond Dam Repairs: Construction Drawings
Prepared by Fuss & O'Neill
Signed and Stamped By: Philip W. Moreschi, P.E.
Scale: As noted
Final Revision Date: April 2020
- ii. Plan Title: Waite Pond Dam Repairs: Right Training Wall Extension Sheet SK-01 and SK-02
Prepared by Fuss & O'Neill
Signed and Stamped By: Stuart Harris, P.E.
Scale: As noted
Final Revision Date: October 2022

1 Introduction

Project Name: Waite Pond Dam Repairs
Project Location: Waite Pond, 42.24900, -71.88708, Leicester, MA
Proponent: Town of Leicester

Pursuant to the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40 (MAWPA), the Massachusetts Wetland Protection Regulations 310 CMR §10.00 (Wetland Regulations), and the Town of Leicester Wetlands Protection Bylaw (Local Wetland Bylaw), this Notice of Intent (NOI) has been prepared for the Waite Pond Dam repairs located at Waite Pond in Leicester, Massachusetts (site).

In accordance with 310 CMR 10.05(4), notices will be sent by certified mail, return receipt requested, to abutters at least seven days prior to the public hearing. A “Request for Abutters List” was submitted to the Leicester Board of Assessors, and the official provided list will be used to send Certified Mail notices of the project (*Appendix C*). Certified mail receipts will be provided separately, upon receipt. The Construction Drawings (Sept. 2020 – June 2021) are included in *Appendix A*.

1.1 Project Location

Waite Pond Dam is located at latitude 42.24900 North and longitude 71.88708 West on Kettle Brook in Worcester County. The project location is depicted on the Site Location Map, included as *Figure 1* in this report. The dam sits at the east end of Waite Pond at the intersection of Chapel Street and Waite Street in Leicester, Massachusetts.

1.2 Purpose and Need

Repairs to Waite Pond Dam were completed from September 2020 through April 2021 under an Order of Conditions approved on July 17, 2018 (MassDEP file #197-0621) and a Chapter 253 Dam Safety Permit No. 243-2018-243 (see *Appendix F*). The repairs included the demolition of the existing dam and replacement of all appurtenances, including the embankment, low-level outlet, and primary spillway. After the repairs were completed, it was determined that the as-built configuration of the right training wall was susceptible to overtopping during the spillway design flood (SDF). Due to the Significant Hazard classification for Waite Pond Dam, the spillway design flood is defined as a 100-year flood pursuant to 302 CMR §10.00 (Dam Safety). The wall is susceptible to overtopping due to the geometry, as the wall slopes downward prior to the primary spillway, allowing the potential for water to flow over the right training wall onto the downstream face of the embankment. Excessive flow over the side of the right training wall along the embankment may cause erosion of the embankment, which threatens the integrity of the dam and increases risk to the public within the downstream area. Therefore, the proposed scope of work to be covered under this NOI includes vertically extending the right training wall to provide adequate lateral freeboard along the right training wall during the SDF.

2 Existing Conditions

2.1 Project Site

Refer to the Waite Pond Dam Repairs Construction Drawings in *Appendix A* for the current as-built conditions as of January 2024. Refer to *Appendix D* for Site Photos and *Appendix E* for the Wetland Delineation Report.

Waite Pond Dam is an earthen embankment dam with a structural height of 14 feet and hydraulic height at normal pool of 10 feet. The upstream face of the dam consists of stone armoring. The downstream right face of the dam consists of grass cover with approximately 3H:1V slopes. The downstream left embankment consists of a relatively flat gravel area used for parking. A toe drain is situated on the left and right downstream slopes of the dam with a clean out at the surface.

The primary spillway is a concrete broad crested weir structure with a 1-foot-tall timber weir board supported by stainless steel angle slots grouted in place. The spillway is 42 feet long and 9 feet high measured from the concrete dissipation basin to the crest of the spillway. The limits of the primary spillway are formed by two concrete training walls. The left training wall extends approximately 60 feet into the downstream channel to support the parking area and the left downstream face of the dam. The right training wall terminates at the edge of the energy dissipation slab.

The low-level outlet is formed by a 24-inch ductile iron pipe with a slide gate located rectangular concrete gate chamber. The outlet pipe discharges to the streambed at the base of concrete energy dissipation slab. The intake for the outlet is upstream of the dam within the impoundment. A submerged concrete headwall supports a stainless-steel trash rack immediately upstream of the pipe invert. Existing conditions plans are included in *Appendix A*. Existing site photographs are included in *Appendix D*.

The following are basic dam characteristics and elevations:

Dam Name:	Waite Pond Dam
Nat. ID Number:	MA00987
State ID Number:	3-14-151-21
Town	Leicester
Dam Owner:	Town of Leicester 3 Washburn Square, Leicester, MA 01524
Dam Caretaker:	Town of Leicester 3 Washburn Square, Leicester, MA 01524
Hazard Potential:	Significant
Size Classification:	Intermediate
Location of Dam (town):	Leicester
Coordinate location (lat, long):	42.24900, -71.88708
Street Address:	West of Chapel/Waite Street Intersection
Purpose of the Dam:	Current: Recreation

	Historical: Originally to power a small mill of which there are no longer any traces
Length:	120 feet
Structural Height:	14 feet
Hydraulic Height:	10 feet
Type of Dam:	Earthen
	Low-Level Outlet: 24-inch ductile iron pipe

2.2 Environmental Resources Not Present

Based on a review of available information, the following environmental resources are not present within the Project Site:

- Natural Heritage and Endangered Species Program (NHESP) Estimated Habitats of Rare Wildlife
- NHESP Priority Habitats of Rare Species
- Areas of Critical Environmental Concern
- Outstanding Resource Waters
- Preservation Restriction
- Local Historic District
- Massachusetts Historic Landmark
- MassDEP Wellhead Protection Areas

2.3 Wetland Resource Areas

Wetland resource areas were delineated on by Ms. Sara Fusco, PWS, then of Fuss & O'Neill, Inc. on September 17, 2013. The purpose of the delineation was to locate the jurisdictional limits of areas regulated under the Wetland Protection Act (M.G.L. c. 131 sec. 40) and the associated Wetland Protection regulations (310 CMR 10) using methodology presented in the Massachusetts DEP Handbook: Delineating Bordering Vegetated Wetlands, March 1995, the 1987 ACOE Wetland Delineation Manual, and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, January 2012

The following resource areas are located within the Project Locus and are described within the Wetland Report in *Appendix E*.

- Inland Bank
- Bordering Vegetated Wetlands
- Land Under Water Bodies and Waterways
- Bordering Land Subject to Flooding
- Riverfront Area

Resource area impacts are discussed in *Section 5*.

3 Project Description

The proposed project is to vertically extend the right (when looking downstream) training wall of the primary spillway. The vertical wall extension is necessary to contain flow over the primary spillway during significant storm events. The proposed configuration of the retaining wall with the vertical extension is consistent with the proposed conditions authorized under the 2018 Dam Safety Permit for the project.

The wall will be vertically extended by chipping off one inch of concrete from the top of the existing downstream wall to receive the wall extension. The wall extension will be constructed with cast-in-place concrete with steel reinforcing bars (rebar) embedded in the concrete across the joint and water stops embedded in the concrete to create a structurally continuous, watertight joint. The proposed joint is designed to contain sufficient and properly configured rebar so that the concrete is functionally equivalent to a monolithic structure with the same design life as the concrete around the joint. The inclusion of the vertical wall extension and the joint is important because a potential dam safety condition could develop if the wall is not extended.

The construction of the extension will be completed during the seasonal pond drawdown authorized under an existing Order of Conditions from the Town of Leister (MassDEP #197-0681; See *Appendix F*). An extension to the 2018 Chapter 253 permit for the proposed project was granted by the Department of Conservation and Recreation Office of Dam Safety on November 7, 2023 (See *Appendix F*).

Site access will be achieved on foot by walking around the downstream channel. There will be no vehicular disturbance on the embankment of the dam. Concrete will be poured using a pump truck that utilizes a crane boom with a pump to pour concrete within timber forms. The proposed work is shown on the right training wall vertical extension drawings included in *Appendix B*.

3.1 Stormwater Management

In accordance with 310 CMR 10.05(6)(k)-(q), the Massachusetts Stormwater Standards must be adhered to with stormwater best management practices to attenuate pollutants and to provide a setback from the receiving waters and wetlands.

The Stormwater Management Standards apply to stormwater runoff from all industrial, commercial, institutional, office, residential and transportation projects that are subject to regulation under M.G.L. c. 131, § 40 including site preparation, construction, and redevelopment and all point source stormwater discharges from said projects within an Area Subject to Protection under M.G.L. c. 131, § 40 or within the Buffer Zone.

No new impervious surfaces or point source discharges will result from the proposed activities. Per the recommended final decision issued on July 29, 2016 in the Matter of Berkshire Community College Docket # WET-2015-023 from the MassDEP Office of Appeals and Dispute Resolution, it was ruled that 310 CMR 10.05(6)(k) through (q) does not apply to a project that does not propose a “point source” or “stormwater discharge” within resource areas or their Buffer Zones.

3.2 Construction Sequence

The proposed project will occur during the seasonal pond drawdown authorized under an existing Town of Leicester Conservation Commission Order of Conditions (MassDEP # 197-0691; *Appendix F*).

The following is a description of the anticipated construction sequence. The actual sequence will be determined by the selected contractor.

- Remove security fencing
- Prepare existing right retaining wall to receive the wall extension
- Construct wall extension
- Replace security fencing

4 Alternatives Analysis

Due to the potential safety risk associated with the current condition of the right training wall, extending the wall is required to provide adequate lateral freeboard during the SDF. For this reason, additional alternatives for the proposed project were not considered. Providing the additional wall section will protect the surrounding and downstream areas near the dam. Impacts to surrounding resource areas were minimized to the greatest extent possible.

5 Inland Resource Impacts

This project is a **Limited Project** as defined under 310 CMR 10.53 (3)(i) “for the maintenance, repair and improvement (but not substantial enlargement...) of structures, including dams and reservoirs and appurtenant works to such dams and reservoirs... which existed on the effective date of 310 CMR 10.51 through 10.60 (April 1, 1983).”

The following sections document the project impacts to each individual resource. The below table summarizes the anticipated impacts for the project.

Table 1. Wetland Resource Area Impact Summary

Resource Area	Length/Area of Alteration	Associated Work
Riverfront Area	1,510 SF (Temporary) 30 SF (Permanent)	Temporary impacts associated with staging and work areas. Permanent impacts associated with the right training wall vertical extension.

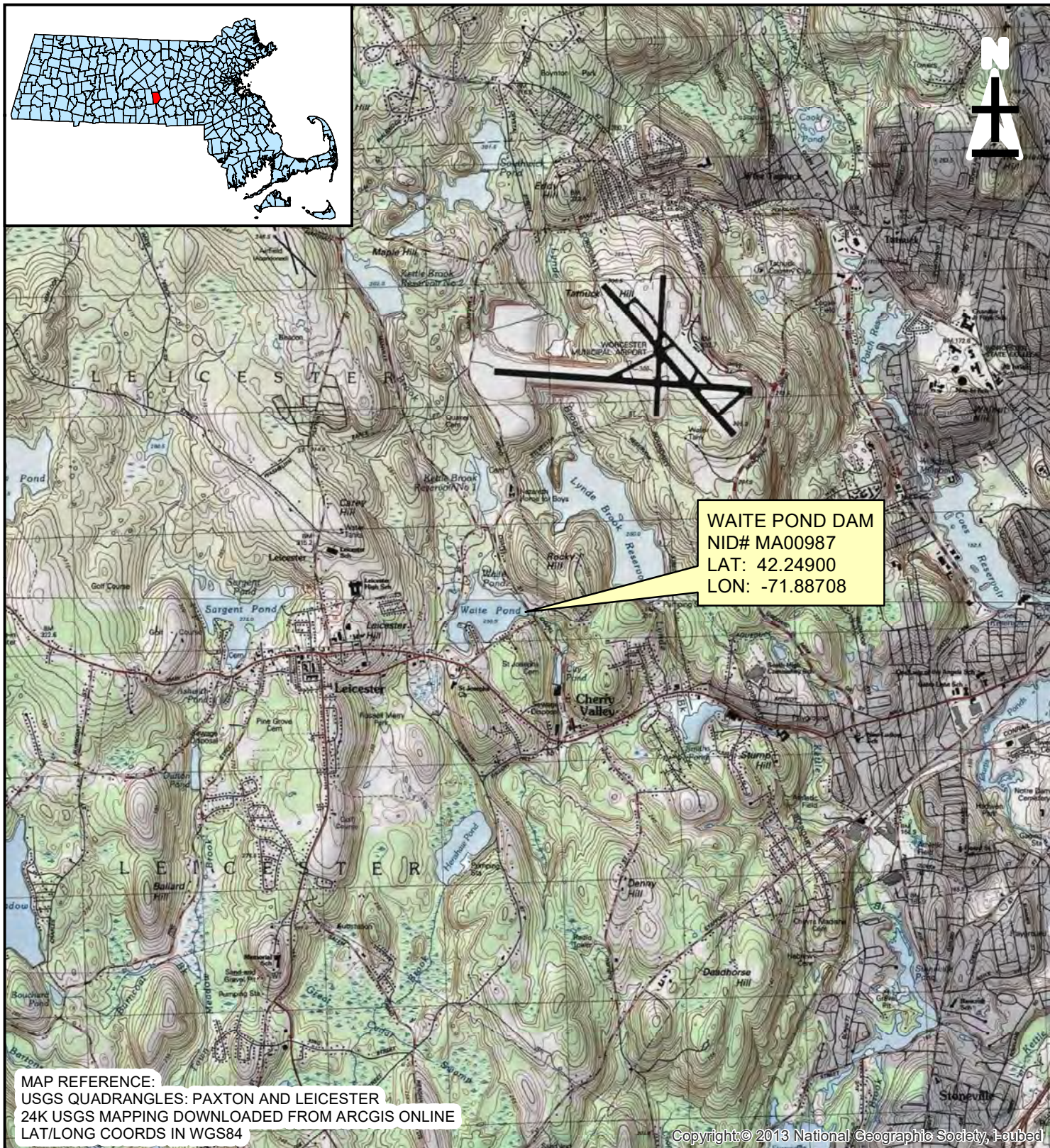
Resource Area	Length/Area of Alteration	Associated Work
25-Foot No Disturb Zone	980 SF (Temporary) 30 SF (Permanent)	Temporary impacts associated with staging and work areas. Permanent impacts associated with the right training wall vertical extension.

- o Note that the 25-foot No Disturb Zone overlaps with the Riverfront Area

Approximately 6,340 SF of Riverfront Area exists on the project site. All project disturbance will occur within the 100-foot buffer zone, first 100-feet of Riverfront Area, and the local 25-foot No Disturb Zone. No significant impacts to resource areas are anticipated. Approximately 1,510 SF (980 SF within the No-Disturb Zone) of temporary disturbance is required for construction staging and work areas. Approximately 30 SF of permanent impacts to Riverfront Area, Buffer Zone, and the No-Disturb Zone is associated with the vertical extension of the right training wall. The proposed is a vertical extension from the existing footprint of the right training wall and will not result in an expansion of the existing dam footprint. Locations of temporary and permanent disturbance are shown in *Appendix B sheet SK-03*.

The project consists of improved maintenance of a structure (not enlargement) in existence on August 7, 1996, and therefore it qualifies for an exemption from the requirements for Riverfront Area [310 CMR 10.58(1) through (5)] pursuant to 310 CMR 10.58(6)(a). As such, the requirement for the Evaluation of Alternatives and the adherence to the Massachusetts Stormwater Management Standards under this section do not apply. Additionally, since the dam is owned by the Town, it could be argued that the activity is exempt from filing of an NOI under 310 CMR 10.58(6)(a) for maintenance of an existing Town-owned structure without impact to any other resource area. Nevertheless, the proposed work will result in no significant changes over existing conditions of the capacity of the RA to protect the interests identified in M.G.L. c. 131 § 40.

Figures



NOVEMBER 2016

FIGURE 1

4,300 2,150 0 4,300 Feet

MASSACHUSETTS DEPT OF CONSERVATION & RECREATION

SCALE

HORIZ: 1 INCH = 2,000 FEET

VERT:

DATUM

HORIZ:

VERT: NGVD29 (3-METER CONTOURS)




LOCUS MAP

WAITE POND DAM (MA00987)

LEICESTER, MASSACHUSETTS







Natural Heritage & Endangered Species Program
1 Rabbit Hill Road, Westborough, MA 01581
tel: (508) 389-6360; fax: (508) 389-7890

Data Sources:
Priority Habitats and Estimated Habitats: created by NHESP in 2021.
Certified Vernal Pools: created by NHESP, July 20, 2021.
Town Boundaries: 1:25,000 community boundary data, from MassGIS (updated March, 2017).
Roads: MassDOT roads, from MassGIS (updated 2018).
Digital Orthophoto: 15cm resolution, taken in 2019, from MassGIS.


LEICESTER






Priority Habitats and Estimated Habitats


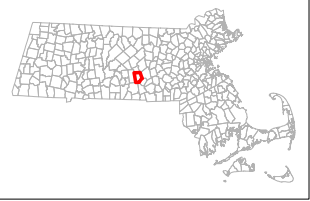
Priority Habitats, for use with the MA Endangered Species Act Regulations (321 CMR 10)
Estimated Habitats, for use with the MA Wetlands Protection Act Regulations (310 CMR 10)
Effective August 1, 2021

 Priority Habitat of Rare Species	 Priority Habitat of Rare Species and also Estimated Habitat of Rare Wildlife
Project or Activity falls within Priority Habitat only: - You must file directly with NHESP pursuant to Massachusetts Endangered Species Act (MESA)	Project or Activity is within BOTH Estimated Habitat and Priority Habitat: - Is a Notice of Intent (NOI) under wetlands regulations required? - Yes Send copy of NOI to NHESP and must also file under MESA (streamlined MESA-NOI filing option available) - No MESA filing only (see 'Priority Habitat' details at left)
Examples of projects: single family home, subdivision, commercial building, widening of driveway/road, beaver dam removal, etc.	MESA filing only (see 'Priority Habitat' details at left)
Some projects or activities may be exempt from MESA filing: see 321 CMR 10.14	

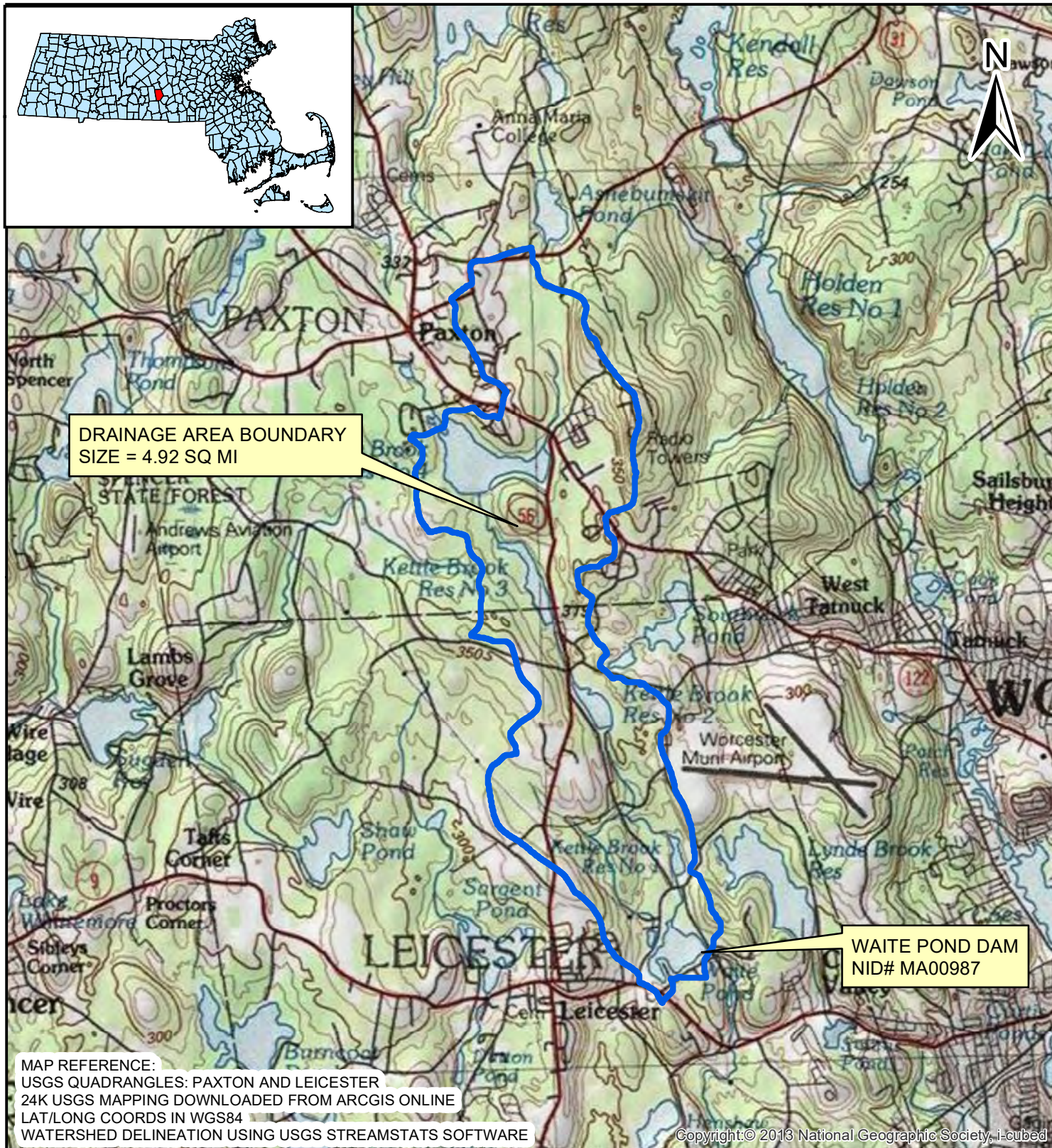
For more information, see our website at www.mass.gov/nhesp

 Certified Vernal Pools (as of July 20, 2021)
--- Town Boundary

Transportation:
 Interstate
 U.S. Highway
 State Route
 Non-numbered Route
 Railroad



Commonwealth of Massachusetts
Executive Office of Energy & Environmental Affairs
Charlie Baker, Governor
Karyn Polito, Lt. Governor
Kathleen A. Theoharides, Secretary



NOVEMBER 2016

FIGURE 3



Appendix A

Construction Drawings (September 2020 – June 2021)

Construction Drawings Provided Separately

Appendix B

Right Training Wall Extension Drawings (January 2024)

WAITE POND DAM REPAIRS

RIGHT TRAINING WALL EXTENSION

MA00987 · CHAPEL STREET · LEICESTER · MASSACHUSETTS

JANUARY 2024

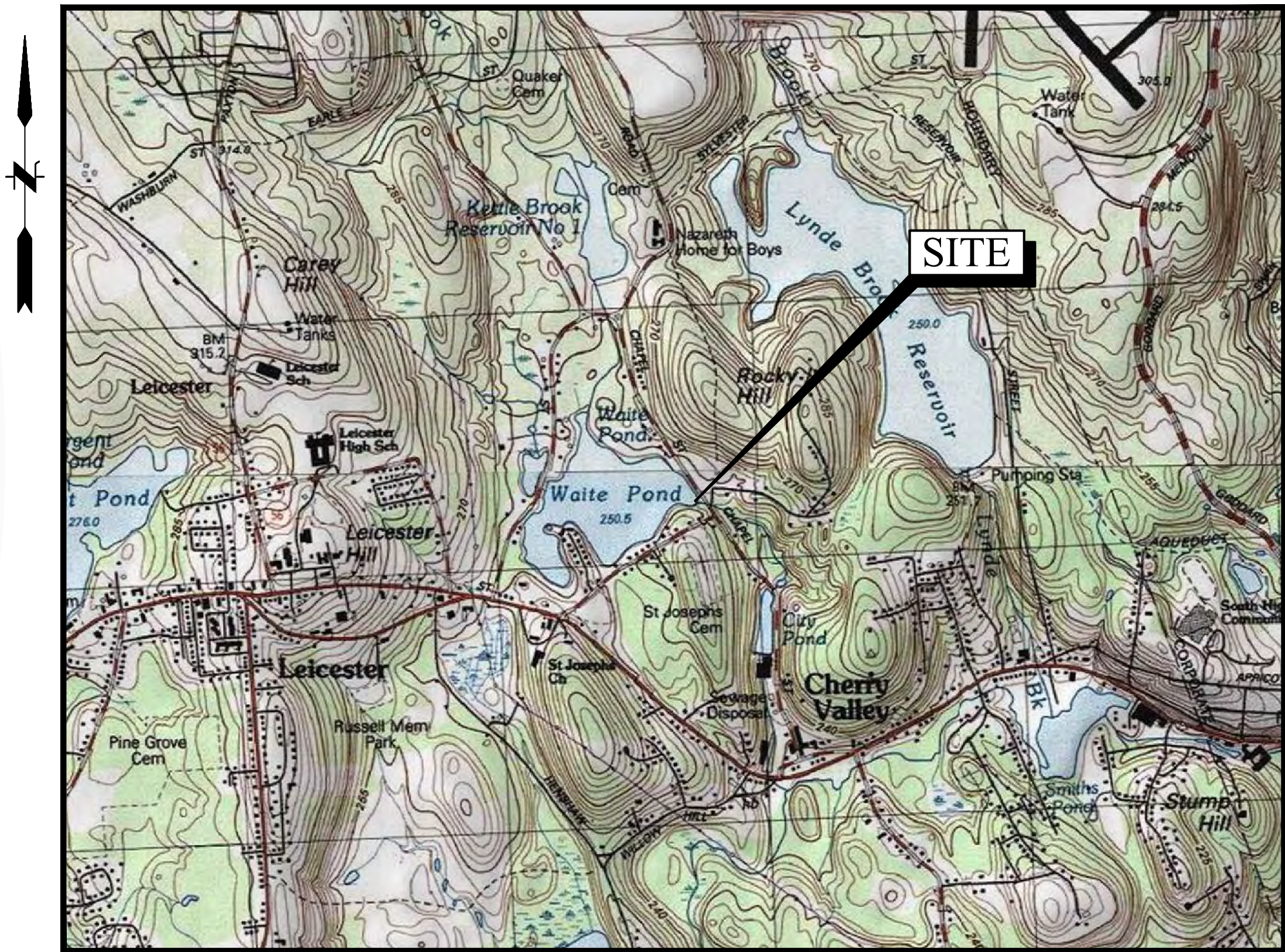
PREPARED FOR
TOWN OF LEICESTER
3 WASHBURN SQUARE
LEICESTER, MA 01524



PREPARED BY
FUSS & O'NEILL
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

SHEET INDEX

SHEET No.	SHEET TITLE
GI-001	COVER SHEET
SK-03	TRAINING WALL ELEVATION DETAIL
SK-02	TRAINING WALL SECTION DETAIL
SK-03	EXISTING CONDITIONS PLAN (JANUARY 2024)
SK-04	RESOURCE AREA IMPACTS

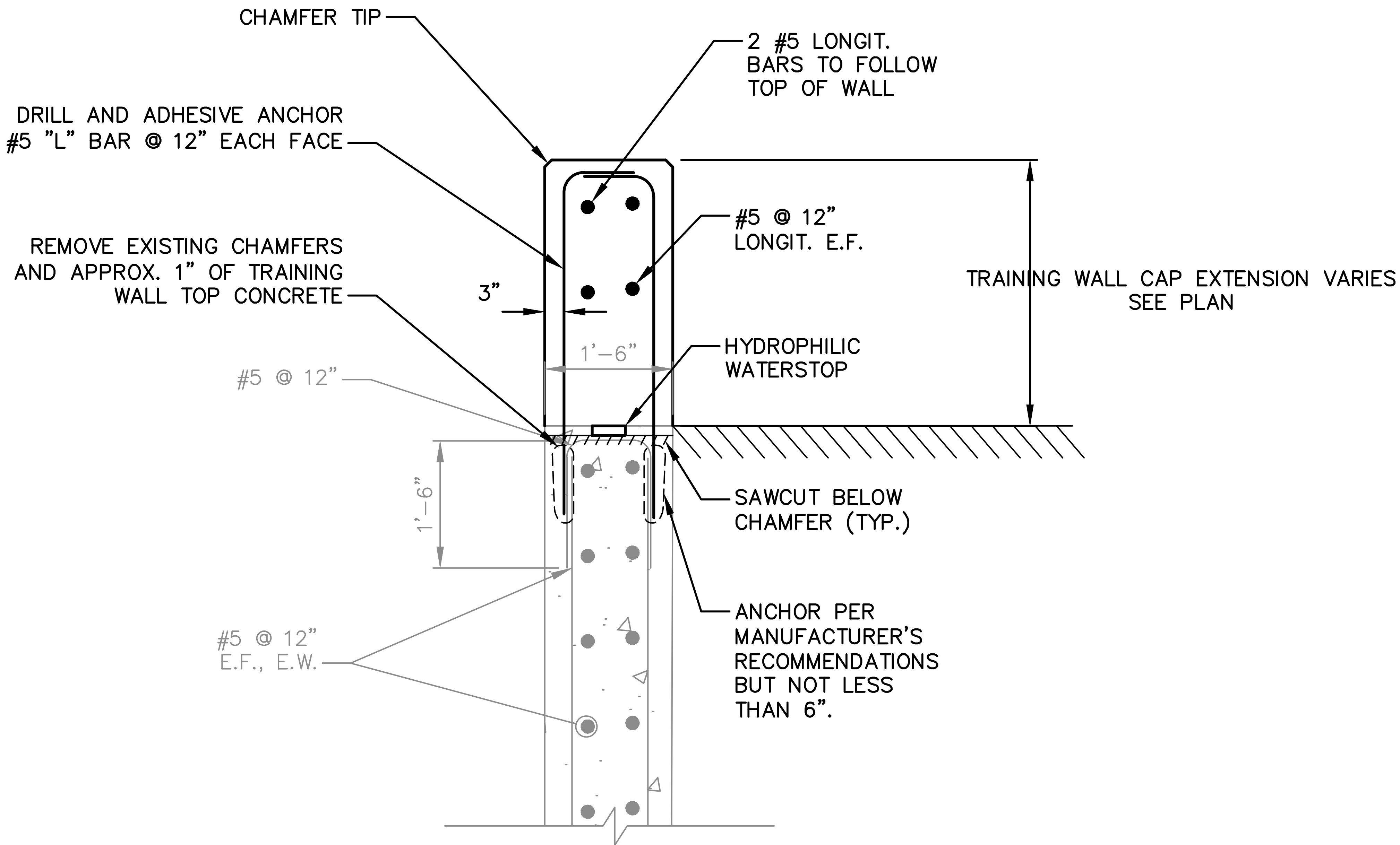


LOCATION MAP
SCALE: 1" = 2000'

PROJ. No.: 20081286.A80
DATE: MONTH YEAR

GI-001

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PC3: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 STB/CTB: FO,STB
LAYER STATE:



1		CHANGE ORDER NO. 4	SHH/DLW	DLW	
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER	



Stuart Harris
Fuss & O'Neill
2022.10.18
10:26:40-04'00'

SCALE:	
HORZ.: 1"=10'	
VERT.:	
DATUM:	
HORZ.: NAD83	
VERT.: NAVD88	
0 5 10	
GRAPHIC SCALE	



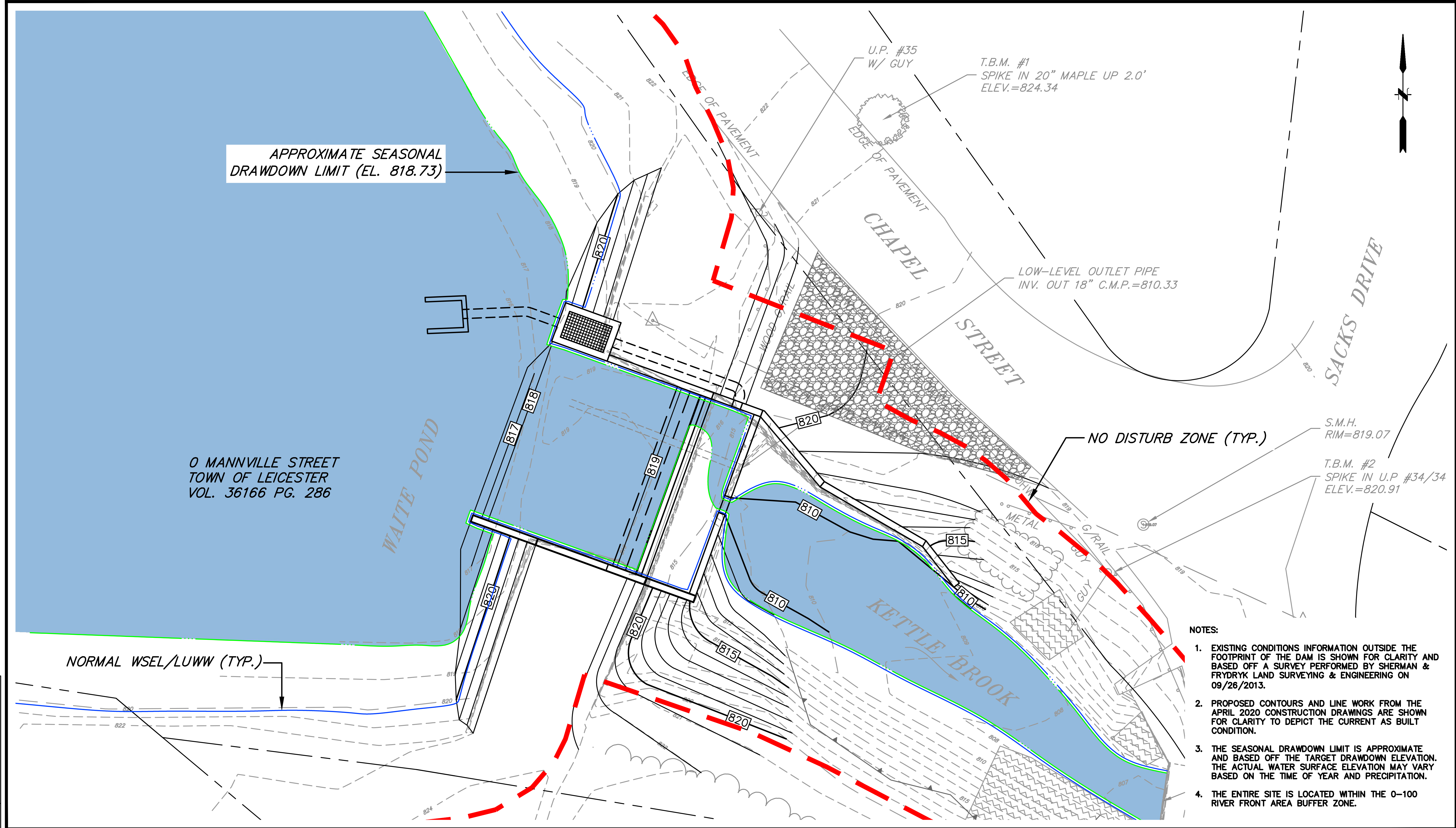
FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

TOWN OF LEICESTER
TRAINING WALL SECTION DETAIL
WAITE POND DAM REPAIRS
CHAPEL STREET
LEICESTER, MASSACHUSETTS

PROJ. No.: 20081286.A80
DATE: OCTOBER 2022
SK-02

File Path: J:\DWG\20081286A80\Civil\Plan\20081286A80_STP01.dwg Layout: SK-03 Plotted: Tue, January 23, 2024 - 4:07 PM User: kberchell
MS VIEW: LAYER STATE: PLOTTER: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 CTB File: FO HALF STB



No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

NOT FOR
CONSTRUCTION -
INFORMATIONAL ONLY

SCALE:
HORZ.: 1"=10'
VERT.:
DATUM:
HORZ.: NAD83
VERT.: NAVD88

0 5 10
GRAPHIC SCALE

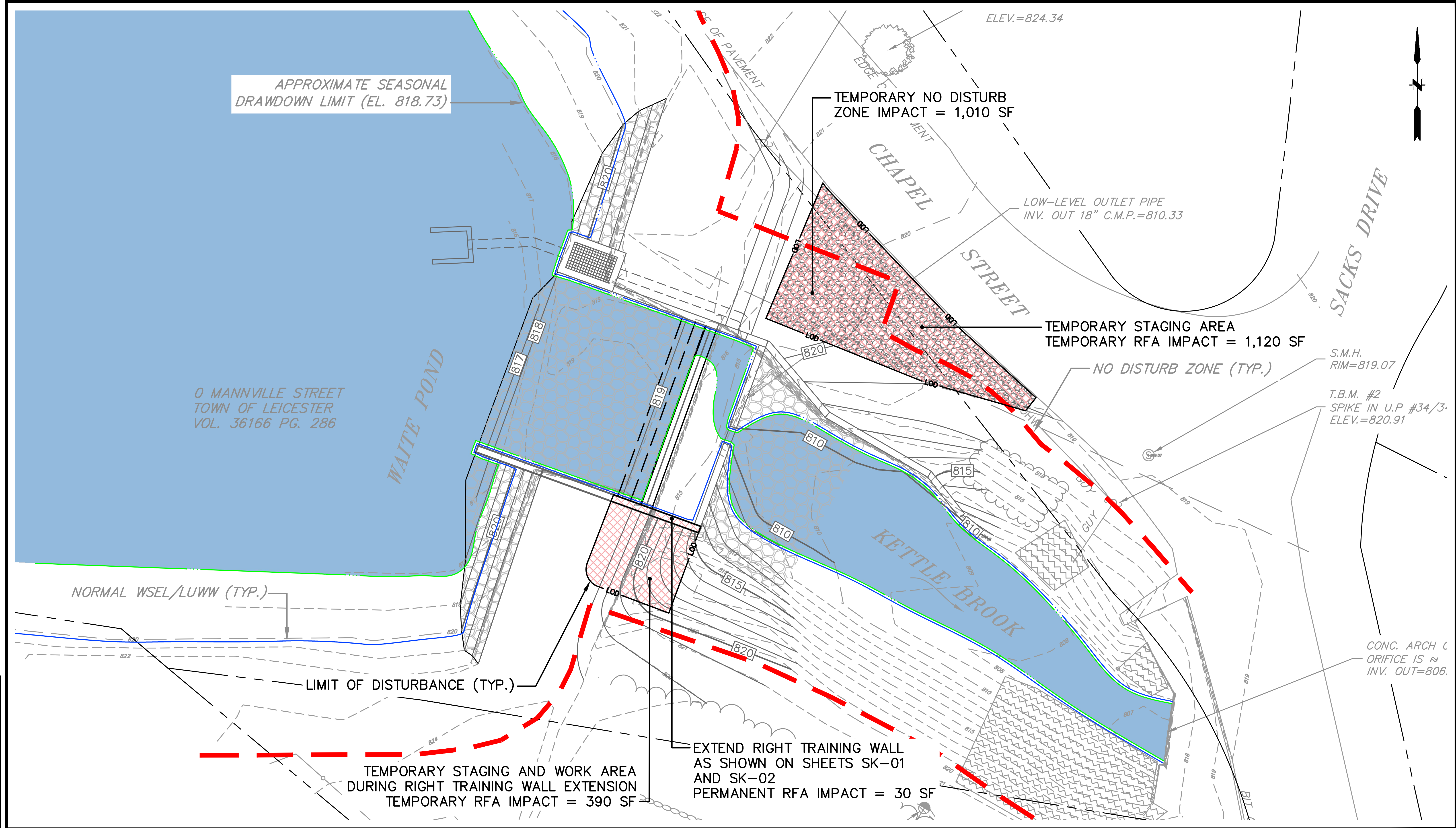
 **FUSS & O'NEILL**
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

TOWN OF LEICESTER
EXISTING CONDITIONS PLAN (JANUARY 2024)
WAITE POND DAM REPAIRS
LEICESTER MASSACHUSETTS

PROJ. No.: 20081286.A80
DATE: JANUARY 2024

SK-03

File Path: J:\DWG\20081286A80\CivilPlan\20081286A80_STP01.dwg Plotted: Tue, January 23, 2024 - 4:07 PM User: kberchell
MS VIEW: Layer State: Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 CTB File: FO HALF STB





EXTEND RIGHT TRAINING
WALL AS SHOWN ON SHEETS
SK-01 AND SK-02

REMOVE EXISTING CHAMFERS
AND APPROX. 1" OF TRAINING
WALL TOP SURFACE
CONCRETE

Appendix C

Certified Abutters List

TOWN OF LEICESTER

ASSESSORS HAVE TEN DAYS TO PROCESS YOUR REQUEST, PLEASE PLAN AHEAD!

\$10.00 PREPAID AT TIME OF REQUEST FOR FIRST THREE PAGES, \$5.00 PER PAGE AT
TIME OF PICKUP FOR EACH ADDITIONAL PAGE.

Subject Information

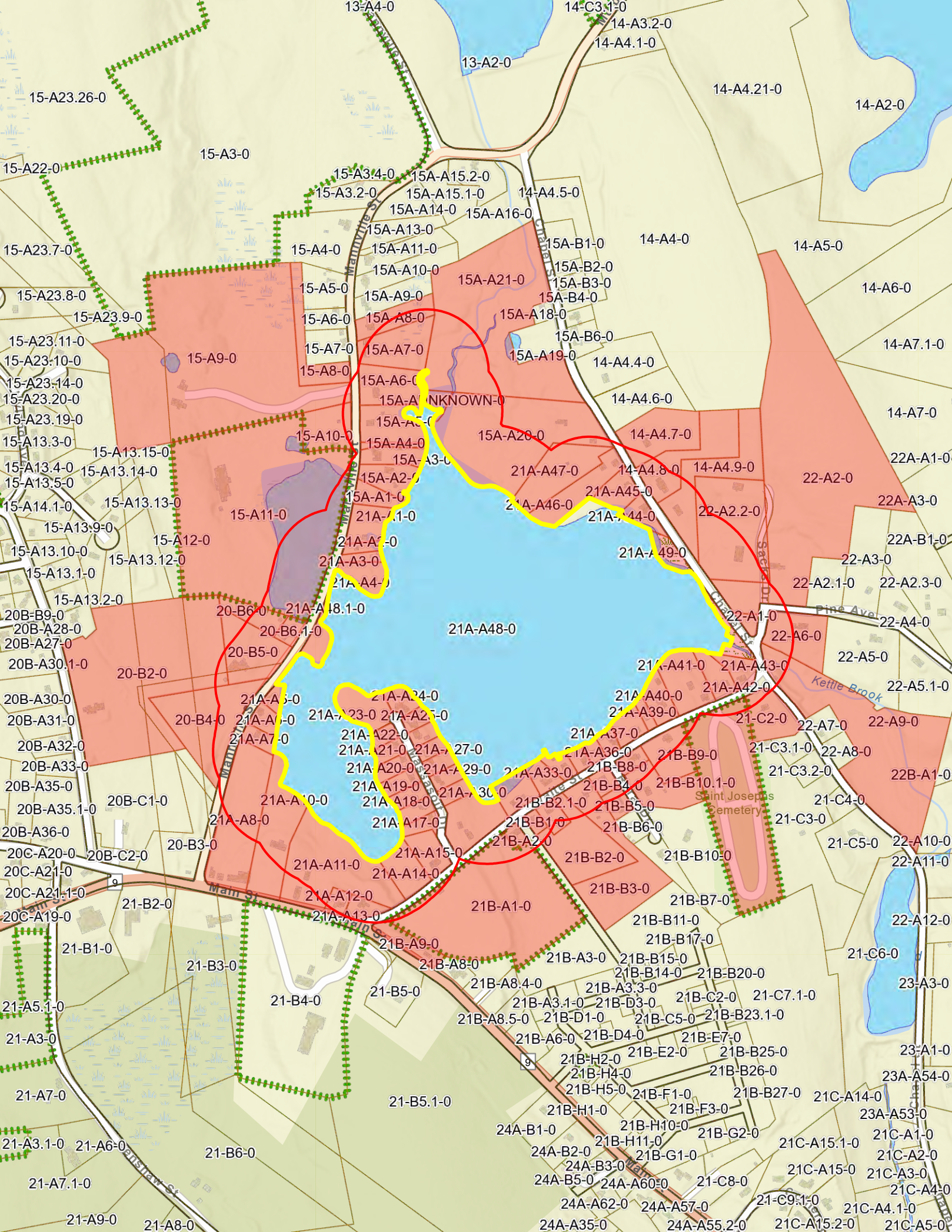
Parcel	Assessors Map: 21A	Parcel: A48	Deed Ref#: 36166-286
Owner(s)	Town of Leicester		
Street Address	Waite Pond		

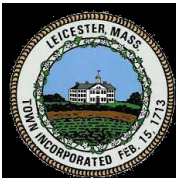
Requestor Information

Name	Alison Baranovic (Fuss & O'Neill, Inc)		
Telephone	860-327-6013	Email	ABaranovic@fando.com

	Board/Department	Description of Required Abutters List
	Conservation Commission RDA	Direct abutters, including abutters across any street
<input checked="" type="radio"/>	Conservation Commission NOI	Abutters and abutters to abutters within <u>300 feet</u> , including across any street or body of water ¹
	Planning Board Special Permit, <u>Major</u> Site Plan Review, or Definitive Subdivision	Abutters and abutters to abutters within <u>300 feet</u> , including across any street
	Zoning Board of Appeals Special Permit OR Variance	Abutters and abutters to abutters within <u>300 feet</u> , including across any street
	Board of Health.	Specify Distance (consult with Board of Health Staff to determine the required distance) _____
	Board of Selectmen Class II License	Direct abutters, including abutters across any street
	Board of Selectmen Liquor License	Direct abutters, including abutters across any street AND schools, churches, or hospitals within 500 feet
	Other. Please specify Board/Department _____	Please specify: _____ Direct Abutters _____ feet Other: _____

¹ An applicant who proposes work solely within Land under Water Bodies or Waterways, or solely within a Lot with an area greater than 50 acres, is required to provide notification only to Abutters whose Lot is within three hundred feet from the *Project Site*. An applicant proposing a Linear- shaped Project greater than 1,000 feet in length is required to provide notification only to Abutters whose Lot is within 1,000 feet from the Project Site.





300 feet Abutters List Report

Leicester, MA
January 25, 2024

Subject Property:

Parcel Number: 21A-A48-0
CAMA Number: 21A-A48-0
Property Address: MANNVILLE ST

Mailing Address: TOWN OF LEICESTER TOWN HALL
3 WASHBURN SQUARE
LEICESTER, MA 01524

Abutters:

Parcel Number: 14-A4.7-0
CAMA Number: 14-A4.7-0
Property Address: 184 CHAPEL ST

Mailing Address: MIKULSKI MICHAEL
184 CHAPEL STREET
LEICESTER, MA 01524

Parcel Number: 14-A4.8-0
CAMA Number: 14-A4.8-0
Property Address: 182 CHAPEL ST

Mailing Address: ROPIAK TANNER P DUCHARME
HANNAH M
182 CHAPEL ST
LEICESTER, MA 01524

Parcel Number: 14-A4.9-0
CAMA Number: 14-A4.9-0
Property Address: 180 CHAPEL ST

Mailing Address: WHITE RUSSEL J
180 CHAPEL ST
LEICESTER, MA 01524

Parcel Number: 15-A10-0
CAMA Number: 15-A10-0
Property Address: 93 MANNVILLE ST

Mailing Address: ROSHCIN ROMAN A
56 BARROWS RD
WORCESTER, MA 01609

Parcel Number: 15-A11-0
CAMA Number: 15-A11-0
Property Address: 91 MANNVILLE ST

Mailing Address: KNIGHTS OF COLUMBUS K OF C
COUNCIL 4528
91 MANNVILLE ST P O BOX 143
LEICESTER, MA 01524

Parcel Number: 15-A8-0
CAMA Number: 15-A8-0
Property Address: MANNVILLE ST

Mailing Address: BOLDUC DONNA L C/O DONNA L
PEPPER
2418 SE DRAYTON ROAD
PORT ST LUCIE, FL. 34952

Parcel Number: 15-A9-0
CAMA Number: 15-A9-0
Property Address: 101 MANNVILLE ST

Mailing Address: KOBEL HENRY F KOBEL CAROL
P O BOX 87
LEICESTER, MA 01524

Parcel Number: 15A-A2-0
CAMA Number: 15A-A2-0
Property Address: 90 MANNVILLE ST

Mailing Address: SNAPE PAUL
90 MANNVILLE STREET
LEICESTER, MA 01524-1123

Parcel Number: 15A-A20-0
CAMA Number: 15A-A20-0
Property Address: 171 CHAPEL ST

Mailing Address: WHITWORTH HERBERT H WHITWORTH
DOROTHY E
171 CHAPEL ST
LEICESTER, MA 01524

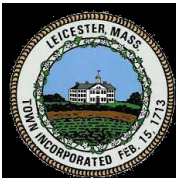
Parcel Number: 15A-A21-0
CAMA Number: 15A-A21-0
Property Address: 185 CHAPEL ST

Mailing Address: BONARDI FLORENCE A TRUSTEE
BONARDI FAMILY TRUST D
53 PROCTOR STREET
WORCESTER, MA 01606



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300 feet Abutters List Report

Leicester, MA
January 25, 2024

Parcel Number: 15A-A3-0
CAMA Number: 15A-A3-0
Property Address: 92 MANNVILLE ST

Mailing Address: IRSFELD
92 MANNVILLE ST
LEICESTER, MA 01524

Parcel Number: 15A-A4-0
CAMA Number: 15A-A4-0
Property Address: MANNVILLE ST

Mailing Address: IRSFELD JAMES ANTHONY
92 MANNVILLE ST
LEICESTER, MA 01524

Parcel Number: 15A-A5-0
CAMA Number: 15A-A5-0
Property Address: 96 MANNVILLE ST

Mailing Address: ERAZO MAYRA L
96 MANNVILLE ST
LEICESTER, MA 01524

Parcel Number: 15A-A6-0
CAMA Number: 15A-A6-0
Property Address: 98 MANNVILLE ST

Mailing Address: SENKO FUAT
98 MANNVILLE STREET
LEICESTER, MA 01524

Parcel Number: 15A-A7-0
CAMA Number: 15A-A7-0
Property Address: 112 MANNVILLE ST

Mailing Address: GOYETTE CLIFFORD P GOYETTE
KAREN A
112 MANNVILLE ST
LEICESTER, MA 01524

Parcel Number: 15A-A8-0
CAMA Number: 15A-A8-0
Property Address: 114 MANNVILLE ST

Mailing Address: HISMAN CHELSEA LEE SABOURIN
JEFFREY T
114 MANNVILLE ST
LEICESTER, MA 01524

Parcel Number: 20-B2-0
CAMA Number: 20-B2-0
Property Address: 14 WINSLOW AV

Mailing Address: REALE FRANK R JOYCE C REALE
FAMILY TRUST
14 WINSLOW AVE
LEICESTER, MA 01524

Parcel Number: 20-B4-0
CAMA Number: 20-B4-0
Property Address: MANNVILLE ST

Mailing Address: MASS ELECTRIC CO PROPERTY TAX
DEPT
40 SYLVAN ROAD
WALTHAM, MA 02451

Parcel Number: 20-B5-0
CAMA Number: 20-B5-0
Property Address: 43 MANNVILLE ST

Mailing Address: COONEY MICHAEL F CHERYL M 43
MANNVILLE ST RLTY TRUST
P O BOX 333
LEICESTER, MA 01524-0333

Parcel Number: 20-B6.1-0
CAMA Number: 20-B6.1-0
Property Address: 51 MANNVILLE ST

Mailing Address: CLOTAR ROBERT F
51 MANNVILLE ST
LEICESTER, MA 01524

Parcel Number: 20-B6-0
CAMA Number: 20-B6-0
Property Address: 51 MANNVILLE ST

Mailing Address: CLOTAR ROBERT F
51 MANNVILLE ST
LEICESTER, MA 01524

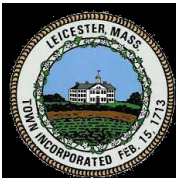
Parcel Number: 21A-A1-0
CAMA Number: 21A-A1-0
Property Address: 84 MANNVILLE ST

Mailing Address: LAMOUREUX MARC A LAMOUREUX
DEBRA A
84 MANNVILLE ST
LEICESTER, MA 01524-0432



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300 feet Abutters List Report

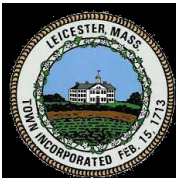
Leicester, MA
January 25, 2024

Parcel Number: 21A-A10-0 CAMA Number: 21A-A10-0 Property Address: 790 MAIN ST	Mailing Address: ENTWISTLE JR CHARLES W CW ENTWISTLE TR CWE REV TR 790 MAIN STREET LEICESTER, MA 01524
Parcel Number: 21A-A11-0 CAMA Number: 21A-A11-0 Property Address: 778 MAIN ST	Mailing Address: CHARLTON ROAD REALTY LLC 25 WATERVILLE LANE SHREWSBURY, MA 01545
Parcel Number: 21A-A12-0 CAMA Number: 21A-A12-0 Property Address: 774 MAIN ST	Mailing Address: WHEELER RANDY L WHEELER ANN M 774 MAIN STREET LEICESTER, MA 01524-1306
Parcel Number: 21A-A13-0 CAMA Number: 21A-A13-0 Property Address: 1 WAITE ST	Mailing Address: PHAM CUC 1 WAITE STREET LEICESTER, MA 01524
Parcel Number: 21A-A14-0 CAMA Number: 21A-A14-0 Property Address: 25 WAITE ST	Mailing Address: MORLEY EDWARD J MORLEY CLAUDETTE C 25 WAITE STREET LEICESTER, MA 01524
Parcel Number: 21A-A15-0 CAMA Number: 21A-A15-0 Property Address: 25 WAITE ST	Mailing Address: MORLEY EDWARD J MORLEY CLAUDETTE C 25 WAITE STREET LEICESTER, MA 01524
Parcel Number: 21A-A16-0 CAMA Number: 21A-A16-0 Property Address: 5 MASSASOIT DR	Mailing Address: MCCULLOUGH GLORIANN O MCCULLOUGH GRAHAM P 5 MASSASOIT DR LEICESTER, MA 01524
Parcel Number: 21A-A17-0 CAMA Number: 21A-A17-0 Property Address: 7 MASSASOIT DR	Mailing Address: SCALLEY RYAN 7 MASSASOIT DRIVE LEICESTER, MA 01524
Parcel Number: 21A-A18-0 CAMA Number: 21A-A18-0 Property Address: 9 MASSASOIT DR	Mailing Address: FLUET JOSEPH J FLUET KATHLEEN A 9 MASSASOIT DR LEICESTER, MA 01524
Parcel Number: 21A-A19-0 CAMA Number: 21A-A19-0 Property Address: 11 MASSASOIT DR	Mailing Address: OLEARY ANDREW R OLEARY CAROL F 11 MASSASOIT DR LEICESTER, MA 01524
Parcel Number: 21A-A2-0 CAMA Number: 21A-A2-0 Property Address: MANNVILLE ST	Mailing Address: LAW MARIE L PO BOX 425 LEICESTER, MA 01524
Parcel Number: 21A-A20-0 CAMA Number: 21A-A20-0 Property Address: 13 MASSASOIT DR	Mailing Address: SCHULMAN STEVEN A SCHULMAN LINDA S 13 MASSASOIT DR LEICESTER, MA 01524



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300 feet Abutters List Report

Leicester, MA
January 25, 2024

Parcel Number: 21A-A21-0
CAMA Number: 21A-A21-0
Property Address: 15 MASSASOIT DR

Mailing Address: ZMAYEFSKI JEFFREY A
15 MASSASOIT DRIVE
LEICESTER, MA 01524

Parcel Number: 21A-A22-0
CAMA Number: 21A-A22-0
Property Address: 17 MASSASOIT DR

Mailing Address: MURPHY MCCANCE DONNA M
17 MASSASOIT DR
LEICESTER, MA 01524

Parcel Number: 21A-A23-0
CAMA Number: 21A-A23-0
Property Address: 19 MASSASOIT DR

Mailing Address: EARLE THERESA M
19 MASSASOIT DR
LEICESTER, MA 01524

Parcel Number: 21A-A24-0
CAMA Number: 21A-A24-0
Property Address: 18 MASSASOIT DR

Mailing Address: JEROME GEORGE JEROME SANDRA
18 MASSASOIT DR
LEICESTER, MA 01524

Parcel Number: 21A-A25-0
CAMA Number: 21A-A25-0
Property Address: 16 MASSASOIT DR

Mailing Address: FERDELLA KARYN M
16 MASSASOIT DR
LEICESTER, MA 01524

Parcel Number: 21A-A26-0
CAMA Number: 21A-A26-0
Property Address: 14 MASSASOIT DR

Mailing Address: DALE CARL S DALE SHARYN E
14 MASSASOIT DR
LEICESTER, MA 01524-1104

Parcel Number: 21A-A27-0
CAMA Number: 21A-A27-0
Property Address: 12 MASSASOIT DR

Mailing Address: PASZUK CHRISTINE
12 MASSASOIT DR
LEICESTER, MA 01524

Parcel Number: 21A-A28-0
CAMA Number: 21A-A28-0
Property Address: 10 MASSASOIT DR

Mailing Address: MERCIER A J MERCIER ERIN A
10 MASSASOIT DRIVE
LEICESTER, MA 01524

Parcel Number: 21A-A29-0
CAMA Number: 21A-A29-0
Property Address: 8 MASSASOIT DR

Mailing Address: GREENE DENVER GREENE ABIGAIL
8 MASSASOIT RD
LEICESTER, MA 01524

Parcel Number: 21A-A3-0
CAMA Number: 21A-A3-0
Property Address: 82 MANNVILLE ST

Mailing Address: LAW MARIE L
PO BOX 425
LEICESTER, MA 01524

Parcel Number: 21A-A30-0
CAMA Number: 21A-A30-0
Property Address: 6 MASSASOIT DR

Mailing Address: O'LEARY CHRISTINE G HOLMES
MICHAEL
6 MASSASOIT DR
LEICESTER, MA 01524

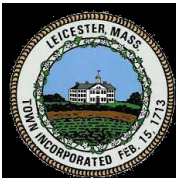
Parcel Number: 21A-A31-0
CAMA Number: 21A-A31-0
Property Address: 35 WAITE ST

Mailing Address: PHILLIPS SR ALLEN PHILLIPS
MICHELLE M
35 WAITE ST
LEICESTER, MA 01524



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300 feet Abutters List Report

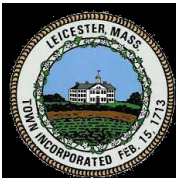
Leicester, MA
January 25, 2024

Parcel Number: 21A-A32-0 CAMA Number: 21A-A32-0 Property Address: 51 WAITE ST	Mailing Address: SMITH JUSTON O 51 WAITE ST LEICESTER, MA 01524
Parcel Number: 21A-A33-0 CAMA Number: 21A-A33-0 Property Address: 55 WAITE ST	Mailing Address: DIAZ LYNNETTE 55 WAITE STREET LEICESTER, MA 01524
Parcel Number: 21A-A34-0 CAMA Number: 21A-A34-0 Property Address: 65 WAITE ST	Mailing Address: COLBY ROLAND B COLBY ARLENE R 65 WAITE ST LEICESTER, MA 01524
Parcel Number: 21A-A35-0 CAMA Number: 21A-A35-0 Property Address: 67 WAITE ST	Mailing Address: MURZYCKI LOUIS JOAN TRUSTEES MURZYCKI FAMILY 2011 IRREV. TR 67 WAITE ST LEICESTER, MA 01524
Parcel Number: 21A-A36-0 CAMA Number: 21A-A36-0 Property Address: 69 WAITE ST	Mailing Address: JAROSKI JR EDWARD R 69 WAITE ST LEICESTER, MA 01524-1120
Parcel Number: 21A-A37-0 CAMA Number: 21A-A37-0 Property Address: 73 WAITE ST	Mailing Address: ARMSTEAD WOODSON L 73 WAITE ST LEICESTER, MA 01524
Parcel Number: 21A-A38-0 CAMA Number: 21A-A38-0 Property Address: 77 WAITE ST	Mailing Address: ROBSON JAMES D III ROBSON SUZANNE B 77 WAITE ST LEICESTER, MA 01524
Parcel Number: 21A-A39-0 CAMA Number: 21A-A39-0 Property Address: 81 WAITE ST	Mailing Address: FAWLS JOAN M TRUSTEE JOAN M FAWLS LIVING TRUST 321 ELIOT ST MILTON, MA 02186
Parcel Number: 21A-A4-0 CAMA Number: 21A-A4-0 Property Address: MANNVILLE ST	Mailing Address: LAW MARIE L PO BOX 425 LEICESTER, MA 01524
Parcel Number: 21A-A40-0 CAMA Number: 21A-A40-0 Property Address: 85 85A WAITE ST	Mailing Address: MCCAULEY JESSICA MCCAULEY TRAVIS 85 WAITE ST LEICESTER, MA 01524
Parcel Number: 21A-A41-0 CAMA Number: 21A-A41-0 Property Address: 95 WAITE ST	Mailing Address: FORD DANA J 95 WAITE ST LEICESTER, MA 01524
Parcel Number: 21A-A42-0 CAMA Number: 21A-A42-0 Property Address: 97 WAITE ST	Mailing Address: SILBERSTEIN CHARLES G CHARLES G SILBERSTEIN REV TRS 97 WAITE ST LEICESTER, MA 01524



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300 feet Abutters List Report

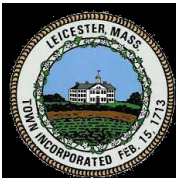
Leicester, MA
January 25, 2024

Parcel Number: 21A-A43-0 CAMA Number: 21A-A43-0 Property Address: 99 WAITE ST	Mailing Address: BOURASSA BRIAN BOURASSA KIM 99 WAITE STREET LEICESTER, MA 01524
Parcel Number: 21A-A44-0 CAMA Number: 21A-A44-0 Property Address: 165 CHAPEL ST	Mailing Address: MILLER RICHARD F MILLER SANDRA L 165 CHAPEL STREET LEICESTER, MA 01524
Parcel Number: 21A-A45-0 CAMA Number: 21A-A45-0 Property Address: 167 CHAPEL ST	Mailing Address: MAGNANO DAVID 167 CHAPEL ST LEICESTER, MA 01524
Parcel Number: 21A-A46-0 CAMA Number: 21A-A46-0 Property Address: 169 CHAPEL ST	Mailing Address: VARGAS BIENVENIDA VARGAS JULIO C 169 CHAPEL ST LEICESTER, MA 01524
Parcel Number: 21A-A47-0 CAMA Number: 21A-A47-0 Property Address: 169.5 CHAPEL ST	Mailing Address: DOHERTY EDWARD J 169.5 CHAPEL ST LEICESTER, MA 01524
Parcel Number: 21A-A48.1-0 CAMA Number: 21A-A48.1-0 Property Address: MANNVILLE ST	Mailing Address: LEICESTER WATER SUPPLY 124 PINE STREET LEICESTER, MA 01524
Parcel Number: 21A-A49-0 CAMA Number: 21A-A49-0 Property Address: CHAPEL ST	Mailing Address: BARROWS CHRISTOPHER L 48 MORTON STATION ROAD CHARLTON, MA 01507-1320
Parcel Number: 21A-A5-0 CAMA Number: 21A-A5-0 Property Address: 42 MANNVILLE ST	Mailing Address: CARLSON JENNIFER 42 MANVILLE ST LEICESTER, MA 01524
Parcel Number: 21A-A6-0 CAMA Number: 21A-A6-0 Property Address: 40 MANNVILLE ST	Mailing Address: VU LOAN MICHAUD ERIC 40 MANNVILLE ST LEICESTER, MA 01524
Parcel Number: 21A-A7-0 CAMA Number: 21A-A7-0 Property Address: 38 MANNVILLE ST	Mailing Address: OLSON MARK S MCNALLY CHERYL A. 38 MANNVILLE STREET LEICESTER, MA 01524`
Parcel Number: 21A-A8-0 CAMA Number: 21A-A8-0 Property Address: 800 MAIN ST	Mailing Address: ENTWISTLE III CHARLES W 800-802 MAIN ST LEICESTER, MA 01524
Parcel Number: 21A-A8-0 CAMA Number: 21A-A9-0 Property Address: 804 MAIN ST	Mailing Address: ENTWISTLE III CHARLES W 800 MAIN STREET LEICESTER, MA 01524



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300 feet Abutters List Report

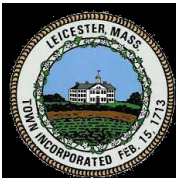
Leicester, MA
January 25, 2024

Parcel Number: 21B-A1-0 CAMA Number: 21B-A1-0 Property Address: 22 WAITE ST	Mailing Address: TOWN OF LEICESTER LEICESTER COMMUNITY FIELD 3 WASHBURN SQUARE LEICESTER, MA 01524
Parcel Number: 21B-A2-0 CAMA Number: 21B-A2-0 Property Address: 50 WAITE ST	Mailing Address: LACH ANNA STARUK COONEY CHERYL 50 WAITE STREET LEICESTER, MA 01524
Parcel Number: 21B-A9-0 CAMA Number: 21B-A9-0 Property Address: 724 MAIN ST	Mailing Address: CANANE RONALD E CANANE KATHLEEN A 852 MAIN ST LEICESTER, MA 01524
Parcel Number: 21B-B1-0 CAMA Number: 21B-B1-0 Property Address: 52 WAITE ST	Mailing Address: WILLETTE SUSAN E 52 WAITE ST LEICESTER, MA 01524
Parcel Number: 21B-B10.1-0 CAMA Number: 21B-B10.1-0 Property Address: 1 RURAL DR	Mailing Address: ALBRIZIO DAVID B ALBRIZIO MICHELLE A 1 RURAL DR LEICESTER, MA 01524
Parcel Number: 21B-B2.1-0 CAMA Number: 21B-B2.1-0 Property Address: 56 WAITE ST	Mailing Address: DUGGAN DENNIS H DUGGAN KATHLEEN 56 WAITE ST LEICESTER, MA 01524
Parcel Number: 21B-B2-0 CAMA Number: 21B-B2-0 Property Address: HAWTHORNE ST	Mailing Address: RYAN JORDAN HAWTHORNE ST LEICESTER, MA 01524
Parcel Number: 21B-B3-0 CAMA Number: 21B-B3-0 Property Address: 66 WAITE ST	Mailing Address: COMEAU MICHAEL J 66 WAITE STREET LEICESTER, MA 01524
Parcel Number: 21B-B4-0 CAMA Number: 21B-B4-0 Property Address: 68 WAITE ST	Mailing Address: RICE CRAIG R LANE CHRISTINE 68 WAITE ST LEICESTER, MA 01524
Parcel Number: 21B-B5-0 CAMA Number: 21B-B5-0 Property Address: 4 RURAL DR	Mailing Address: LEBLANC ADAM 4 RURAL DR LEICESTER, MA 01524
Parcel Number: 21B-B8-0 CAMA Number: 21B-B8-0 Property Address: 80 WAITE ST	Mailing Address: RIVERS LISA M RIVERS BRIAN K 80 WAITE ST LEICESTER, MA 01524
Parcel Number: 21B-B9-0 CAMA Number: 21B-B9-0 Property Address: 82 WAITE ST	Mailing Address: FISH JOSEPH R 82 WAITE ST LEICESTER, MA 01524



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300 feet Abutters List Report

Leicester, MA
January 25, 2024

Parcel Number: 21-C1-0
CAMA Number: 21-C1-0
Property Address: 90 WAITE ST

Mailing Address: TOWN OF LEICESTER ST JOSEPHS
CEMETERY
3 WASHBURN SQUARE
LEICESTER, MA 01524

Parcel Number: 21-C2-0
CAMA Number: 21-C2-0
Property Address: 100 WAITE ST

Mailing Address: MURDOCK BRENDEN T
100 WAITE ST
LEICESTER, MA 01524

Parcel Number: 22-A1-0
CAMA Number: 22-A1-0
Property Address: PINE AV

Mailing Address: LEICESTER WATER SUPPLY
P.O. BOX 86
LEICESTER, MA 01524

Parcel Number: 22-A2.2-0
CAMA Number: 22-A2.2-0
Property Address: 5 SACKS DR

Mailing Address: DAIGE JOHN V DAIGE TRICIA M
5 SACKS DR
CHERRY VALLEY, MA 01611

Parcel Number: 22-A2-0
CAMA Number: 22-A2-0
Property Address: 2 SACKS DR

Mailing Address: DAIGE PATRICIA
2 SACKS DR
CHERRY VALLEY, MA 01611

Parcel Number: 22-A6-0
CAMA Number: 22-A6-0
Property Address: 2 PINE AV

Mailing Address: DEE AMY E TRUSTEE MADORE FAM
TRUST
2 PINE AVE
CHERRY VALLEY, MA 01611

Parcel Number: 22-A9-0
CAMA Number: 22-A9-0
Property Address: 120 CHAPEL ST

Mailing Address: LEICESTER WATER SUPPLY
124 PINE STREET
LEICESTER, MA 01524

Above is a certified list of abutters and abutters to abutters within 300 feet.
Subject Property Waite Pond Map 21A Lot A48 Deed Reference 36166 page 286
Subject Owner; Town of Leicester
Certified by Alyce D. Johns, Interim Assessor
Alyce D Johns



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1/25/2024

Page 8 of 8

ALBRIZIO DAVID B
ALBRIZIO MICHELLE A
1 RURAL DR
LEICESTER, MA 01524

COLBY ROLAND B
COLBY ARLENE R
65 WAITE ST
LEICESTER, MA 01524

EARLE THERESA M
19 MASSASOIT DR
LEICESTER, MA 01524

ARMSTEAD WOODSON L
73 WAITE ST
LEICESTER, MA 01524

COMEAU MICHAEL J
66 WAITE STREET
LEICESTER, MA 01524

ENTWISTLE III CHARLES W
800 MAIN STREET
LEICESTER, MA 01524

BARROWS CHRISTOPHER L
48 MORTON STATION ROAD
CHARLTON, MA 01507-1320

COONEY MICHAEL F CHERYL M
43 MANNVILLE ST RLTY TRUS
P O BOX 333
LEICESTER, MA 01524-0333

ENTWISTLE III CHARLES W
800-802 MAIN ST
LEICESTER, MA 01524

BOLDUC DONNA L
C/O DONNA L PEPPER
2418 SE DRAYTON ROAD
PORT ST LUCIE, FL. 34952

DAIGE PATRICIA
2 SACKS DR
CHERRY VALLEY, MA 01611

ENTWISTLE JR CHARLES W
CW ENTWISTLE TR CWE REV T
790 MAIN STREET
LEICESTER, MA 01524

BONARDI FLORENCE A TRUSTE
BONARDI FAMILY TRUST D
53 PROCTOR STREET
WORCESTER, MA 01606

DAIGE JOHN V
DAIGE TRICIA M
5 SACKS DR
CHERRY VALLEY, MA 01611

ERAZO MAYRA L
96 MANNVILLE ST
LEICESTER, MA 01524

BOURASSA BRIAN
BOURASSA KIM
99 WAITE STREET
LEICESTER, MA 01524

DALE CARL S
DALE SHARYN E
14 MASSASOIT DR
LEICESTER, MA 01524-1104

FAWLS JOAN M TRUSTEE
JOAN M FAWLS LIVING TRUST
321 ELIOT ST
MILTON, MA 02186

CANANE RONALD E
CANANE KATHLEEN A
852 MAIN ST
LEICESTER, MA 01524

DEE AMY E TRUSTEE
MADORE FAM TRUST
2 PINE AVE
CHERRY VALLEY, MA 01611

FERDELLA KARYN M
16 MASSASOIT DR
LEICESTER, MA 01524

CARLSON JENNIFER
42 MANVILLE ST
LEICESTER, MA 01524

DIAZ LYNNETTE
55 WAITE STREET
LEICESTER, MA 01524

FISH JOSEPH R
82 WAITE ST
LEICESTER, MA 01524

CHARLTON ROAD REALTY LLC
25 WATERVILLE LANE
SHREWSBURY, MA 01545

DOHERTY EDWARD J
169.5 CHAPEL ST
LEICESTER, MA 01524

FLUET JOSEPH J
FLUET KATHLEEN A
9 MASSASOIT DR
LEICESTER, MA 01524

CLOTAR ROBERT F
51 MANNVILLE ST
LEICESTER, MA 01524

DUGGAN DENNIS H
DUGGAN KATHLEEN
56 WAITE ST
LEICESTER, MA 01524

FORD DANA J
95 WAITE ST
LEICESTER, MA 01524

GOYETTE CLIFFORD P
GOYETTE KAREN A
112 MANNVILLE ST
LEICESTER, MA 01524

LAMOUREUX MARC A
LAMOUREUX DEBRA A
84 MANNVILLE ST
LEICESTER, MA 01524-0432

MERCIER A J
MERCIER ERIN A
10 MASSASOIT DRIVE
LEICESTER, MA 01524

GREENE DENVER
GREENE ABIGAIL
8 MASSASOIT RD
LEICESTER, MA 01524

LAW MARIE L
PO BOX 425
LEICESTER, MA 01524

MIKULSKI MICHAEL
184 CHAPEL STREET
LEICESTER, MA 01524

HISMAN CHELSEA LEE
SABOURIN JEFFREY T
114 MANNVILLE ST
LEICESTER, MA 01524

LAW MARIE L
PO BOX 425
LEICESTER, MA 01524

MILLER RICHARD F
MILLER SANDRA L
165 CHAPEL STREET
LEICESTER, MA 01524

IRSFELD
92 MANNVILLE ST
LEICESTER, MA 01524

LEBLANC ADAM
4 RURAL DR
LEICESTER, MA 01524

MORLEY EDWARD J
MORLEY CLAUDETTE C
25 WAITE STREET
LEICESTER, MA 01524

IRSFELD JAMES ANTHONY
92 MANNVILLE ST
LEICESTER, MA 01524

LEICESTER WATER SUPPLY
124 PINE STREET
LEICESTER, MA 01524

MURDOCK BRENDEN T
100 WAITE ST
LEICESTER, MA 01524

JAROSKI JR EDWARD R
69 WAITE ST
LEICESTER, MA 01524-1120

LEICESTER WATER SUPPLY
P.O. BOX 86
LEICESTER, MA 01524

MURPHY MCCANCE DONNA M
17 MASSASOIT DR
LEICESTER, MA 01524

JEROME GEORGE
JEROME SANDRA
18 MASSASOIT DR
LEICESTER, MA 01524

MAGNANO DAVID
167 CHAPEL ST
LEICESTER, MA 01524

MURZYCKI LOUIS JOAN TRUST
MURZYCKI FAMILY 2011 IRRE
67 WAITE ST
LEICESTER, MA 01524

KNIGHTS OF COLUMBUS
K OF C COUNCIL 4528
91 MANNVILLE ST P O BOX 143
LEICESTER, MA 01524

MASS ELECTRIC CO
PROPERTY TAX DEPT
40 SYLVAN ROAD
WALTHAM, MA 02451

O'LEARY CHRISTINE G
HOLMES MICHAEL
6 MASSASOIT DR
LEICESTER, MA 01524

KOBEL HENRY F
KOBEL CAROL
P O BOX 87
LEICESTER, MA 01524

MCCAULEY JESSICA
MCCAULEY TRAVIS
85 WAITE ST
LEICESTER, MA 01524

OLEARY ANDREW R
OLEARY CAROL F
11 MASSASOIT DR
LEICESTER, MA 01524

LACH ANNA
STARUK COONEY CHERYL
50 WAITE STREET
LEICESTER, MA 01524

MCCULLOUGH GLORIANN O
MCCULLOUGH GRAHAM P
5 MASSASOIT DR
LEICESTER, MA 01524

OLSON MARK S
MCNALLY CHERYL A.
38 MANNVILLE STREET
LEICESTER, MA 01524`

PASZUK CHRISTINE
12 MASSASOIT DR
LEICESTER, MA 01524

SCALLEY RYAN
7 MASSASOIT DRIVE
LEICESTER, MA 01524

WHEELER RANDY L
WHEELER ANN M
774 MAIN STREET
LEICESTER, MA 01524-1306

PHAM CUC
1 WAITE STREET
LEICESTER, MA 01524

SCHULMAN STEVEN A
SCHULMAN LINDA S
13 MASSASOIT DR
LEICESTER, MA 01524

WHITE RUSSEL J
180 CHAPEL ST
LEICESTER, MA 01524

PHILLIPS SR ALLEN
PHILLIPS MICHELLE M
35 WAITE ST
LEICESTER, MA 01524

SENKO FUAT
98 MANNVILLE STREET
LEICESTER, MA 01524

WHITWORTH HERBERT H
WHITWORTH DOROTHY E
171 CHAPEL ST
LEICESTER, MA 01524

REALE FRANK R JOYCE C
REALE FAMILY TRUST
14 WINSLOW AVE
LEICESTER, MA 01524

SILBERSTEIN CHARLES G
CHARLES G SILBERSTEIN REV
97 WAITE ST
LEICESTER, MA 01524

WILLETTE SUSAN E
52 WAITE ST
LEICESTER, MA 01524

RICE CRAIG R
LANE CHRISTINE
68 WAITE ST
LEICESTER, MA 01524

SMITH JUSTON O
51 WAITE ST
LEICESTER, MA 01524

ZMAYEFSKI JEFFREY A
15 MASSASOIT DRIVE
LEICESTER, MA 01524

RIVERS LISA M
RIVERS BRIAN K
80 WAITE ST
LEICESTER, MA 01524

SNAPE PAUL
90 MANNVILLE STREET
LEICESTER, MA 01524-1123

ROBSON JAMES D III
ROBSON SUZANNE B
77 WAITE ST
LEICESTER, MA 01524

TOWN OF LEICESTER
LEICESTER COMMUNITY FIELD
3 WASHBURN SQUARE
LEICESTER, MA 01524

ROPIAK TANNER P
DUCHARME HANNAH M
182 CHAPEL ST
LEICESTER, MA 01524

TOWN OF LEICESTER
ST JOSEPHS CEMETERY
3 WASHBURN SQUARE
LEICESTER, MA 01524

ROSHCHIN ROMAN A
56 BARROWS RD
WORCESTER, MA 01609

VARGAS BIENVENIDA
VARGAS JULIO C
169 CHAPEL ST
LEICESTER, MA 01524

RYAN JORDAN
HAWTHORNE ST
LEICESTER, MA 01524

VU LOAN
MICHAUD ERIC
40 MANNVILLE ST
LEICESTER, MA 01524

Appendix D

Site Photos



Photo 1: Overview of primary spillway from downstream (September 2023)



Photo 2: Overview right training wall (September 2023)



Photo 3: Overview of downstream channel (January 2024)



Photo 4: Overview of spillway from downstream (January 2024)



Photo 5: Overview of wall extension (January 2024)

Appendix E

Wetland Delineation Report (October 2013)



FUSS & O'NEILL

Site Investigation and Inland Resource Area Delineation Report

Report Date: October 30, 2013

Prepared For: Robert T. Reed
Town Administrator
Town of Leicester
3 Washburn Square
Leicester, Massachusetts 01524

Site Location: Waite Pond Dam, Leicester, MA

Inspection Date: September 17, 2013

Regulated Inland Wetland Resource Areas:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Bank | <input checked="" type="checkbox"/> Bordering Vegetated Wetland (BVW) |
| <input checked="" type="checkbox"/> Land Under Water Bodies and Waterways | <input checked="" type="checkbox"/> Land Subject to Flooding (BLSF/ILSF) |
| <input checked="" type="checkbox"/> Riverfront Area | <input type="checkbox"/> Isolated Vegetated Wetland |
| <input checked="" type="checkbox"/> Buffer Zone | <input type="checkbox"/> Estimated Habitats of Rare Wildlife |
| <input type="checkbox"/> Vernal Pool | |

Delineated Resource Area Field Numbering Sequence *[as depicted on the attached Resource Map]:*

Bank/LUWW: A099 to A111; B100 to B112 **BVW:** C100 to C106

Wetland and watercourse resource areas were delineated in accordance with applicable local, state and federal statutes, as detailed within the Resource Area Description attachment. This delineation does not constitute an official wetland boundary until such time as it is accepted and approved by local, state or federal regulatory agencies.

146 Hartford Road
Manchester, CT
06040
t 860.646.2469
800.286.2469
f 860.533.5143

www.fando.com

Connecticut
Massachusetts
Rhode Island
South Carolina

The wetlands delineation was conducted by:

Sara S. Fusco, CPESC
Wetland Scientist/Soil Scientist

att

ATTACHMENTS

- Resource Area Description
- DEP Bordering Vegetated Wetland (310 CMR 10.55)
Delineation Field Forms
- NRCS Soil Map and Soil Report
- Resource Area Sketch Map
- MassGIS: OLIVER generated FEMA Map

Fuss & O'Neill Inc. performed a wetland resource area field inspection and delineation within 100 feet of Waite Pond Dam in Leicester, Massachusetts on September 17, 2013. The purpose of the delineation was to locate the jurisdictional limits of areas regulated under the Wetland Protection Act (M.G.L. c. 131 sec. 40) and the associated Wetland Protection regulations (310 CMR 10). The extent of the resource area determination is referred to herein as "the area of interest" and depicted on the attached Wetland Sketch Map. Inland wetland resource areas identified in the area of interest during the field inspection include: Bordering Vegetated Wetlands (BVW), Bank, Land Under Water Bodies and Waterways (LUWW), Riverfront Area, and Buffer Zone. MA Natural Heritage Endangered Species Program (NHESP) Priority Habitat for Rare Species and Estimated Habitat for Rare Wildlife are not depicted within the area of interest on maps retrieved from MassGIS.

Resource Area Descriptions

Bordering Vegetated Wetlands (BVW): Regulatory Framework and Delineation Methodology

As stated in 310 CMR (2)(a), "Bordering Vegetated Wetlands are freshwater wetlands which border on creeks, rivers, streams, ponds and lakes. The types of freshwater wetlands are wet meadows, marshes, swamps and bogs. Bordering Vegetated Wetlands are areas where the soils are saturated and/or inundated such that they support a predominance of wetland indicator plants. The ground and surface water regime and the vegetation community which occur in each type of freshwater wetland are specified in M.G.L. c 131 sec. 40."

Fuss & O'Neill Inc. delineated bordering vegetated wetlands within 100 feet of Waite Pond Dam in accordance with methodology provided in the Massachusetts DEP handbook, Delineating Bordering Vegetated Wetlands under the Massachusetts Wetlands Protection Act, dated March 1995, the 1987 Corps of Engineers Wetlands Delineation Manual, and the Regional Supplement to the Corps of Engineers Wetlands Delineation Manual: Northcentral and Northeast Region, dated 2012. Consecutively numbered flags were placed in the field to demarcate the wetland boundary and data regarding vegetation, soils, and hydrology was gathered to complete the required MassDEP BVW delineation field forms, attached. Wetlands were categorized in accordance with Classification of Wetlands and Deepwater Habitats of the United States, Cowardin et.al. 1979.

Hydric soil determinations were made in accordance with Field Indicators for Identifying Hydric Soils in New England (NEIWPCC, 2004). The Wetland Indicator Status for plant species was ascertained using the USACE Northcentral and Northeast 2013 Regional Wetland Plant List. The Wetland Indicator Status is used to designate a plant species' preference for growth in a wetland or upland habitat as follows:

- Obligate Wetland (OBL): Hydrophyte, almost always occur in wetlands
- Facultative Wetland (FACW): Hydrophyte, usually occur in wetlands, but may occur in non-wetlands
- Facultative (FAC): Hydrophyte, occur in wetlands and non-wetlands

- Facultative Upland (FACU): nonhydrophyte, usually occur in non-wetlands, but may occur in wetlands
- Upland (UPL): Nonhydrophyte, almost never occur in wetlands

BVW: Resource Area DescriptionVegetation

The BVW within the area of interest is a palustrine emergent groundwater seep. It is located on a concave hillslope east of the dam and south of Kettle Brook (wetland flags: C100 to C106). Common vegetation identified within the hillside seep included: arrow-wood, *Viburnum dentatum* (FAC); jewelweed, *Impatiens capensis* (FACW); Jack-in-the-pulpit, *Arisaema triphyllum* (FAC); cinnamon fern, *Osmundastrum cinnamomeum* (FACW); and, royal fern, *Osmunda regalis* (OBL).

Hydrology

The delineated BVW is hydrologically connected to Kettle Brook, which flows southeast from Waite Pond. Groundwater was observed seeping from the hillside during the investigation.

Soils

The Natural Resource Conservation Service (NRCS) mapped soil types adjacent to the dam include: well drained Paxton, fine sandy loam; and, very poorly drained Whitman, sandy loam. Detailed information regarding each of these soil series is included within the [NRCS Soil Map and Soil Report](#) attachment. Results of the detailed field analyses of soils within the area of interest were generally consistent with the published NRCS soil mapping. The area north of Kettle Brook is mapped as Whitman sandy loam but was found to consist of rip rap, stone retaining walls and well drained human transported material (HTM). These materials are present due to historic disturbances associated with the channelization of the watercourse and construction of the parking area adjacent to Chapel Street.

Bank: Regulatory Framework and Delineation Methodology

Bank is defined under 310 CMR 10.54(2)(c) as “*the portion of the land surface which normally abuts and confines a water body. It occurs between a water body and a vegetated bordering wetland and adjacent flood plain, or, in the absence of these, it occurs between a water body and an upland.*” Fuss & O'Neill Inc. performed a delineation of Bank within the area of interest using consecutively numbered flags placed in the field to demarcate the Bank of a perennial stream (Kettle Brook) as well as the Banks of Waite Pond in the vicinity of the dam.

Bank: Resource Description

Bank along the perennial watercourse (Kettle Brook) coincided with the Mean Annual High-Water Line (MAHWL)/bankfull, as defined under 310 CMR 10.58 (2)(a)(2). Bank along Waite Pond is located between the surrounding upland and the water body. Bank was located in the field by the first observable break in topography (flags: A099 to A111 and B100 to B112).

Riverfront Area: Regulatory Framework and Delineation Methodology

Riverfront Area is defined under 310 CMR 10.58(2)(a) as *“the area of land between a river’s mean annual high water line and a parallel line measured horizontally.”* 310 CMR 10.58(2)(a)(1) defines rivers as, *“any natural flowing body of water that empties to any ocean, lake, pond or other river and which flows throughout the year. Rivers include streams (see 310 CMR 10.04: Stream) that are perennial because surface water flows within them throughout the year. Intermittent streams are not rivers as defined herein because surface water does not flow within them throughout the year.”* 310 CMR 10.58(2)(a)(2) further specifies that *“The Riverfront Area is the area of land between a river’s mean annual high-water line measured horizontally outward from the river and a parallel line located 200 feet away, ...”* continuing with exceptions that are not applicable to the area of interest.

The extent of the Riverfront Area adjacent to Waite Pond dam is determined by measuring a horizontal line 200 feet from the delineated mean annual high-water line of the perennial watercourse, Kettle Brook. As previously detailed, the mean annual high water line of the brook coincides with the delineated Bank resource.

Riverfront Area: Resource Area Description

The Riverfront Area within the area of interest includes the following regulated resource areas: Bordering Land Subject to Flooding (BLSF), BVW, Bank, Land Under Water Bodies and Waterways, and Buffer. No vernal pools, isolated vegetated wetlands, or Natural Heritage Endangered Species Program habitats of rare species or rare wildlife are located within the Riverfront Area in the area of interest. The Riverfront Area within the area of interest also includes roadways and private residential properties. Evidence of wildlife usage within the Riverfront Area was limited to sightings of common songbirds.

Land Under Water Bodies and Waterways (LUWW)

LUWW is defined under 310 CMR 10.56 (2)(a) as *“the land beneath any creek, river, stream, pond or lake. Said land may be composed of organic muck or peat, fine sediments, rocks or bedrock.”* The boundary of LUWW is defined as the mean annual low water level (310 CMR 10.56 (2)(c)). LUWW was not specifically field delineated. For the intents and purposes of this resource area delineation, the delineated Banks of the perennial stream and Waite Pond are analogous to the limits of LUWW.

Land Subject to Flooding (LSF)

Bordering Land Subject to Flooding (BLSF) is defined in 310 CMR 10.57 (2)(a)(1) as “*an area with low, flat topography adjacent to and inundated by flood waters rising from creeks, rivers, streams, ponds or lakes. It extends from the banks of these waterways and water bodies; where a bordering vegetated wetland occurs, it extends from said wetlands.*” 310 CMR (2)(a)(3) further states that the boundary of BLSF “*is the estimated maximum lateral extent of flood water which will theoretically result from the statistical 100-year frequency storm.*” The BLSF boundary within the area of interest was determined through use of the MassGIS’s Online Mapping Tool (OLIVER), attached. The National Flood Hazard Layer is provided by the Federal Emergency Management Agency (FEMA). Information provided by FEMA is generally consistent with observed field conditions.

Buffer Zone

Buffer Zone is defined in 310 CRM 10.04 as “that area of land extending 100 feet horizontally outward from the boundary of any area specified in 310 CMR 10.02(1)(a). Buffer Zone within the area of interest is associated with BVW and Bank. The buffer zone in the area of interest contains roadways and private residential properties, including wooded areas and mown lawns. Common vegetation occurring within the Buffer in the area of interest includes: sugar maple, *Acer saccharum* (FACU); pignut hickory, *Carya glabra* (FACU); eastern white pine, *Pinus strobus* (FACU); red maple, *Acer rubrum* (FAC); gray birch, *Betula populifolia* (FAC); beech, *Fagus grandifolia* (FACU); staghorn sumac, *Rhus hirta*; (not classified); Virginia creeper, *Parthenocissus quinquefolia* (FACU); bittersweet, *Celastrus orbiculatus* (not classified); tatarian honeysuckle, *Lonicera tatarica* (FACU); brambles, *rubus spp.*; Canada mayflower, *Maianthemum canadense* (FACU), and mown lawn.



DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Forms

- Observation Plot: 1W; Transect: 1
- Observation Plot: 2U; Transect: 1

MassDEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: Town of Leicester Prepared by: Sara Fusco Project location: Waite Pond Dam DEP File #: _____

- Check all that apply:
- ☐ Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
 - ☒ Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
 - ☐ Method other than dominance test used (attach additional information)

Section I.

Vegetation	Observation Plot Number:	Transect Number:	Date of Delineation:
A. Sample Layer & Plant Species (by common/scientific name)	B. Percent Cover (or basal area)	C. Percent Dominance	D. Dominant Plant (yes or no)

Shrubs

Arrow-wood (*Viburnum dentatum*) 8% 100% yes FAC *

Herb

Jewelweed (*Impatiens capensis*) 20% 25% yes FACW *

Jack-in-the-pulpit (*Arisaema triphyllum*) 5% 6.25% no FAC *

Cinnamon fern (*Osmunda cinnamomeum*) 30% 37.5% yes FACW *

Royal fern (*Osmunda regalis*) 25% 31.25% yes OBL *

* Use an asterisk to mark wetland indicator plants: plant species listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus *Sphagnum*; plants listed as FAC, FAC+, FACW-, FACW, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological or morphological adaptations, describe the adaptation next to the asterisk.

Vegetation conclusion:

Number of dominant wetland indicator plants: 4 Number of dominant non-wetland indicator plants: 0

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? yes no

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent

Section II. Indicators of Hydrology

Other Indicators of Hydrology: (check all that apply & describe)

- ☐ Site Inundated: _____
- ☒ Depth to free water in observation hole: +/- 4"
- ☒ Depth to soil saturation in observation hole: a surface
- ☒ Water marks: _____
- ☐ Drift lines: _____
- ☐ Sediment Deposits: _____
- ☐ Drainage patterns in BVW: _____
- ☐ Oxidized rhizospheres: _____
- ☒ Water-stained leaves: _____
- ☐ Recorded Data (streams, lake, or tidal gauge; aerial photo; other): _____
- _____
- ☐ Other: _____

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? yes no
title/date: _____

map number: NECS Web Soil

soil type mapped: Survey

hydric soil inclusions: _____

Are field observations consistent with soil survey? yes no
Remarks: _____

General consistent with the exception of disturbed areas north of Kettle Brook.

2. Soil Description

Horizon	Depth	Matrix Color	Mottles Color
<u>AP</u>	<u>8"</u>	<u>10YR 4/1</u>	
<u>Bg</u>	<u>—</u>	<u>7.5YR 2/1</u>	<u>2.5YR 5/4</u>

Remarks: _____

Very rocky $\geq 20\%$; could not dig below +/- 12"

3. Other:

Ground water observed in test hole

Conclusion: Is soil hydric? yes no

Vegetation and Hydrology Conclusion

	Yes	No
Number of wetland indicator plants \geq # of non-wetland indicator plants	<u>2</u>	_____
Wetland hydrology present:		
Hydric soil present	<u>2</u>	_____
Other indicators of hydrology present	<u>2</u>	_____
Sample location is in a BVW	<u>2</u>	_____

Submit this form with the Request for Determination of Applicability or Notice of Intent.

MassDEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: Town of Leicester Prepared by: Sara Fusco Project location: White Pond Dam DEP File #: _____

Check all that apply:

- ☒ Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
☐ Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
☐ Method other than dominance test used (attach additional information)

Section I.

Vegetation	Observation Plot Number:	Transect Number:	Date of Delineation:
A. Sample Layer & Plant Species (by common/scientific name)	B. Percent Cover (or basal area)	D. Dominant Plant (yes or no)	E. Wetland Indicator Category*

<u>Tree</u>			
Sugar Maple (<i>Acer saccharum</i>)	30%	60%	yes
Pignut Hickory (<i>Carya glabra</i>)	20%	40%	yes
<u>Liana</u>			
V. creeper (<i>Parthenocissus quinquefolia</i>)	10%	55.5%	yes
Bittersweet (<i>Celastrus orbiculatus</i>)	8%	44.6%	yes
<u>Shrub</u>			
Staghorn sumac (<i>Rhus hirta</i>)	10%	100%	yes
<u>Herb</u>			
NY Fern (<i>Parethypteris noveborac</i>)	10%	14.2%	no
Mown Lawn	60%	85.7%	yes

FACU

FACU

FACU

Not classified

Not classified.

FAC

* Use an asterisk to mark wetland indicator plants: plant species listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus *Sphagnum*; plants listed as FAC, FAC+, FACW, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological or morphological adaptations, describe the adaptation next to the asterisk.

Vegetation conclusion:

Number of dominant wetland indicator plants: 0

Number of dominant non-wetland indicator plants: 3

Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? yes no

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent



NRCS Soil Map and Soil Report


Soil Map—Worcester County, Massachusetts, Southern Part
(Waite Pond)



Soil Map—Worcester County, Massachusetts, Southern Part
(Waite Pond)

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Worcester County, Massachusetts, Southern Part

Survey Area Data: Version 5, Jan 30, 2007

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 30, 2011—May 1, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Worcester County, Massachusetts, Southern Part (MA615)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
1	Water	1.2	23.2%
73A	Whitman sandy loam, 0 to 3 percent slopes, extremely stony	0.9	16.9%
305C	Paxton fine sandy loam, 8 to 15 percent slopes	3.1	59.8%
Totals for Area of Interest		5.1	100.0%

Map Unit Description (Brief, Generated)

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions in this report, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

The Map Unit Description (Brief, Generated) report displays a generated description of the major soils that occur in a map unit. Descriptions of non-soil (miscellaneous areas) and minor map unit components are not included. This description is generated from the underlying soil attribute data.

Additional information about the map units described in this report is available in other Soil Data Mart reports, which give properties of the soils and the limitations, capabilities, and potentials for many uses. Also, the narratives that accompany the Soil Data Mart reports define some of the properties included in the map unit descriptions.

Report—Map Unit Description (Brief, Generated)

Worcester County, Massachusetts, Southern Part

Map Unit: 1—Water

Component: Water (100%)

Generated brief soil descriptions are created for major soil components. The Water is a miscellaneous area.

Map Unit: 73A—Whitman sandy loam, 0 to 3 percent slopes, extremely stony

Component: Whitman (70%)

The Whitman component makes up 70 percent of the map unit. Slopes are 0 to 3 percent. This component is on depressions on till plains. The parent material consists of friable coarse-loamy eolian deposits over dense coarse-loamy lodgment till derived from metamorphic rock. Depth to a root restrictive layer, densic material, is 12 to 30 inches. The natural drainage class is very poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches is low. Shrink-swell potential is low. This soil is not flooded. It is frequently ponded. A seasonal zone of water saturation is at 0 inches during January, February, March, April, May, June, September, October, November, December. Organic matter content in the surface horizon is about 74 percent. Nonirrigated land capability classification is 7s. This soil meets hydric criteria.

Component: RIDGEBURY (10%)

Generated brief soil descriptions are created for major components. The RIDGEBURY soil is a minor component.

Component: SWANSEA (10%)

Generated brief soil descriptions are created for major components. The SWANSEA soil is a minor component.

Component: other soils (10%)

Generated brief soil descriptions are created for major components. The other soils soil is a minor component.

Map Unit: 305C—Paxton fine sandy loam, 8 to 15 percent slopes

Component: Paxton (75%)

The Paxton component makes up 75 percent of the map unit. Slopes are 8 to 15 percent. This component is on drumlins on uplands, drumlinoid ridges on uplands. The parent material consists of friable coarse-loamy eolian deposits over dense coarse-loamy lodgment till derived from schist. Depth to a root restrictive layer, densic material, is 18 to 38 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 24 inches during February, March, April. Organic matter content in the surface horizon is about 4 percent. Nonirrigated land capability classification is 3e. This soil does not meet hydric criteria.

Component: CHARLTON (10%)

Generated brief soil descriptions are created for major components. The CHARLTON soil is a minor component.

Component: CANTON (8%)

Generated brief soil descriptions are created for major components. The CANTON soil is a minor component.

Component: WOODBRIDGE (5%)

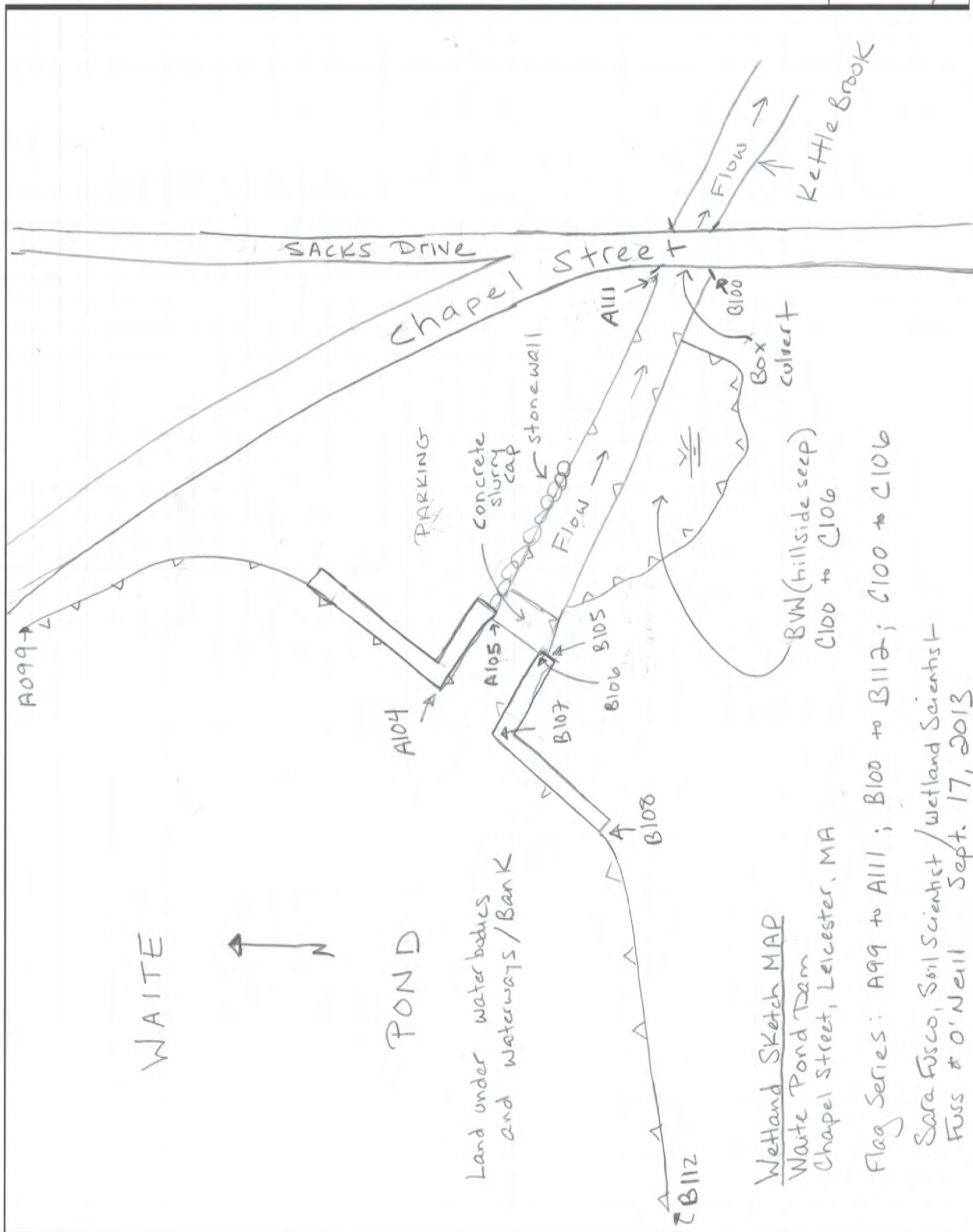
Generated brief soil descriptions are created for major components. The WOODBRIDGE soil is a minor component.

Component: RIDGEBURY (2%)

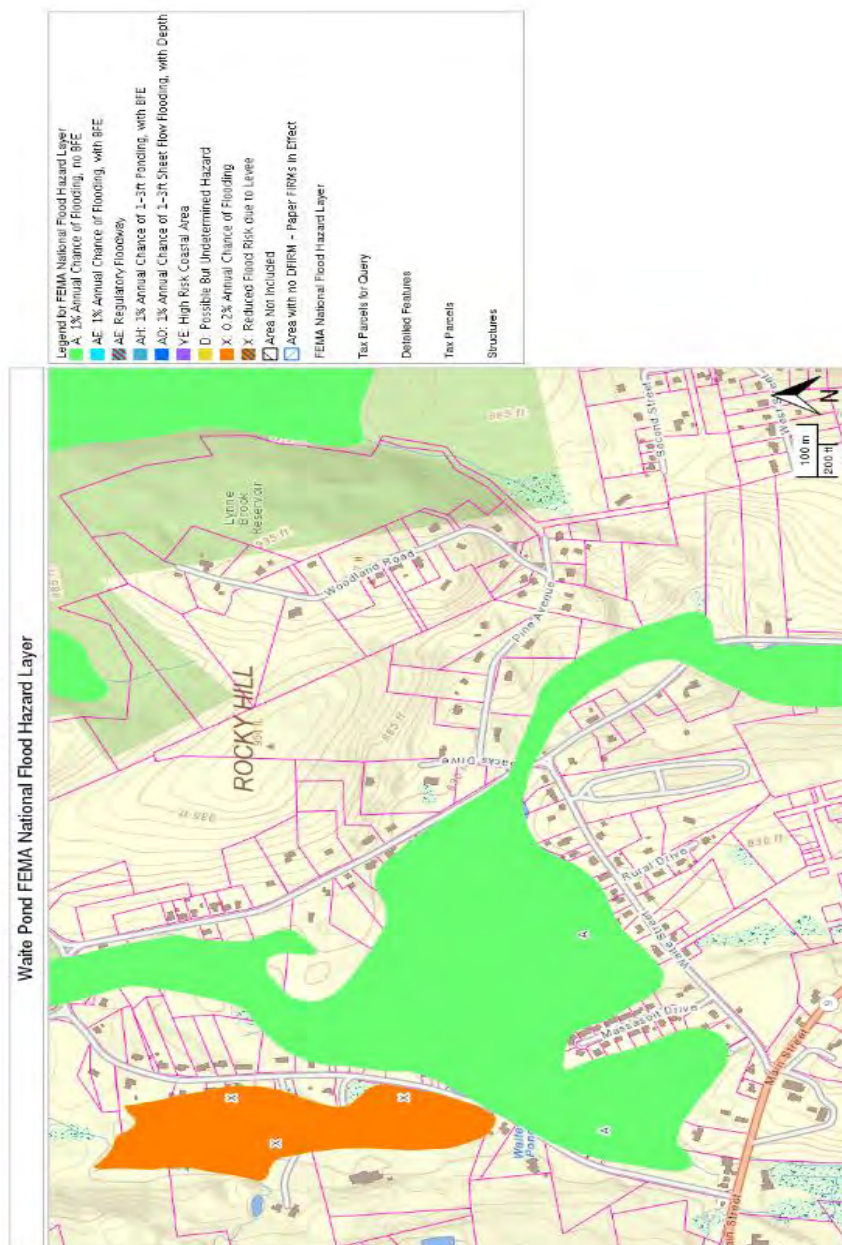
Generated brief soil descriptions are created for major components. The RIDGEBURY soil is a minor component.

Data Source Information

Soil Survey Area: Worcester County, Massachusetts, Southern Part
Survey Area Data: Version 5, Jan 30, 2007



Waite Pond FEMA National Flood Hazard Layer



Appendix F

Permit Approvals

Worcester South District Registry of Deeds Electronically Recorded Document

This is the first page of the document – Do not remove

Recording Information

Document Number	: 105554
Document Type	: PER
Recorded Date	: December 18, 2023
Recorded Time	: 11:24:00 AM
Recorded Book and Page	: 70005 / 225
Number of Pages(including cover sheet)	: 5
Receipt Number	: 1551612
Recording Fee	: \$105.00

Worcester South District Registry of Deeds
Kathryn A. Toomey, Register
90 Front St
Worcester, MA 01608
(508) 368-7000



Certified Mail No. 7019 1120 0000 5149 4787
Return Receipt Requested

M.G.L. Chapter 253
Dam Safety Permit No. 243-2018-243
Amendment #1/Extension #2

Applicant

Ken Berchielli
Fuss & O'Neill, Inc.
317 Iron Horse Way, Suite 204
Providence, RI 02908

On behalf of:
Town of Leicester
c/o David Genereux, Administrator
3 Washburn Square
Leicester, MA 01524

Re: Waite Pond Dam Repairs
National Dam ID: MA00987
Registry Location: Worcester, Deed Book 13554, Page 81
Owner: Town of Leicester
Dam Location: Leicester

Date: November 7, 2023

Dear Mr. Berchielli:

The Department of Conservation and Recreation (DCR) Office of Dam Safety (ODS) has received your emails of October 24 and 26, 2023 email requesting an extension of the Ch. 253 Dam Safety Permit previously issued for repairs at Waite Pond Dam. ODS understands that the extension is requested to allow the project contractor to construct a vertical reinforced concrete extension of the spillway's right training wall. ODS understands construction is currently anticipated to begin next month and conclude by March 2024.

Dam Safety Permit No. 243-2018-243 is hereby extended and amended to permit the work indicated on the drawings titled "**Waite Pond Dam Repairs, Permitting Plan Set, MA00987, Chapel Street, Leicester, Massachusetts, September 20, 2017**" revised August 12, 2018; as well as the training wall modifications

COMMONWEALTH OF MASSACHUSETTS · EXECUTIVE OFFICE OF ENERGY & ENVIRONMENTAL AFFAIRS

Department of Conservation and Recreation
180 Beaman Street
West Boylston, MA 01583
508-792-7423 508-792-7805 Fax
www.mass.gov/dcr



Maura T. Healey
Governor

Kimberley Driscoll
Lt. Governor

Rebecca L. Tepper, Secretary
Executive Office of Energy & Environmental Affairs

Brian Arrigo, Commissioner
Department of Conservation & Recreation

shown on drawings “SK-01, Training Wall Elevation Detail” and “SK-02, Training Wall Section Detail” dated October 2022.

Permission is granted subject to the following conditions:

- (a) At least 21 days before the start of construction, the applicant shall provide a completed **DAM SAFETY IMPROVEMENTS – NOTICE OF CONSTRUCTION** (form attached) with a construction schedule to the DCR/ODS - Permits Section.
- (b) For all features of the repair project, the dam engineer (Fuss & O'Neill) shall notify ODS of any design change from the original design submitted with the permit application due to regulatory requirements, changes in field conditions or any other unanticipated occurrence. This notification shall be a formal submittal to ODS which includes all relevant revised plans, computations and data (survey, geotechnical, etc.) supporting the design change(s). This submittal shall be forwarded to ODS by registered mail, return receipt requested, and will require an amendment to the permit. Review time may vary based upon the complexity of the design change(s), however, ODS will generally issue the permit amendment within five (5) days of receipt of a complete design revision submittal.
- (c) The dam engineer must report to ODS any unforeseen incidents that occur at the work site during the repair work. Unforeseen incidents include, but are not limited to, cofferdam overtopping or failure, significant uncontrolled seepage into the work area, significant earth support failures or slope failures. The report must explain in detail what occurred, corrective measures taken to mitigate the occurrence and any impacts the occurrence may have had on the repair plan. If the incident results in a design change, ODS must be provided revised design documents (refer to Condition (b), above).
- (d) The following shall be prepared by the contractor, approved by the dam engineer, and submitted to ODS prior to construction:
 - A cofferdam design. The cofferdam shall be carefully designed to resist anticipated forces without failing and to ensure that seepage around, under, or through the cofferdam is manageable;
 - A water control and diversion plan describing methods to be employed to allow work to be performed “in the dry” and to manage both the water level in Waite Pond and outflow from Waite Pond while dam rehabilitation is in progress; and
 - A flood response plan. While construction is underway, weather forecasts, stream flows and water levels must be monitored to allow adequate time to respond to rising water levels at the construction site. If high water levels are expected, equipment and materials shall be removed from the work area and personnel evacuated. Sufficient materials and equipment required for flood response shall be maintained in a safe location at, or near, the construction site.
- (e) The dam engineer shall invite ODS to the preconstruction meeting, another project meeting at 50% completion and the final inspection meeting. ODS reserves the right to make site visits and inspections at any time during the permit period. ODS requests the following items be addressed at the pre-construction meeting:

- Identification of the
 - resident engineer (owner's representative overseeing the project);
 - contractor's qualified site superintendent; and
 - dam engineer's representative overseeing the project;
- Emergency contact information for the contractor and resident engineer;
- Water control features anticipated and the process for the dam engineer to either develop or approve the overall control and diversion of water plan. Any flood emergency warning and response procedures shall be identified;
- Level of dam engineer construction oversight including: identification of any critical construction items to be overseen by the dam engineer; procedures for the dam engineer's review and approval of shop drawings and other submittals; documentation of dam engineer's approval of any design modifications; procedures for coordinating and scheduling the dam engineer's inspection of critical construction elements; and
- Presentation of the initial construction schedule with identification and discussion of major items.

ODS shall be provided a copy of the preconstruction meeting minutes.

- (f) The dam engineer shall provide ODS written documentation that he has reviewed and approved all pertinent submittals or samples concerning critical project dam features including, but not limited to: low-permeability fill; filter sand; materials to backfill stump removal cavities; rip rap; rockfill armoring; concrete mix design; reinforcing steel; pipe and fittings; sluice gate, operator and associated hardware; and water stops. This documentation may be in the form of a submittal log which may be submitted as part of the "as-built" report, described below.
- (g) Upon project completion the applicant shall submit to ODS a **DAM SAFETY CERTIFICATE OF COMPLETION** (form attached). With this certificate of completion submit one bound (utilizing plastic comb bindings) as-built report with 11"x17" record drawings signed and stamped by a registered professional civil engineer with contractor's signature attesting that all work was performed according to the plans and specifications. The as-built report shall include documentation of submittals reviewed and approved by the dam engineer, copies of any materials or construction testing reports and color photos of construction phases and appurtenant installations. Photograph numbers, location and direction in which each photo was taken must be identified. An electronic copy of the as-built report and record drawings shall be provided in PDF (compatible with Adobe Reader Version 9.3 or later) on CD-R (not CD-RW) format compact disc. Each CD shall be provided with a jewel case and a label indicating the dam project name, NID No., the town in which the dam is located and the date of the as-built report.
- (h) Once the dam repairs have been completed and the reservoir has returned to its normal elevation, the dam engineer shall submit a Phase I Inspection documenting the condition of the dam. The manual and report are required prior to ODS issuing a Certificate of Compliance.

Any permit issued by DCR shall be subject to revocation by order of the Commissioner if the permittee fails to conform to 302 CMR 10.00, Dam Safety Rules and Regulations, provisions of this permit, or any other applicable laws and regulations.

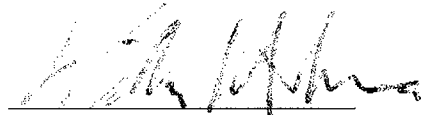
This permit does not release the applicant from the requirements of any other regulatory authority. Such authorizations and/or notifications include, but are not limited to:

Local Conservation Commission;
Massachusetts Department of Environmental Protection (DEP);
Massachusetts Department of Fish and Game (DFG);
Massachusetts Executive Office of Environmental Affairs (EOEA), MEPA Unit; and
U.S. Army Corps of Engineers.

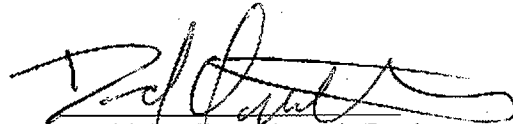
This extended permit must be recorded by the applicant at the Registry of Deeds in the county where the dam lies. Recording must be done prior to the commencement of construction and a copy of the recorded permit filed with the Office of Dam Safety.

This amended and extended permit remains valid for six (6) years from the permit's original date of issue: **August 31, 2018.**

Permit expiration date: **August 31, 2024.**



William Salomaa, Director
DCR Office of Dam Safety



David Ouellette, Permit Engineer
DCR Office of Dam Safety

Attachments: Dam Safety Improvements – Notice of Construction form
Dam Safety Certificate of Completion form



TOWN OF LEICESTER CONSERVATION COMMISSION

LEICESTER, MA 01524-1333

Phone: 508-892-7007 – Fax: 508-892/7070

www.leicesterma.org

July 17, 2018

Enclosed is your Order of Conditions.

Please read the Order of Condition in it's entirety, as there may be special conditions listed.

This Document, in its entirety, is to be recorded at the Registry of Deeds immediately following the 10-day appeal period, which commences upon the date of issuance. Proof of this recording must be submitted to the Leicester Conservation Office before any work shall commence.

Failure to record these Orders with the Registry of Deeds is a violation of your Orders.

Prior to the start any work commencing, the Conservation Office must be notified, by calling the office at 508-892-7007.

Thank you.

Please call with any questions or concerns.

Best regards,

Barbara Knox,
Department Assistant
Leicester Conservation Commission
508-892-7007
508-892-7070-fax
knoxb@leicesterma.org

Cc: DEP



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 CERO
 MassDEP File #
 197-0621
 eDEP Transaction #
 LEICESTER
 City/Town

A. General Information

Please note:
 this form has
 been modified
 with added
 space to
 accommodate
 the Registry
 of Deeds
 Requirements

Important:
 When filling
 out forms on
 the
 computer,
 use only the
 tab key to
 move your
 cursor - do
 not use the
 return key.



1. From: LEICESTER
 Conservation Commission
2. This issuance is for
 (check one): a. ☒ Order of Conditions b. ☐ Amended Order of Conditions
3. To: Applicant:

a. First Name Town of Leicester b. Last Name _____
 c. Organization 3 Washburn Square
 d. Mailing Address Leicester
 e. City/Town MA f. State 01524 g. Zip Code

4. Property Owner (if different from applicant):

a. First Name _____ b. Last Name _____
 c. Organization _____
 d. Mailing Address _____
 e. City/Town _____ f. State _____ g. Zip Code _____

5. Project Location:

Waite Pond Dam Leicester
 a. Street Address b. City/Town
21A A48
 c. Assessors Map/Plat Number d. Parcel/Lot Number
 Latitude and Longitude, if known: 42d24900m s -71d88708m s
 d. Latitude e. Longitude



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
CERO
 MassDEP File #
 197-0621
 eDEP Transaction #
LEICESTER
 City/Town

A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):
 Worcester
 a. County Worcester b. Certificate Number (if registered land) 286
 36166
 c. Book 286 d. Page 286
7. Dates: 11/6/2017 7/11/2018 7/17/2018
 a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):
 Waite Pond Dam Repairs Permitting Plan
 a. Plan Title Waite Pond Dam Repairs Permitting Plan
 b. Prepared By Fuss & O'Neill c. Signed and Stamped by Philip W. Moreschi
 7/9/2018
 d. Final Revision Date 7/9/2018 e. Scale 1" = 10'
 f. Additional Plan or Document Title g. Date

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

- a. ☒ Public Water Supply b. ☒ Land Containing Shellfish c. ☒ Prevention of Pollution
 d. ☒ Private Water Supply e. ☒ Fisheries f. ☒ Protection of Wildlife Habitat
 g. ☒ Groundwater Supply h. ☒ Storm Damage Prevention i. ☒ Flood Control

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
CERO
MassDEP File #
197-0621
eDEP Transaction #
LEICESTER
City/Town

B. Findings (cont.)

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☐ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input checked="" type="checkbox"/> Bank	300 a. linear feet	b. linear feet	c. linear feet	d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	a. square feet	b. square feet	c. square feet	d. square feet
6. <input checked="" type="checkbox"/> Land Under Waterbodies and Waterways	4,027 a. square feet e. c/y dredged	b. square feet f. c/y dredged	c. square feet	d. square feet
7. <input type="checkbox"/> Bordering Land Subject to Flooding	a. square feet	b. square feet	c. square feet	d. square feet
Cubic Feet Flood Storage	e. cubic feet	f. cubic feet	g. cubic feet	h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	a. square feet	b. square feet		
Cubic Feet Flood Storage	c. cubic feet	d. cubic feet	e. cubic feet	f. cubic feet
9. <input checked="" type="checkbox"/> Riverfront Area	7,900 a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	200 g. square feet	h. square feet	200 i. square feet	j. square feet



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP;
CERO
MassDEP File #
197-0621
eDEP Transaction #
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B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	a. square feet	b. square feet	cu yd c. nourishment	cu yd d. nourishment
14. <input type="checkbox"/> Coastal Dunes	a. square feet	b. square feet	cu yd c. nourishment	cu yd d. nourishment
15. <input type="checkbox"/> Coastal Banks	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	a. c/y dredged	b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	a. square feet	b. square feet		
22. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet



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B. Findings (cont.)

* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BWV) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. ☐ Restoration/Enhancement *:

a. square feet of BWV

b. square feet of salt marsh

24. ☐ Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. The work is a maintenance dredging project as provided for in the Act; or
 - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
 - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 7/17/2021 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



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C. General Conditions Under Massachusetts Wetlands Protection Act

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]

"File Number 197-0621 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
 - (1) ☐ is subject to the Massachusetts Stormwater Standards
 - (2) ☒ is NOT subject to the Massachusetts Stormwater Standards

If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
 - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No
2. The LEICESTER hereby finds (check one that applies):
Conservation Commission
 - a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. ☒ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

Town of Leicester Wetland Protection Bylaw

1. Municipal Ordinance or Bylaw

2. Citation

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.
The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

"SEE ADMINISTRATIVE ORDERS ATTACHED"

Town of Leicester Conservation Commission
Order of Conditions
Waite Pond Dam
DEP File #197-0621

(Conditions 1 to 20 are found in the DEP Orders)

PROJECT DESCRIPTION:

Replacement of retaining walls and embankments, creation of a downstream plunge pool energy dissipation basin, removal of existing gatehouse and replacement of low-level CMP outlet pipe and tree/stump removal.

A. PROJECT SPECIFIC CONDITIONS

- Conservation Office receiving copy of:
 - Letter from Mass Division of Fisheries and Wildlife:
 - acknowledging the proposed actual drawdown depth
 - acknowledge potential impacts on upstream water bodies and resource areas
 - confirming exemption from typical drawdown date restrictions
 - identifying any additional requirements
 - letter from DEP stating they have no additional restrictions;
 - Preconstruction meeting with Conservation Commission two months prior to start of work;
 - Quarterly update status reports on funding;
 - Confirmation all work being done is on Town property
- 21 **This document in its entirety shall be recorded at the Registry of Deeds,** immediately following the 10-day appeal period, which commences upon the date of issuance, and before all or any part of the site is sold and/or work commenced. **Proof of said recording must be returned to the Leicester Conservation Commission before any work shall commence or sale finalized.** Failure to comply with these Orders of Conditions shall automatically invalidate this permit.
- 22 In the event this land or any part thereof changes ownership before or during construction, the current owner shall notify the new owner, prior to the transfer of ownership, by registered mail, of this Order and shall forward proof of this notification to the LCC. The Commission shall be notified in writing within 30 days of all transfers of title of any portion of property that take place prior to the issuance of the Certificate of Compliance.

B. ADMINISTRATIVE ORDERS

- 23 Any member of the Conservation Commission or its designated agent shall have full powers to act on its behalf in administering and enforcing this Order. This document shall be included by reference in all contracts, plans and specifications dealing with the activity that is the subject of this Order, and that are created or modified after the issuance date of this Order, along with a statement that this Order shall supersede any conflicting contractual arrangements, plans or specifications.
- 24 In case of emergencies, problems, or the need to discuss site conditions with the Conservation Commission, please contact the Commission or its agent during business hours at (508)892-7007.

- 25 The applicant shall provide a copy of this Order to the person or persons supervising the activity that is the subject of this Order, and will be responsible for understanding and complying with the terms and conditions of this Order as well as any others performing work or activity subject to this Order of Conditions. A copy of this Order of Conditions, construction plans, and copies of the documents and reports shall be on the site upon commencement and during any site work for contractors to view and adhere to.
- 26 If any change is made in the above-described plan(s) which may or will alter an area subject to protection under the Wetlands Protection Act, 310 CMR 10.00 and the Leicester Wetland Bylaw and Wetland Bylaw Regulations, the applicant shall inquire from this Commission or its agent, prior to implementing the change in the field, whether the change is significant enough to require the filing of a new Notice of Intent. Any errors in the plans or information submitted by the applicant shall be considered changes and the above procedures shall be followed.
- a. If the LCC finds said changes to be insignificant to the interests of the Act and/or the Town of Leicester Wetland Bylaws, then the LCC will so notify the Applicant in writing.
 - b. If the LCC finds said changes to be significant and/or deviate from the original plans, Notice of intent (NOI), or these Orders of Conditions (OOC) the applicant shall file an amended NOI following the same process as a new NOI. No work shall be undertaken until the Amended OOC are issued and recorded at the Registry of Deeds.
- 27 This Order authorizes only the activity described on the approved plan(s) and approved documents referenced in this Order. Any other or additional activity in areas within the jurisdiction of the Commission will require separate review and approval by the Commission or its agent.
- 28 The Commission reserves the right, after a public hearing process, to impose additional conditions on portions of this project to mitigate any impacts which result from site erosion, or any noticeable degradation of surface water quality discharging from the site.

C. PRIOR TO CONSTRUCTION

- 29 Prior to any work commencing on the site, including any clearing of vegetation or disturbance of soils, the applicant shall comply with the following:
- a. **Display the DEP file number for this Order.**
 - b. The applicant shall notify the Conservation Commission at least 48 hours prior to any activity on the site and shall provide the name(s) and telephone number(s) of all person(s) responsible for compliance with this Order.
 - c. The approved erosion control shall be installed as indicated on the approved plan and shall be inspected by a member of the Conservation Commission prior to start of work.

D. GENERAL CONDITIONS

- 30 The applicant and any person involved in the activity that is the subject of this Order shall notify the Commission or its agent immediately upon discovery of any matter related to this Order that may affect any area within the jurisdiction of the Commission. A stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include

materials to repair or replace silt fences, hay bales, erosion control blankets, stone riprap, filter berms or any other devices planned for use during construction.

- 31 The area of construction shall remain in a stable condition at the close of each construction day. Erosion controls should be inspected at this time, and repaired, reinforced or replaced as necessary.
- 32 Erosion control devices may be temporarily modified based upon experience at the site. Temporary modifications shall not be deemed approved or permanent, until approved by the Commission or Commission's Agent. All such devices shall be inspected, cleaned or replaced during construction and shall remain in place until such time as stabilization of all areas that may impact resource areas is permanent.
- 33 Within thirty days of completion, all disturbed areas shall be permanently stabilized with vegetative cover, using sufficient top soil to assure long-term vegetative growth. Continued maintenance of this area, in a manner which assures permanent stabilization and precludes any soil erosion, shall be the responsibility of the applicant.
- 34 If soils are to be left disturbed for longer than 90 days, a temporary cover of rye or other grass should be established to prevent erosion and sedimentation. If the season is not appropriate for plant growth, exposed surfaces shall be stabilized by other appropriate erosions control measures, firmly anchored, to prevent soils from being washed by rain or flooding.
- 35 Erosion control devices shall remain in place and properly functioning until all exposed soils have been stabilized with final vegetative cover and the Conservation Commission and/or its Administrator has authorized their removal.
- 36 The following are prohibited within the wetlands resource areas and associated buffer zones unless expressly permitted by this Order or the plans approved herewith.
 - a. All construction materials, earth stockpiles, landscaping materials, slurry pits, waste products, refuse, debris, stumps, slash, or excavate. These materials may only be stockpiled or collected in areas shown on the plan or they must be placed or stored under cover and surrounded by a double-staked row of hay bales to prevent contact with rain water outside of the buffer zone.
 - b. No material of any kind may be buried, placed or dispersed in areas within the jurisdiction of the Commission by activities that are the subject of this Order
 - c. There shall be no pumping of water from or into wetland resource areas.
 - d. All waste products, grubbed stumps, slash or construction materials. This specifically includes dumpsters.
 - e. Storage of fuel, oil, or other pollutants or hazardous substances.
 - f. No vehicle re-fueling or storage overnight.
 - g. No equipment is to enter or cross-wetland resource areas at any time unless the location of disturbance is marked on the plans referenced in this Order and flagged in the field.
 - h. Cement trucks shall not be washed out in any wetland resource or buffer zone area, or into any drainage system. Any deposit of cement or concrete products into a buffer zone or wetland resource area shall be immediately removed.
 - i. Any material placed in wetland resource areas by the applicant without express authorization under this Order shall be removed by the applicant upon demand by the Conservation Commission or its agent. Such areas shall be immediately restored to their pre-disturbance condition.

- 37 Workers shall be informed that no use of machinery, storage of machinery or materials, stockpiling of soil or any other construction activity is to occur beyond the erosion control barriers at any time.
- 38 All equipment shall be inspected regularly for leaks. Any leaking hydraulic lines, cylinders or any other components shall be fixed immediately.
- 39 Immediately upon the installation of the headwalls and riprap, haybales shall be set and staked around the inlet to prevent sediments from entering the drainage system, wetlands or water bodies.
- 40 The Conservation Commission shall be notified when any maintenance functions that may impact the wetlands, such as, but not limited to, removing accumulated sediments, are to be performed.
- 41 Site grading and construction shall be scheduled to avoid periods of high surface water. Debris removal must be conducted during frozen ground conditions.
- 42 All disturbed areas and slopes shall be loamed and seeded or stabilized through the use of erosion control blankets or other approved means. All disturbed areas will be graded, loamed and seeded prior to November 1 of the year if possible. No disturbed areas or stockpiled material will be left unprotected or without erosion controls during the winter.
- 43 Loaming and seeding will occur within (5 - 30) days of final grading. Barren areas should be stabilized by seeding if work on the project is interrupted for more than 90 days. If the 90 days are in the winter, the applicant shall request a determination from the Commission as to whether seeding or an alternative measure should be conducted.
- 44 Pursuant to the provisions of 310 CMR 10.53.3. the proposed project utilizes the maximum limit of wetlands to be disturbed on one parcel and for one project.
- 45 The applicants, owners, and their successors and assignees shall maintain all culverts, collection basins, traps, retention and detention ponds, outlet structures, BMP devices and other elements of drainage systems, structural and capacity of all structures unless put into an easement to the Town, in order to avoid blockages and siltation which might cause failure of the system and/or detrimental impacts to on-site or off-site resource areas.
- 46 The applicants, owners, and their successors and assignees shall maintain all stabilized slopes shall be maintained as designed and constructed, whether "bioengineered" or mechanically-stabilized slopes.
- 47 Subject to approval by the Commission, the applicant shall submit an Operations and Maintenance Plan (O&M) for stormwater management systems, including Best Management Practices. In addition, a Long Term Pollution Prevention Plan (LTPP) is required (see Condition 19d). No additional filings will be required to conduct maintenance of the above referenced structures.
- 48 Pesticides, herbicides, fungicides, and fertilizers **shall not be used** within 100 feet of the wetlands. Organic pesticides, herbicides, fungicides and fertilizers may be used subject to the review and approval of the Conservation Commission. Only slow-release organic granular type fertilizers shall be used within the wetland buffer zone. This shall be noted in the Certificate of Compliance and shall be an ongoing condition.

- 49 De-icing chemicals (e.g. sodium, potassium, and calcium chloride) in excess of residential application standards are prohibited on driveways located in wetland resource areas and buffer zones. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance.
- 50 Dumping Prohibited: There shall be no dumping of leaves, grass clippings, brush, or other debris into: wetlands areas, replication areas, stream threads or other areas subject to jurisdiction by the Leicester Conservation Commission. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance.
- 51 **Prior to the issuance of a Certificate of Compliance** and upon the sale of the property to subsequent owners, the new owner shall provide a letter to the Conservation Commission acknowledging that he/she understands the wetland restrictions bound to this property. A copy of this letter and a set of As Built Plans shall accompany the written request for a Certificate of Compliance. This shall be an ongoing condition and shall be recorded in the deed and on subsequent deeds.



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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.

This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:

[Handwritten signatures]

[Handwritten signature]

☐ by hand delivery on

Date

☒ by certified mail, return receipt requested, on

Date

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



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G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

LEICESTER

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

LEICESTER

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

Waite Pond Dam

Project Location

197-0621

MassDEP File Number

Has been recorded at the Registry of Deeds of:

Worcester

County

Book

Page

for:

Town of Leicester

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number: _____

**Request for Departmental Action Fee
Transmittal Form**

Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Request Information

1. Location of Project

a. Street Address _____

b. City/Town, Zip _____

c. Check number _____

d. Fee amount _____

2. Person or party making request (if appropriate, name the citizen group's representative):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

3. Applicant (as shown on Determination of Applicability (Form 2), Order of Resource Area Delineation (Form 4B), Order of Conditions (Form 5), Restoration Order of Conditions (Form 5A), or Notice of Non-Significance (Form 6)):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

4. DEP File Number: _____

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



B. Instructions

1. When the Departmental action request is for (check one):

☐ Superseding Order of Conditions – Fee: \$120.00 (single family house projects) or \$245 (all other projects)

☐ Superseding Determination of Applicability – Fee: \$120

☐ Superseding Order of Resource Area Delineation – Fee: \$120



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
Request for Departmental Action Fee
Transmittal Form

DEP File Number: _____

Provided by DEP _____

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Instructions (cont.)

Send this form and check or money order, payable to the *Commonwealth of Massachusetts*, to:

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Worcester South District Registry of Deeds Electronically Recorded Document

This is the first page of the document – Do not remove

Recording Information

Document Number	: 7719
Document Type	: ORD
Recorded Date	: January 20, 2022
Recorded Time	: 12:56:35 PM
Recorded Book and Page	: 66977 / 302
Number of Pages(including cover sheet)	: 21
Receipt Number	: 1416303
Recording Fee	: \$105.00

Worcester South District Registry of Deeds
Kathryn A. Toomey, Register
90 Front St
Worcester, MA 01608
(508) 798-7717



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

197-0681

MassDEP File #

eDEP Transaction #

Leicester

City/Town

A. General Information

Please note:
this form has
been modified
with added
space to
accommodate
the Registry
of Deeds
Requirements

1. From: Leicester
Conservation Commission
2. This issuance is for (check one):
a. ☒ Order of Conditions b. ☐ Amended Order of Conditions
3. To: Applicant:

Important:
When filling
out forms on
the
computer,
use only the
tab key to
move your
cursor - do
not use the
return key.



a. First Name _____ b. Last Name _____
Town of Leicester
c. Organization _____
3 Washburn Square
d. Mailing Address _____
Leicester MA 01524
e. City/Town _____ f. State _____ g. Zip Code _____

4. Property Owner (if different from applicant):

a. First Name _____ b. Last Name _____
c. Organization _____
d. Mailing Address _____
e. City/Town _____ f. State _____ g. Zip Code _____

5. Project Location:

Waite Pond Leicester
a. Street Address _____ b. City/Town _____
21A A48
c. Assessors Map/Plat Number _____ d. Parcel/Lot Number _____
Latitude and Longitude, if known: 42d14m57.0732s 71d53m4484s
d. Latitude e. Longitude



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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Leicester

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A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):

Worcester

a. County

36166

c. Book

b. Certificate Number (if registered land)

286 (See also Tax Taking at Book 28857, Page 196)

d. Page

10/25/2021

1/12/2022

1/19/2022

7. Dates: a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance

8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):

Excerpts from Waite Pond Dam Construction Drawings

a. Plan Title

Fuss & O'Neill

b. Prepared By

4/14/2020

d. Final Revision Date

Waite Pond Dam Seasonal Drawdown

f. Additional Plan or Document Title

Philip W. Moreschi

c. Signed and Stamped by

1"=10'

e. Scale

10/12/2021

g. Date

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

- a. ☐ Public Water Supply b. ☐ Land Containing Shellfish c. ☐ Prevention of Pollution
d. ☐ Private Water Supply e. ☐ Fisheries f. ☐ Protection of Wildlife Habitat
g. ☐ Groundwater Supply h. ☐ Storm Damage Prevention i. ☐ Flood Control

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

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B. Findings (cont.)

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☐ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) _____ a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	_____ a. linear feet	_____ b. linear feet	_____ c. linear feet	_____ d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	_____ a. square feet	_____ b. square feet	_____ c. square feet	_____ d. square feet
6. <input checked="" type="checkbox"/> Land Under Waterbodies and Waterways	temporary 18" drawdown - see project description on page 9a for more information.			
	_____ a. square feet	_____ b. square feet	_____ c. square feet	_____ d. square feet
	_____ e. c/y dredged	_____ f. c/y dredged		
7. <input type="checkbox"/> Bordering Land Subject to Flooding	_____ a. square feet	_____ b. square feet	_____ c. square feet	_____ d. square feet
Cubic Feet Flood Storage	_____ e. cubic feet	_____ f. cubic feet	_____ g. cubic feet	_____ h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	_____ a. square feet	_____ b. square feet		
Cubic Feet Flood Storage	_____ c. cubic feet	_____ d. cubic feet	_____ e. cubic feet	_____ f. cubic feet
9. <input type="checkbox"/> Riverfront Area	_____ a. total sq. feet	_____ b. total sq. feet		
Sq ft within 100 ft	_____ c. square feet	_____ d. square feet	_____ e. square feet	_____ f. square feet
Sq ft between 100-200 ft	_____ g. square feet	_____ h. square feet	_____ i. square feet	_____ j. square feet



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	a. square feet	b. square feet	c. ^{cu yd} nourishment	d. ^{cu yd} nourishment
14. <input type="checkbox"/> Coastal Dunes	a. square feet	b. square feet	c. ^{cu yd} nourishment	d. ^{cu yd} nourishment
15. <input type="checkbox"/> Coastal Banks	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	a. c/y dredged	b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	a. square feet	b. square feet		
22. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet



Massachusetts Department of Environmental Protection
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B. Findings (cont.)

* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. ☐ Restoration/Enhancement *:

a. square feet of BVW

b. square feet of salt marsh

24. ☐ Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. The work is a maintenance dredging project as provided for in the Act; or
 - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
 - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 1/12/2025 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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C. General Conditions Under Massachusetts Wetlands Protection Act

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]

"File Number 197-0681 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
 - (1) ☐ is subject to the Massachusetts Stormwater Standards
 - (2) ☒ is NOT subject to the Massachusetts Stormwater Standards

If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
 - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

Please see pages 9a-9e for additional conditions.

- 20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.

**Town of Leicester Conservation Commission
Order of Conditions
Waite Pond Dam
DEP File #197-0681**

(Conditions 1 to 20 are found in the DEP Orders)

PROJECT DESCRIPTION:

Temporary, seasonal drawdown of 18 inches at Waite Pond. The temporary drawdown will be initiated and restored by operating the Waite Pond Dam. Outside of the temporary drawdown period, the Waite Pond will be maintained at the current normal pool level. This drawdown will take place on an annual basis for as long as this Orders are valid.

A. PROJECT SPECIFIC CONDITIONS

An assessment (to be conducted by Leicester Highway Department) determining the ability to conduct the drawdown this late in the season should be submitted to the Commission for sign-off prior to the drawdown.

- 21 **This document in its entirety shall be recorded at the Registry of Deeds,** immediately following the 10-day appeal period, which commences upon the date of issuance, and before all or any part of the site is sold and/or work commenced. **Proof of said recording must be returned to the Leicester Conservation Commission before any work shall commence or sale finalized. Failure to comply with these Orders of Conditions shall automatically invalidate this permit.**
- 22 In the event this land or any part thereof changes ownership before or during construction, the current owner shall notify the new owner, prior to the transfer of ownership, by registered mail, of this Order and shall forward proof of this notification to the LCC. The Commission shall be notified in writing within 30 days of all transfers of title of any portion of property that take place prior to the issuance of the Certificate of Compliance.

B. ADMINISTRATIVE ORDERS

- 23 Any member of the Conservation Commission or its designated agent shall have full powers to act on its behalf in administering and enforcing this Order. This document shall be included by reference in all contracts, plans and specifications dealing with the activity that is the subject of this Order, and that are created or modified after the issuance date of this Order, along with a statement that this Order shall supersede any conflicting contractual arrangements, plans or specifications.
- 24 In case of emergencies, problems, or the need to discuss site conditions with the Conservation Commission, please contact the Commission or its agent during business hours at (508)892-7007.
- 25 The applicant shall provide a copy of this Order to the person or persons supervising the activity that is the subject of this Order, and will be responsible for understanding and complying with the terms and conditions of this Order as well as any others performing work or activity subject to this Order of Conditions. A copy of this Order of Conditions, construction plans, and copies of the documents and reports shall be on the site upon commencement and during any site work for

contractors to view and adhere to.

- 26 If any change is made in the above-described plan(s) which may or will alter an area subject to protection under the Wetlands Protection Act, 310 CMR 10.00 and the Leicester Wetland Bylaw and Wetland Bylaw Regulations, the applicant shall inquire from this Commission or its agent, prior to implementing the change in the field, whether the change is significant enough to require the filing of a new Notice of Intent. Any errors in the plans or information submitted by the applicant shall be considered changes and the above procedures shall be followed.
 - a. If the LCC finds said changes to be insignificant to the interests of the Act and/or the Town of Leicester Wetland Bylaws, then the LCC will so notify the Applicant in writing.
 - b. If the LCC finds said changes to be significant and/or deviate from the original plans, Notice of intent (NOI), or these Orders of Conditions (OOC) the applicant shall file an amended NOI following the same process as a new NOI. No work shall be undertaken until the Amended OOC are issued and recorded at the Registry of Deeds.
- 27 This Order authorizes only the activity described on the approved plan(s) and approved documents referenced in this Order. Any other or additional activity in areas within the jurisdiction of the Commission will require separate review and approval by the Commission or its agent.
- 28 The Commission reserves the right, after a public hearing process, to impose additional conditions on portions of this project to mitigate any impacts which result from site erosion, or any noticeable degradation of surface water quality discharging from the site.

C. PRIOR TO CONSTRUCTION

- 29 Prior to any work commencing on the site, including any clearing of vegetation or disturbance of soils, the applicant shall comply with the following:
 - a. **Display the DEP file number for this Order.**
 - b. The applicant shall notify the Conservation Commission at least 48 hours prior to any activity on the site and shall provide the name(s) and telephone number(s) of all person(s) responsible for compliance with this Order.
 - c. The approved erosion control shall be installed as indicated on the approved plan and shall be inspected by a member of the Conservation Commission prior to start of work.

D. GENERAL CONDITIONS

- 30 The applicant and any person involved in the activity that is the subject of this Order shall notify the Commission or its agent immediately upon discovery of any matter related to this Order that may affect any area within the jurisdiction of the Commission. A stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair or replace silt fences, hay bales, erosion control blankets, stone riprap, filter berms or any other devices planned for use during construction.

- 31 The area of construction shall remain in a stable condition at the close of each construction day. Erosion controls should be inspected at this time, and repaired, reinforced or replaced as necessary.
- 32 Erosion control devices may be temporarily modified based upon experience at the site. Temporary modifications shall not be deemed approved or permanent, until approved by the Commission or Commission's Agent. All such devices shall be inspected, cleaned or replaced during construction and shall remain in place until such time as stabilization of all areas that may impact resource areas is permanent.
- 33 Within thirty days of completion, all disturbed areas shall be permanently stabilized with vegetative cover, using sufficient top soil to assure long-term vegetative growth. Continued maintenance of this area, in a manner which assures permanent stabilization and precludes any soil erosion, shall be the responsibility of the applicant.
- 34 If soils are to be left disturbed for longer than 90 days, a temporary cover of rye or other grass should be established to prevent erosion and sedimentation. If the season is not appropriate for plant growth, exposed surfaces shall be stabilized by other appropriate erosions control measures, firmly anchored, to prevent soils from being washed by rain or flooding.
- 35 Erosion control devices shall remain in place and properly functioning until all exposed soils have been stabilized with final vegetative cover and the Conservation Commission and/or its Administrator has authorized their removal.
- 36 The following are prohibited within the wetlands resource areas and associated buffer zones unless expressly permitted by this Order or the plans approved herewith.
 - a. All construction materials, earth stockpiles, landscaping materials, slurry pits, waste products, refuse, debris, stumps, slash, or excavate. These materials may only be stockpiled or collected in areas shown on the plan or they must be placed or stored under cover and surrounded by a double-staked row of hay bales to prevent contact with rain water outside of the buffer zone.
 - b. No material of any kind may be buried, placed or dispersed in areas within the jurisdiction of the Commission by activities that are the subject of this Order
 - c. There shall be no pumping of water from or into wetland resource areas.
 - d. All waste products, grubbed stumps, slash or construction materials. This specifically includes dumpsters.
 - e. Storage of fuel, oil, or other pollutants or hazardous substances.
 - f. No vehicle re-fueling or storage overnight.
 - g. No equipment is to enter or cross-wetland resource areas at any time unless the location of disturbance is marked on the plans referenced in this Order and flagged in the field.
 - h. Cement trucks shall not be washed out in any wetland resource or buffer zone area, or into any drainage system. Any deposit of cement or concrete products into a buffer zone or wetland resource area shall be immediately removed.
 - i. Any material placed in wetland resource areas by the applicant without express authorization under this Order shall be removed by the applicant upon demand by the Conservation Commission or its agent. Such areas shall be immediately restored to their pre-disturbance condition.

- 37 Workers shall be informed that no use of machinery, storage of machinery or materials, stockpiling of soil or any other construction activity is to occur beyond the erosion control barriers at any time.
- 38 All equipment shall be inspected regularly for leaks. Any leaking hydraulic lines, cylinders or any other components shall be fixed immediately.
- 39 Immediately upon the installation of the headwalls and riprap, haybales shall be set and staked around the inlet to prevent sediments from entering the drainage system, wetlands or water bodies.
- 40 The Conservation Commission shall be notified when any maintenance functions that may impact the wetlands, such as, but not limited to, removing accumulated sediments, are to be performed.
- 41 Site grading and construction shall be scheduled to avoid periods of high surface water. Debris removal must be conducted during frozen ground conditions.
- 42 All disturbed areas and slopes shall be loamed and seeded or stabilized through the use of erosion control blankets or other approved means. All disturbed areas will be graded, loamed and seeded prior to November 1 of the year if possible. No disturbed areas or stockpiled material will be left unprotected or without erosion controls during the winter.
- 43 Loaming and seeding will occur within (5 - 30) days of final grading. Barren areas should be stabilized by seeding if work on the project is interrupted for more than 90 days. If the 90 days are in the winter, the applicant shall request a determination from the Commission as to whether seeding or an alternative measure should be conducted.
- 44 Pursuant to the provisions of 310 CMR 10.53.3, the proposed project utilizes the maximum limit of wetlands to be disturbed on one parcel and for one project.
- 45 The applicants, owners, and their successors and assignees shall maintain all culverts, collection basins, traps, retention and detention ponds, outlet structures, BMP devices and other elements of drainage systems, structural and capacity of all structures unless put into an easement to the Town, in order to avoid blockages and siltation which might cause failure of the system and/or detrimental impacts to on-site or off-site resource areas.
- 46 The applicants, owners, and their successors and assignees shall maintain all stabilized slopes shall be maintained as designed and constructed, whether "bioengineered" or mechanically-stabilized slopes.
- 47 Subject to approval by the Commission, the applicant shall submit an Operations and Maintenance Plan (O&M) for stormwater management systems, including Best Management Practices. In addition, a Long Term Pollution Prevention Plan (LTPP) is required (see Condition 19d). No additional filings will be required to conduct maintenance of the above referenced structures.
- 48 Pesticides, herbicides, fungicides, and fertilizers **shall not be used** within 100 feet of the wetlands. Organic pesticides, herbicides, fungicides and fertilizers may be used subject to the review and approval of the Conservation Commission. Only slow-release organic granular type fertilizers shall be used within the wetland buffer zone. This shall be noted in the Certificate of Compliance and shall be an ongoing condition.

- 49 De-icing chemicals (e.g. sodium, potassium, and calcium chloride) in excess of residential application standards are prohibited on driveways located in wetland resource areas and buffer zones. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance.
- 50 **Dumping Prohibited:** There shall be no dumping of leaves, grass clippings, brush, or other debris into: wetlands areas, replication areas, stream threads or other areas subject to jurisdiction by the Leicester Conservation Commission. This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the Certificate of Compliance.
- 51 **Prior to the issuance of a Certificate of Compliance** and upon the sale of the property to subsequent owners, the new owner shall provide a letter to the Conservation Commission acknowledging that he/she understands the wetland restrictions bound to this property. A copy of this letter and a set of As Built Plans shall accompany the written request for a Certificate of Compliance. This shall be an ongoing condition and shall be recorded in the deed and on subsequent deeds.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

197-0681

MassDEP File #

eDEP Transaction #

Leicester

City/Town

D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☐ Yes ☐ No
2. The _____ hereby finds (check one that applies):

Conservation Commission

- a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. ☐ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

1. Municipal Ordinance or Bylaw

2. Citation

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

197-0681

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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.

This Order must be signed by a majority of the Conservation Commission.

1/19/2022

1. Date of Issuance

4

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

DocuSigned by:

Stephan Paretti

Signature 4E23574*F...

Stephan Paretti

Printed Name

DocuSigned by:

JoAnn Schold

Signature 2A9273BDD48*2E...

JoAnn Schold

Printed Name

DocuSigned by:

Ashlyn Coyle

Signature 17C36095D9F419...

Ashlyn Coyle

Printed Name

DocuSigned by:

Ryan Winslow

Signature 7F9644ED.

Ryan Winslow

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

☒ by hand delivery on

1/19/2022

☐ by certified mail, return receipt requested, on

Date

Date

The signatures above are made in accordance with MGL Ch. 110G and pursuant to the Leicester Conservation Commission's electronic signature authorization vote recorded on May 19, 2020 in Book 62422 Page 175 at the Worcester District Registry of Deeds.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

197-0681

MassDEP File #

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Leicester

City/Town

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

197-0681

MassDEP File #

eDEP Transaction #

Leicester

City/Town

G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

Project Location

MassDEP File Number

Has been recorded at the Registry of Deeds of:

County

Book

Page

for:

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number:

**Request for Departmental Action Fee
Transmittal Form**

Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Request Information

1. Location of Project

a. Street Address

b. City/Town, Zip

c. Check number

d. Fee amount

2. Person or party making request (if appropriate, name the citizen group's representative):

Name

Mailing Address

City/Town

State

Zip Code

Phone Number

Fax Number (if applicable)

3. Applicant (as shown on Determination of Applicability (Form 2), Order of Resource Area Delineation (Form 4B), Order of Conditions (Form 5), Restoration Order of Conditions (Form 5A), or Notice of Non-Significance (Form 6)):

Name

Mailing Address

City/Town

State

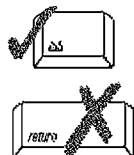
Zip Code

Phone Number

Fax Number (if applicable)

4. DEP File Number:

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



B. Instructions

1. When the Departmental action request is for (check one):

- ☐ Superseding Order of Conditions – Fee: \$120.00 (single family house projects) or \$245 (all other projects)
- ☐ Superseding Determination of Applicability – Fee: \$120
- ☐ Superseding Order of Resource Area Delineation – Fee: \$120



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number:

Request for Departmental Action Fee Transmittal Form

Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Instructions (cont.)

Send this form and check or money order, payable to the *Commonwealth of Massachusetts*, to:

Department of Environmental Protection
Box 4062
Boston, MA 02211

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <https://www.mass.gov/service-details/massdep-regional-offices-by-community>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Notification to Abutters

By Hand Delivery, Certified Mail (return receipt requested), or Certificates of Mailing

This is a notification required by law. You are receiving this notification because you have been identified as the owner of land abutting another parcel of land for which certain activities are proposed. Those activities require a permit under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40).

In accordance with the second paragraph of the Massachusetts Wetlands Protection Act, and 310 CMR 10.05(4)(a) of the Wetlands Regulations, you are hereby notified that:

- A. A Notice of Intent was filed with the **Leicester** Conservation Commission on January 30, 2024 seeking permission to remove, fill, dredge, or alter an area subject to protection under M.G.L. c. 131 §40. The following is a description of the proposed activity/activities:

The Proposed Project is a vertical extension of the retaining wall on the right side of the spillway (when looking downstream) to Waite Pond Dam. The extension is necessary to contain flow over the spillway within the channel during significant storm events.

- B. The name of the applicant is: Town of Leicester.
- C. The address of the land where the activity is proposed is: Waite Pond Dam (Assessor Map 21A Parcel A48).
- D. Copies of the Notice of Intent may be examined or obtained at the office of the Leicester Conservation Commission, located at 3 Washburn Square, Leicester, MA 01524. The regular business hours of the Commission are Monday, Wednesday, Thursday from 8:00 AM – 5:00 PM and Tuesdays 8:00 Am to 7:00 PM, and the Commission may be reached at 508-892-7007.
- E. Copies of the Notice of Intent may be obtained from the applicant’s representative by calling Ken Berchielli, Fuss & O’Neill, at 401-533-5968. An administrative fee may be applied for providing copies of the NOI and plans.
- F. The public hearing will be held on Wednesday, February 14, 2024 at 6:40 PM. Information regarding the location of the public hearing regarding the Notice of Intent may be obtained from the Leicester Conservation Commission. Notice of the public hearing will be published at least five business days in advance, in the Worcester Telegram & Gazette.

Notification provided pursuant to the above requirement does not automatically confer standing to the recipient to request Departmental Action for the underlying matter. See 310 CMR 10.05(7)(a)4.

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LEICESTER MA 01524

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CANANE KATHLEEN A
852 MAIN ST
LEICESTER, MA 01524

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CLOTAR ROBERT F
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COLBY ARLENE R
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COMEAU MICHAEL J
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P O BOX 333
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DAIGE PATRICIA
2 SACKS DR
CHERRY VALLEY, MA 01611

PS Form 3800, April 2015 PSN 7530-02-000-9047

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OFFICIAL USE

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage	\$
Total Postage and Fees	\$
Sent To	

Street and Apt. No., or P.O. Box
City, State, ZIP+4®

DAIGE JOHN V
DAIGE TRICIA M
5 SACKS DR
CHERRY VALLEY, MA 01611

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Certified Mail Fee	\$ 4.40
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.05
<input checked="" type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage	\$.64
Total Postage and Fees	\$ 8.09
Sent To	

Street and Apt. No., or P.O. Box
City, State, ZIP+4®

DALE CARL S
DALE SHARYN E
14 MASSASOIT DR
LEICESTER, MA 01524-1104

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OFFICIAL USE

Certified Mail Fee	\$ 4.40
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.05
<input checked="" type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage	\$.64
Total Postage and Fees	\$ 8.09
Sent To	

Street and Apt. No., or P.O. Box
City, State, ZIP+4®

DEE AMY E TRUSTEE
MADORE FAM TRUST
2 PINE AVE
CHERRY VALLEY, MA 01611

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Certified Mail Fee	\$ 4.40
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.05
<input checked="" type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage	\$.64
Total Postage and Fees	\$ 8.09
Sent To	

Street and Apt. No., or P.O. Box No.
City, State, ZIP+4®

DIAZ LYNNETTE
55 WAITE STREET
LEICESTER, MA 01524

PS Form 3800, April 2015 PSN 7530-02-000-9047

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7020 0090 0000 7967 2166

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.09

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

DOHERTY EDWARD J
169.5 CHAPEL ST
LEICESTER, MA 01524

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postmark
Here

Postage
\$.64

Total Postage and Fees
\$ 8.09

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

DUGGAN DENNIS H
DUGGAN KATHLEEN
56 WAITE ST
LEICESTER, MA 01524

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 7967 2173

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.09

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

EARLE THERESA M
19 MASSASOIT DR
LEICESTER, MA 01524

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7020 0090 0000 7967 2180

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.09

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

ENTWISTLE III CHARLES W
800 MAIN STREET
LEICESTER, MA 01524

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7020 0090 0000 7967 2197

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.09

Sent To

Street and Apt. No., or PO

City, State, ZIP+4®

ENTWISTLE JR CHARLES W
CW ENTWISTLE TR CWE REV T
790 MAIN STREET
LEICESTER, MA 01524

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 7967 2203

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.09

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

ERAZO MAYRA L
96 MANNVILLE ST
LEICESTER, MA 01524

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7967 2220 0090 0000 7967 2220

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.60</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box
321 ELIOT ST
MILTON, MA 02186

City, State, ZIP+4®

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.60</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
16 MASSASOIT DR
LEICESTER, MA 01524

City, State, ZIP+4®

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7967 2234 0090 0000 7967 2234

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.60</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
82 WAITE ST
LEICESTER, MA 01524

City, State, ZIP+4®

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.60</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
9 MASSASOIT DR
LEICESTER, MA 01524

City, State, ZIP+4®

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7967 2258 0090 0000 7967 2258

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.60</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
95 WAITE ST
LEICESTER, MA 01524

City, State, ZIP+4®

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.60</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
112 MANNVILLE ST
LEICESTER, MA 01524

City, State, ZIP+4®

7020 0090 0000 7967 2272

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fee as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	1-31-2024
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	

Postage
\$ 1.64

Total Postage and Fees
\$ 8.69

Sent To
Greene Denver
Greene Abigail
8 MASSASOIT RD
LEICESTER, MA 01524

City, State, ZIP+4[®]

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7020 0090 0000 7967 2289

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fee as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	1-31-2024
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	

Postage
\$ 1.64

Total Postage and Fees
\$ 8.69

Sent To
Hisman Chelsea Lee
Sabourin Jeffrey T
114 MANNVILLE ST
LEICESTER, MA 01524

City, State, ZIP+4[®]

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fee as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	1-31-2024
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	

Postage
\$ 1.64

Total Postage and Fees
\$ 8.69

Sent To
IRSFELD JAMES ANTHONY
92 MANNVILLE ST
LEICESTER, MA 01524

City, State, ZIP+4[®]

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7020 0090 0000 7967 2302

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fee as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	1-31-2024
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	

Postage
\$ 1.64

Total Postage and Fee
\$ 8.69

Sent To
JAROBSKI JR EDWARD R
69 WAITE ST
LEICESTER, MA 01524-1120

City, State, ZIP+4[®]

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 7967 2319

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fee as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	1-31-2024
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	

Postage
\$ 1.64

Total Postage and Fees
\$ 8.69

Sent To
Jerome George
Jerome Sandra
18 MASSASOIT DR
LEICESTER, MA 01524

City, State, ZIP+4[®]

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7020 0090 0000 7967 2326

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fee as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	1-31-2024
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	

Postage
\$ 1.64

Total Postage and
\$ 8.69

Sent To
Knights of Columbus
K of C Council 4528
91 MANNVILLE ST P O BOX 143
LEICESTER, MA 01524

City, State, ZIP+4[®]

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7020 0090 0000 7967 2340

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
KOBEL HENRY F
KOBEL CAROL
P O BOX 87
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

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7020 0090 0000 7967 2357

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
LACH ANNA
STARUK COONEY CHERYL
50 WAITE STREET
LEICESTER, MA 01524

Street and Apt. No., or PO

City, State, ZIP+4®

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7020 0090 0000 7967 2364

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
LAMOUREUX MARC A
LAMOUREUX DEBRA A
84 MANNVILLE ST
LEICESTER, MA 01524-0432

Street and Apt. No., or PO

City, State, ZIP+4®

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7020 0090 0000 7967 2371

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OFFICIAL USE

Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
LAW MARIE L
PO BOX 425
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 7967 2388

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
LEBLANC ADAM
4 RURAL DR
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 7967 2012

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65
☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
LEICESTER WATER SUPPLY
P.O. BOX 86
LEICESTER, MA 01524

Street and Apt. No.,

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 7967 2395

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
City, State, ZIP+4®

MAGNANO DAVID
167 CHAPEL ST
LEICESTER, MA 01524

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7020 0090 0000 7967 2029

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
City, State, ZIP+4®

MASS ELECTRIC CO
PROPERTY TAX DEPT
40 SYLVAN ROAD
WALTHAM, MA 02451

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\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
City, State, ZIP+4®

MCCAULEY JESSICA
MCCAULEY TRAVIS
85 WAITE ST
LEICESTER, MA 01524

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\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
City, State, ZIP+4®

MCCULLOUGH GLORIANN O
MCCULLOUGH GRAHAM P
5 MASSASOIT DR
LEICESTER, MA 01524

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
City, State, ZIP+4®

MERCIER A J
MERCIER ERIN A
10 MASSASOIT DRIVE
LEICESTER, MA 01524

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.65
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O
Postage Meter
1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
City, State, ZIP+4®

MIKULSKI MICHAEL
184 CHAPEL STREET
LEICESTER, MA 01524

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Certified Mail Fee \$ 4.40 F&O
Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65 Postage Meter
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$
1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69

Sent To MILLER RICHARD F
MILLER SANDRA L
Street and Apt. No., or PO Box No. 165 CHAPEL STREET
City, State, ZIP+4® LEICESTER, MA 01524

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Certified Mail Fee \$ 4.40 F&O
Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65 Postage Meter
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$
1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69

Sent To MORLEY EDWARD J
MORLEY CLAUDETTE C
Street and Apt. No., or PO Box No. 25 WAITE STREET
City, State, ZIP+4® LEICESTER, MA 01524

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Certified Mail Fee \$ 4.40 F&O
Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65 Postage Meter
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$
1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69

Sent To MURDOCK BRENDEN T
Street and Apt. No., or PO Box No. 100 WAITE ST
City, State, ZIP+4® LEICESTER, MA 01524

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Certified Mail Fee \$ 4.40 F&O
Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65 Postage Meter
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$
1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69

Sent To MURPHY MCCANCE DONNA M
17 MASSASOIT DR
LEICESTER, MA 01524

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Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.65 Postage Meter
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$
1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69

Sent To MURZYCKI LOUIS JOAN TRUST
MURZYCKI FAMILY 2011 IRRE
Street and Apt. No., or PO 67 WAITE ST
City, State, ZIP+4® LEICESTER, MA 01524

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☒ Return Receipt (hardcopy) \$ 3.65 Postage Meter
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$
1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69

Sent To O'LEARY CHRISTINE G
HOLMES MICHAEL
Street and Apt. No., or PO Box No. 6 MASSASOIT DR
City, State, ZIP+4® LEICESTER, MA 01524

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☒ Return Receipt (hardcopy) \$ 3.05
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

F&O

Postage Meter

1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69
Sent To

OLEARY ANDREW R
OLEARY CAROL F
11 MASSASOIT DR
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

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☒ Return Receipt (hardcopy) \$ 3.05
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

F&O

Postage Meter

1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69
Sent To

PASZUK CHRISTINE
12 MASSASOIT DR
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

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☒ Return Receipt (hardcopy) \$ 3.05
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

F&O

Postage Meter

1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69
Sent To

PHILLIPS SR ALLEN
PHILLIPS MICHELLE M
35 WAITE ST
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

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☒ Return Receipt (hardcopy) \$ 3.05
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

F&O

Postage Meter

1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69
Sent To

OLSON MARK S
MCNALLY CHERYL A.
38 MANNVILLE STREET
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

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☒ Return Receipt (hardcopy) \$ 3.05
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

F&O

Postage Meter

1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69
Sent To

PHAM CUC
1 WAITE STREET
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

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Certified Mail Fee \$ 4.90
Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$ 3.05
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

F&O

Postage Meter

1-31-2024

Postage \$.64
Total Postage and Fees \$ 8.69
Sent To

REALE FRANK R JOYCE C
REALE FAMILY TRUST
14 WINSLOW AVE
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.65</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
68 WAITE ST

City, State, ZIP+4®
LEICESTER, MA 01524

RICE CRAIG R
LANE CHRISTINE
68 WAITE ST
LEICESTER, MA 01524

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.65</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
80 WAITE ST

City, State, ZIP+4®
LEICESTER, MA 01524

RIVERS LISA M
RIVERS BRIAN K
80 WAITE ST
LEICESTER, MA 01524

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Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.65</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box No.
77 WAITE ST

City, State, ZIP+4®
LEICESTER, MA 01524

ROBSON JAMES D III
ROBSON SUZANNE B
77 WAITE ST
LEICESTER, MA 01524

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.65</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box
182 CHAPEL ST

City, State, ZIP+4®
LEICESTER, MA 01524

ROPIAK TANNER P
DUCHARME HANNAH M
182 CHAPEL ST
LEICESTER, MA 01524

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.65</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To

Street and Apt. No., or PO Box
56 BARROWS RD

City, State, ZIP+4®
WORCESTER, MA 01609

ROSHCHIN ROMAN A
56 BARROWS RD
WORCESTER, MA 01609

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Certified Mail Fee
\$ 4.40

Extra Services & Fees (check box, add fee as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>3.65</u>
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

F&O

Postage Meter

1-31-2024

Postage
\$.64

Total Postage and Fees
\$ 3.69

Sent To

Street and Apt. No., or PO Box
LEICESTER, MA 01524

City, State, ZIP+4®

RYAN JORDAN
HAWTHORNE ST
LEICESTER, MA 01524

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fees as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$ 1.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To	SCALLEY RYAN 7 MASSASOIT DRIVE LEICESTER, MA 01524	
Street and Apt. No., or PO Box No.		
City, State, ZIP+4 [®]		

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fees as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$ 1.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To	SCHULMAN STEVEN A SCHULMAN LINDA S 13 MASSASOIT DR LEICESTER, MA 01524	
Street and Apt. No., or PO Box No.		
City, State, ZIP+4 [®]		

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fees as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$ 1.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To	SENKO FUAT 98 MANNVILLE STREET LEICESTER, MA 01524	
Street and Apt. No., or PO Box No.		
City, State, ZIP+4 [®]		

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fees as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$ 1.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To	SILBERSTEIN CHARLES G CHARLES G SILBERSTEIN REV 97 WAITE ST LEICESTER, MA 01524	
Street and Apt. No.		
City, State, ZIP+4 [®]		

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fees as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$ 1.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To	SMITH JUSTON O 51 WAITE ST LEICESTER, MA 01524	
Street and Apt. No., or PO Box No.		
City, State, ZIP+4 [®]		

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Certified Mail Fee	\$ 4.40	F&O
Extra Services & Fees (check box, add fees as appropriate)	\$ 3.65	Postage Meter
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$ 1.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To	SNAPE PAUL 90 MANNVILLE STREET LEICESTER, MA 01524-1123	
Street and Apt. No., or PO		
City, State, ZIP+4 [®]		

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0000 7967 1459

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Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65	Postage Meter
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

TOWN OF LEICESTER
LEICESTER COMMUNITY FIELD
3 WASHBURN SQUARE
LEICESTER, MA 01524

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0000 7967 1466

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<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65	Postage Meter
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

TOWN OF LEICESTER
ST JOSEPHS CEMETERY
3 WASHBURN SQUARE
LEICESTER, MA 01524

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Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65	Postage Meter
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

VARGAS BIENVENIDA
VARGAS JULIO C
169 CHAPEL ST
LEICESTER, MA 01524

PS Form 3800, April 2015 PSN 7530-02-000-9047

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7020 0090 0000 7967 1480

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Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65	Postage Meter
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

VU LOAN
MICHAUD ERIC
40 MANNVILLE ST
LEICESTER, MA 01524

PS Form 3800, April 2015 PSN 7530

7020 0090 0000 7967 1503

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<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

WHEELER RANDY L
WHEELER ANN M
774 MAIN STREET
LEICESTER MA 01524-1306

PS Form 3800, April 2015 PSN 7530-02-000-9047

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<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 3.65	Postage Meter
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$.64	1-31-2024
Total Postage and Fees	\$ 8.69	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

WHITE RUSSEL J
180 CHAPEL ST
LEICESTER, MA 01524

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☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
WHITWORTH HERBERT H
WHITWORTH DOROTHY E
171 CHAPEL ST
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

F&O
Postage Meter
1-31-2024

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☐ Return Receipt (electronic) \$ _____
☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
WILLETTE SUSAN E
52 WAITE ST
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

F&O
Postage Meter
1-31-2024

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☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage
\$.64

Total Postage and Fees
\$ 8.69

Sent To
ZMAYEFSKI JEFFREY A
15 MASSASOIT DRIVE
LEICESTER, MA 01524

Street and Apt. No., or PO Box No.
City, State, ZIP+4[®]

F&O
Postage Meter
1-31-2024

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WAITE POND DAM REPAIRS

CONSTRUCTION DRAWINGS

MA00987 · CHAPEL STREET · LEICESTER · MASSACHUSETTS

APRIL, 2020

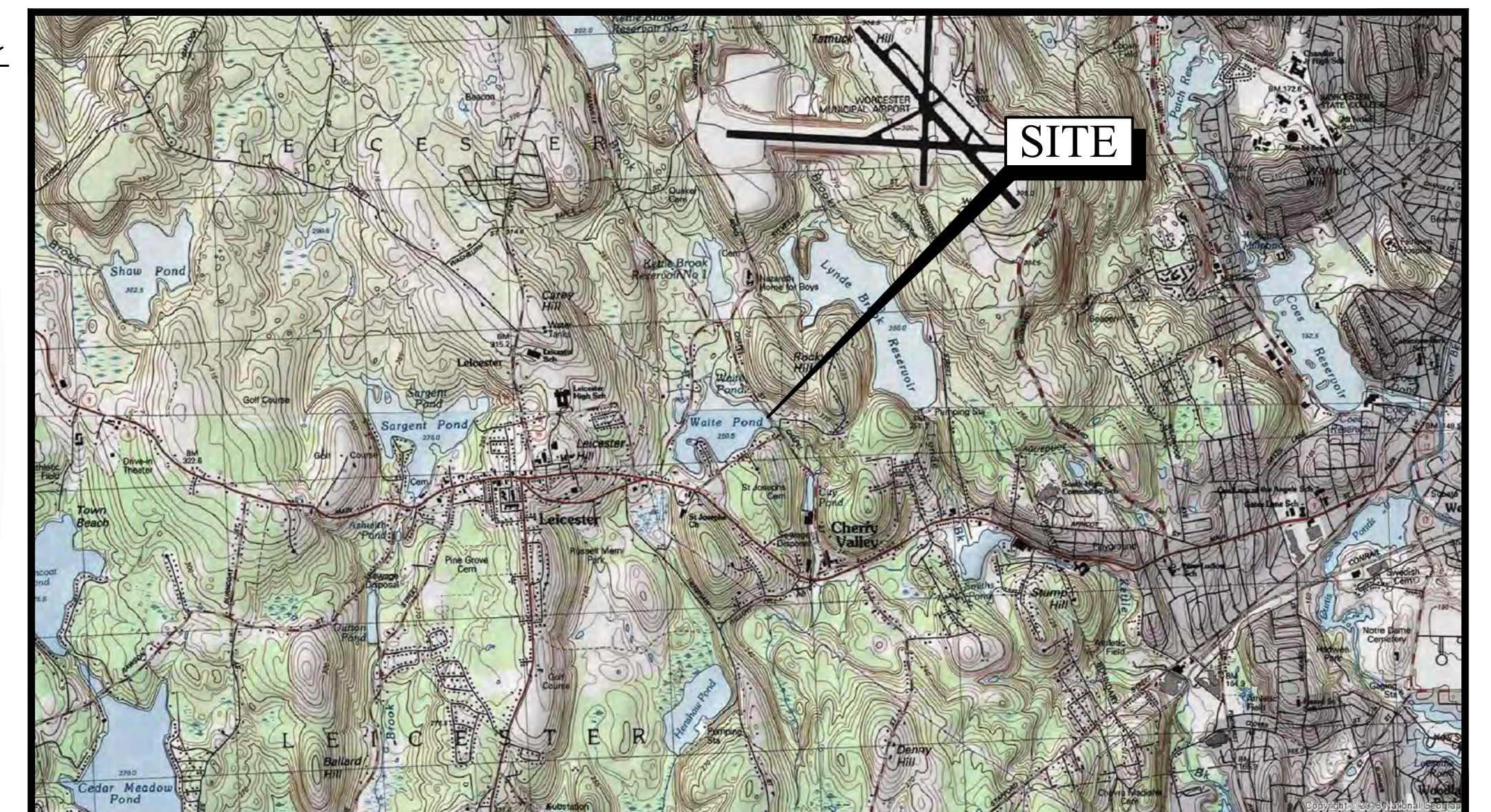
PREPARED FOR
TOWN OF LEICESTER
3 WASHBURN SQUARE
LEICESTER, MA 01524



PREPARED BY
FUSS & O'NEILL
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

SHEET INDEX

<u>SHEET No.</u>	<u>SHEET TITLE</u>
GI-001	COVER SHEET
GI-002	GENERAL NOTES & INFORMATION
RC-101	EXISTING CONDITIONS PLAN
CE-101	SITE PREPARATION, DEMOLITION & WATER CONTROL PLAN
CS-101	PROPOSED CONDITIONS PLAN
CG-101	FILL MATERIAL PLACEMENT PLAN
STR-01	STRUCTURAL REPAIR PLAN & DETAILS
STR-02 - STR-05	STRUCTURAL REPAIR DETAILS
RC-102	WETLAND IMPACT AREA PLAN
CD-501	EROSION & SEDIMENTATION CONTROL DETAILS
CD-502	CIVIL DETAILS



LOCATION MAP
SCALE: 1" = 2000'



THIS PROJECT IS FUNDED IN PART BY
THE MASSACHUSETTS EXECUTIVE
OFFICE OF ENERGY AND
ENVIRONMENTAL AFFAIRS
(WWW.MASS.GOV/GREEN)

PHILIP W. MORESCHI

MA PE LICENSE No. 32051

PROJ. No.: 20081286.A70
DATE: APRIL 2020

GI-001

GENERAL NOTES

- WATER CONTROL NOTES

- ## WORK RESTRICTIONS & REGULATORY REQUIREMENTS

- AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

EROSION AND SEDIMENT CONTROL NOTES

1. INSTALL EROSION CONTROL MEASURES PRIOR TO STARTING ANY WORK ON THE SITE.
2. IMPLEMENT ALL NECESSARY MEASURES REQUIRED TO CONTROL STORMWATER RUNOFF, DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE. PERFORM CORRECTIVE ACTION AS NEEDED FOR EROSION CLEANUP AND REPAIRS TO OFF SITE AREAS, IF ANY, AT NO COST TO OWNER.
3. INSPECT AND MAINTAIN EROSION CONTROL MEASURES PER THE SCHEDULE IN THE EROSION AND SEDIMENT CONTROL DRAWINGS. DISPOSE OF SEDIMENT IN AN UPLAND AREA. DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
4. PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDDED, OR OTHERWISE STABILIZED.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES, CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.

DEMOLITION & CONSTRUCTION LAYOUT NOTES

1. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.
2. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY LOCATIONS AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
3. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND/OR IF THE WORK CANNOT BE COMPLETED AS INDICATED.
4. BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

EARTHWORK NOTES

1. NOTIFY UTILITY LOCATOR SERVICE AT LEAST 72 HOURS BEFORE STARTING EXCAVATION.
CALL MA "DIG SAFE" AT 1-888-344-7233
2. STOP WORK IN THE VICINITY OF SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA. IMMEDIATELY NOTIFY THE OWNER SO THAT APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. RESUME WORK IN THE IMMEDIATE VICINITY ONLY UPON DIRECTION BY THE OWNER.

UTILITY NOTES

1. THE TYPE, SIZE AND LOCATION OF DEPICTED UNDERGROUND UTILITIES ARE APPROXIMATE REPRESENTATIONS OF INFORMATION OBTAINED FROM FIELD LOCATIONS OF VISIBLE FEATURES, EXISTING MAPS AND PLANS OF RECORD, UTILITY MAPPING, AND OTHER SOURCES OF INFORMATION OBTAINED BY THE ENGINEER. ASSUME NO GUARANTEE AS TO THE COMPLETENESS, SERVICEABILITY, EXISTENCE, OR ACCURACY OF UNDERGROUND FACILITIES. FIELD VERIFY THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES.
2. PAY ALL FEES AND COSTS ASSOCIATED WITH UTILITY MODIFICATIONS AND CONNECTIONS, REGARDLESS OF THE ENTITY THAT PERFORMS THE WORK.
3. COORDINATE THE WORK AND WORK SCHEDULE WITH UTILITY COMPANIES. PROVIDE ADEQUATE NOTICE TO UTILITIES TO PREVENT DELAYS IN CONSTRUCTION.

SITE RESTORATION NOTES

1. PROVIDE 6 INCHES OF TOPSOIL AND SEED TO AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED TO BE RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED.
2. REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
3. RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.

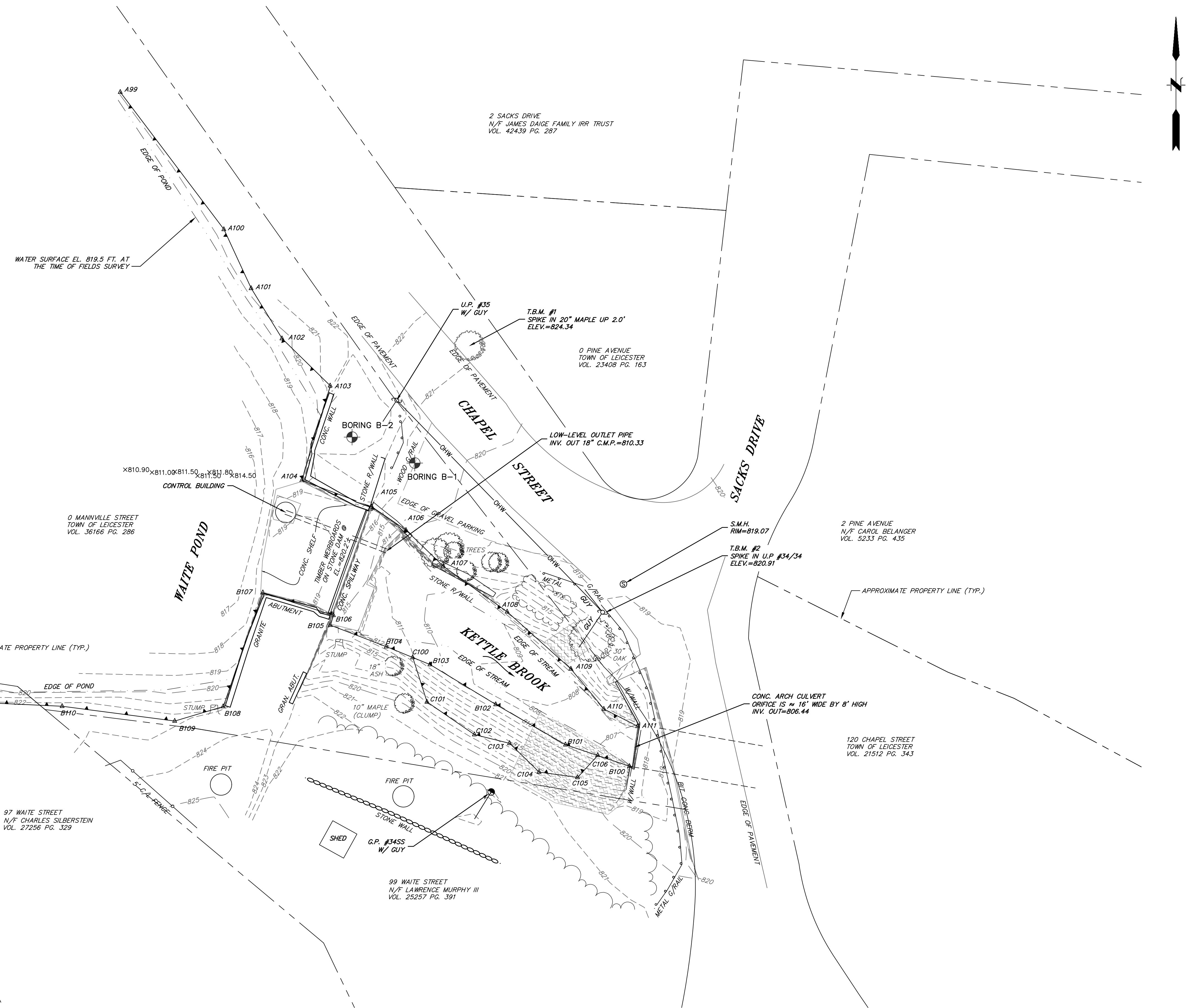
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FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
 PROVIDENCE, RI 02908
 401.861.3070
www.fando.com

PROJ. No.: 20081286.A70
DATE: APRIL 2020
GI-002



1. SURVEY PERFORMED BY SHERMAN & FRYDRYK LAND SURVEYING & ENGINEERING (PALMER, MA) ON 09/26/13.
2. PROPERTY BOUNDARY LINES ARE APPROXIMATE AND WERE OBTAINED FROM THE MASSGIS MUNICIPAL MAPPER. THIS INFORMATION IS NOT TO BE USED AS A LEGAL DESCRIPTION OF PROPERTY BOUNDARIES.
3. WETLANDS DELINEATED BY FUSS & O'NEILL ON 09/17/13.
4. ADDITIONAL BATHYMETRIC POINTS SHOWN WERE OBTAINED IN THE FIELD ON MAY 13, 2016 BY FUSS & O'NEILL, INC.

1	4/14/2020	ISSUED FOR BID	AJ	PM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL

20 10 0 20

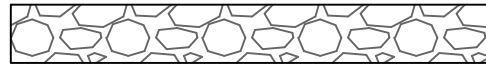
GRAPHIC SCALE

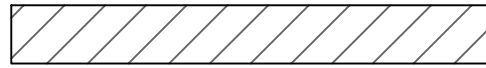



MASSACHUSETTS


RC-101

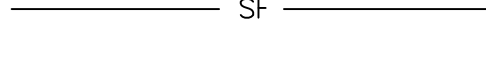
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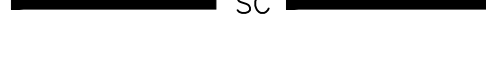
- 


TEMPORARY CONSTRUCTION ACCESS (TYP.)
- 


AREA OF DEMOLITION OR REMOVAL
- 


EXISTING CONTOUR (5')
- 


EXISTING CONTOUR (1')
- 


SILT FENCE (TYP.)
- 

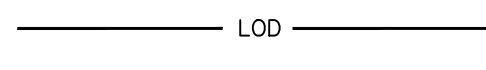
SILT CURTAIN (TYP.)
- 

TEMPORARY COFFERDAM (TYP.)
- 

LIMIT OF BORDERING VEGETATED WETLAND (BVW)
- 

LIMIT OF LAND UNDER WATERBODIES & WATERWAYS (LUWW)
- 

APPROXIMATE NORMAL WATER EDGE
- 

LIMIT OF DISTURBANCE
- 

TREE & STUMP REMOVAL

DEMOLISH EXISTING LEFT TRAINING WALL, UPSTREAM CONCRETE-FACED MASONRY WALL, AND DOWNSTREAM MASONRY WALL

TEMPORARY COFFERDAM CONFIGURATION #1
TOP ELEV. @ 816.0'

REMOVE AND DISPOSE OF GATE HOUSE AND LOW LEVEL OUTLET PIPE

TEMPORARY COFFERDAM CONFIGURATION #2
TOP ELEV. @ 816.0'

DEMOLISH EXISTING SPILLWAY, CONCRETE SHELF, AND CONCRETE/MASONRY ENERGY DISSIPATION BASIN

DEMOLISH EXISTING RIGHT TRAINING WALL, UPSTREAM CONCRETE-FACED MASONRY WALL, AND DOWNSTREAM GROUTED-MASONRY WALL

INSTALL PUMP SETTLING BASIN FOR CONSTRUCTION DEWATERING. RELOCATE AS NECESSARY FOR TEMPORARY COFFERDAM CONFIGURATIONS (TYP.)

REMOVE TREE STUMP, ROOTS, & WOODY VEGETATION ON RIGHT EMBANKMENT AND RIGHT DAM ABUTMENT (TYP.)

RELOCATE BOULDER TO ALLOW ACCESS TO EMBANKMENT

ESTABLISH CONSTRUCTION ENTRANCE

PROTECT U.P. #35 AND GUY WIRE

REMOVE, TRANSPORT, AND STORE WOODEN GUARDRAIL AS DIRECTED BY THE TOWN TO ALLOW ACCESS FOR GRADING ACTIVITIES. RAILING IS TO BE REINSTALLED FOLLOWING CONSTRUCTION AT THE DIRECTION OF THE TOWN. THE TOWN SHALL PROVIDE AN OFFSITE STORAGE LOCATION

DESIGNATE CONSTRUCTION ACCESS & STAGING AREA. SECURE CONSTRUCTION SITE WITH FENCING OR OTHER BARRIER TO RESTRICT ACCESS FROM CHAPEL STREET

DEMOLISH STONE MASONRY WALL ALONG LEFT BANK OF KETTLE BROOK

REMOVE TREES, STUMPS & ROOTS, AND VEGETATION WITHIN AREA OF PROPOSED RETAINING WALL (TYP.)

REMOVE AND DISPOSE OF TREES, STUMPS, ROOTS, & BRUSH.

TEMPORARY CONSTRUCTION ACCESS

INSTALL SILT CURTAIN (TYP.)

TEMPORARY COFFERDAM CONFIGURATION #2

REMOVE TREES, STUMPS & ROOTS, AND WOODY VEGETATION WITHIN AREA OF PROPOSED GRADING (TYP.)

TEMPORARY CONVEYANCE STRUCTURE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1	4/14/2020	ISSUED FOR BID	AJ	PM

SEAL

SEAL

SCALE:

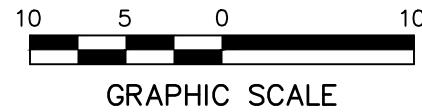
HORIZ.: 1" = 10'

VERT.:

DATUM:

HORIZ.: NAVD83

VERT.: NAVD88



FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

TOWN OF LEICESTER

SITE PREPARATION, DEMOLITION & WATER CONTROL PLAN

WAITE POND DAM REPAIRS

CHAPEL STREET, LEICESTER

MASSACHUSETTS

PROJ. No.: 20081286 A70
DATE: APRIL 2020

CE-101

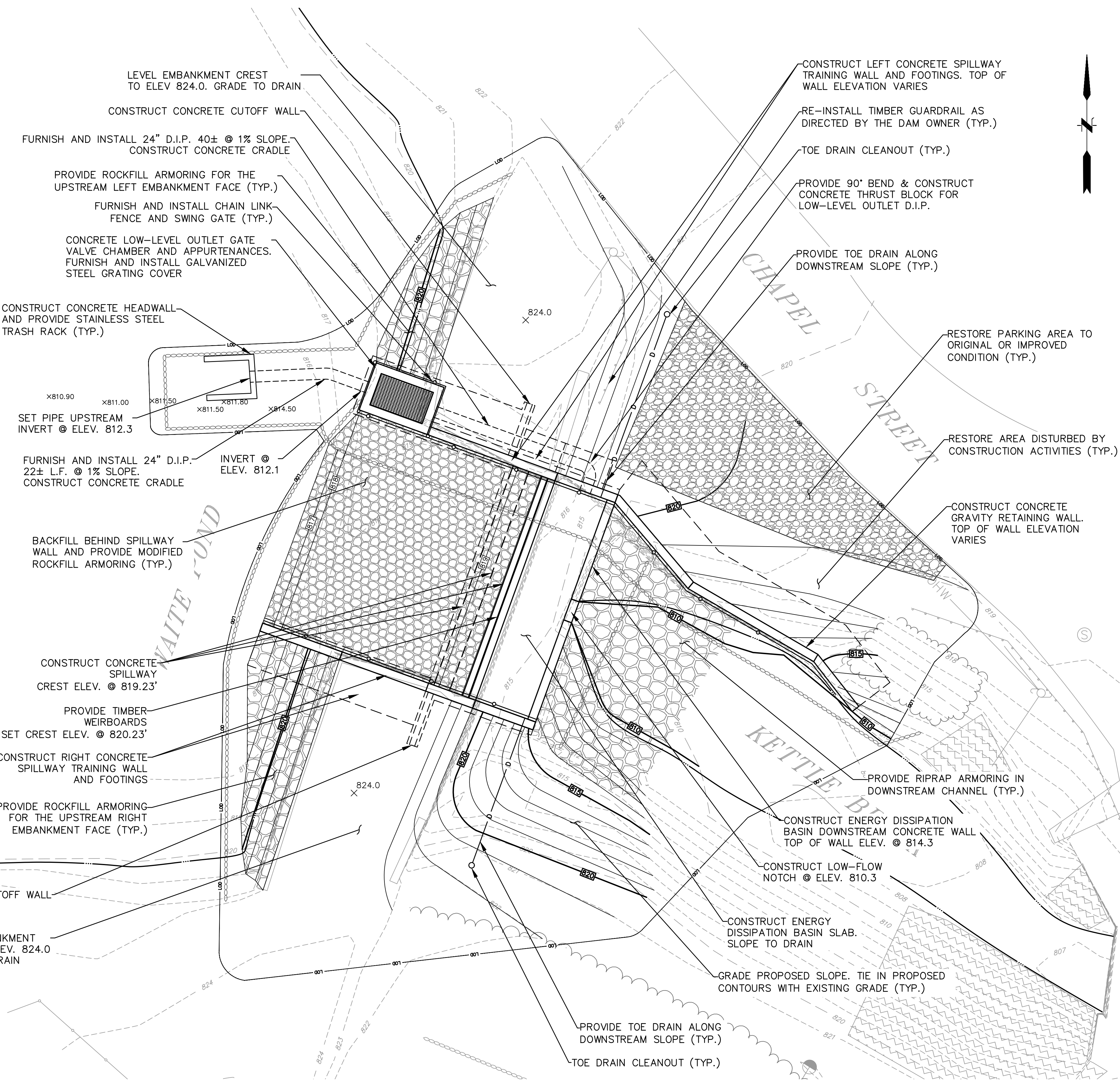
GENERAL CONSTRUCTION SEQUENCE:

THE FOLLOWING GENERAL CONSTRUCTION SEQUENCE MAY BE FOLLOWED. SOME ACTIVITIES MAY OCCUR CONCURRENTLY AND THE CONTRACTOR MAY ADJUST THE ORDER OF WORK TO FACILITATE THEIR MEANS AND METHODS. IT IS ANTICIPATED THAT WORK WILL BEGIN IN THE SUMMER OF 2020.

- ALL MA "DIG SAFE" A MINIMUM OF 72 HOURS PRIOR TO THE START OF EXCAVATION ACTIVITIES
- MOBILIZE TO CONSTRUCTION SITE
- PROVIDE CONSTRUCTION ENTRANCE AND SECURE CONSTRUCTION SITE AS INDICATED ON CE-101.
- DESIGNATE TEMPORARY STOCKPILING AND STAGING AREAS.
- PROVIDE EROSION & SEDIMENTATION CONTROL MEASURES AS INDICATED ON CE-101.
- DRAWDOWN THE DAM IMPOUNDMENT A MAXIMUM OF EIGHT (8) FEET TO APPROXIMATE ELEVATION 811.2.
- INSTALL TEMPORARY COFFERDAM CONFIGURATION #1. WATER CONTROL MEASURES SHALL BE FURNISHED TO ACCOMMODATE FLOOD FLOWS UP TO ELEVATION 816.0. BYPASS FLOW FROM THE IMPOUNDMENT TO THE DOWNSTREAM CHANNEL DURING CONSTRUCTION BY UTILIZING PUMPS, SIPHONS, CHANNELS, OR OTHER METHODS APPROVED BY THE ENGINEER.
- DEMOLISH UPSTREAM LEFT CONCRETE AND STONE MASONRY WALLS.
- DEMOLISH THE LEFT CONCRETE SPILLWAY TRAINING WALLS, PORTION OF THE CONCRETE-CAPPED STONE MASONRY SPILLWAY, AND COLLAPSED STILLING BASIN WITHIN THE WORK AREA CONTAINED IN TEMPORARY COFFERDAM CONFIGURATION #1.
- DEMOLISH THE COLLAPSED STONE MASONRY RETAINING WALLS ALONG THE LEFT BANK OF THE DOWNSTREAM CHANNEL.
- CONSTRUCT THE FOOTINGS FOR THE LEFT CONCRETE TRAINING WALL AND LOW-LEVEL OUTLET GATE VALVE CHAMBER.
- CONSTRUCT THE LEFT TRAINING WALL, LOW-LEVEL OUTLET GATE VALVE CHAMBER WALLS, AND LEFT CONCRETE CUTOFF WALL.
- CONSTRUCT THE CONCRETE CRADLES AND CONCRETE HEADWALL FOR THE LOW-LEVEL OUTLET PIPE. FURNISH AND INSTALL THE 24" DUCTILE IRON PIPES AS SHOWN ON THE PLANS.
- CONSTRUCT THE CONCRETE THRUST BLOCK FOR THE 90° BEND OF THE LOW-LEVEL OUTLET PIPE.
- PROVIDE A STAINLESS STEEL TRASH RACK FOR THE CONCRETE HEADWALL OF THE LOW-LEVEL OUTLET PIPE.
- FURNISH AND INSTALL THE SLUICE GATE, GALVANIZED STEEL GRATE COVERING, AND MISCELLANEOUS METALS FOR THE LOW-LEVEL OUTLET GATE VALVE CHAMBER.
- REMOVE WOODY VEGETATION, SAPLINGS, AND TREES (INCLUDING STUMPS AND ROOTS AS NECESSARY FOR INSTALLATION OF THE LEFT CONCRETE GRAVITY RETAINING WALL.
- CONSTRUCT THE LEFT CONCRETE GRAVITY RETAINING WALL ALONG THE LEFT BANK OF THE DOWNSTREAM CHANNEL.
- PROVIDE A 4" PVC TOE DRAIN AND CLEAN-OUT ALONG THE LEFT TOE OF THE DAM EMBANKMENT AS INDICATED ON THE PLANS.
- BACKFILL STRUCTURES TO PROPOSED GRADES AND PROVIDE A LEVEL EMBANKMENT CREST AT ELEVATION 824.0.
- PROVIDE ROCKFILL ARMORING FOR THE UPSTREAM LEFT SLOPE OF THE DAM EMBANKMENT.
- INSTALL TEMPORARY COFFERDAM CONFIGURATION #2 AS INDICATED ON SHEET CE-101. REMOVE TEMPORARY COFFERDAM CONFIGURATION #1. WATER CONTROL MEASURES SHALL BE FURNISHED TO ACCOMMODATE FLOOD FLOWS UP TO ELEVATION 816.0. BYPASS FLOW FROM THE IMPOUNDMENT TO THE DOWNSTREAM CHANNEL DURING CONSTRUCTION BY UTILIZING PUMPS, SIPHONS, CHANNELS, THE NEWLY INSTALLED LOW-LEVEL OUTLET, OR OTHER METHODS APPROVED BY THE ENGINEER.

- REMOVE WOODY VEGETATION, SAPLINGS, AND TREES (INCLUDING STUMPS AND ROOTS ON THE RIGHT DAM CREST, SLOPES, AND ABUTMENT.
- DEMOLISH THE REMAINDER OF THE EXISTING SPILLWAY AND STILLING BASIN.
- REMOVE AND DISPOSE OF THE EXISTING GATE HOUSE STRUCTURE AND LOW LEVEL OUTLET PIPE.
- DEMOLISH THE RIGHT TRAINING WALL AND UPSTREAM RIGHT STONE AND CONCRETE WALL.
- CONSTRUCT THE PROPOSED ENERGY DISSIPATION SLAB AND KEY INTO BEDROCK AS INDICATED ON STR-01 AND STR-02.
- CONSTRUCT THE PROPOSED ENERGY DISSIPATION WALLS.
- CONSTRUCT THE PROPOSED CONCRETE SPILLWAY.
- FURNISH AND INSTALL TIMBER WEIR BOARDS ON THE SPILLWAY CREST TO ELEVATION 820.23.
- CONSTRUCT THE RIGHT CONCRETE TRAINING WALLS AND FOOTINGS AND THE RIGHT CONCRETE CUTOFF WALL.
- PROVIDE A 4" PVC TOE DRAIN AND CLEAN-OUT ALONG THE RIGHT TOE OF THE DAM EMBANKMENT AS INDICATED ON THE PLANS.
- BACKFILL THE CONSTRUCTED SPILLWAY AND TRAINING WALLS.
- GRADE THE DOWNSTREAM RIGHT SLOPE AND THE UPSTREAM SLOPE TO THE PROPOSED GRADES SHOWN, AND PROVIDE A LEVEL DAM CREST AT ELEVATION 824.0.
- PROVIDE ROCKFILL ARMORING FOR THE UPSTREAM RIGHT SLOPE OF THE DAM EMBANKMENT.
- PROVIDE MODIFIED ROCKFILL ARMORING FOR THE UPSTREAM SLOPE OF THE PROPOSED SPILLWAY.
- PROVIDE RIPRAP ARMORING IN THE DOWNSTREAM CHANNEL TO THE EXTENTS SHOWN ON THE PLANS.
- FURNISH AND INSTALL CHAIN LINK FENCING AS INDICATED ON THE PLANS. PROVIDE A CHAIN LINK SWING GATE AT LOW-LEVEL OUTLET GATE CHAMBER.
- RE-INSTALL TIMBER GUARDRAIL WITHIN THE PARKING AREA AS DIRECTED BY THE DAM OWNER.
- TOPSOIL, SEED, AND MULCH ALL DISTURBED EARTHEN AREAS. RESTORE OTHER DISTURBED AREAS (INCLUDING THE PARKING AREA) TO ORIGINAL OR IMPROVED CONDITION.
- REMOVE WATER CONTROL MEASURES AND BEGIN TO REFILL THE DAM IMPOUNDMENT AT THE DIRECTION OF THE ENGINEER.
- RE-INSTALL TIMBER GUARDRAIL AS DIRECTED BY THE DAM OWNER (TYP.)
- DEMOBILIZE FROM CONSTRUCTION SITE
- ONCE VEGETATION HAS RE-ESTABLISHED, REMOVE EROSION AND SEDIMENTATION CONTROLS WITH THE APPROVAL OF THE LEICESTER CONSERVATION COMMISSION.

APPROXIMATE PROPOSED NORMAL WATER SURFACE SHALL RANGE FROM ELEV. 819.25± TO ELEV. 820.25 ± (TYP.)



1	4/14/2020	ISSUED FOR BID	AJ	PM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL	SEAL
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SCALE:	HORZ.: 1" = 10'
	VERT.: 1" = 10'
DATUM:	HORZ.: NAVD83
	VERT.: NAVD88
10 5 0 10	
GRAPHIC SCALE	



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TOWN OF LEICESTER

PROPOSED CONDITIONS PLAN

WAITE POND DAM REPAIRS

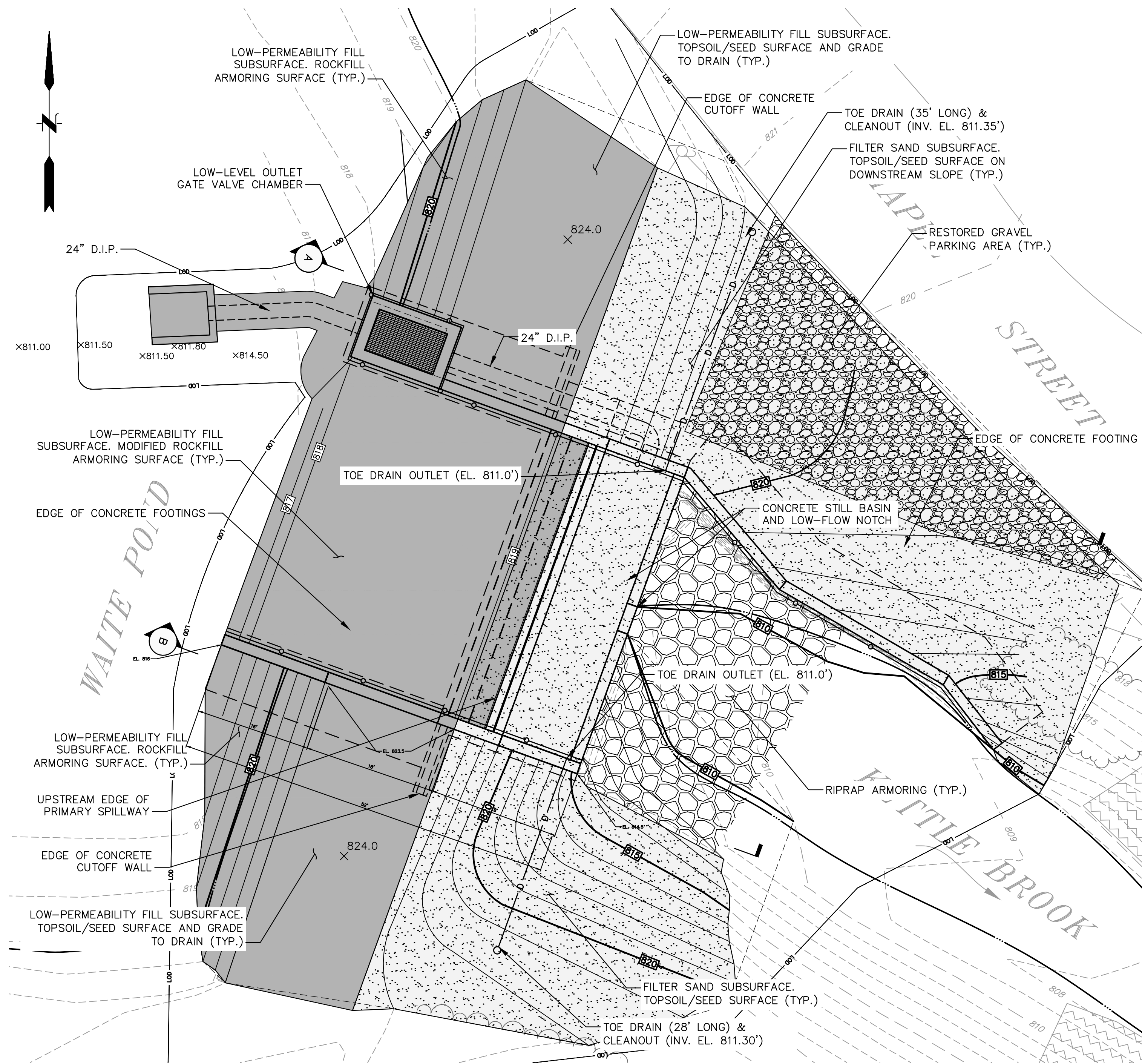
CHAPEL STREET, LEICESTERMASSACHUSETTS

PROJ. No.: 20081286.A70

DATE: APRIL 2020

CS-101

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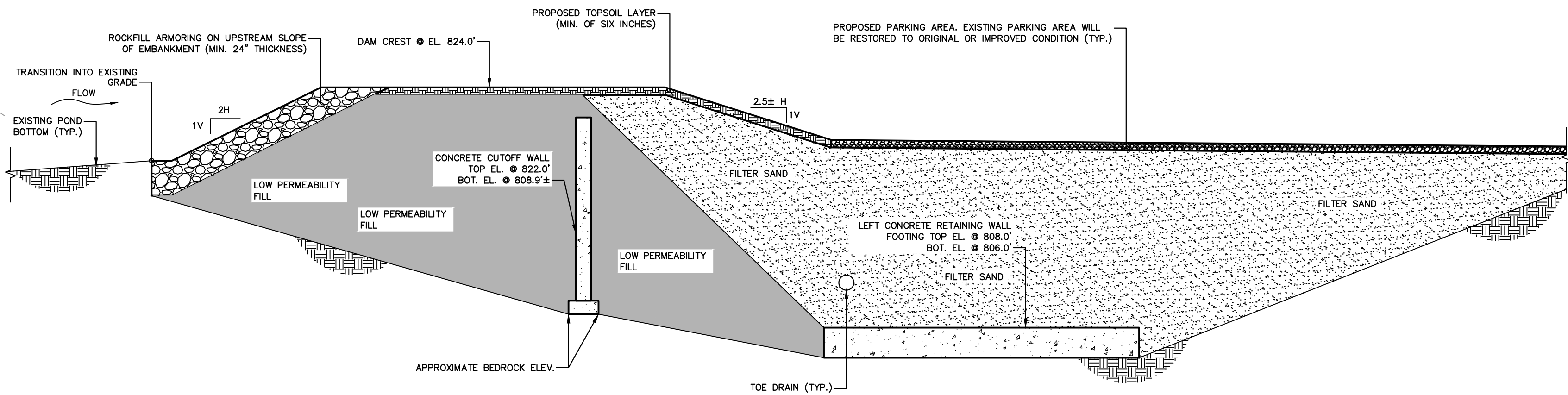


PLAN VIEW

SCALE: 1" = 10'

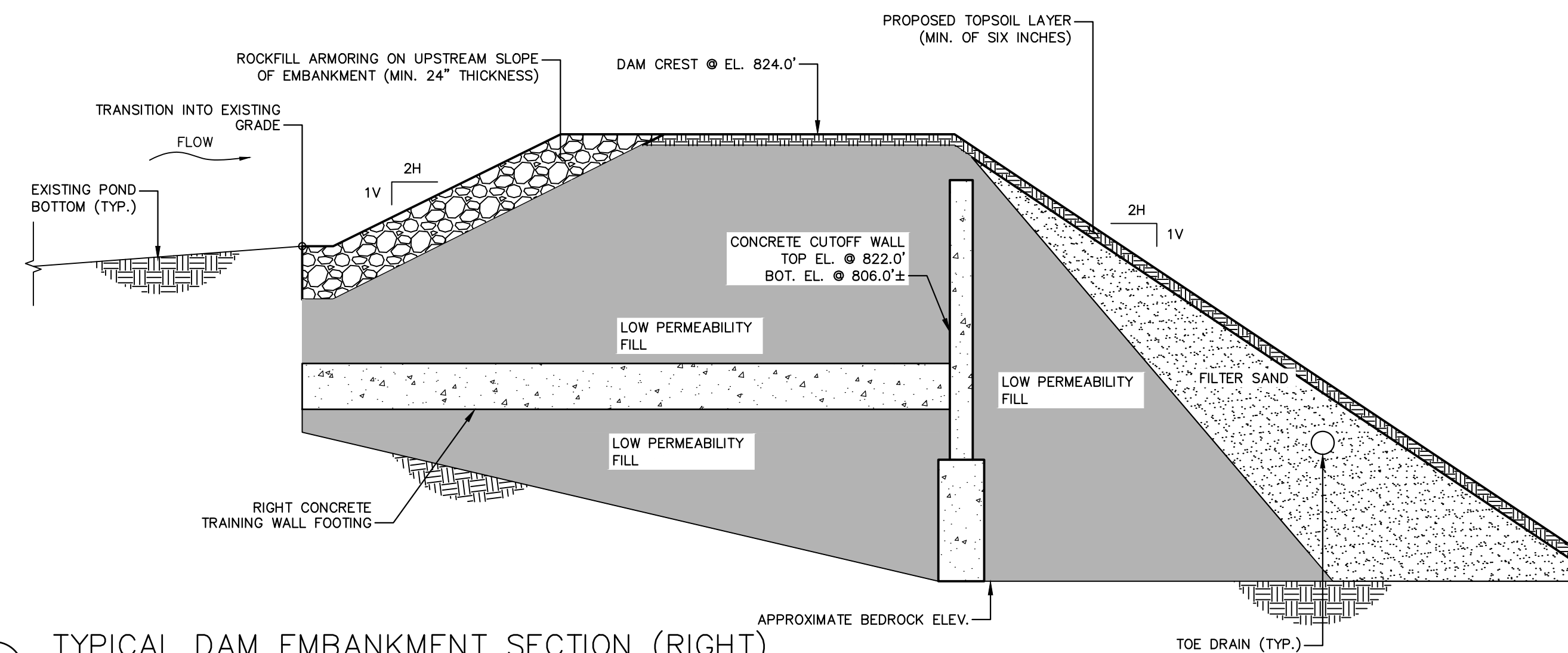
LEGEND:

	MODIFIED ROCKFILL ARMORING		EXISTING CONTOUR (5')
	ROCKFILL/RIPRAP ARMORING		EXISTING CONTOUR (1')
	LOW-PERMEABILITY FILL		PROPOSED CONTOUR (5')
	FILTER SAND		PROPOSED CONTOUR (1')
	GRAVEL PARKING SURFACE		TOE DRAIN (TYP.)
			LIMIT OF DISTURBANCE
			PROPOSED WATER EDGE (TYP.)



TYPICAL DAM EMBANKMENT SECTION (LEFT)

SCALE: N.T.S.



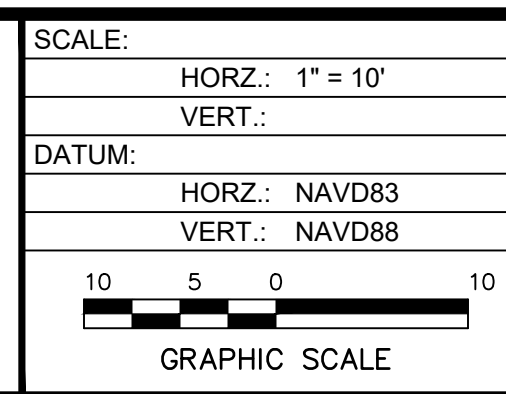
TYPICAL DAM EMBANKMENT SECTION (RIGHT)

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1	4/14/2020	ISSUED FOR BID	AJ	PM

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SEAL

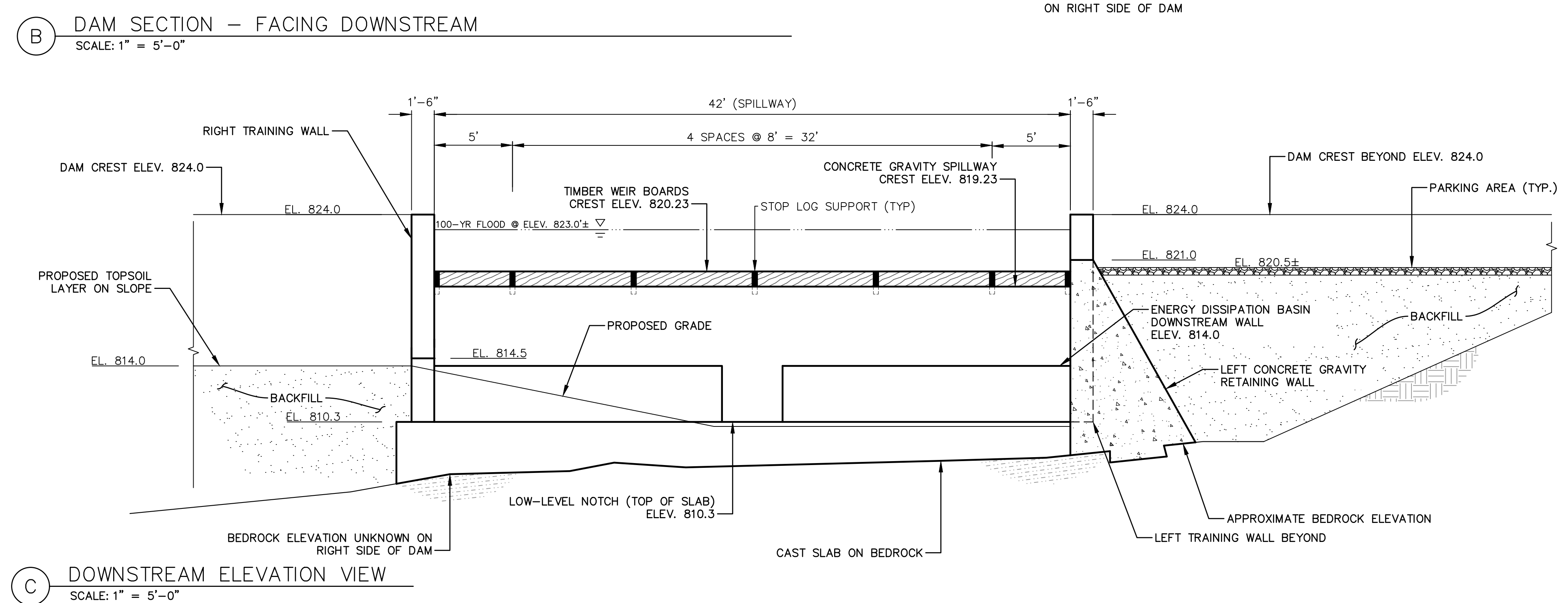
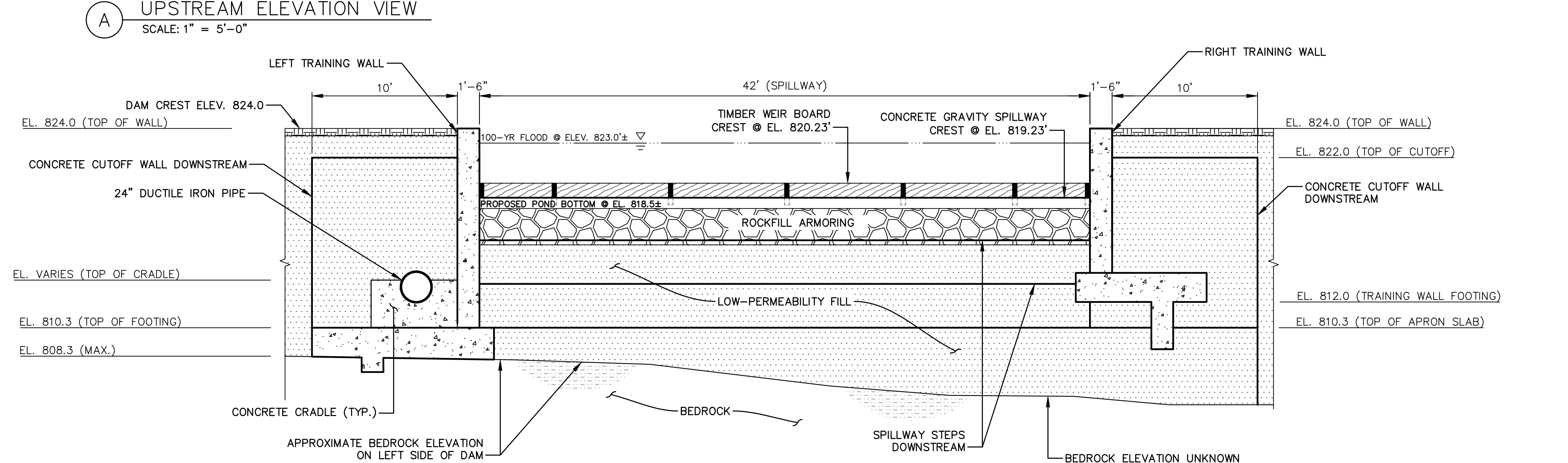
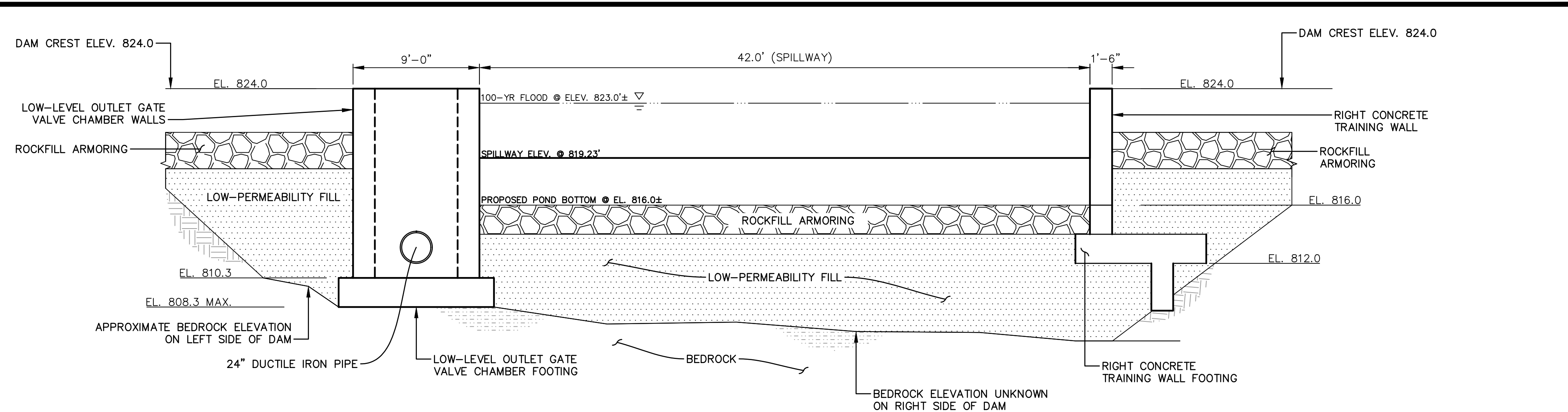
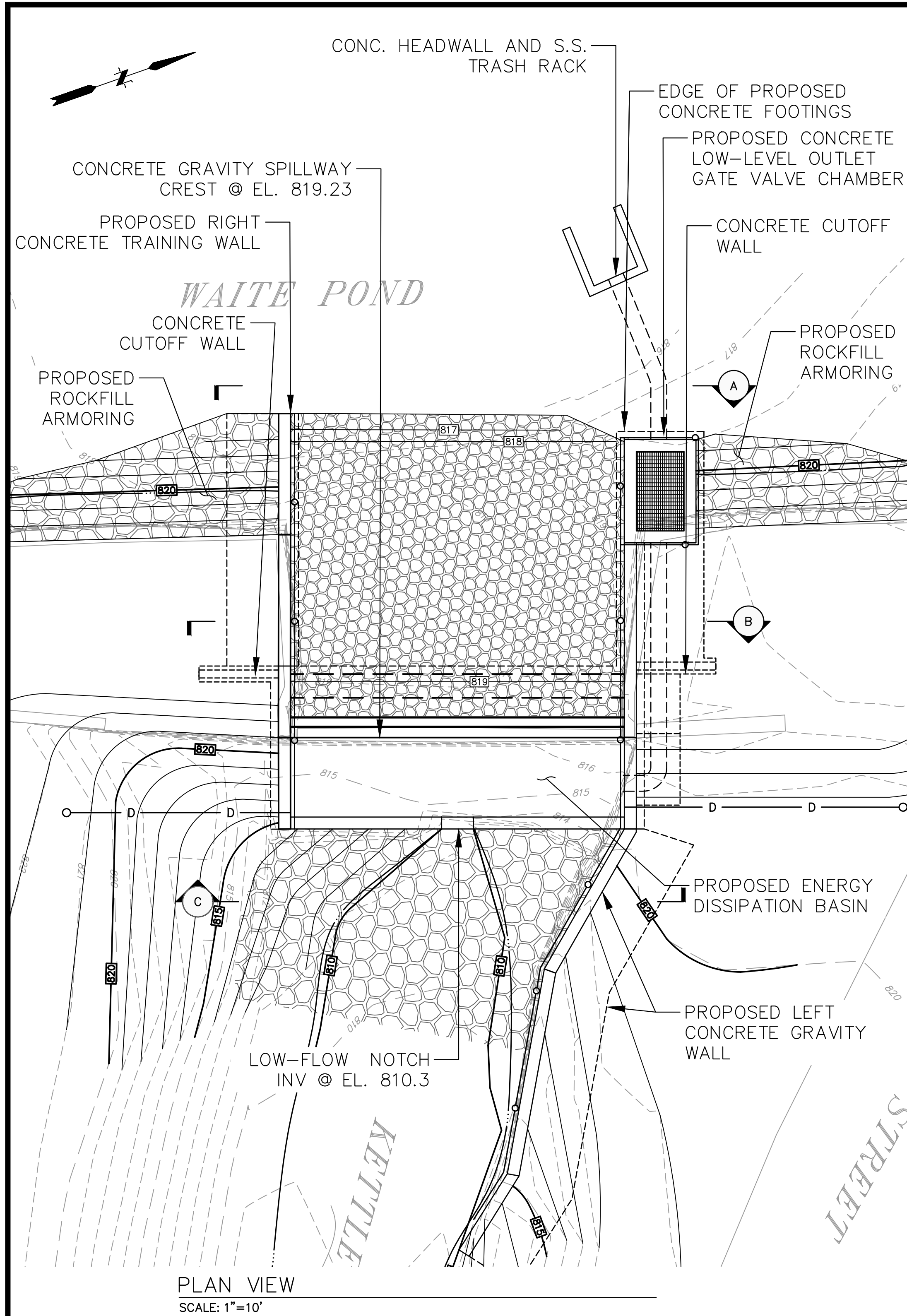


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TOWN OF LEICESTER
FILL MATERIAL PLACEMENT PLAN
WAITE POND DAM REPAIRS
CHAPEL STREET, LEICESTER
MASSACHUSETTS

PROJ. No.: 20081286A70
DATE: APRIL 2020
CG-101

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1	4/14/2020	ISSUED FOR BID	AAC	SH/AJ

SEAL

SEAL

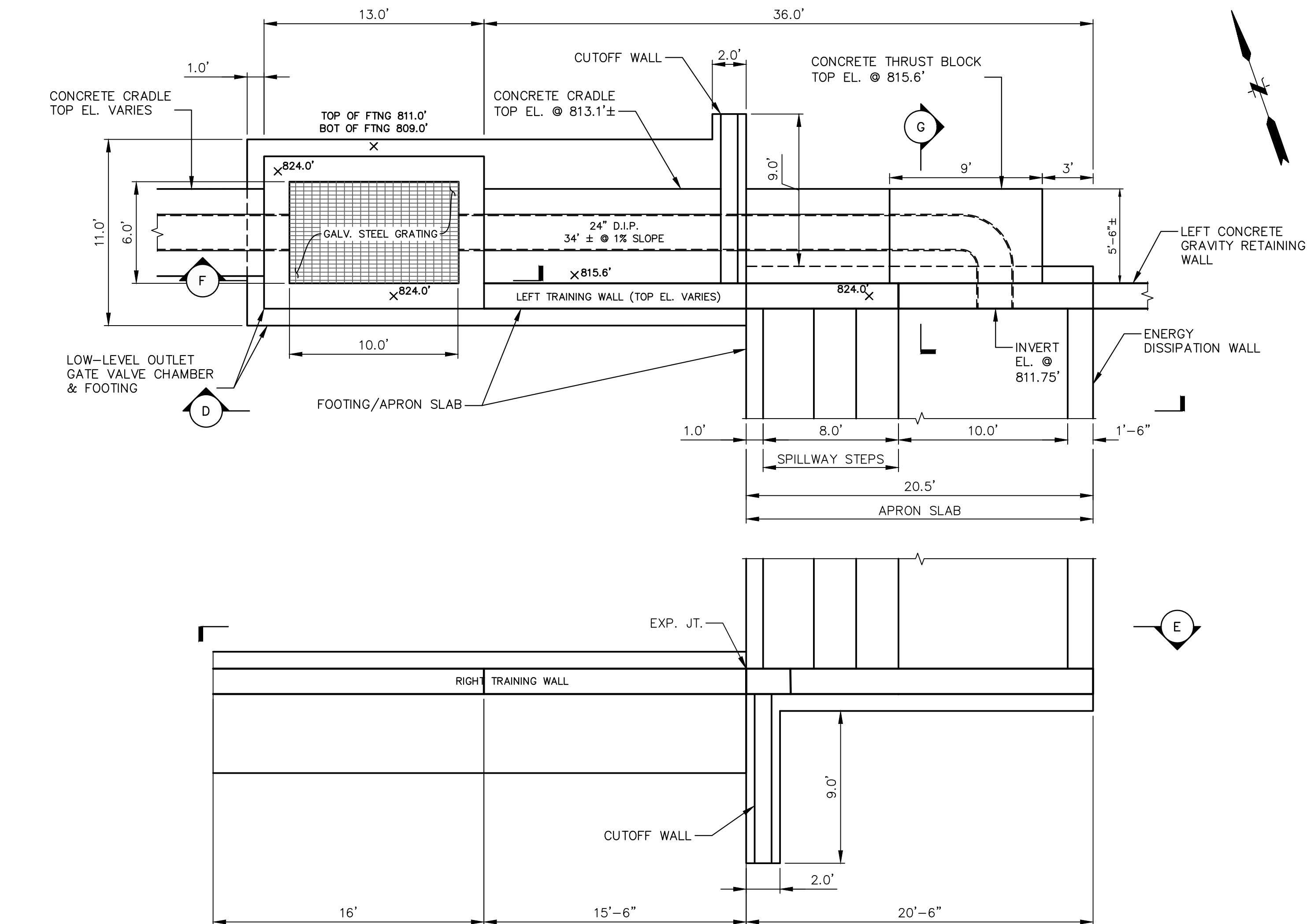
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HORZ.: AS SHOWN
VERT.:
DUTUM:
HORZ.:
VERT.:
GRAPHIC SCALE

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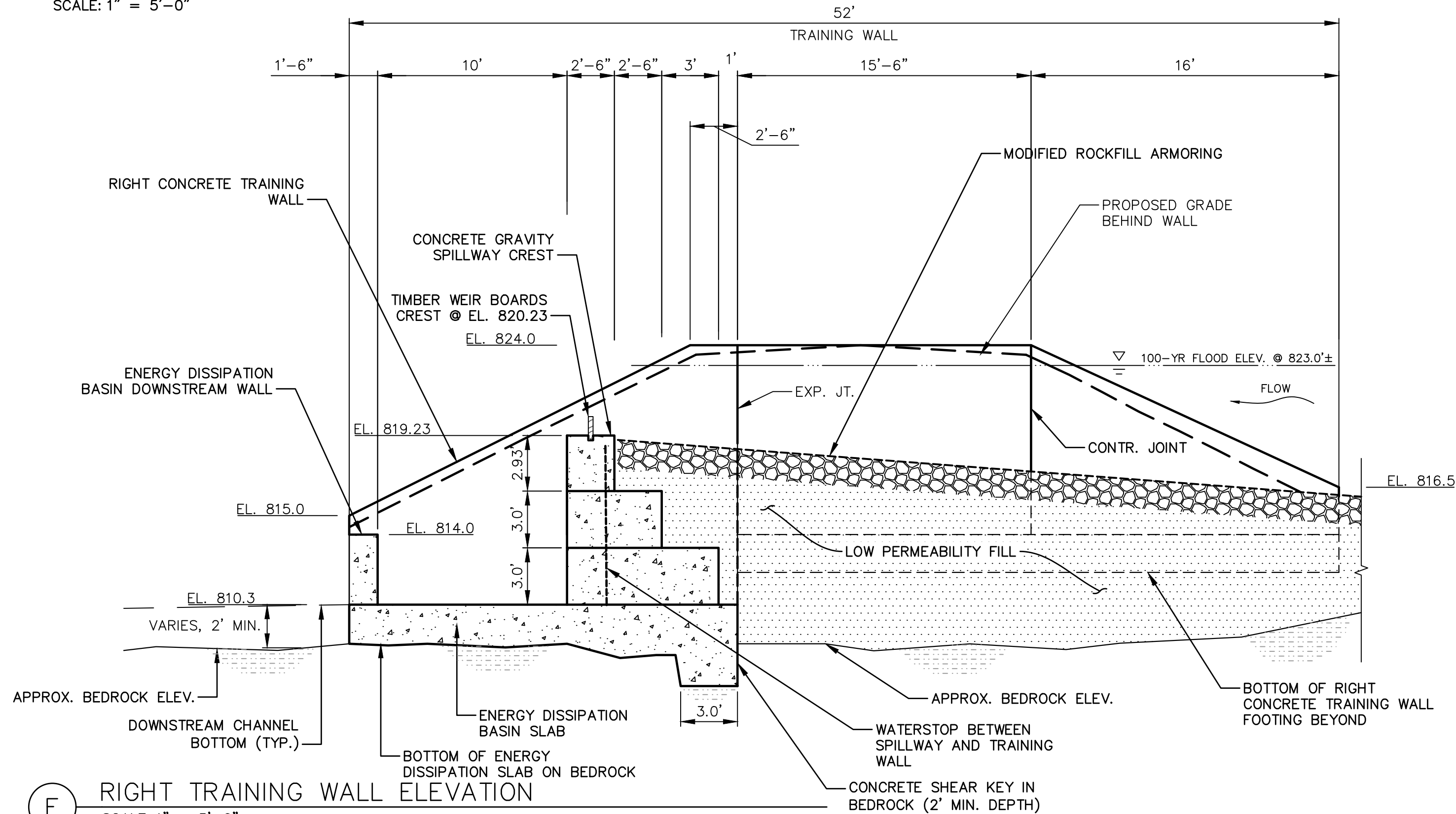
TOWN OF LEICESTER
STRUCTURAL REPAIR PLAN & DETAILS
WAITE POND DAM REPAIRS
CHAPEL STREET, LEICESTER
MASSACHUSETTS

PROJ. No.: 20081286A70
DATE: APRIL 2020
STR-01

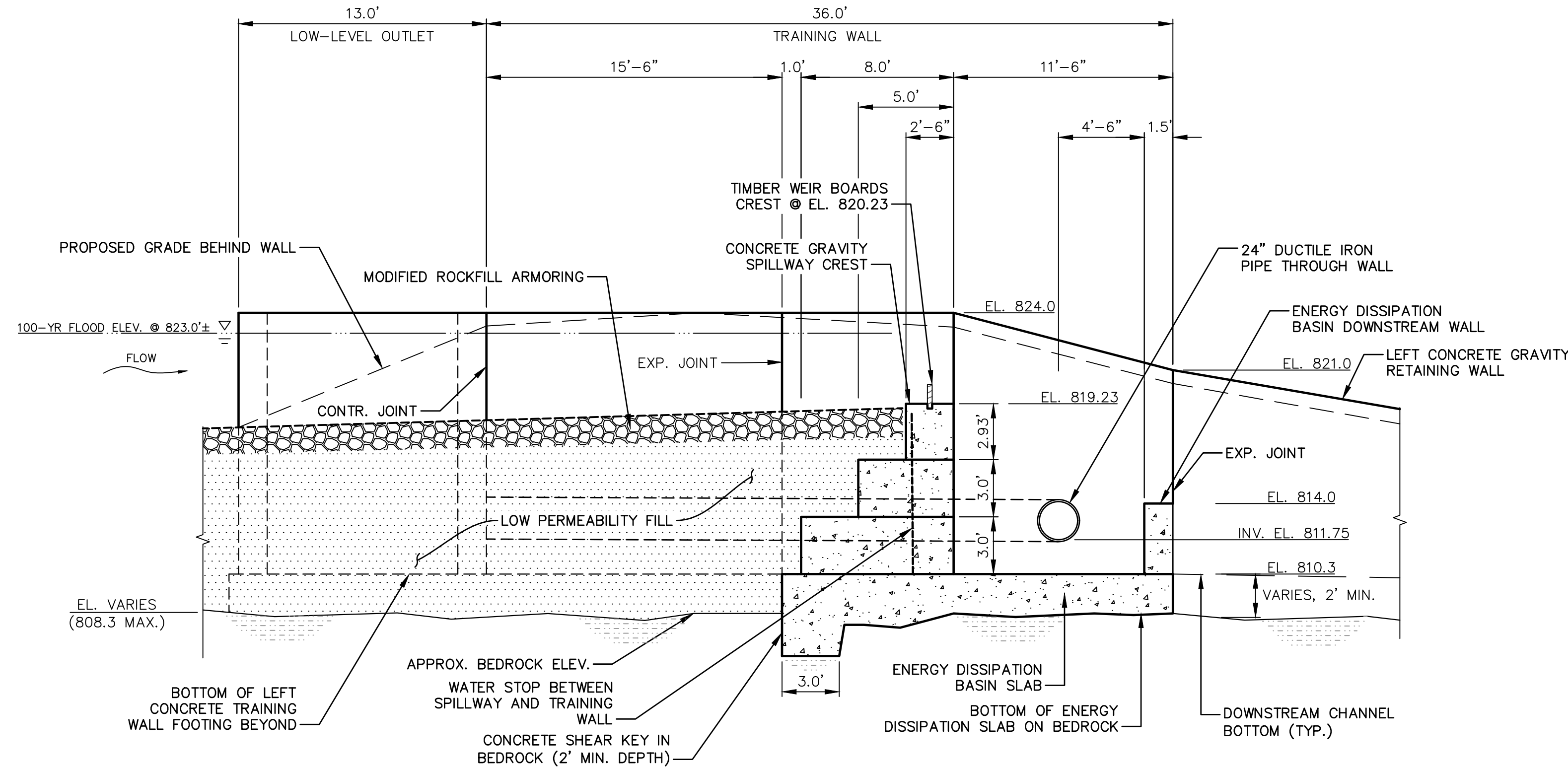
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MS VIEW: LAYER STATE:



STRUCTURE PLAN
SCALE: 1" = 5'-0"



E RIGHT TRAINING WALL ELEVATION
SCALE: 1" = 5'-0"



D SPILLWAY SECTION AND LEFT TRAINING WALL ELEVATION
SCALE: 1" = 5'-0"

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1	4/14/2020	ISSUED FOR BID	AAC	SH/AJ

SEAL

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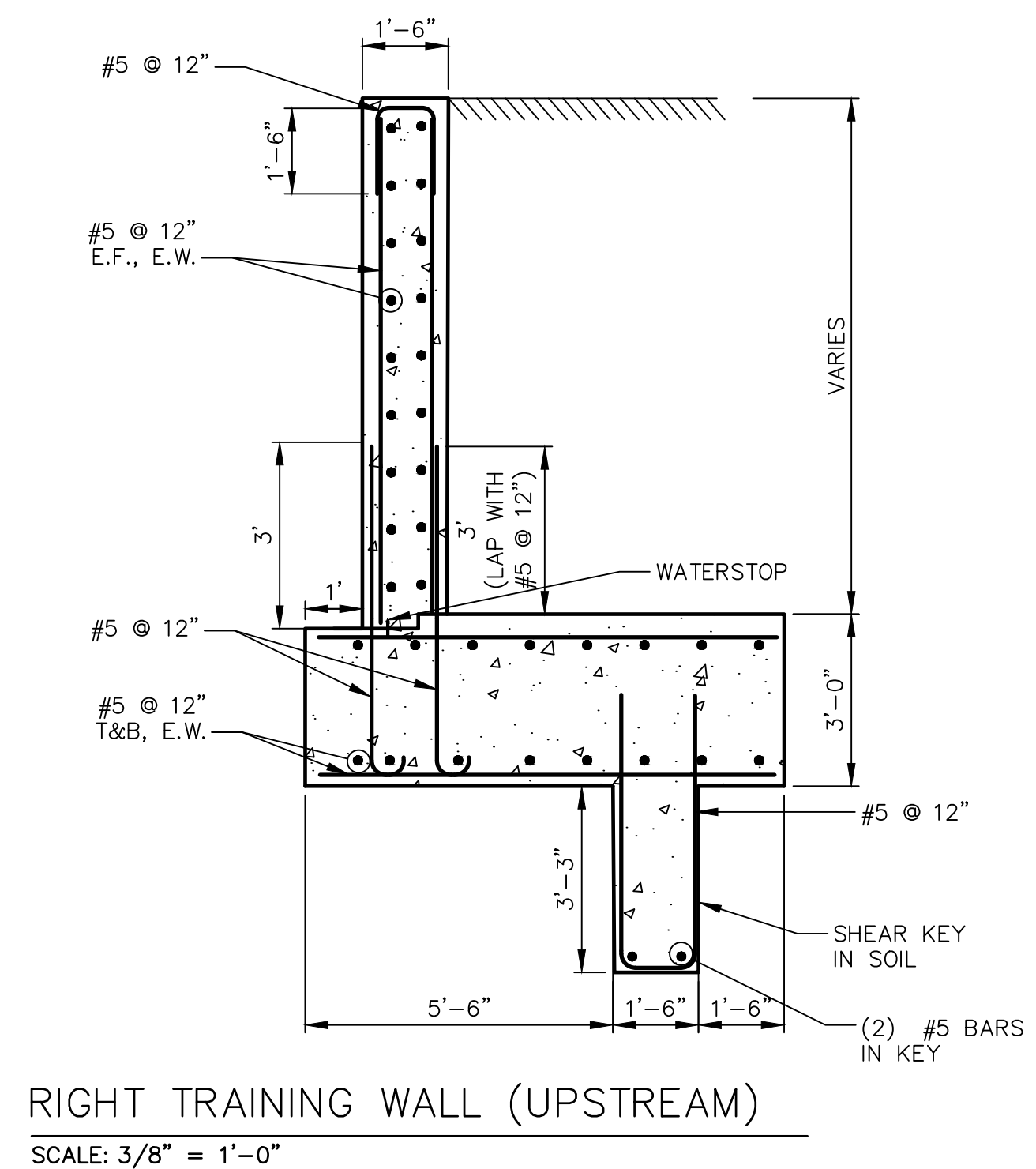
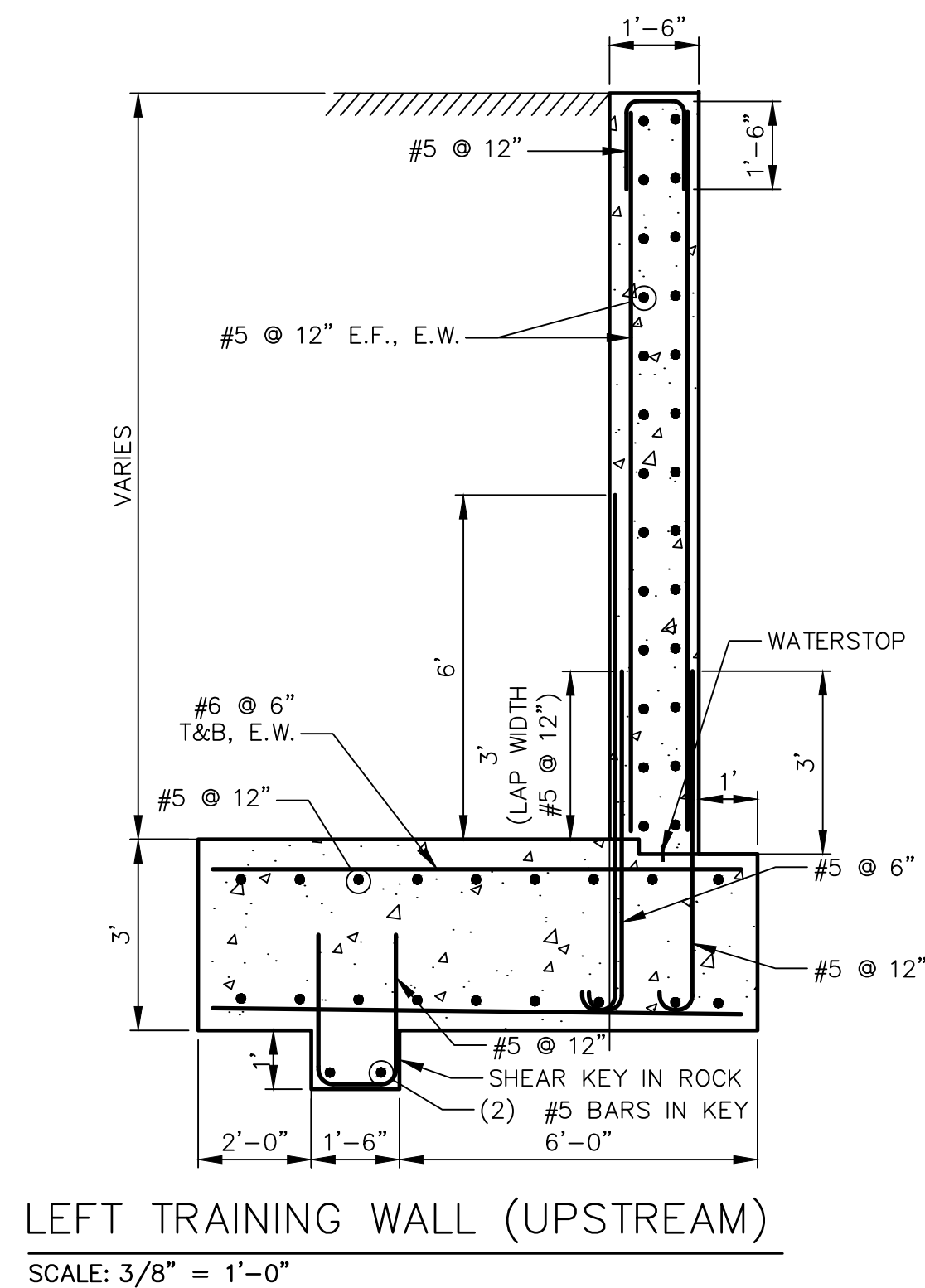
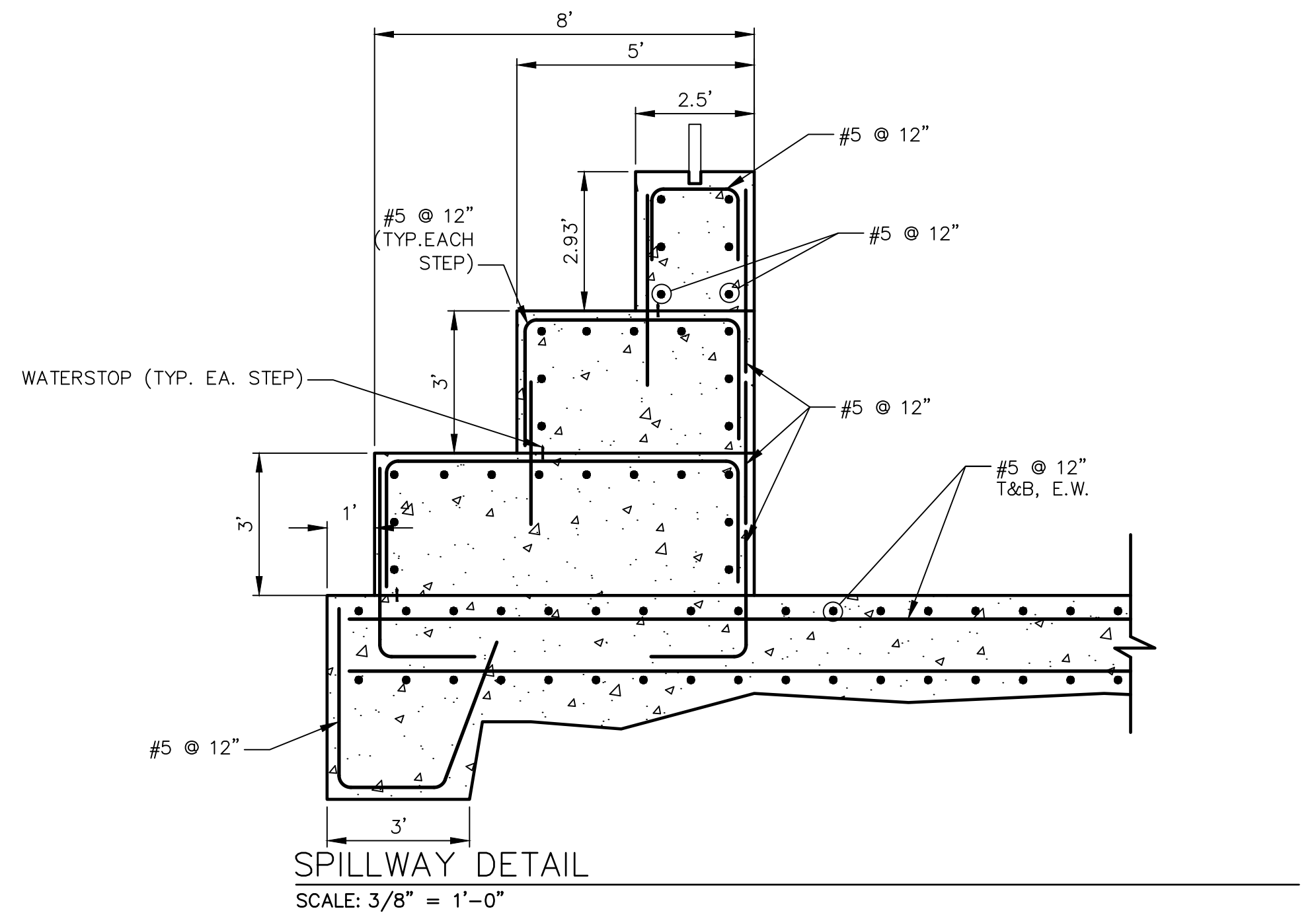
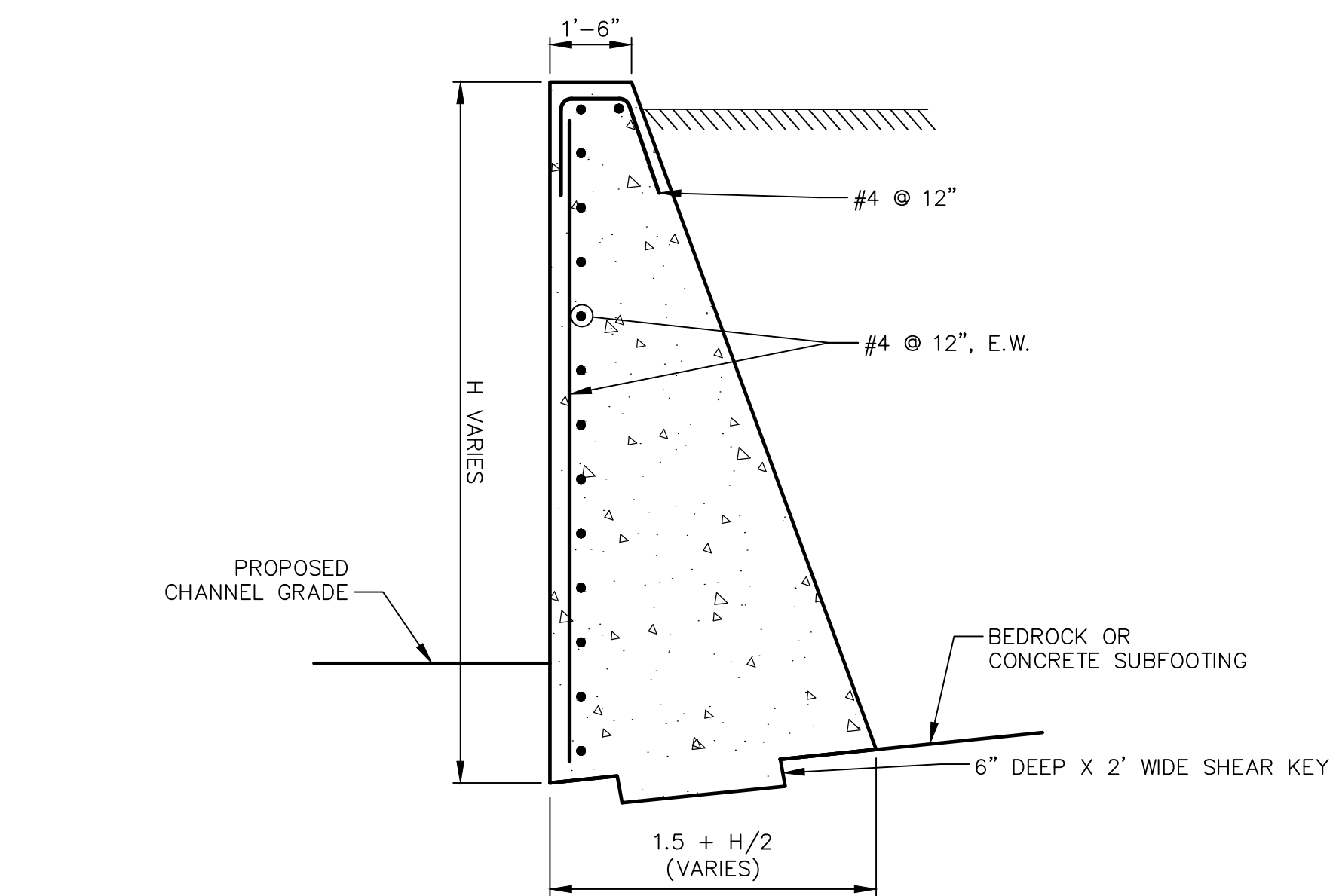
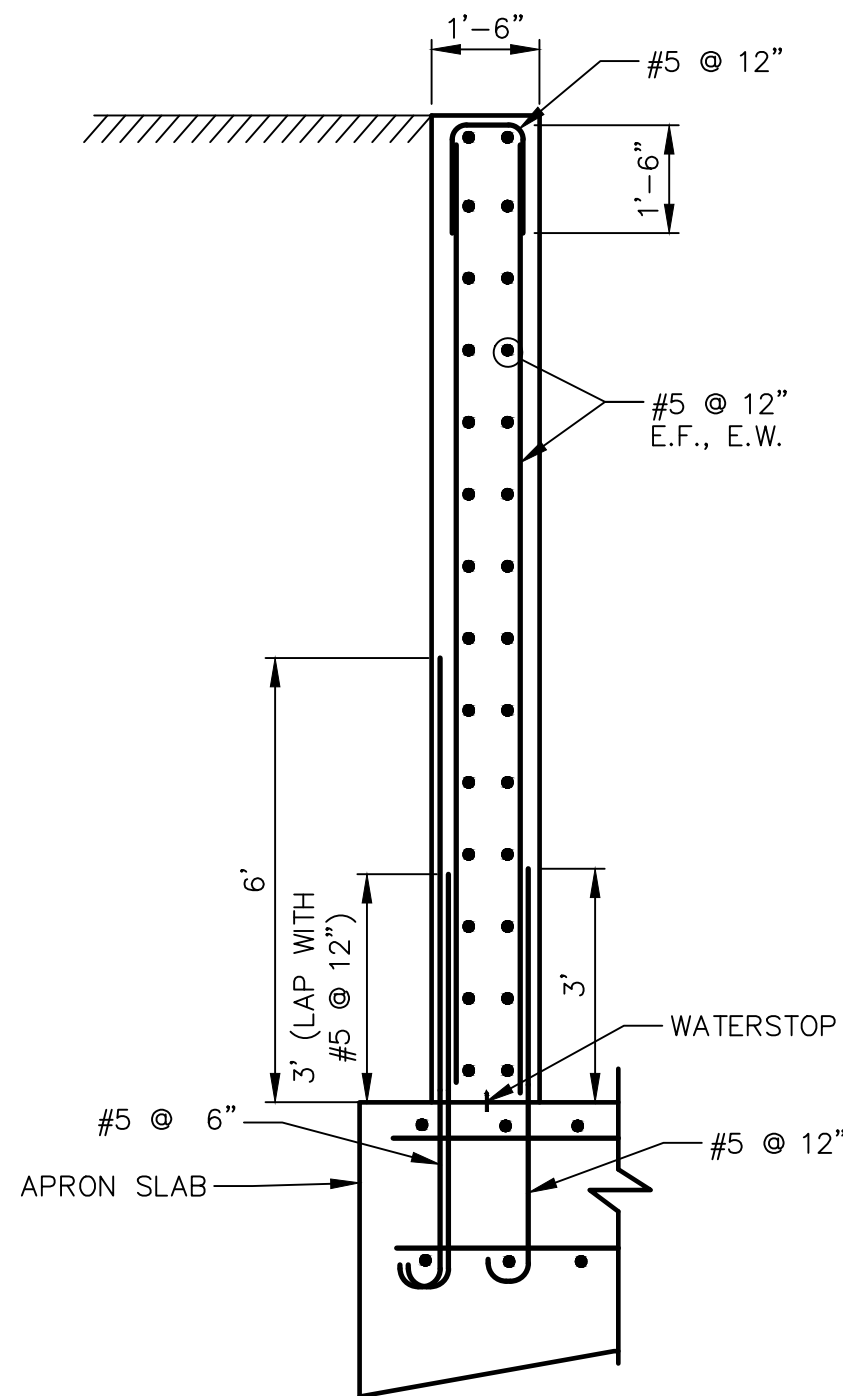
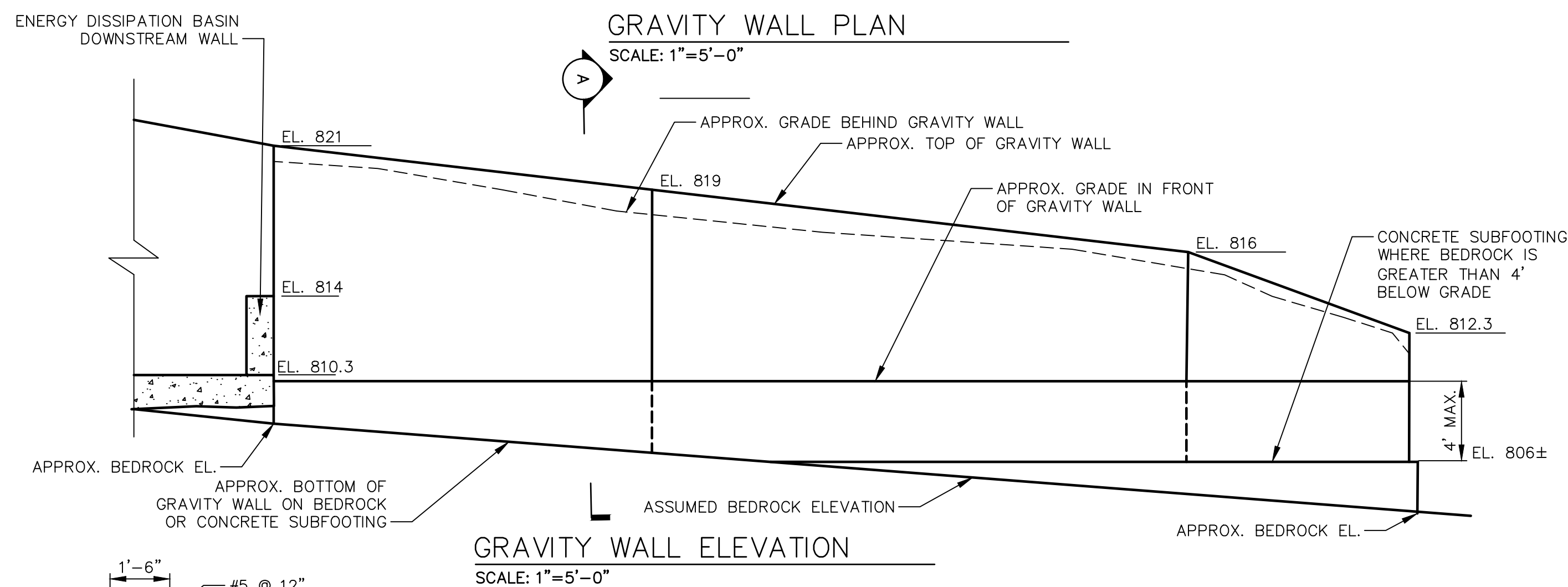
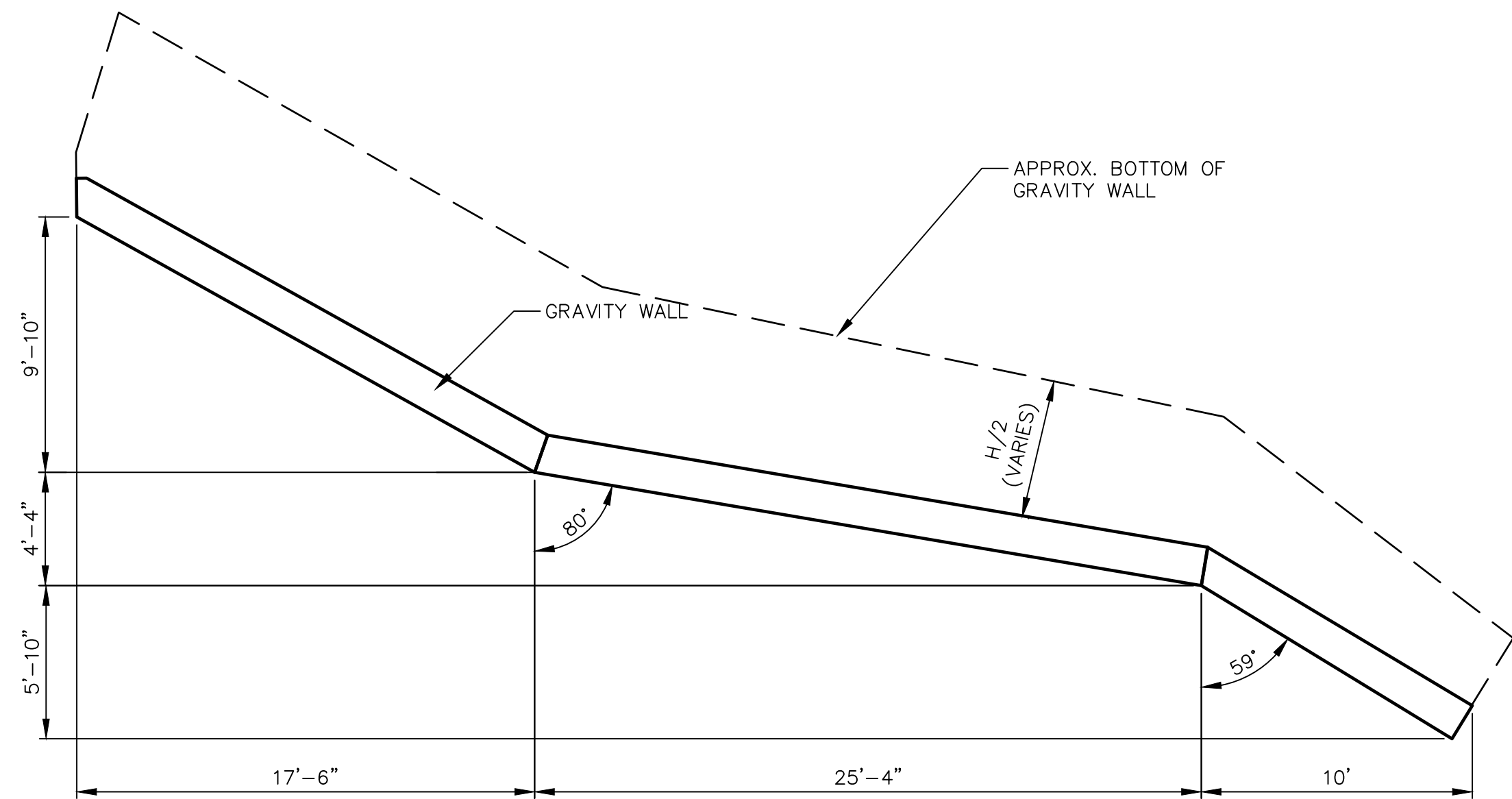
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HORZ.: AS SHOWN
VERT.:
DATUM:
HORZ.:
VERT.:
GRAPHIC SCALE

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TOWN OF LEICESTER
STRUCTURAL REPAIR DETAILS
WAITE POND DAM REPAIRS
CHAPEL STREET, LEICESTER
MASSACHUSETTS

PROJ. No.: 20081286.A70
DATE: APRIL 2020
STR-02

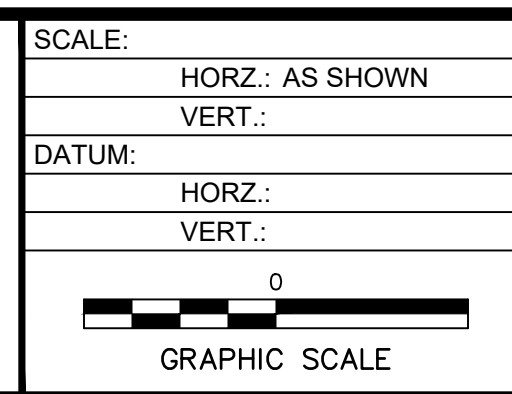
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1	4/14/2020	ISSUED FOR BID	AAC	SH/AJ

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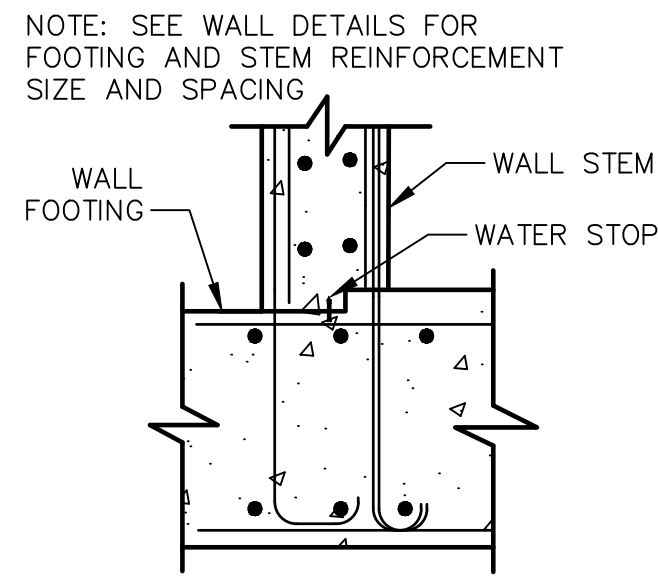


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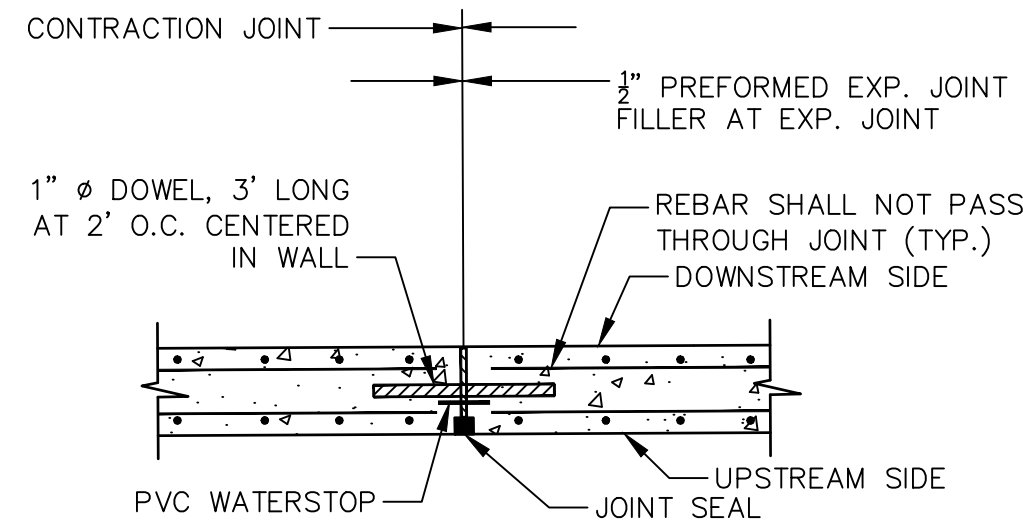
TOWN OF LEICESTER
STRUCTURAL REPAIR DETAILS
WAITE POND DAM REPAIRS
CHAPEL STREET, LEICESTER
MASSACHUSETTS

PROJ. No.: 20081286.A70
DATE: APRIL 2020
STR-03

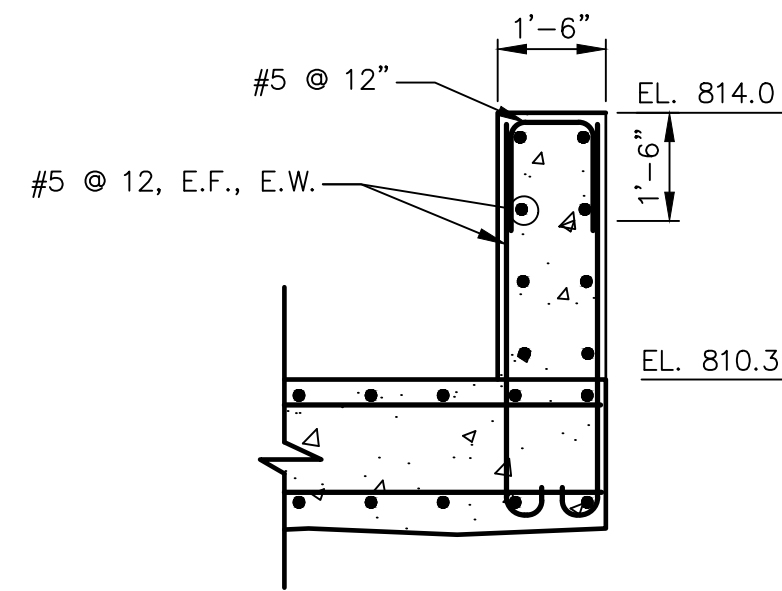
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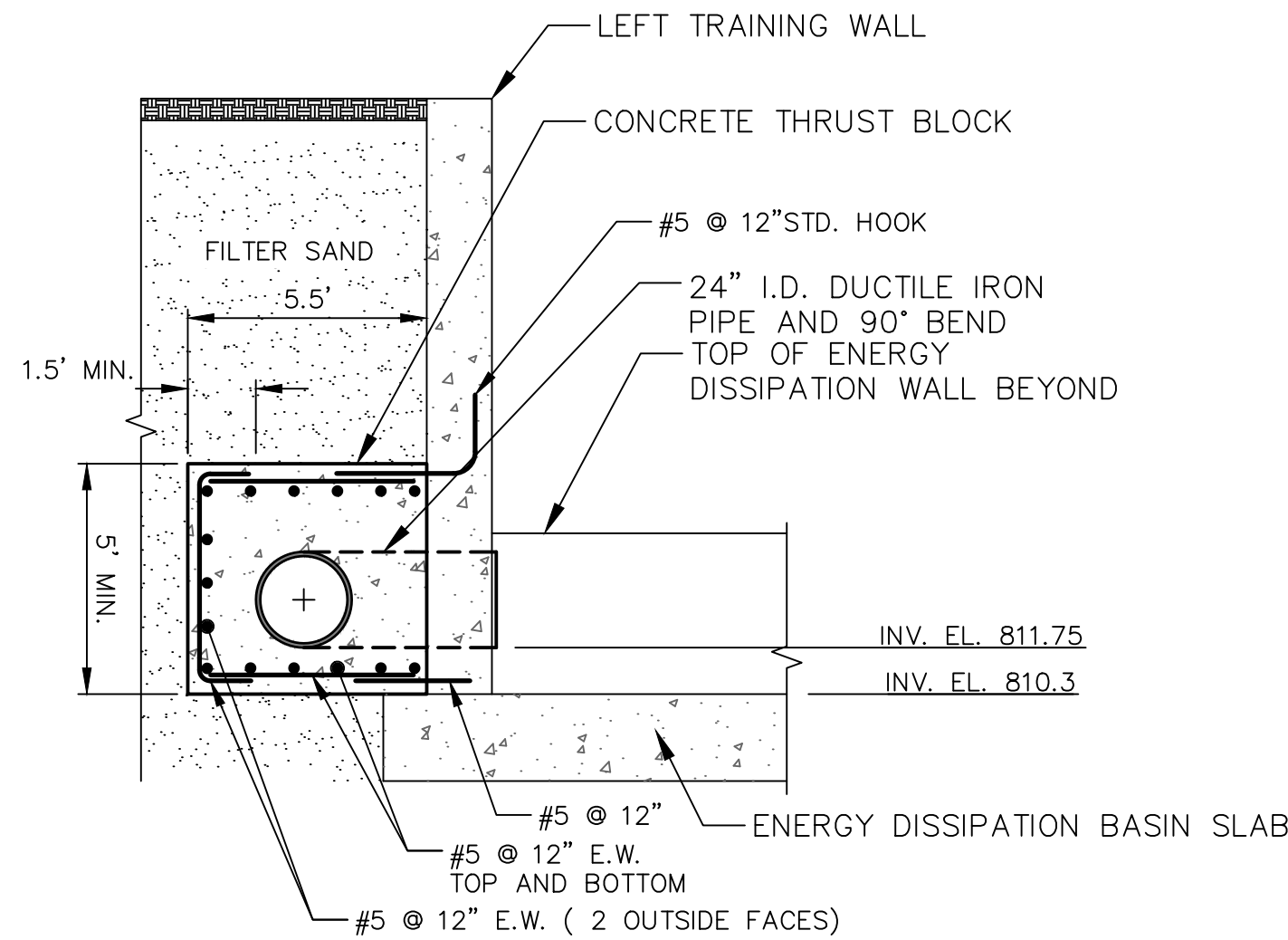
WALL STEM WATERSTOP DETAIL
SCALE: NTS



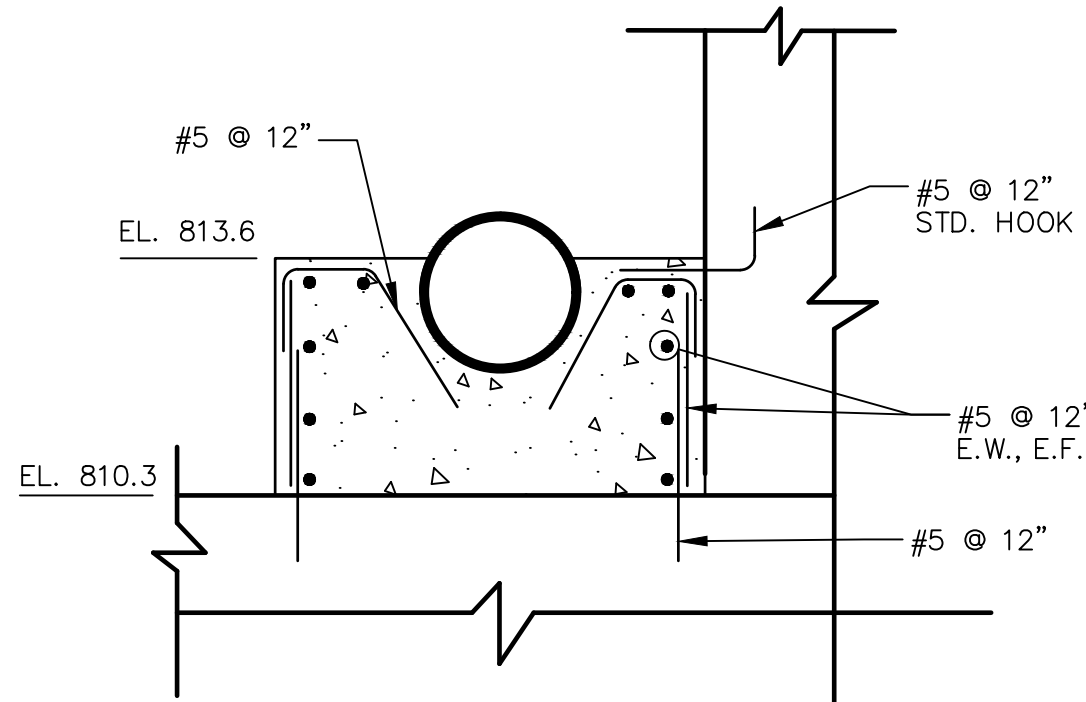
JOINT DETAIL
SCALE: NTS



ENERGY DISSIPATION WALL SECTION
SCALE: 3/8" = 1'-0"

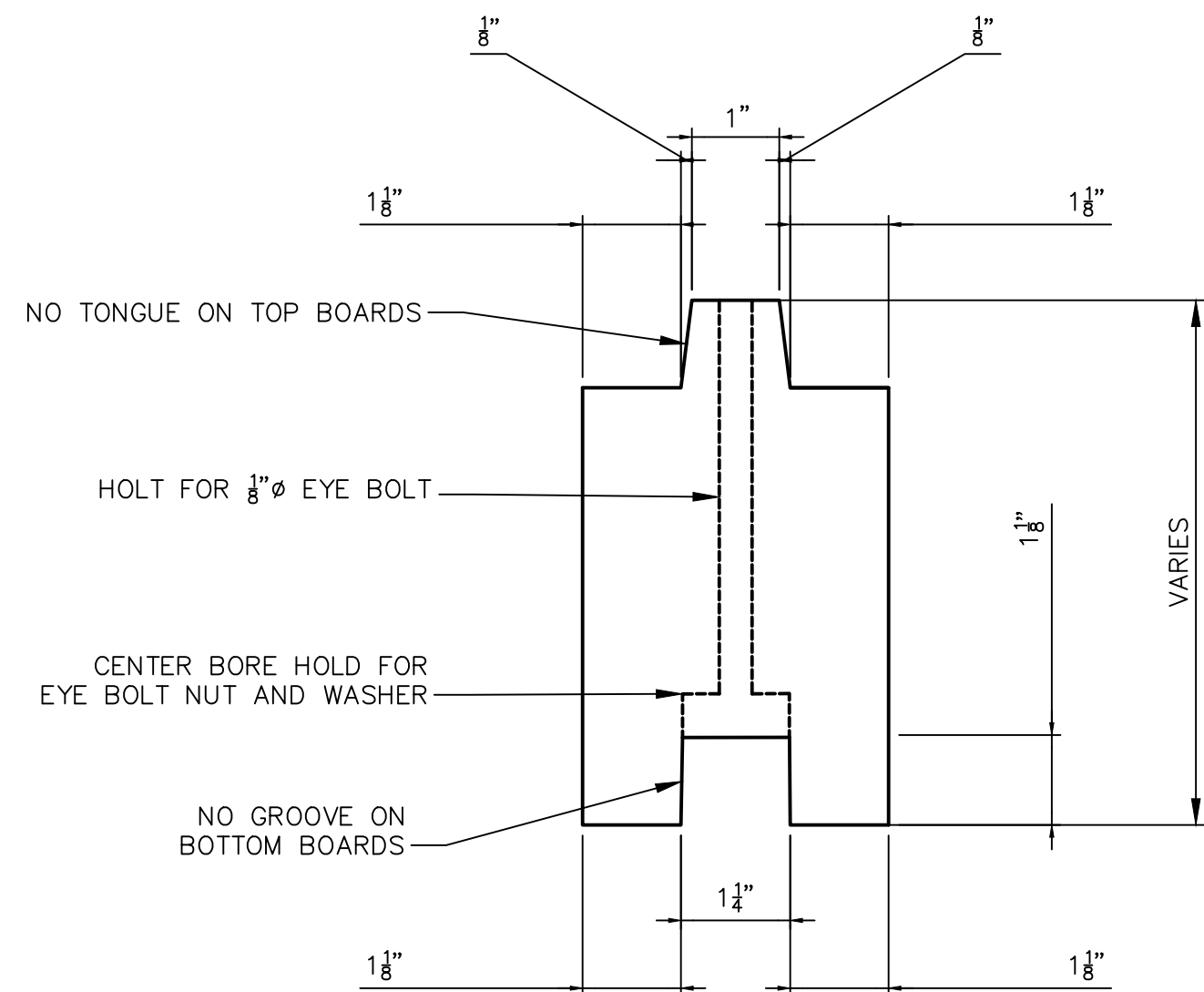


CONCRETE THRUST BLOCK DETAILS
SCALE: N.T.S.

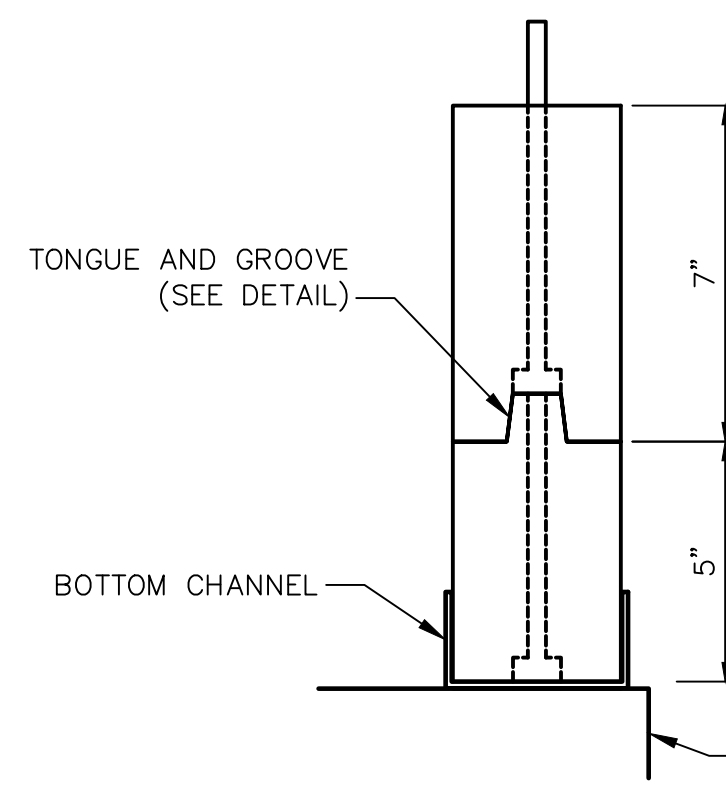


CONCRETE CRADLE REINFORCING DETAIL
SCALE: 3/8" = 1'-0"

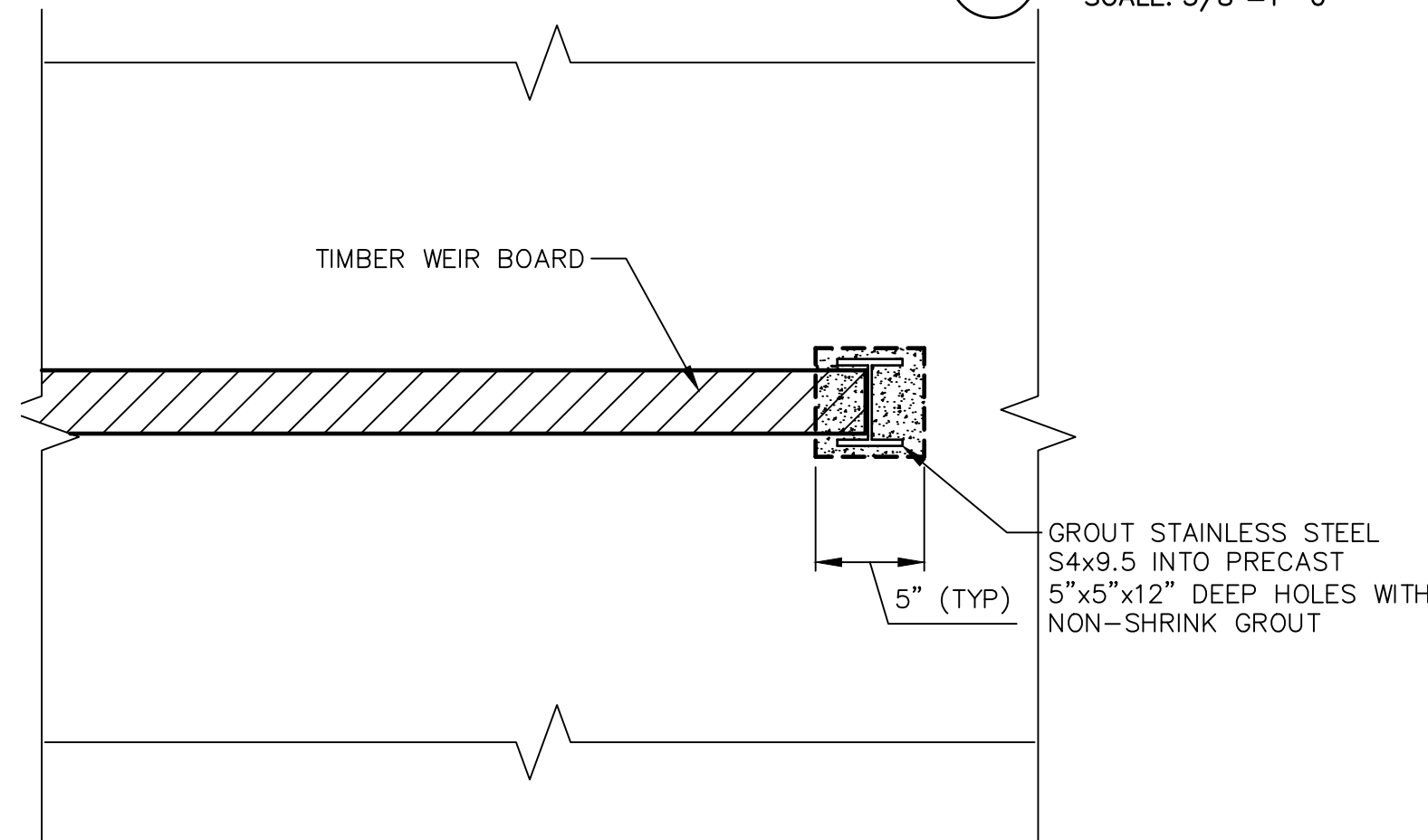
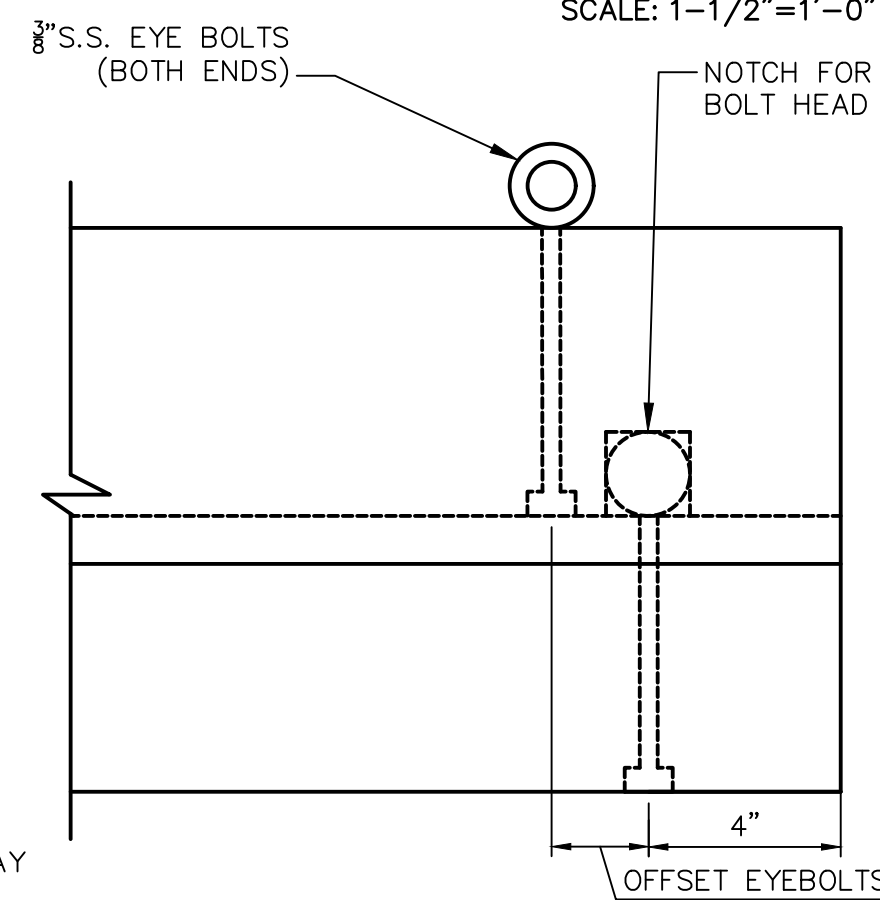
NOTE: STOP LOGS FOR LOW LEVEL OUTLET SHALL BE OF SIMILAR CONFIGURATION EXCEPT THAT THE HEIGHT OF EACH PIECE SHALL BE 4".



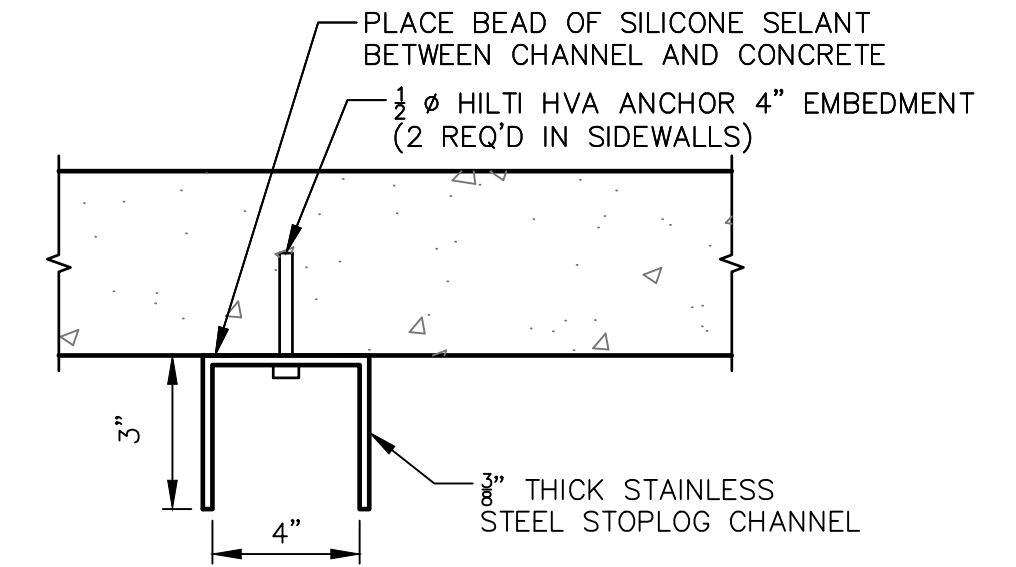
TONGUE AND GROOVE DETAIL
SCALE: 6"=1'-0"



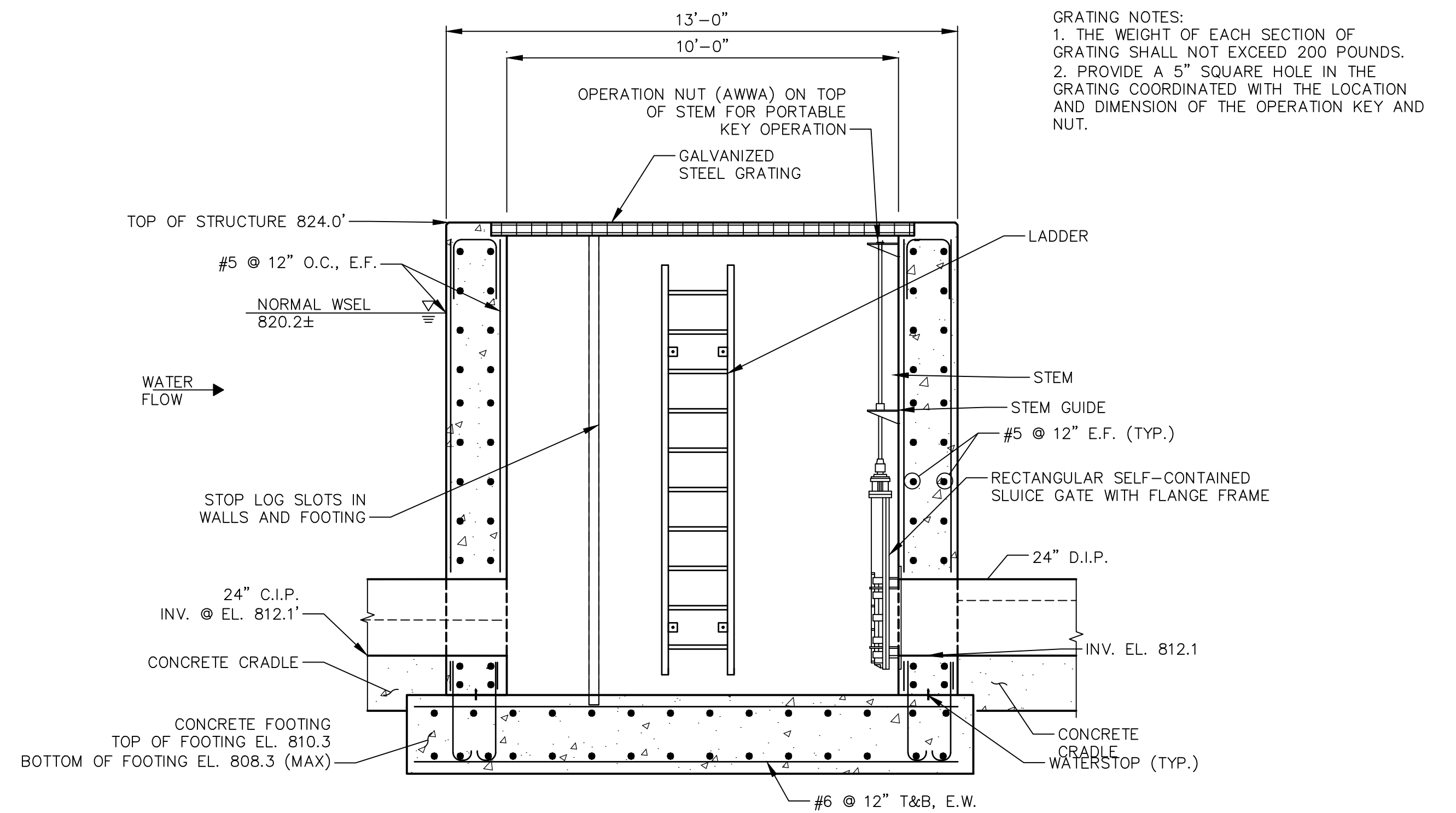
SPILLWAY WEIR BOARD SECTION AND ELEVATION
SCALE: 3"=1'-0"



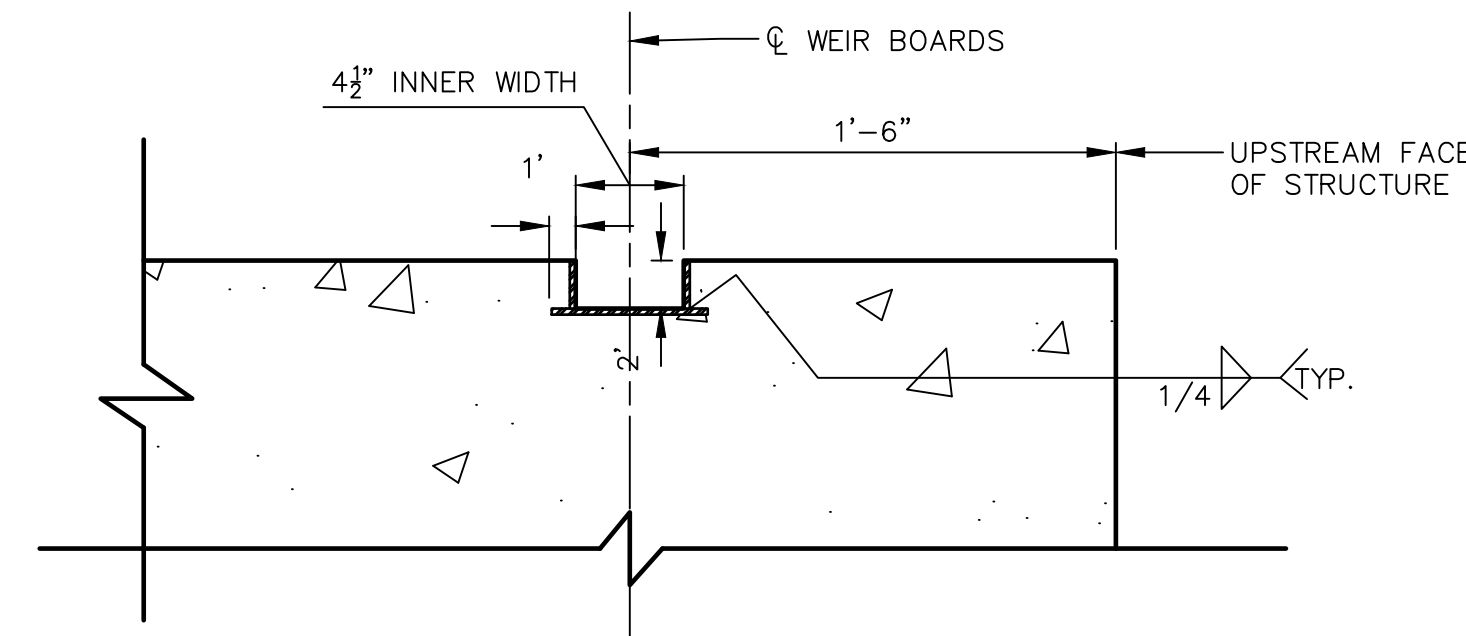
INTERMEDIATE SPILLWAY WEIR BOARD SUPPORT DETAIL
SCALE: 1-1/2"=1'-0"



SPILLWAY WEIR BOARD CHANNEL DETAIL
SCALE: 1-1/2"=1'-0"



LOW-LEVEL OUTLET - GATE VALVE CHAMBER SECTION
SCALE: 3/8"=1'-0"



LOW LEVEL OUTLET STOP LOG SLOT DETAIL
SCALE: 1-1/2"=1'-0"

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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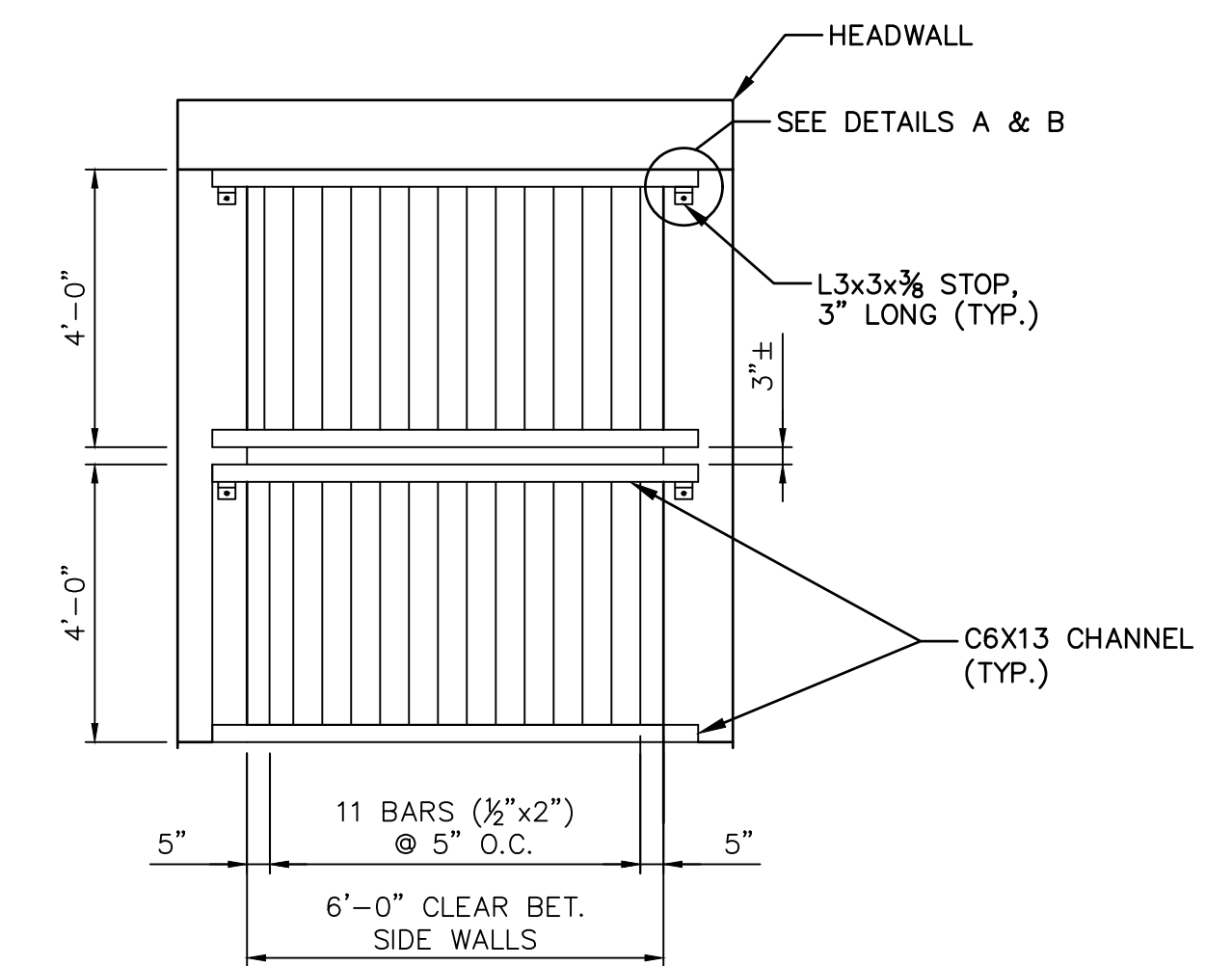
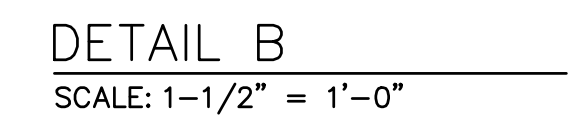
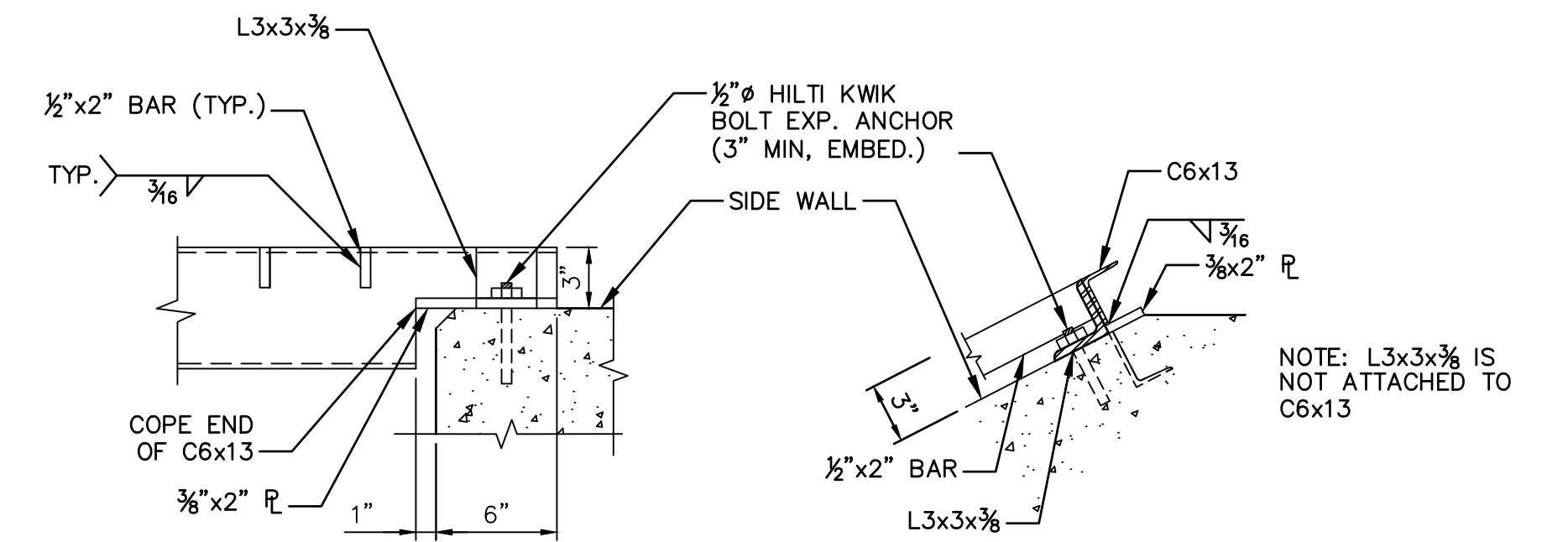
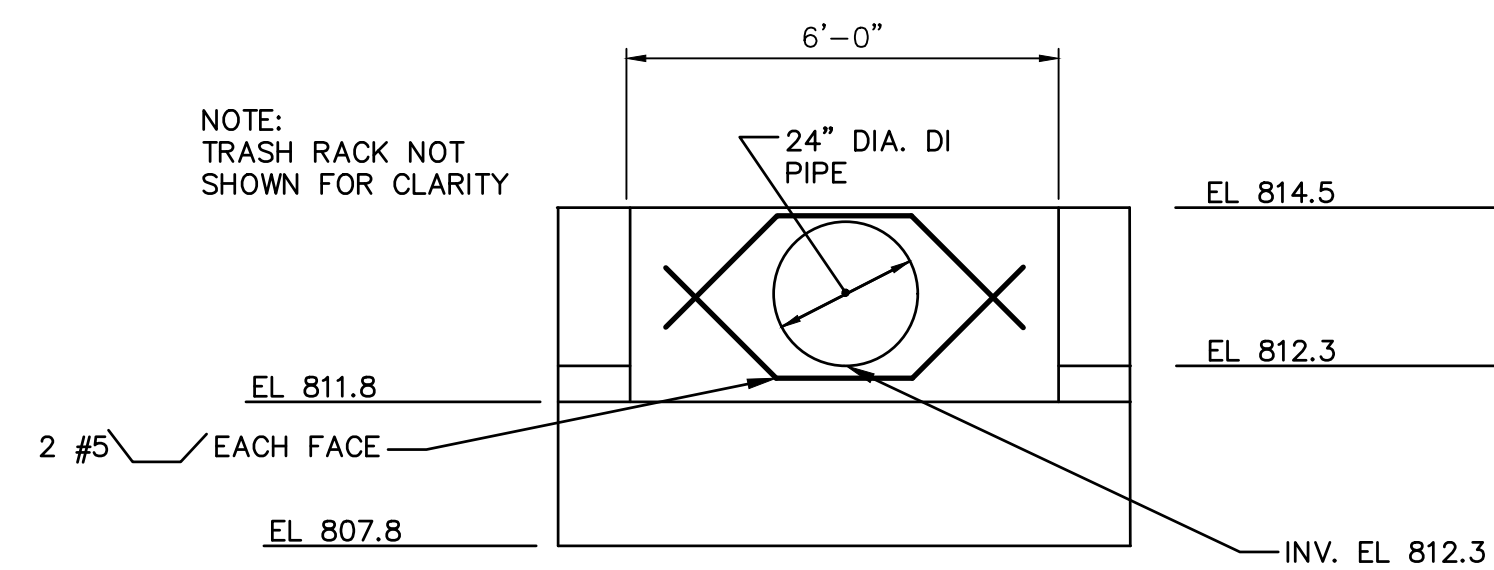
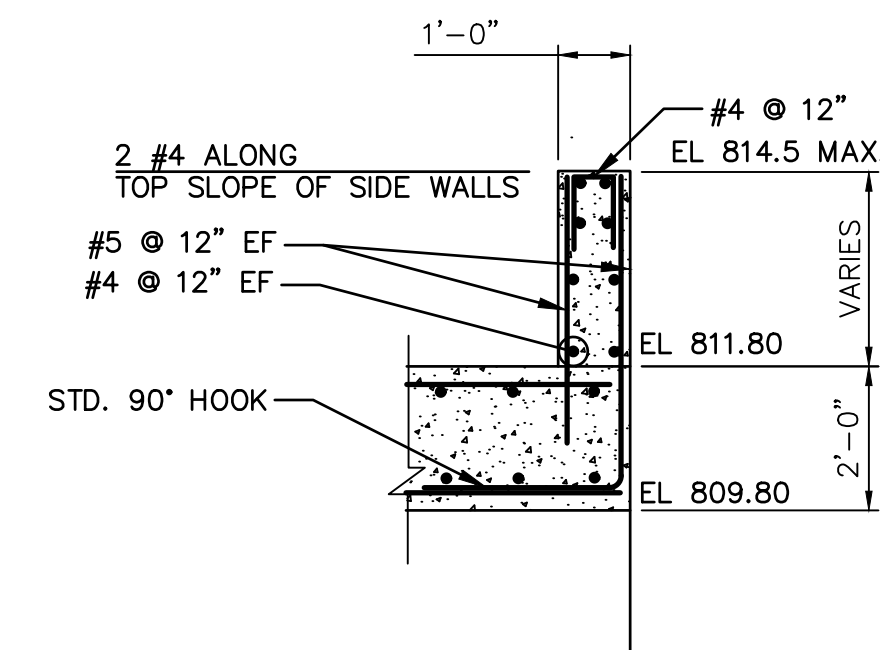
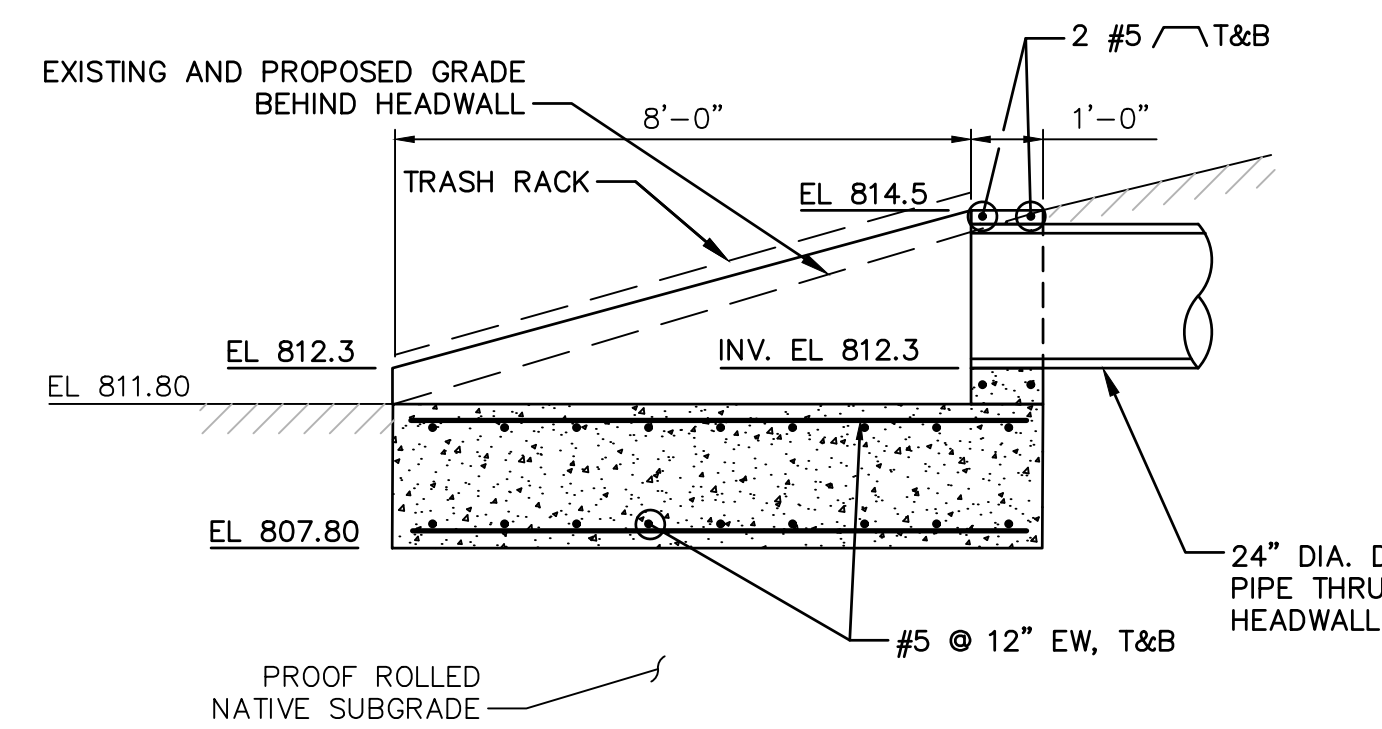
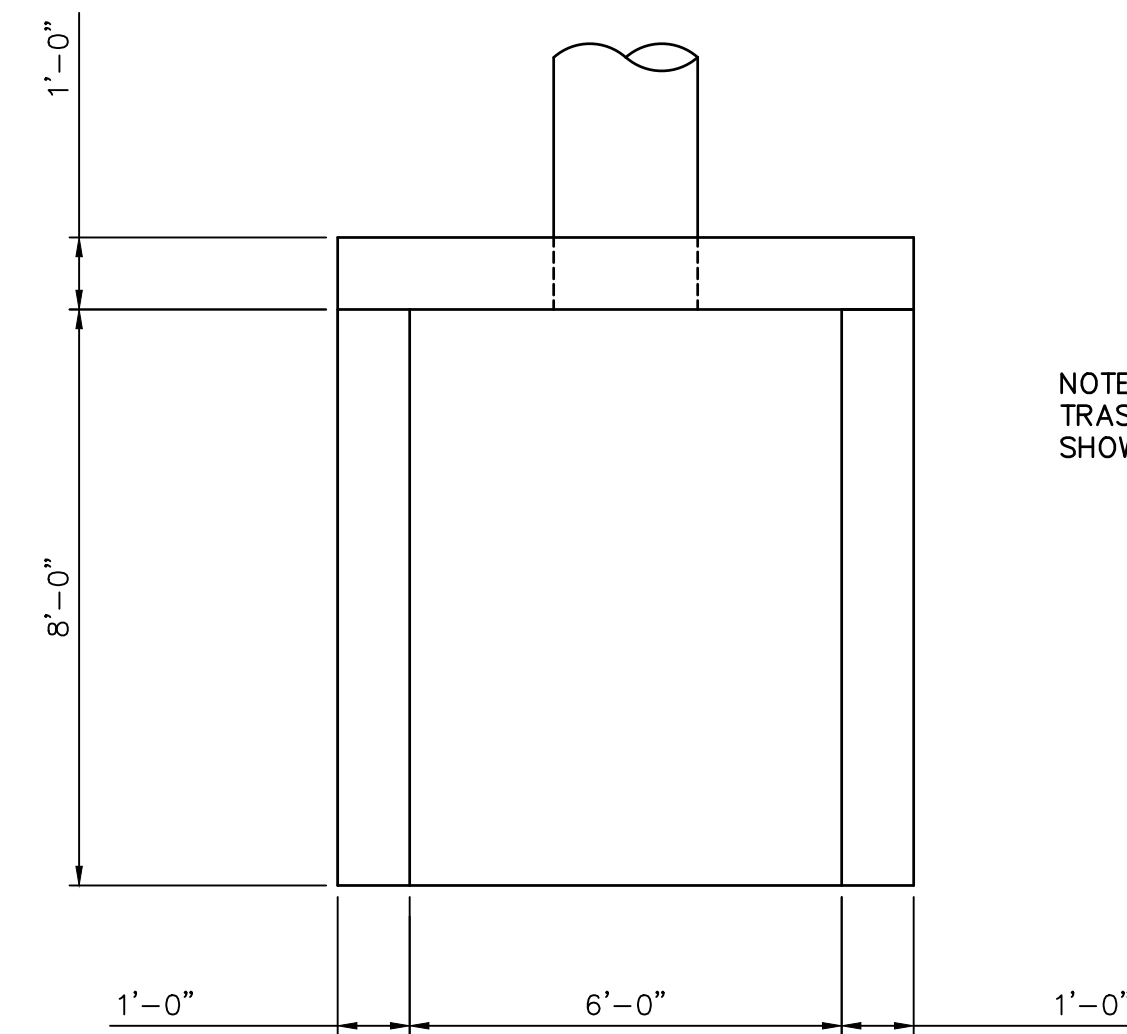
SEAL

SCALE:	HORIZ.: AS SHOWN
	VERT.:
DATUM:	HORIZ.:
	VERT.:
0	
GRAPHIC SCALE	

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TOWN OF LEICESTER
STRUCTURAL REPAIR DETAILS
WAITE POND DAM REPAIRS
CHAPEL STREET, LEICESTER
MASSACHUSETTS

PROJ. No.: 20081286.A70
DATE: APRIL 2020
STR-04




1	4/14/2020	ISSUED FOR BID		AAC	SH/AJ
No.	DATE	DESCRIPTION		DESIGNER	REVIEWER

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SCALE:	HORIZ.: AS SHOWN
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DATUM:	
	HORIZ.:
	VERT.:
	
GRAPHIC SCALE	



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TOWN OF LEICESTER
STRUCTURAL REPAIR DETAILS
WAITE POND DAM REPAIRS
CHAPEL STREET, LEICESTER
MASSACHUSETTS

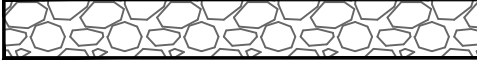
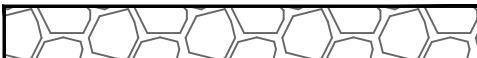

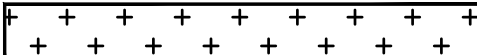



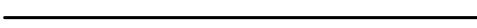
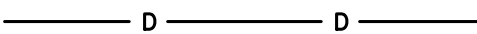
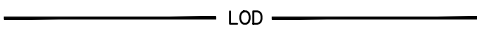


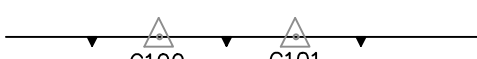
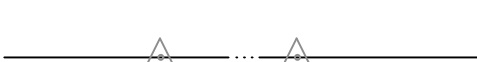
PROJ. No.: 20081286.A70
DATE: APRIL 2020

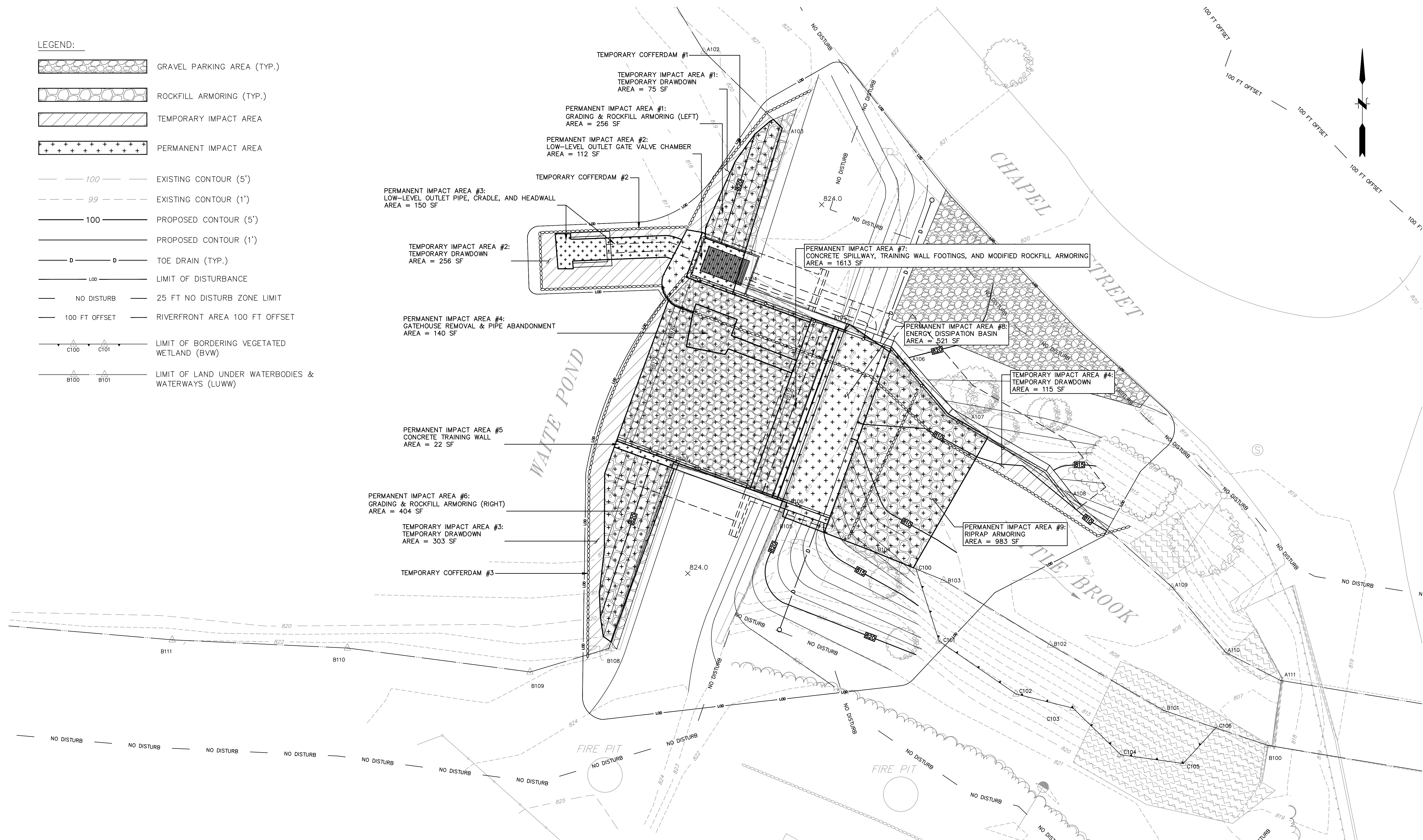
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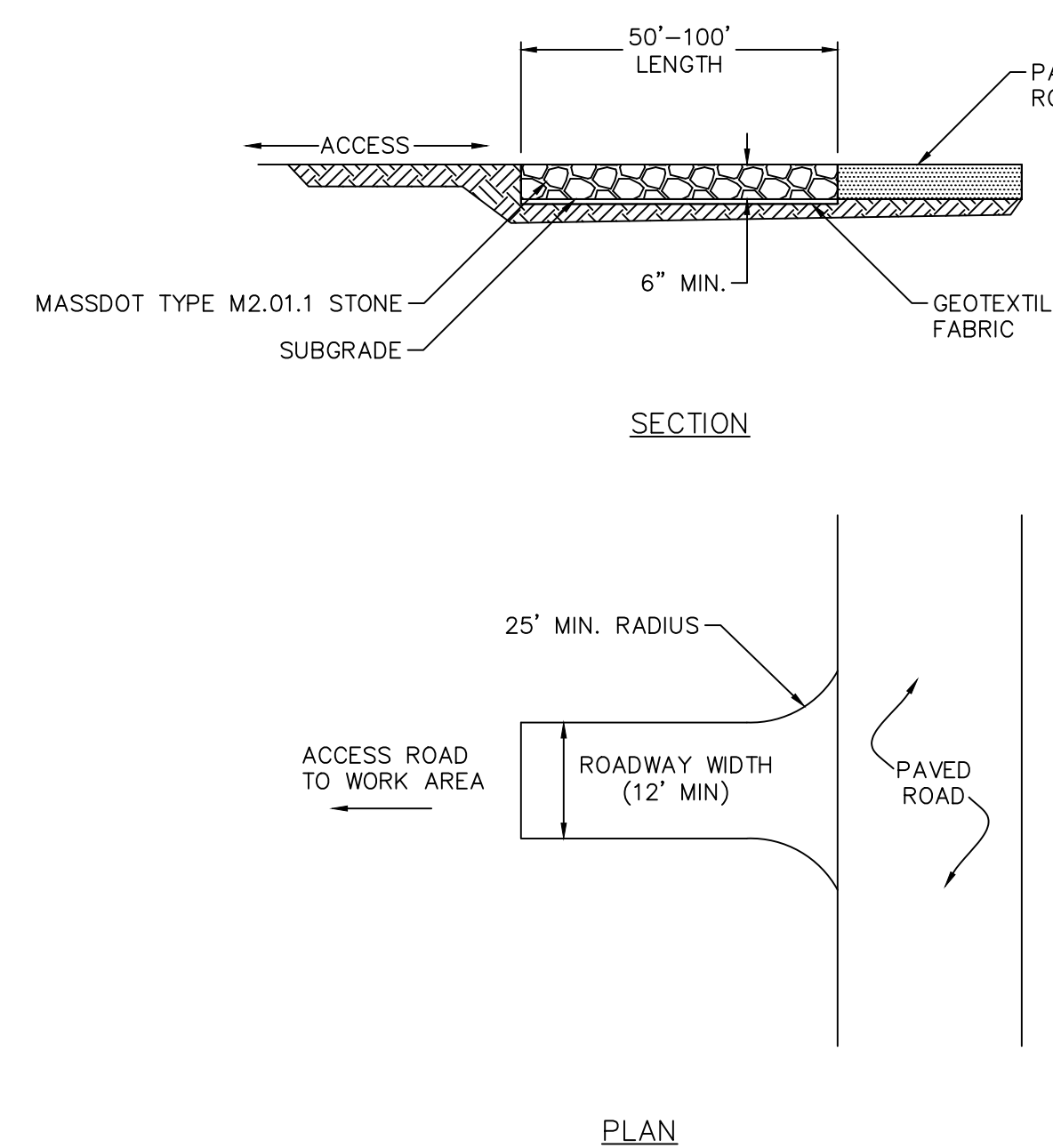
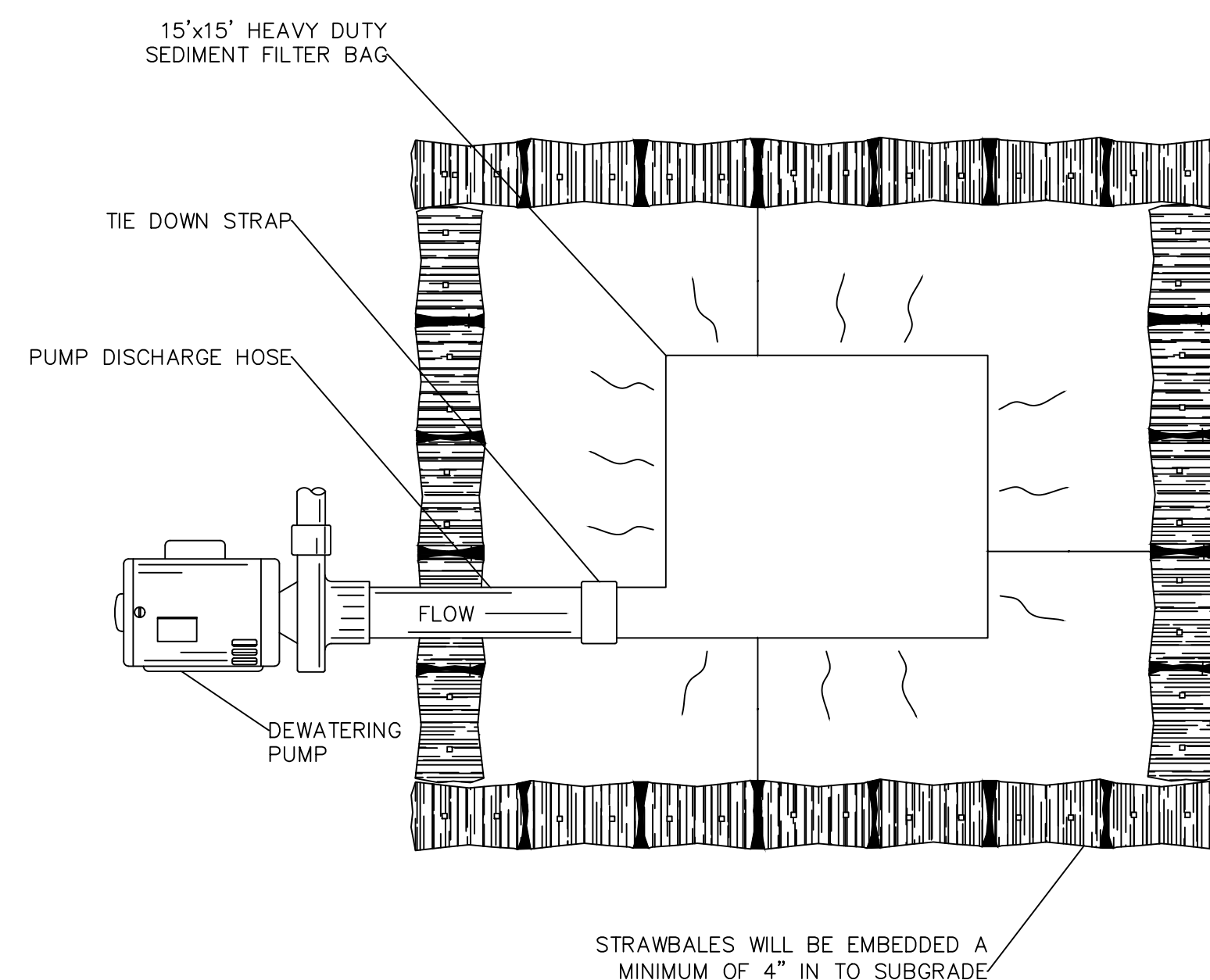
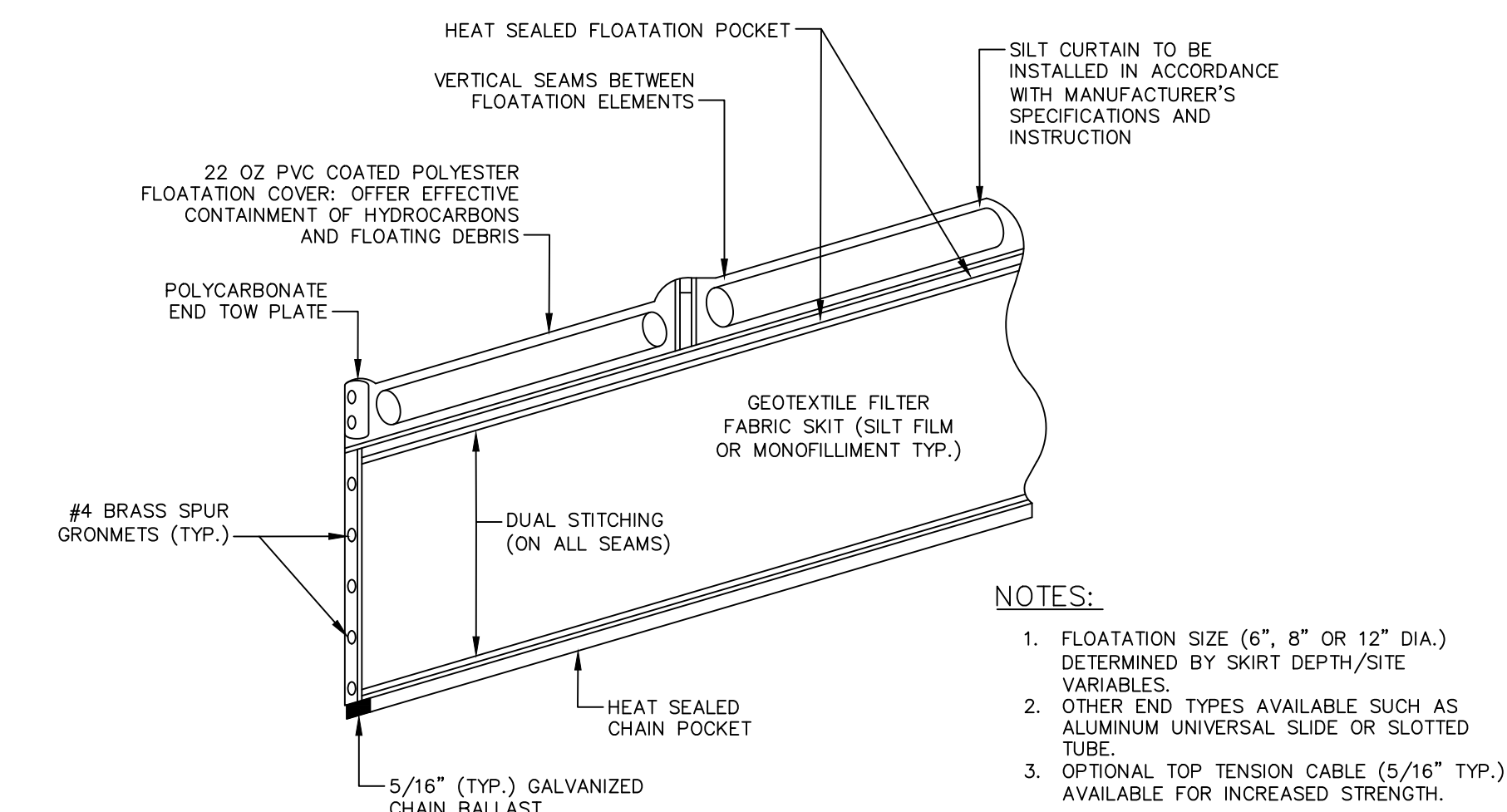
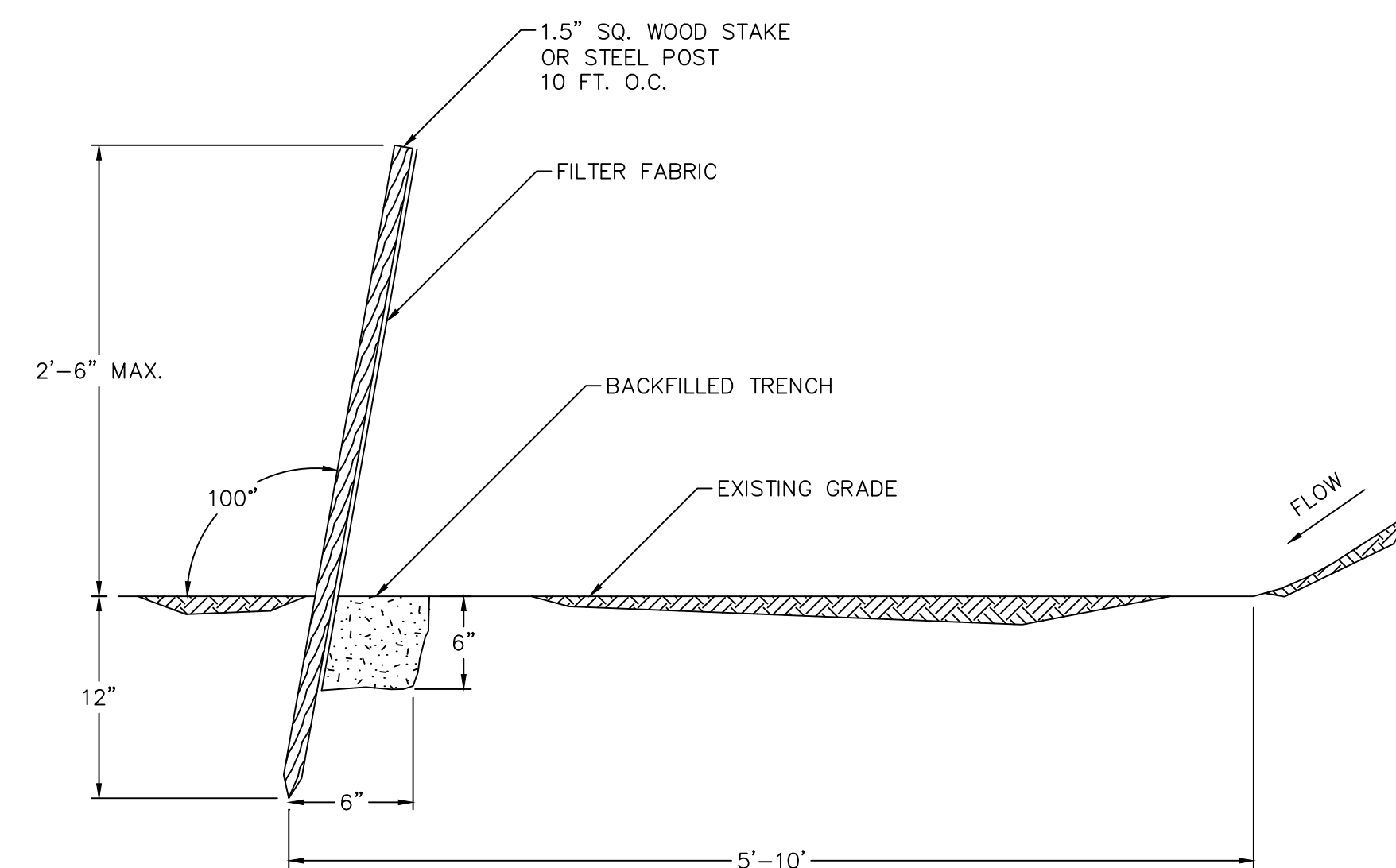
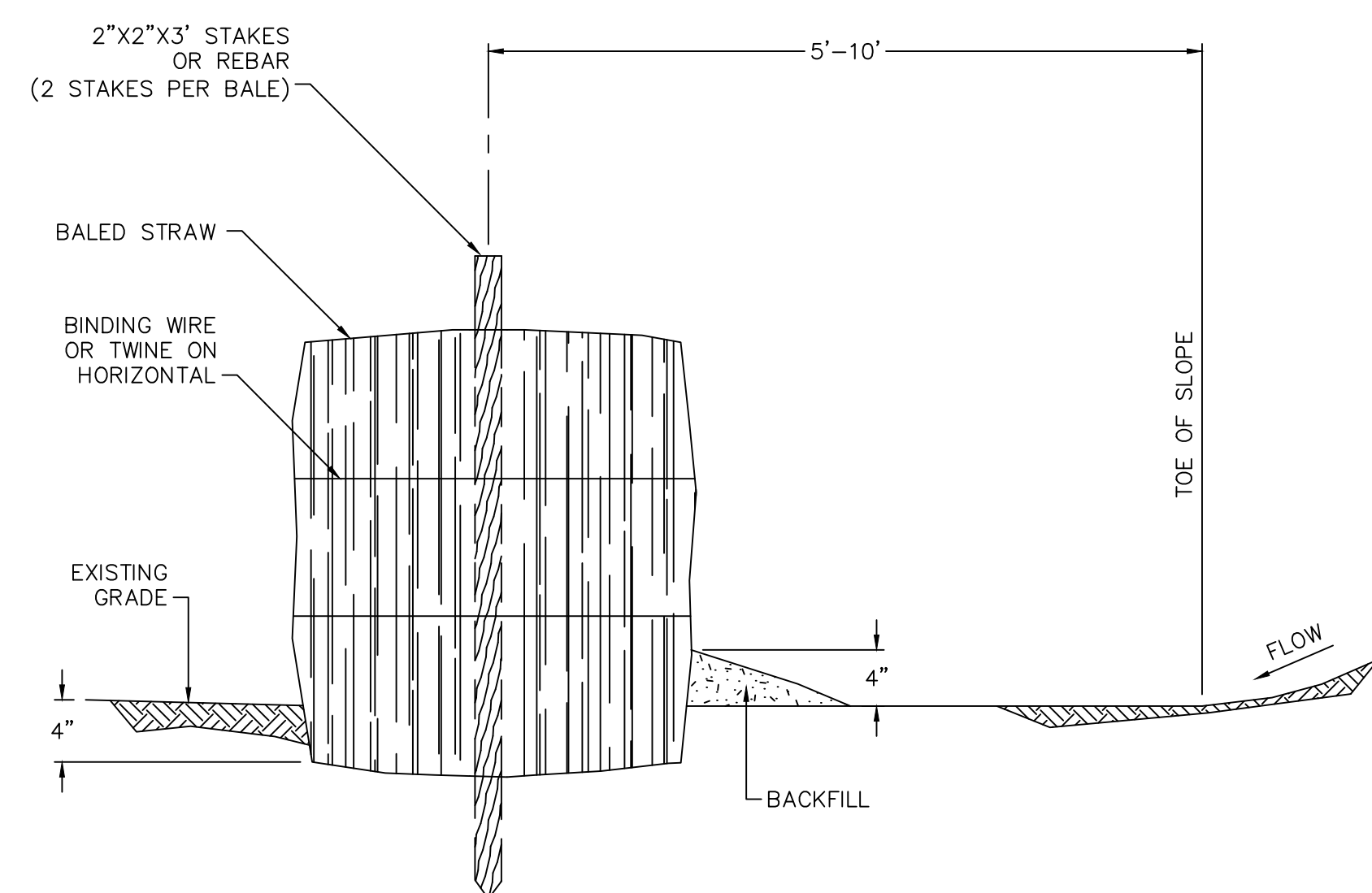
MS VIEW:

	GRAVEL PARKING AREA (TYP.)
	ROCKFILL ARMORING (TYP.)
	TEMPORARY IMPACT AREA
	PERMANENT IMPACT AREA
	EXISTING CONTOUR (5')
	EXISTING CONTOUR (1')
	PROPOSED CONTOUR (5')
	PROPOSED CONTOUR (1')
	TOE DRAIN (TYP.)
	LIMIT OF DISTURBANCE
	25 FT NO DISTURB ZONE LIMIT
	RIVERFRONT AREA 100 FT OFFSET
	LIMIT OF BORDERING VEGETATED WETLAND (BVW)
	LIMIT OF LAND UNDER WATERBODIES & WATERWAYS (LUWW)




1	4/14/2020	ISSUED FOR BID	AJ	PM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

RC-102

[illegible]

SEAL

SEAL

SCALE:	HORZ.: AS SHOWN
	VERT.:
DATUM:	HORZ.:
	VERT.:
	
GRAPHIC SCALE	



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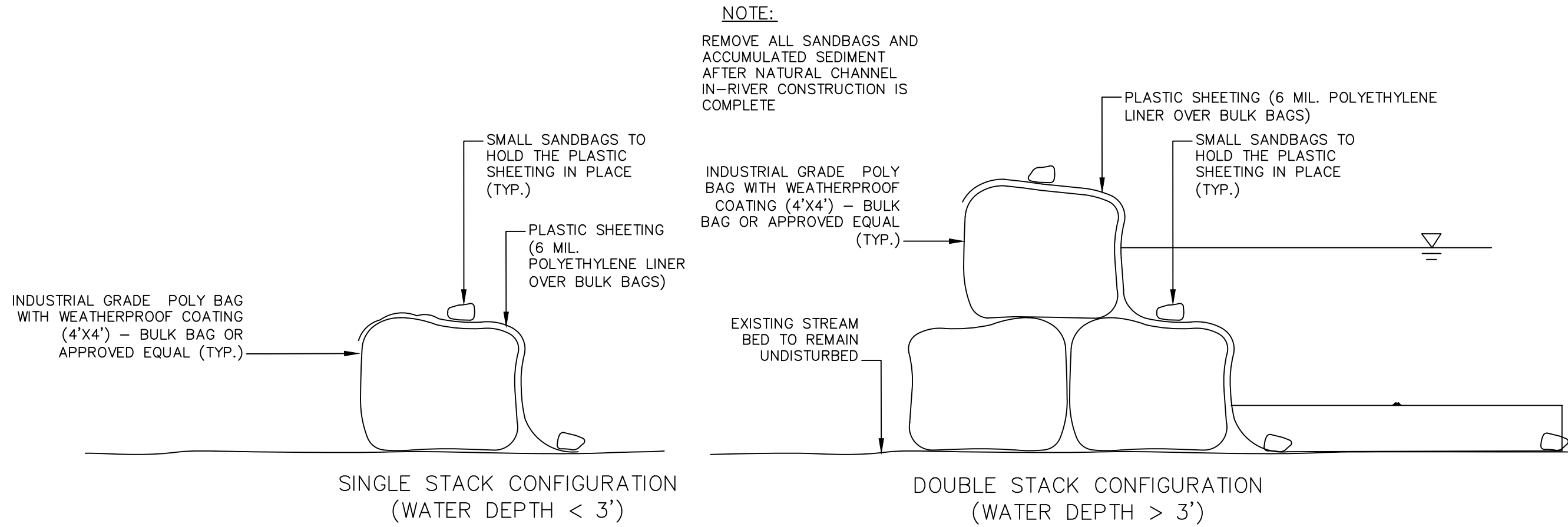
TOWN OF LEICESTER
EROSION & SEDIMENTATION CONTROL DETAILS
WAITE POND DAM REPAIRS

CHAPEL STREET, LEICESTER

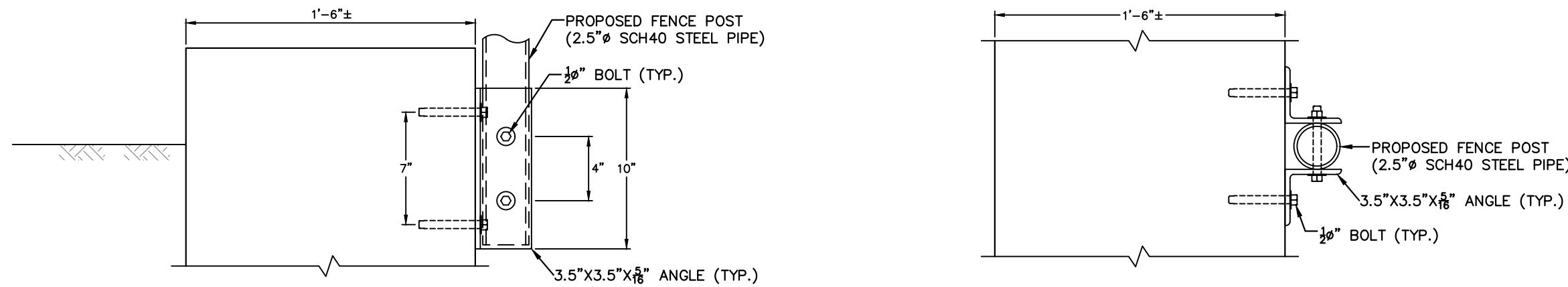
MASSACHUSETTS

PROJ. No.: 20081286.A70
DATE: APRIL 2020

CD-501

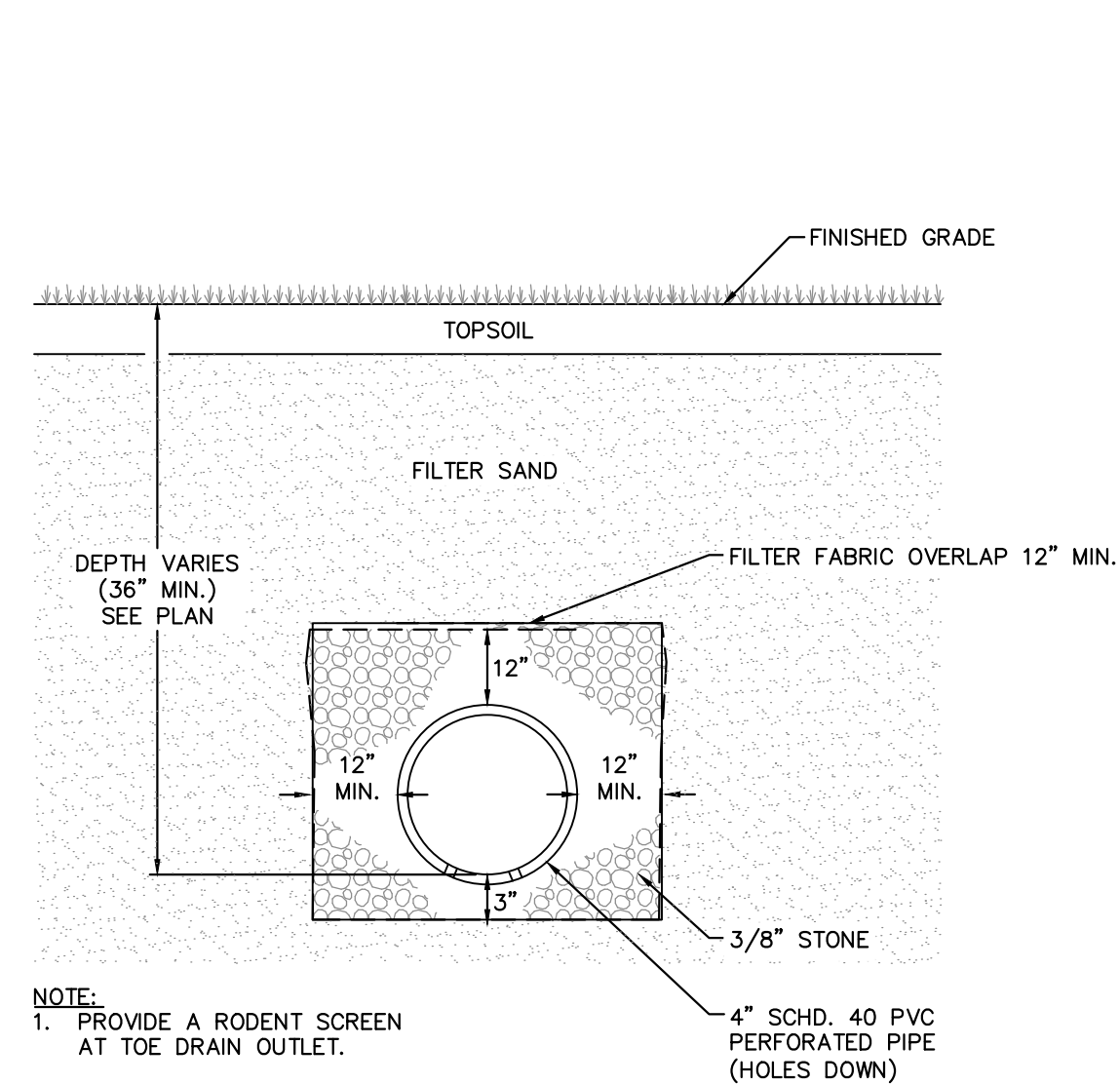


6 TEMPORARY SANDBAG COFFERDAM
SCALE: NTS

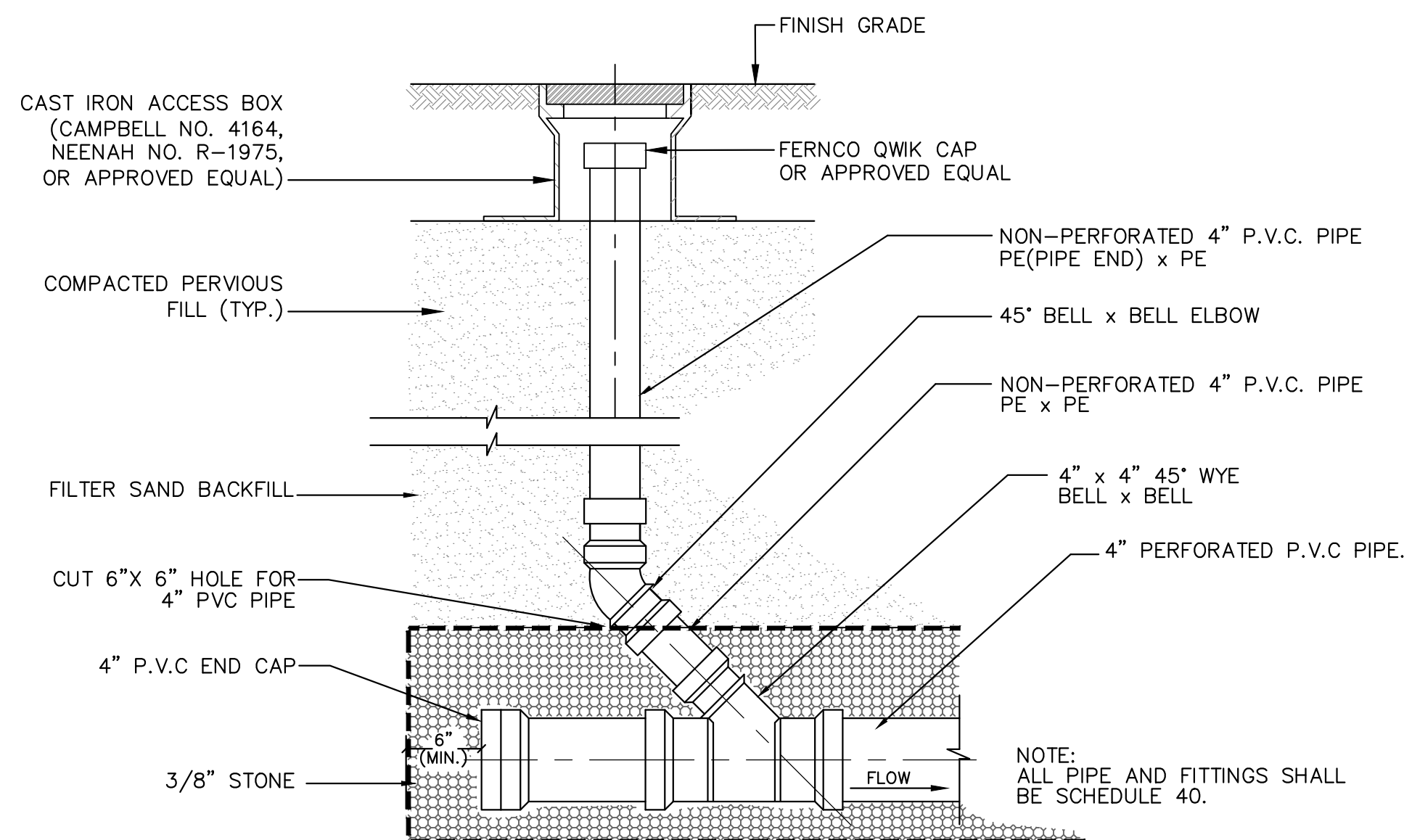


8 FENCE SUPPORT PROFILE
SCALE: 1-1/2" = 1'-0"

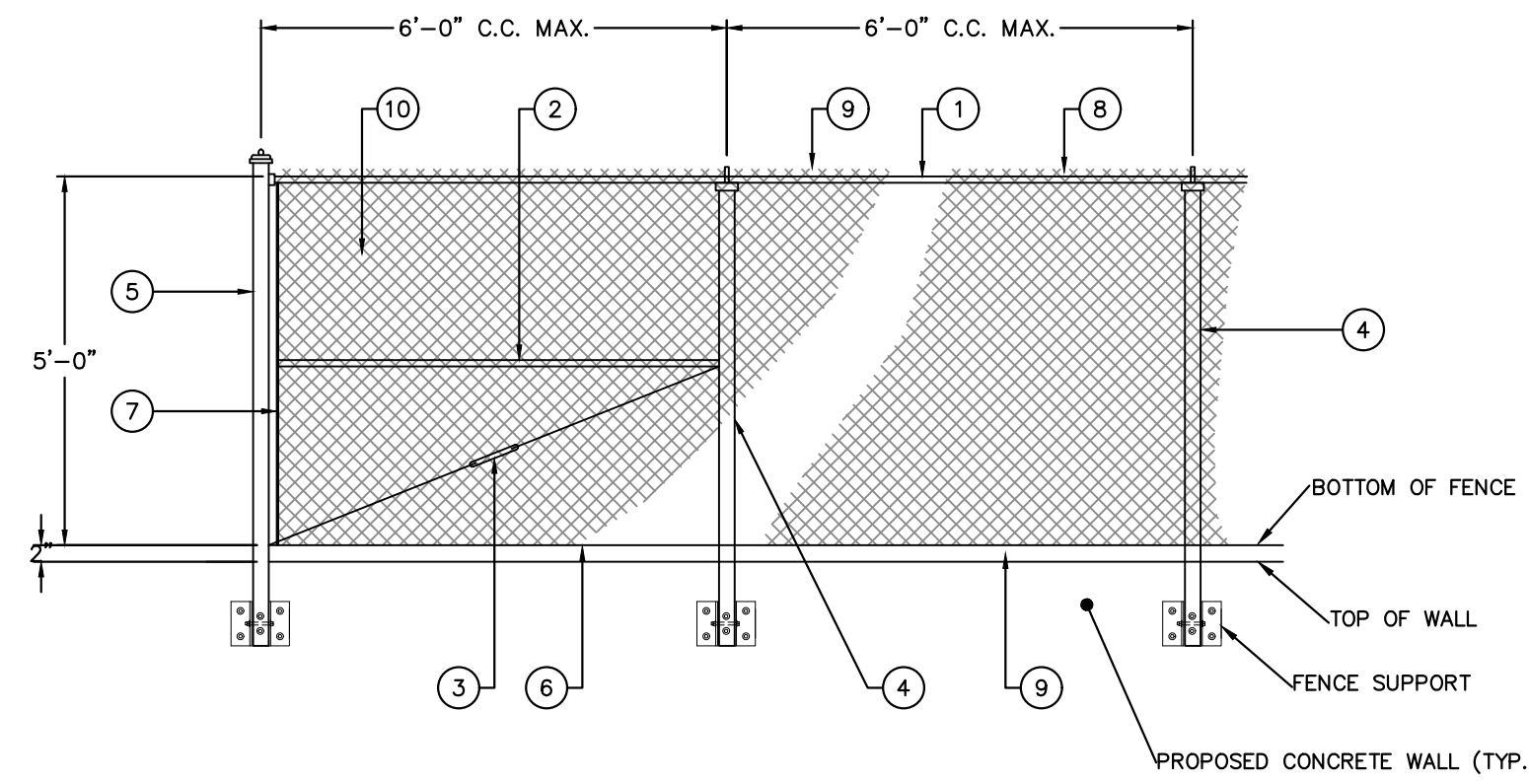
9 FENCE SUPPORT SECTION
SCALE: 1-1/2" = 1'-0"



TOE DRAIN
NOT TO SCALE



TOE DRAIN CLEANOUT
NOT TO SCALE



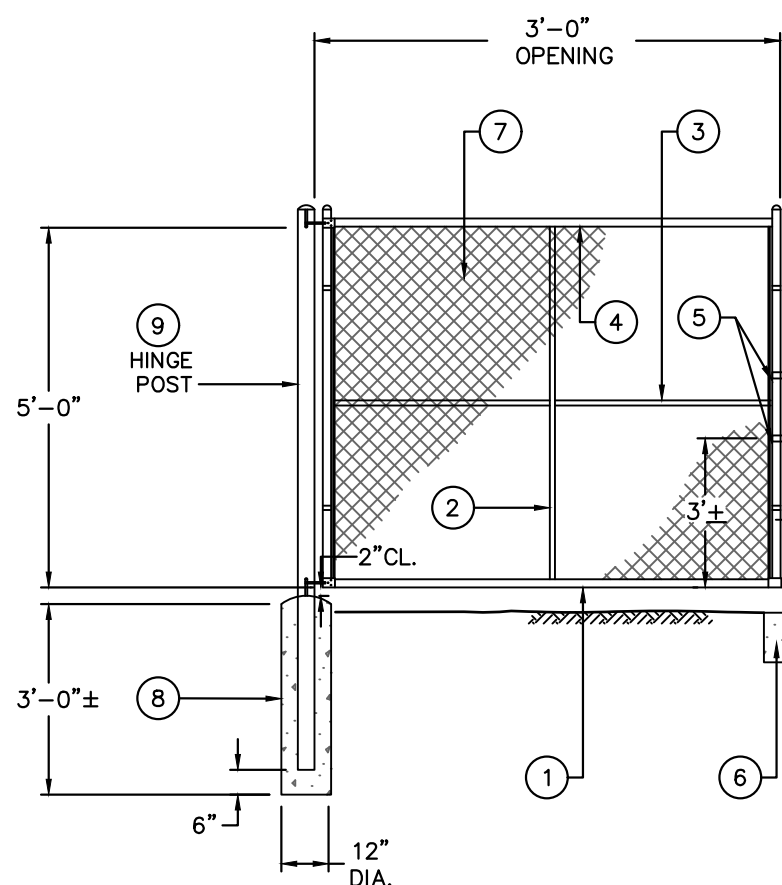
NOTES

- FENCE SUPPORT DESIGN TO BE CHECKED BY AN ENGINEER.
- STRAIGHT RUNS BETWEEN BRACED POSTS SHALL NOT EXCEED 500 FT.
- FENCE DETAILS ARE INTENDED AS A GUIDE ONLY. ALL FENCE MATERIALS AND CONSTRUCTION METHODS SHALL BE APPROVED BY THE ENGINEER AND FENCE MANUFACTURER.

CHAIN LINK FENCE LEGEND

- 1 5/8" O.D. TOP RAIL ATTACH FABRIC WITH 9 GAUGE WIRE CLIP EVERY 24"
 - 2 1 5/8" O.D. BRACE FOR RAIL FENCES OVER 6 FEET HIGH AND ALL FENCES WITHOUT TOP RAIL
 - 3 5/16" TRUSS ROD AND TURNBUCKLE
 - 4 INTERMEDIATE POST
 - 5 END OR CORNER POST
 - 6 6 GAUGE BOTTOM TENSION WIRE ATTACH TO FABRIC WITH HOG RING AT 24" C.C.
 - 7 TENSION ROD ATTACHED TO END OR CORNER POST
 - 8 6 GAUGE TENSION WIRE WHEN TOP RAIL IS NOT USED.
 - 9 FABRIC SELVAGE: UNDER 6 FEET SHALL BE KNUCKLED TOP AND BOTTOM 6 FEET AND OVER SHALL BE KNUCKLED BOTTOM AND TWISTED ON THE TOP RECREATIONAL FENCING, REGARDLESS OF HEIGHT, SHALL BE KNUCKLED TOP AND BOTTOM
 - 10 9 GAUGE 2" WIRE MESH FABRIC (COMMERCIAL) BLACK VINYL COATED.
- | FENCE HEIGHT | SQUARE POST | ROUND POST |
|-----------------|-------------|------------|
| 6 FEET AND LESS | 1 7/8" | 2" |
| OVER 6 FEET | 2 1/4" | 2 1/2" |
- ATTACH TO C.L. FABRIC WITH CLIPS EVERY 15"
- | FENCE HEIGHT | SQUARE POST | ROUND POST |
|-----------------|-------------|------------|
| 6 FEET AND LESS | 2" | 2 1/2" |
| OVER 6 FEET | 2 1/2" | 3" |

7 CHAIN LINK FENCE
SCALE: NTS

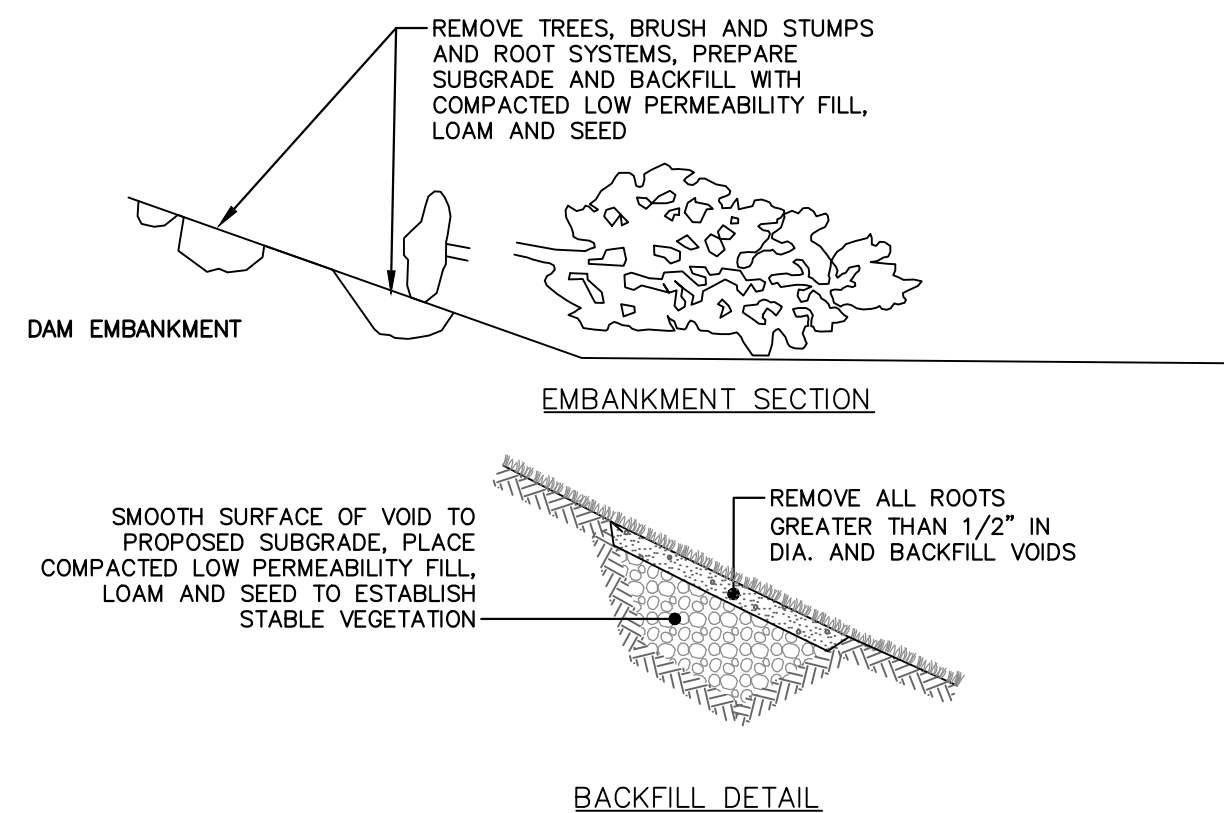


CHAIN LINK SWING GATE LEGEND

- 2" SQUARE FRAME WELDED TO FORM FOUR SIDES OF LEAF
- 1 1/4" SQUARE UPRIGHT BRACING WELDED TO FRAME
- 1 1/4" SQUARE HORIZONTAL BRACING WELDED TO FRAME
- TENSION BAR ATTACHED TO FRAME ON ALL FOUR SIDES WITH HOOK BOLTS
- PADLOCK AND LATCH DEVICE
- 12" DIA. x 12" DEEP CONC. COLLAR WITH STEEL PIPE FOR SET PIN. COLLAR AND PIPE SET FLUSH WITH GROUND SURFACE. PIPE TO DRAIN INTO GRAVEL BASE.
- 9 GAUGE 2" WIRE MESH FABRIC (COMMERCIAL) BLACK VINYL COATED.
- HINGE POST FOOTING SHALL BE 3000 PSI CONCRETE. DIAMETER SHALL BE 4 TIMES POST WIDTH (MIN.)
- SEE GATE TABLE

GATE TABLE	
OPENING	HINGE POST
3'-0"	2 1/2" SQUARE
8'-0" - 12'-0"	2 1/2" SQUARE
26'-0" - 36'-0"	6" SQUARE
38'-0" - 40'-0"	8" SQUARE

10 SINGLE-LEAF CHAIN LINK SWING GATE
SCALE: NTS



NOTES

- IN AREAS INDICATED ON THE PLANS, REMOVE ALL TREES, BRUSH, AND WOODY VEGETATION. REMOVE STUMPS AND ROOTS SYSTEMS ORIGINATING FROM ALL TREES AND WOODY VEGETATION.
- ALL CLEARED AND GRUBBED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE LAWFULLY DISPOSED OF OFF-SITE. UNDER NO CIRCUMSTANCES WILL ONOSITE CHIPPING OR BURNING BE PERMITTED.
- BACKFILL ALL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS, INCLUDING EQUIPMENT RUTS, WITH LOW PERMEABILITY FILL.
- CONTRACTOR SHALL NOT REMOVE STUMPS AND ROOT SYSTEMS BY GRABBING HOLD OF STUMP END AND PULLING OUT OF EMBANKMENT.

TREE AND STUMP REMOVAL
NOT TO SCALE

No.	DATE	ISSUED FOR BID	DESIGNER	REVIEWER
1	4/14/2020	ISSUED FOR BID	AJ	PM

SEAL

SEAL

SCALE:	HORIZ.: AS SHOWN
	VERT.:
DATUM:	HORIZ.:
	VERT.:
GRAPHIC SCALE	

f **FUSS & O'NEILL**
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

TOWN OF LEICESTER
CIVIL DETAILS
WAITE POND DAM REPAIRS
CHAPEL STREET, LEICESTER
MASSACHUSETTS

PROJ. No.: 20081286.A70
DATE: APRIL 2020
CD-502

National Grid

Vegetation Management and Utility Maintenance

Lisa Westwell

From: Mike Tyrrell <Michael.Tyrrell@nationalgrid.com>
Sent: Thursday, January 18, 2024 2:25 PM
To: Lisa Westwell
Cc: Graf, Heidi; Mariclaire Rigby; Jonathan Duval
Subject: RE: [EXTERNAL] NGrid Proposed YOP and Utility Maintenance in Leicester

Hi Lisa,

Thanks for circling back to me. As you might have expected, the 2 letters were generated by separate and distinct groups within the company. The YOP letter was sent by our operations/vegetation strategy group and provides notification of the intended vegetation maintenance cycle along our E5/F6 Transmission right-of-way (ROW).

The maintenance notification letter (MNL) sent by me is unrelated to the YOP letter. As my letter notes, the company is in the early stages of an asset condition refurbishment project that will seek to upgrade the E5/F6 Transmission ROW (referred to as the "Central to Western MA Energy Improvement Project"). As noted, the project is in the early planning/design phase with limited geotechnical activities being conducted to facilitate design requirements. The project will take several years to develop and permit. Construction is not anticipated until 2027 at the earliest.

BSC is the consultant assisting me with the environmental permitting aspects of the Central to Western MA Energy Improvement Project. Heidi Graf from BSC will be available to attend the meeting on the 14th to discuss only the MNL.

Our operations/vegetation strategy group does not routinely attend conservation commission meetings since their work is performed in accordance with the Massachusetts Department of Agricultural Resources regulations governing ROW Management. Please reach out to Mariclaire with any specific questions you may have regarding the YOP activities. Her contact information is provided below.

Mariclaire Rigby
(781) 290-8310
mariclaire.rigby@nationalgrid.com

Thanks

Mike

Michael Tyrrell
*Lead Environmental Scientist,
Environment and Sustainability
New England Environmental Permitting*
nationalgrid

170 Data Drive
Waltham, MA 02451
603.801.4140 (preferred cell)
603.316.4469 (company cell)
email: michael.tyrrell@nationalgrid.com

Advanced Notice of Vacation:

From: Lisa Westwell <westwell@leicesterma.org>
Sent: Thursday, January 18, 2024 9:23 AM
To: Mike Tyrrell <Michael.Tyrrell@nationalgrid.com>
Subject: [EXTERNAL] NGrid Proposed YOP and Utility Maintenance in Leicester

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe. If you suspect this email is malicious, please use the 'Report Phish' button.

Good morning Michael,
Leicester Conservation is in receipt of two letters from National Grid regarding public notice of Yearly Operational Plan (12/5/23) and Notification of Utility Maintenance for E5/F6 Transmission Line Right of Way (12/22/23) in the Town of Leicester. The Conservation Commission reviewed the letters at their meeting last night and are requesting your attendance at their Wednesday, February 14, 2024 meeting at 6:30 pm to discuss the proposed work. Please let me know if you or another National Grid representative will be attending. Thank you.

Sincerely,

Lisa Westwell
Administrative Assistant
to the Planning Department
Town of Leicester
3 Washburn Square
Leicester, MA 01524
508.892.7007 x 120
westwell@leicesterma.org

This e-mail, and any attachments are strictly confidential and intended for the addressee(s) only. The content may also contain legal, professional or other privileged information. If you are not the intended recipient, please notify the sender immediately and then delete the e-mail and any attachments. You should not disclose, copy or take any action in reliance on this transmission.

You may report the matter by contacting us via our [UK Contacts Page](#) or our [US Contacts Page](#) (accessed by clicking on the appropriate link)

Please ensure you have adequate virus protection before you open or detach any documents from this transmission. National Grid plc and its affiliates do not accept any liability for viruses. An e-mail reply to this address may be subject to monitoring for operational reasons or lawful business practices.

For the registered information on the UK operating companies within the National Grid group please use the attached link: <https://www.nationalgrid.com/group/about-us/corporate-registrations>

December 22, 2023

Leicester Conservation Commission
Attn: Stephen Parretti, Chairperson
3 Washburn Square
Leicester, MA 01524

RE: Notification of Utility Maintenance Activities (Public Utility Maintenance Exemption) under MGL 131, Section 40 and the Leicester Conservation Commission Rules and Regulations and Wetlands Protection Bylaw Chapter 14. E5/F6 Transmission Line Right of Way (ROW), Leicester, MA

Dear Members of the Leicester Conservation Commission:

The New England Power Company (NEP) is submitting this written notification to inform the Conservation Commission of necessary exempt utility maintenance to be performed along the E5/F6 Transmission Line Right-of-Way (ROW) in Leicester, Massachusetts (please refer to the enclosed Site Locus Map). Specifically, we are providing notification of geotechnical activities being conducted within the existing ROW during the remainder of 2023 and continuing through the spring of 2024.

This maintenance activity is the completion of geotechnical work that is being conducted to support the planning and design of the Central to Western MA Energy Improvement Project (“The Project”). The Project will involve rebuilding the transmission line infrastructure which was constructed over 100 years ago and is fast approaching the end of their asset life. The proposed geotechnical work involves traditional soil borings during which a small track-mounted drill rig will be used to perform the soil borings. Each boring hole will be approximately four (4) to six (6) inches in diameter. Soil boring activities will be completed at the location within 1-2 days, further minimizing the likelihood of adverse impacts to resource areas. Upon completion of the work, bored out soils will be used to backfill the hole. If excess soils remain, they will be disposed of in an upland location outside of resource areas and buffer zones.

Soil boring activities that are subject to the Wetlands Protection Act (WPA) will be permitted, as necessary, with the Conservation Commission; filings are anticipated to be submitted in winter 2023/2024. In the interim, we are providing notification of the exempt soil boring activities that are considered exempt in accordance with the WPA 10.02(2)(a)(2) and 10.02(2)(b)(2)(g), and the Leicester Wetlands Protection Bylaw Chapter 14, Section III. The following table provides a summary of locations where the proposed exempt activities will be conducted.

The following table provides a summary of locations where the proposed exempt activities will be conducted.

Structure Numbers	Nearest Access Point
84	Henshaw Street
88, B-88B-2, B-88A-2, B-89A, B-89B & 90	Peter Salem Road
92	Pleasant Street

BSC Group, Inc. (BSC), as a consultant to NEP, performed a desktop review of the Project site using available resources such as MassGIS data layers, USGS 7.5 minute quadrangle maps, NRCS soils maps, aerial photography, and FEMA flood insurance Rate Maps. Wetland delineations were conducted by BSC in 2019, 2022 and 2023.

Structures 84, 88, B-88B-2, B-88A-2, B-89A, B-89B, 90, and 92 and their associated access are located within the 100-ft Buffer Zone to Bordering vegetated Wetlands (BVW) / Inland Bank and/or the locally regulated 25-ft No Disturb/No Build Zone. Structure 92 is located within Zone II Wellhead Protection Area.

No other sensitive resource areas were identified within proximity to the Project in Auburn, including Areas of Critical Environmental Concern (ACEC), Outstanding Resource Waters (ORW), Surface Water Protection Zones, Outstanding Resource Waters (ORW), Natural Heritage and Endangered Species Program (NHESP) Estimated and Priority Habitat, Activity and Use Limitations, or MassDEP 21E Sites.

Trimming and mowing of vegetation to allow for access will also be required. Ground disturbance is only associated with the soil boring work which is minimal and temporary in nature. Access to the ROW will be obtained from the nearest access points, included in the table above, in Leicester, as well as existing historically utilized access roads throughout the ROW.

Erosion and sediment control measures may be installed prior to the commencement of work as necessary. These controls will function to mitigate work-related erosion and sedimentation, and to serve as a physical boundary that delineate work areas and contain construction activities within approved locations. Erosion and sediment control measures may include silt fence, weed free straw bale barriers, straw wattles or similar treatment.

If you have any questions or would like more information, please do not hesitate to contact me at 603-801-4140 or Heidi Graf of BSC Group at 617-896-4519. Thank you in advance for your attention to this matter.

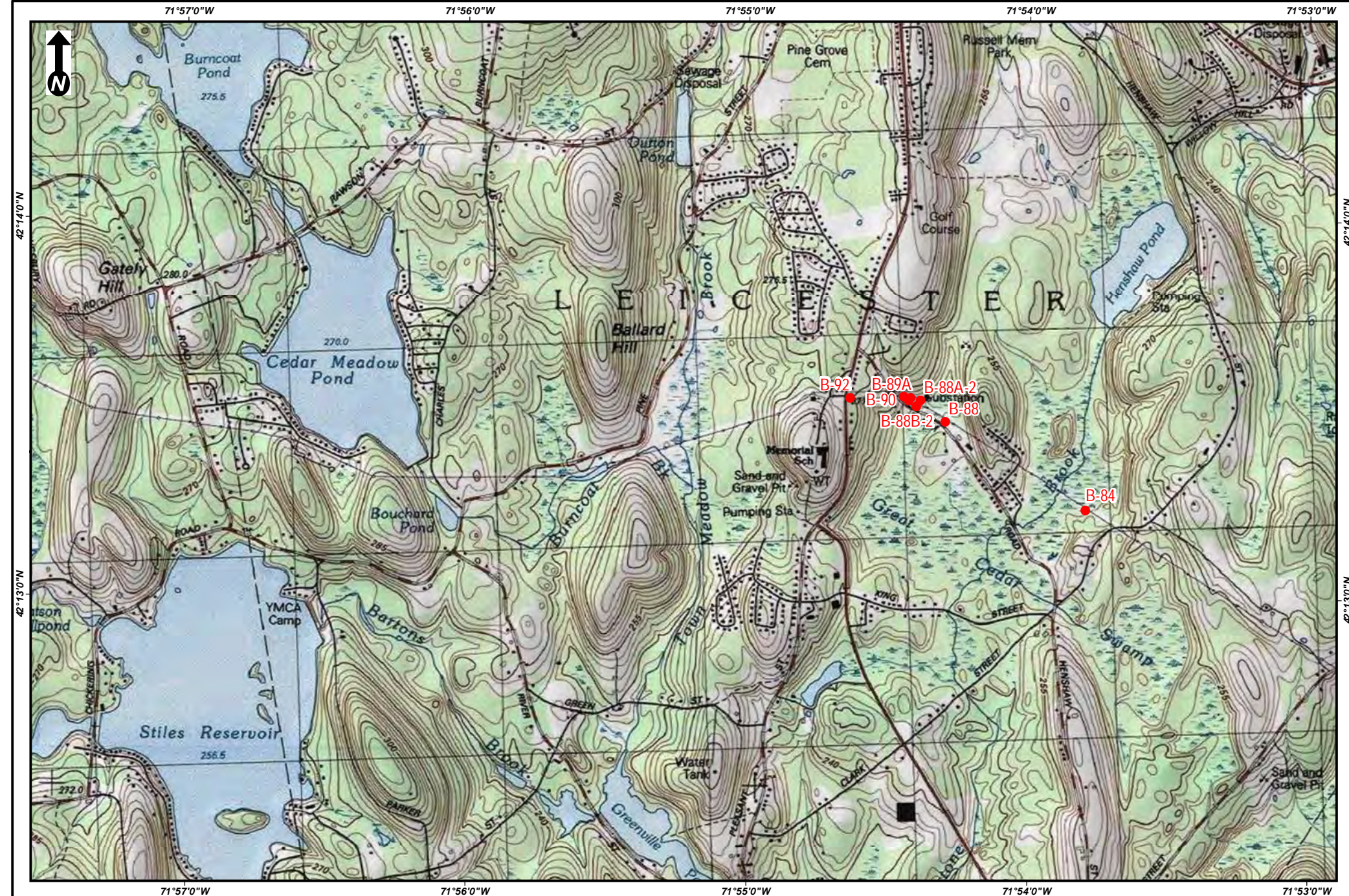
Sincerely,

New England Power Company



Michael Tyrrell
Lead Environmental Scientist

Attachment: Site Location Map
Cc: Heidi Graf, BSC Group, Inc.



Scale: 1:24,000
1 inch = 2,000 feet
0 1,000 2,000
Feet
(Page Size 8.5 x 11)

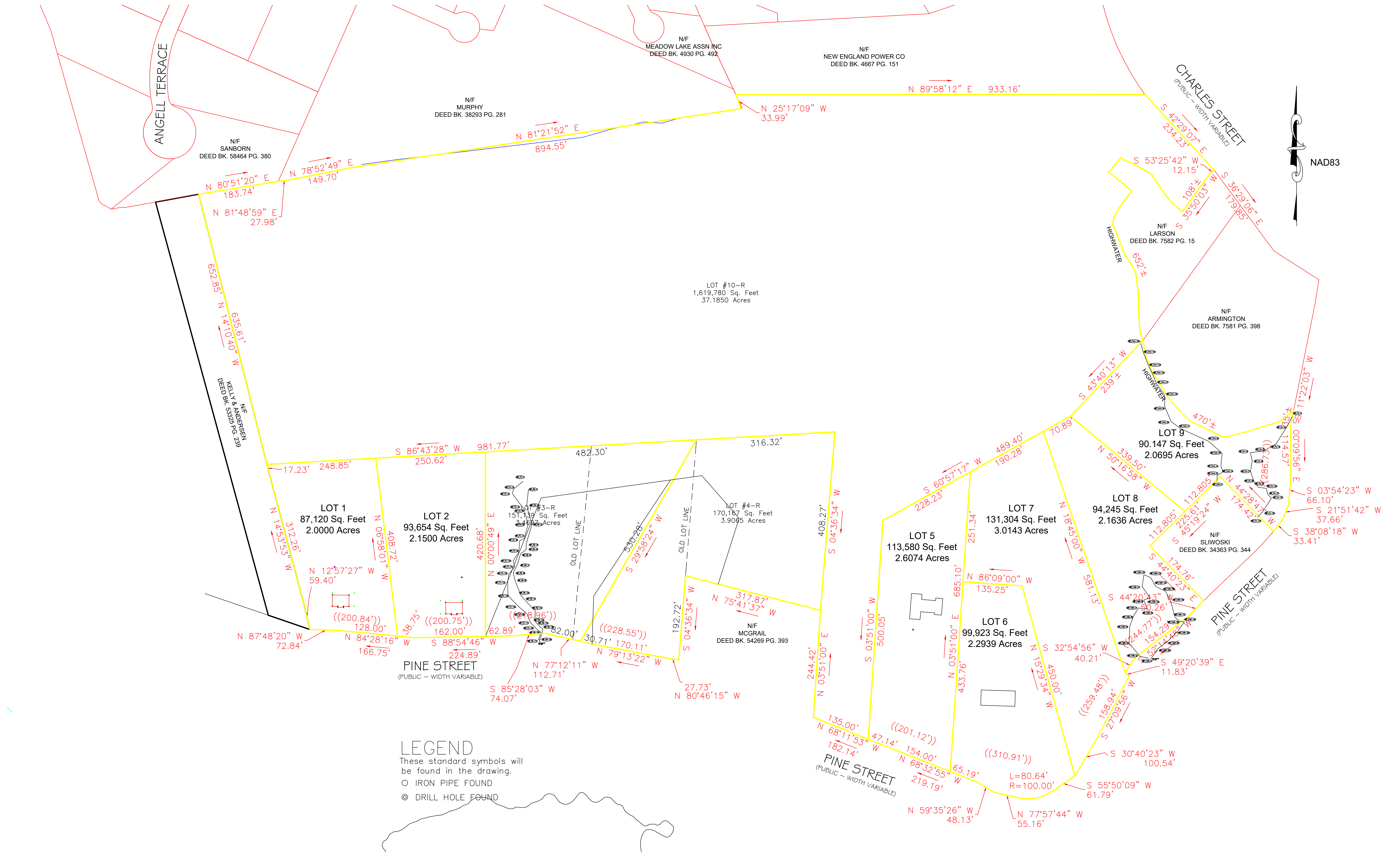
CENTRAL TO WESTERN MA ENERGY IMPROVEMENT PROJECT SOIL BORING PHASE 1A

**USGS Site Location Map
Leicester, MA**

Source: Copyright©
2013 National
Geographic Society, Inc.
cubed

nationalgrid
BSC GROUP

506 & 508 Pine St.



Minutes

Leicester Conservation Commission Meeting Minutes January 17, 2024

Location: Leicester Town Hall, Select Board Meeting Room

Member Present: Stephan Parretti, JoAnn Schold, Vanessa Lopez

Members Absent: Ashlyn Coyle, James Cooper

Staff Present: Lisa Westwell, Administrative Assistant to the Planning Department

Member of the Public Present: See Sign In Sheet attached.

Call to Order: Chairman Parretti called the meeting to order at 6:30 PM

1. Waite Pond Dam – Repairs – Emergency Certification Review/Ratification

Applicant: Fuss & O'Neill

No one was present for the project. Ms. Westwell explained that an emergency certification was signed for the repairs and tonight the board needs to ratify it. She also said that MassDEP was requiring Fuss & O'Neill, the engineering firm working on the repairs, to file an after the fact Notice of Intent, that they were aware of this requirements, and expected to submit the NOI for the February 14, 2024 meeting.

Motion: Ms. Schold made a motion to ratify the emergency certification.

Second: Ms. Lopez

Discussion: None

Record of Vote:

Stephan Parretti	Aye
James Cooper	Absent
JoAnn Schold	Aye
Vanessa Lopez	Aye
Ashlyn Coyle	Absent
Three (3) in Favor. None (0) Opposed. Two (2) Absent. Approved 3 to 0	

2. 19 Marlboro Dr./54 Fairview Dr. – Performance Bond

No one was present for the project. Mr. Parretti said the restoration was pretty small. Ms. Schold asked if they had started work and Ms. Westwell said no they had not started the project yet. Ms. Schold asked if they knew they had to come back to Conservation and Ms. Westwell stated yes. Ms. Westwell said the proposed bond was \$1,000.

Motion: Ms. Schold made a motion to accept the performance bond for 19 Marlboro Dr./54 Fairview Dr.

Second: Ms. Lopez

Discussion: None

Record of Vote:

Stephan Parretti	Aye
James Cooper	Absent
JoAnn Schold	Aye
Vanessa Lopez	Aye
Ashlyn Coyle	Absent
Three (3) in Favor. None (0) Opposed. Two (2) Absent. Approved 3 to 0	

3. 651 Main Street – Request for Certificate of Compliance (DEP File #197-0677)

Ms. Westwell said the Order of Conditions was issued with the condition that it was only valid if Colonial Drive was extended by the Planning Board, but it was not extended so the OOC was not necessary. She said that the Certificate of Compliance is a housekeeping item. Mr. Parretti said that 651 Main St. is Skyview Estates and they had come before the Commission for their project.

Motion: Ms. Schold made a motion for the Commission approve the Certificate of Compliance for 651 Main St. DEP File #197-0677 and that no work started or will start under the Order of Conditions.

Second: Ms. Lopez

Discussion: None

Record of Vote:

Stephan Parretti	Aye
James Cooper	Absent
JoAnn Schold	Aye
Vanessa Lopez	Aye
Ashlyn Coyle	Absent
Three (3) in Favor. None (0) Opposed. Two (2) Absent. Approved 3 to 0	

Discussion

- 458 Pine Street – Complaint**

Peter Hauge with PMZ Development was present for the complaint. Ms. Westwell said there are ANR lots under construction and there is a runoff complaint. Mr. Hauge said he only owns one lot and he is helping to manage one lot and they are both under construction. Mr. Hauge said his site guys have been addressing the runoff. Mr. Don Cherry, 525 Pine Street, was also present. Mr. Haugh said he doesn't own 458 Pine anymore and he is helping with the runoff issues. Mr. Hauge said he built 458 and 456 and they have been sold and signed off on. He has 506 under construction and he is helping manage 508 but it's been sold. Mr. Parretti said there six lots, four are sold, and

two are under construction. Mr. Parretti asked what he is doing to stop the runoff and Mr. Hauge said he is repairing the silt fence and hay bales. Ms. Schold offered some background. She asked if 456 was the one that is across from Mr. Cherry and Mr. Hauge said yes. Ms. Schold said there was a large rain event in July and she called MassDEP and they gave some suggestions, Mr. Hauge implemented them, and she said that site is very stable. Ms. Schold said there was still runoff that comes down from 458 and Town Highway cleaned the swales up and down the road. Mr. Cherry said the runoff that he sent photos for occurred during a significant rain event on December 8th, and that it came down from 458 and got down into the wetlands behind his house leaving a plume almost 30 feet long.

Mr. Parretti asked if 458 is causing the most issues. Mr. Cherry said 506 and 508 are the worst and he gets silt in his yard and said Mr. Hauge is helping with that runoff, but 458 is still an issue. Mr. Cherry said the water runs down between 458 and 500. Ms. Schold agrees that there is still a problem at 458 and whether it's the homeowner or Mr. Hauge as the generator of the problem, there is a situation. Mr. Parretti said Mr. Hauge does not own the property and there is no Order of Conditions or Enforcement Order. Ms. Schold said they were all ANR lots and they didn't need to come to Conservation as they were outside the wetlands. Mr. Hauge said he is not doing anything with 458. Mr. Parretti asked if he was working with Don Cherry and Mr. Cherry confirmed. Ms. Schold said Mr. Hauge did the work prior to the sale. Mr. Parretti suggested a site visit and call with MassDEP. He said this is a perfect example of what happens with ANR lots when there are no stormwater requirements, which there aren't any requirements, but there should be if there are consecutive ANR lots that are being developed as it's just like a subdivision. Mr. Parretti said they will call MassDEP next week when the snow melts and conduct a site visit and then go from there. Ms. Schold said she saw the pictures of what was going into the wetland and that just can't happen. Mr. Cherry said Mr. Hauge is putting up silt fences to help stop the runoff.

- **214 Rawson Street - status update**

Sam Harvey with Integrity Site Development LLC was present. Mr. Harvey said the status is that they are on hold waiting for Conservation to approve the wetland flags so they can start the replication. Mr. Parretti asked if it's been fully staked out, everything has been re-flagged, and the erosion control is in and Mr. Harvey said yes. Mr. Harvey said he is the site guy representing the homeowner. It's his understanding that the homeowner reached out to the engineer to re-flag and they used old pink/white flags. Mr. Parretti said the owner wanted release from the proximity to the wetland zone to cut some trees and that's why they went out to do a site visit and asked the owner to have the wetlands flagged. Mr. Parretti said the site was a mess and they needed to address it before they could continue. Mr. Harvey said the work has been done. Mr. Parretti suggested Mr. Harvey go back to the owner, have them review the plans with the engineer, make sure everything has been fully flagged, and then call the office and say they are ready for inspection. Ms. Schold said that Glenn Krevosky went out already. Mr. Harvey said he was with Glenn and they walked together and Mr. Krevosky mentioned adding another culvert where the erosion took place to carry the water but Mr. Harvey doesn't know where that went. Ms. Westwell said the work has already been done by Mr. Krevosky. Mr. Parretti said he wants to meet Glenn out at the site. Mr. Harvey said they were just going to re-use the soil and it would grow in its original place. Ms. Schold said that the plantings are not correct per Glenn. Ms. Westwell said she spoke with Glenn, he went to look at the flags and questioned if they were in the right place. He asked her to call Norman and

find out how the flags were re-flagged and then went out with a tape measure and said they are not in the right place and the erosion control is in the replication area. Ms. Westwell said that Mr. Krevosky also said that they are supposed to use a native seed mix and it's supposed to be a duplicate replication but Mr. Hill, the engineer, was just going to use what was taken out of the original area and Mr. Krevosky said that's not how it's done. Ms. Westwell said she asked for a planting list and also asked Mr. Krevosky to provide an estimate for oversight services which he did and that is all in the conservation meeting packet. Mr. Parretti said they will do a site visit. Mr. Harvey will check erosion control, request the flagging be all in place from the engineer, and then he will call to schedule a site visit. Mr. Parretti and Ms. Schold said the flags needed to be blue and numbered.

- **Ken Wilson – 42 Manville St. – new project**

Mr. Wilson from Commonwealth Builders explained to the Commission that the owners want to tear down an existing addition and put up a new addition and wants to know if they need Conservation permitting. Ms. Westwell said they just bought the house, want to do an addition, and wanted to know what level of permitting they would need. Ms. Westwell said they are in the flood plain. Mr. Wilson described the project to the Commission. Mr. Parretti said they would need to file with the Commission. Ms. Schold asked if they were doing anything near the bank and Mr. Wilson said no. Ms. Schold and Mr. Parretti said they would need to file a Notice of Intent.

- **257 Pine St. – Status**

Ms. Westwell said a letter was sent to the owner asking him to record his Order of Conditions, clean up trash around the wetlands, stabilize the septic repair area, and repair the erosion controls. Ms. Westwell said she went back to check progress and most of the work is done. Ms. Schold said he has done everything he was asked to do except pick up the rest of the trash. Ms. Westwell said the Commission asked him to submit an as-built plan in time for tonight's meeting but he hadn't yet. Ms. Schold said they don't need one until he submits his Certificate of Compliance. Mr. Parretti said the Commission will put this on the March meeting agenda and check the status.

- **385 Main St. – Jan's Package Store – Status**

Ms. Schold said the dumpster lids are closed and the manager of the store did a pretty good job cleaning it up. Ms. Schold said that trash gets thrown on the property but he is the owner and has to keep it cleaned up. Jan Parke, 207 Greenville St., said she is very pleased that they moved the dumpsters but there is still trash on the bank that she sees as the Land Trust owns the property on the other side of the brook. Ms. Parke is concerned about the water that flows off the streets and down into that driveway to a dip that sends it into the brook and would like the Town to come up with a way to catch the debris and water before it goes into the brook. Mr. Parretti said the Commission would monitor the area. Ms. Parke said she was very pleased with the response from Conservation and the Board of Health.

- **82 Baldwin St. – Status**

Ms. Schold said the grading work was completed and Mr. Krevsoky would update the Commission when the planting is done in the spring.

- **15 Bond St. – Status**

Mr. Parretti said Glenn went out there and they flagged it. Ms. Westwell said she sent a letter with Glenn's report to Mr. Giggey and he confirmed that he received it. Mr. Parretti asked this to be placed on the March meeting agenda.

- **160 Peter Salem Road – Status**

Ms. Westwell said they don't have an as-built yet and that was requested by the Commission as a condition of the Emergency Certification. She also said she had sent a letter to both the owner and contractor with no response. Mr. Parretti asked if the Board of Health (BOH) gave them an emergency certification and if they require an as-built. Ms. Westwell said yes, the BOH will require an as-built. Mr. Parretti asked Ms. Westwell to reach out to the BOH so we don't duplicate efforts.

- **120 White Birch Street – Performance Bond - Status**

Ms. Westwell said she made multiple calls and emails to the applicant to come in and sign the performance bond and submit the check. Ms. Westwell said she talked to the applicant in December and he said he would be in at the end of December but didn't come in. Mr. Parretti said no work had been done there lately. Mr. Parretti said give him a cease and desist order and state that it won't be lifted until he abides by the Order of Conditions.

- **National Grid – ROW Maintenance**

Mr. Parretti said they received notification of maintenance in the right of way for yearly vegetation. Ms. Schold said they don't actually have to file anything with Conservation. Mr. Parretti said they have exempt status on some stuff, but he has some questions. Mr. Parretti and Ms. Schold would like National Grid to come in and talk to them about the chemicals they are using the vegetation as he has noticed that it is killing rhododendrons and their easements go through people's yard and they need to show more care in what they spray. Ms. Schold is concerned with the number of trees they are taking down. Mr. Parretti asked Ms. Westwell to invite them to the February 14th meeting. Ms. Parke informed the Commission that the tree companies hired by National Grid take the trees down and chip them and then deposit the chips behind the Town highway barn. Mr. Parretti said the Commission would take it under advisement.

- **Declaration of Position Vacancy per Leicester General Bylaws Chapter 4 § 6**

Ms. Westwell said that a member who is absent from 3 consecutive meetings can be declared to have vacated the position. Mr. Parretti confirmed with Ms. Westwell that she had reached out to

the member multiple times with no response. Mr. Parretti said that as Chair he is invoking the bylaw and wants to have a notice of vacancy sent to the Selectboard and to have it posted.

Motion: Ms. Schold made a motion to accept the 12/13/23 minutes.

Second: Ms. Lopez

Discussion: None

Record of Vote:

Stephan Parretti	Aye
James Cooper	Absent
JoAnn Schold	Aye
Vanessa Lopez	Aye
Ashlyn Coyle	Absent
Three (3) in Favor. None (0) Opposed. Two (2) Absent. Approved 3 to 0	

Motion: Ms. Schold made a motion to adjourn.

Second: Ms. Lopez

Discussion: None

Record of Vote:

Stephan Parretti	Aye
James Cooper	Absent
JoAnn Schold	Aye
Vanessa Lopez	Aye
Ashlyn Coyle	Absent
Three (3) in Favor. None (0) Opposed. Two (2) Absent. Approved 3 to 0	

Meeting adjourned at 7:36 p.m.

Respectfully Submitted by:
Lisa Westwell, Administrative Assistant
to the Planning Department

Date Approved: February 14, 2024

Conservation Commission Board Signatures

Stephan Parretti, Chair

Vanessa Lopez, Member

James Cooper, Vice Chair

Ashlyn Coyle, Member

JoAnn Schold, Member

Sargent Pond Solitude Lake Management

**Sargent Pond
Leicester, Massachusetts
2023 Year End Report**

Report Prepared for: Sargent Pond Association
c/o David Baril
dave.baril@yahoo.com

Report Submission: November 22, 2023

In accordance with the aquatic plant management contract between SOLitude Lake Management and Sargent Pond Association for Sargent Pond in Leicester, the following report serves to document this year's management program and survey results as well as provide management recommendations for next year.

2023 Management Program Summary

Task	Date
Received MassDEP Permit	February 27th
Pre-Treatment Survey	June 6th
Herbicide Treatment	July 5th
Post-Treatment Survey	October 2nd

Pre-Treatment Survey

On June 6th, a pre-treatment survey was conducted in order to assess the relative distribution and abundance of submersed vegetation within the waterbody. This survey helps identify the target species for treatment, as well as the areas and timing of the treatment. Native species identified during this survey included varying densities of bladderwort (*Utricularia sp.*), Robbins pondweed (*Potamogeton robbinsii*), ribbon-leaf pondweed (*Potamogeton epihydrus*), waterlilies (*Nymphaea sp. & Nuphar sp.*), and watershield (*Brasenia schreberi*). In addition, a trace amount of variable milfoil (*Myriophyllum heterophyllum*) was also identified (**See Figure 1**). Continued excellent control of variable milfoil from the 2021 ProcellaCOR treatment is still evident, however bladderwort has increased in abundance, reaching nuisance densities in some areas of the lake.



Treatment

On July 5th, a treatment was conducted to manage areas of nuisance growth of bladderwort. During the treatment, high densities of bladderwort were treated in residential areas such as coves and around residential areas of the lake roughly corresponding to the area of bladderwort shown on Figure 1 as well as some additional areas observed on the day of treatment. In total, 11 acres of the pond were treated with the Tribune (diquat) herbicide using an airboat with a calibrated pump assembly and GPS guidance.

Post-Survey

On October 2nd, a post-survey was conducted in order to assess the efficacy of treatment and document the late season distribution of aquatic plants. During the post-survey, varying densities of bladderwort were observed throughout the shoreline areas of the pond however, the density of growth was greatly reduced in the treatment areas. Native vegetation populations similar to the pre-treatment survey were also observed. Sparse to moderate growth of variable milfoil was observed in the northeast cove.

Ongoing Management

For ongoing management, the goals for 2024 are continued monitoring of the pond's vegetation assemblage and herbicide treatment to be conducted as needed to control nuisance bladderwort and areas of milfoil regrowth. We recommend treatment of the northeast cove with ProcellaCOR to address the only area of milfoil regrowth that has been observed since the 2021 ProcellaCOR herbicide treatment. For nuisance bladderwort control, we recommend utilizing diquat herbicide on a spot-treatment basis similar to that conducted this past summer. Diquat is the most economical and effective method of bladderwort control for Sargent Pond.

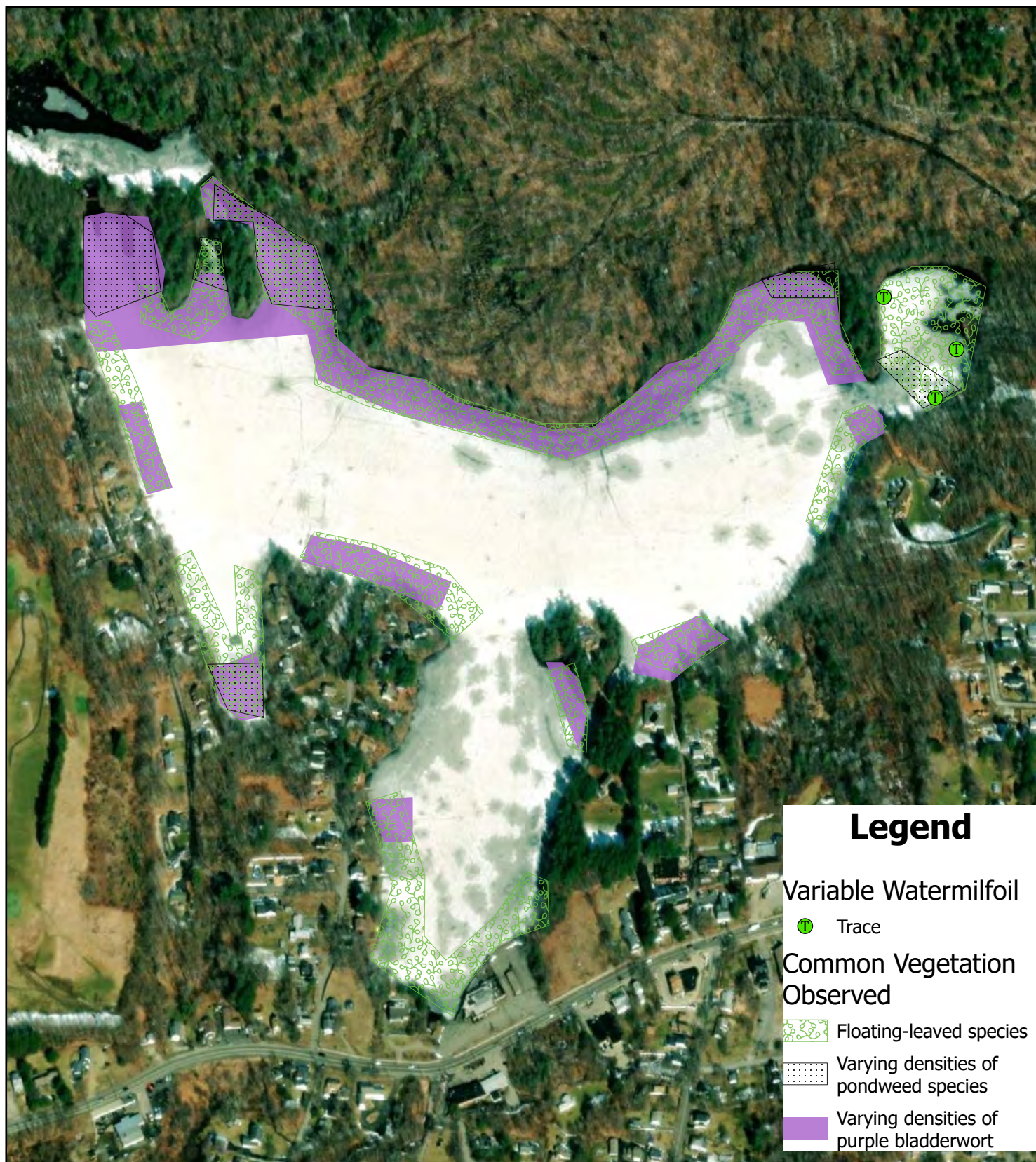
SOLitude will hold discussions with the Association to develop a treatment plan and contract for the 2024 season. At this time, we anticipate a treatment of the northeast cove (~2.5 acres) with ProcellaCOR and up to ~15 acres along the residential shoreline with diquat to control bladderwort. The approximate cost of this program is \$9,500. If we do not use ProcellaCOR for the milfoil and instead conduct all treatments with diquat, the cost would be more in the range of \$7,000.

SOLitude Lake Management thanks the Sargent Pond Association for their continued partnership and looks forward to working together in the 2024 season.

FIGURE 1: Pre-Management Vegetation Survey

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Legend

Variable Watermilfoil

① Trace

Common Vegetation Observed

- Floating-leaved species
- Varying densities of pondweed species
- Varying densities of purple bladderwort

Sargent Pond
Leicester, MA

Sargent Pond

0 137.5275 550
1:5,009 Feet



Survey Date: 06/06/2023
Map Date: 06/15/2023
Prepared by: KV
Office: SHREWSBURY, MA